

SITE CALCULATIONS
PITTWATER LEP
ZONE R3 MEDIUM DENSITY RESIDENTIAL
LOT WIDTH 13.65M
TOTAL SITE AREA 313.2M2

4.3 MAX BUILDING HEIGHT @ 8.5M
NO CHANGES PROPOSED N/A

GROUND FLOOR EXISTING 62M2
FIRST FLOOR PROPOSED 73.7M2
GARAGE EXISTING 35.4M2
SUB TOTAL 171.1M2

minus 1CAR SPACE (18M2)
TOTAL GFA 153.1M2

EXISTING LANDSCAPED AREA 93.3m2
PROPOSED LANDSCAPED AREA 93.3m2

EXISTING PAVING 107.2m2

EXISTING SITE BUILDING FOOTPRINT 110m2
PROPOSED BUILDING FOOTPRINT 110m2

7.1 ACID SULFATE SOILS = CLASS 5
NO CHANGES TO THE GROUND LEVEL N/A

PITTWATER DCP
D16 WARRIEWOOD VALLEY LOCALITY
16.6 FRONT BUILDING LINES
NO CHANGES TO EXISTING FRONT SETBACKS PROPOSED

16.7 SIDE AND REAR BUILDING LINES
.9M TO ONE SIDE
UNCHANGED AND COMPLIES

REAR BUILDING LINE
UPPER STORY @ 6M
UNCHANGED AND COMPLIES

THE PROPOSED DEVELOPMENT DOES NOT INCREASE THE
FOOTPRINT OF THE DWELLING HOUSE OR DECREASE THE
LANDSCAPE AREA ON THE LOT.

UNCHANGED

THEREFORE COMPLIES

CAR PARKING AND VEHICLE ACCESS
1 CARPARKING SPACE BEHIND THE BUILDING LINE
COMPLIES



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**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

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EXISTING WALLS
NEW INTERNAL WALLS
DEMOLISH
NEW FLOOR AREA
ADDITIONAL ROOF AREA
STORMWATER MAIN

NOTES:

1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.
3. THE PROPOSED WORKS HAVE BEEN DESIGNED SO THAT WHEN CONSTRUCTED THEY CAN COMPLY WITH THE BCA.

CLIENT
BRAD BOSWARD
13 LORIKEET GROVE
WARRIEWOOD

PROJECT
ALTERATIONS AND ADDITIONS TO
DOUBLE STOREY WEATHERBOARD
AND MASONRY RESIDENCE

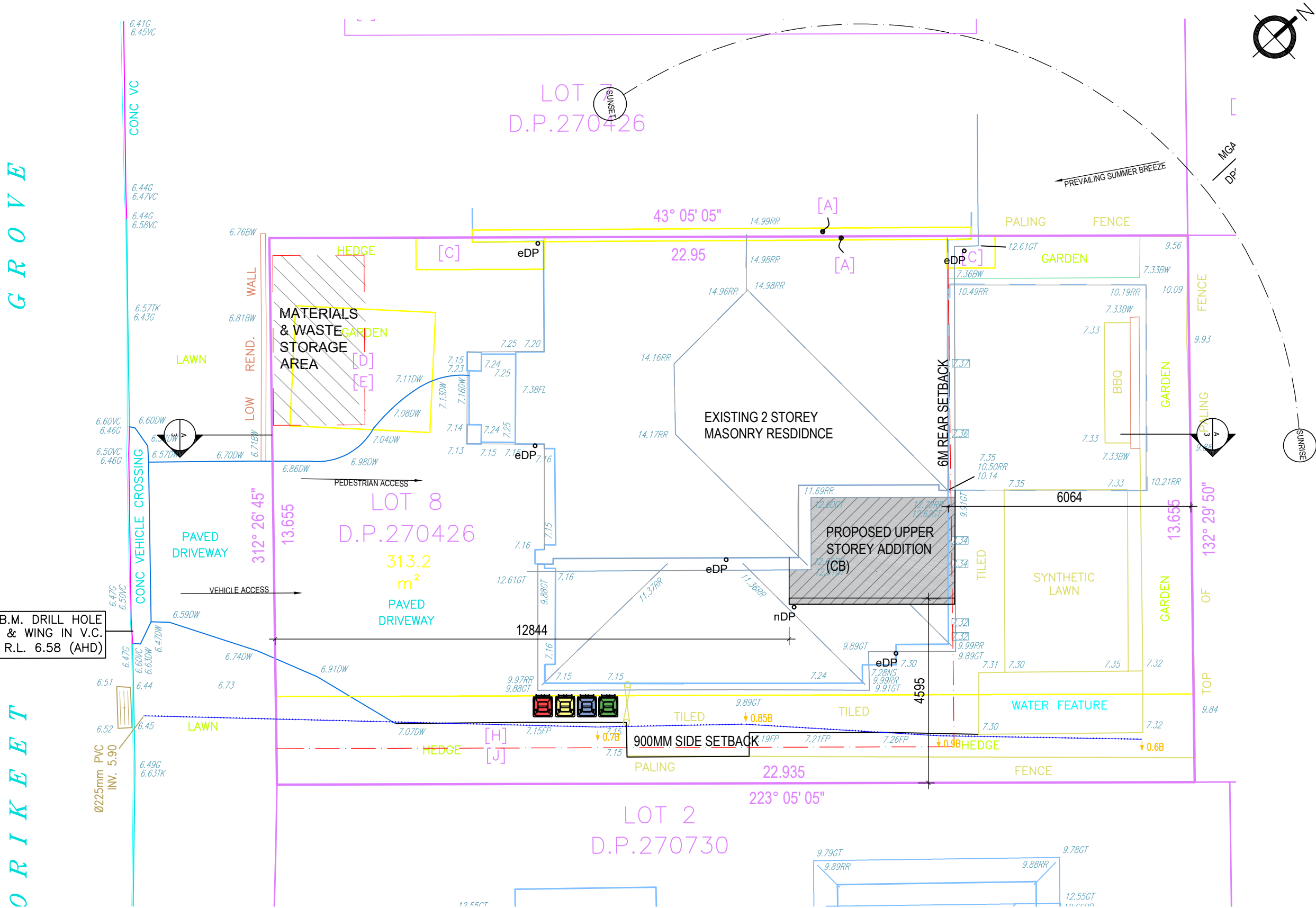
DRAWN BY:
DEBORAH PARTOS dpartos@giddis.com.au

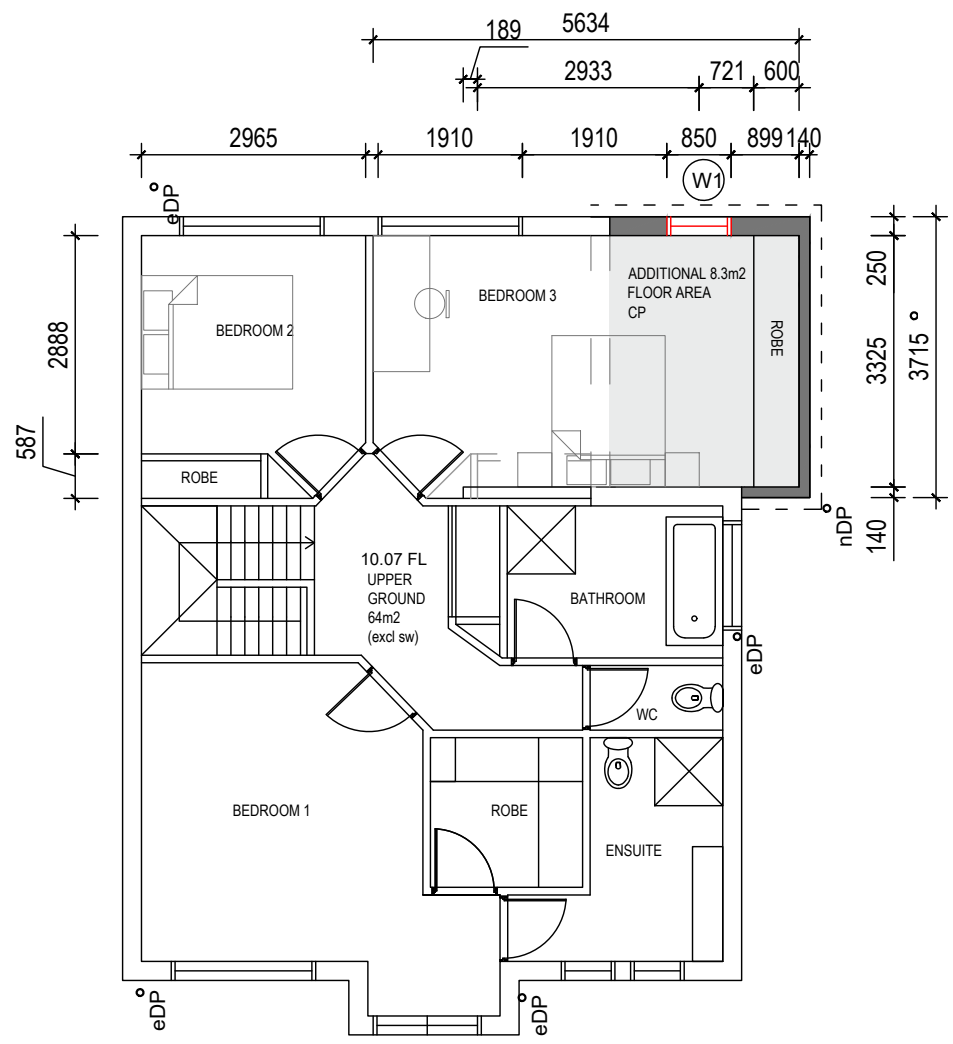


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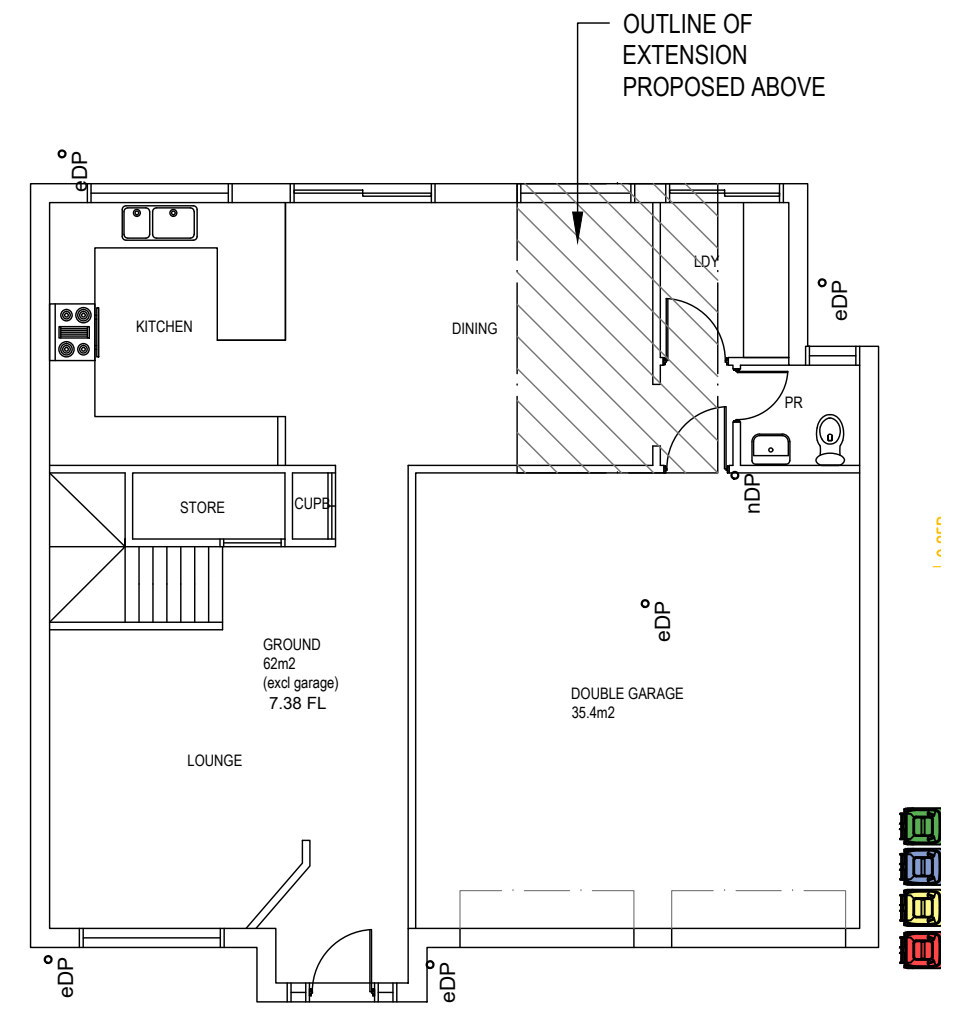
SITE/ ANALYSIS PLAN

PROJECT NO	SCALE	DATE	DRAWN	DWG NO	REVISION
	1:100	23/06/25	DP	01	B





1 UPPER GROUND PROPOSED
Scale: 1:100



2 GROUND EXISTING
Scale: 1:100

LEGEND

- OC OPAQUE GLASING
- CG CLEAR GLASING
- CR COLOURBOND ROOFING
- TF TIMBER FLOORING TO OWNERS SPEC
- TB TIMBER BATTEN SCREEN
- TF TIMBER FRAME - PAINT FINISH
- CP CARPET OWNERS SPEC
- FC FIBRE CEMENT SHEET - PAINT FINISH
- SC SHADOWCLAD CLADDING - PAINT FINISH
- WB WEATHERBOARD CLADDING
- BV BRICK VANEER
- CN CONCRETE
- PV PAVERS TO OWNERS SPEC
- TL TILE TO OWNERS SPEC
- INSTALL SMOKE ALARM IN ACCORD WITH AS 3786

- EXISTING WALLS
- NEW WALLS
- DEMOLISH
- NEW FLOOR AREA
- NEW WORK
- NEW WINDOWS & DOORS

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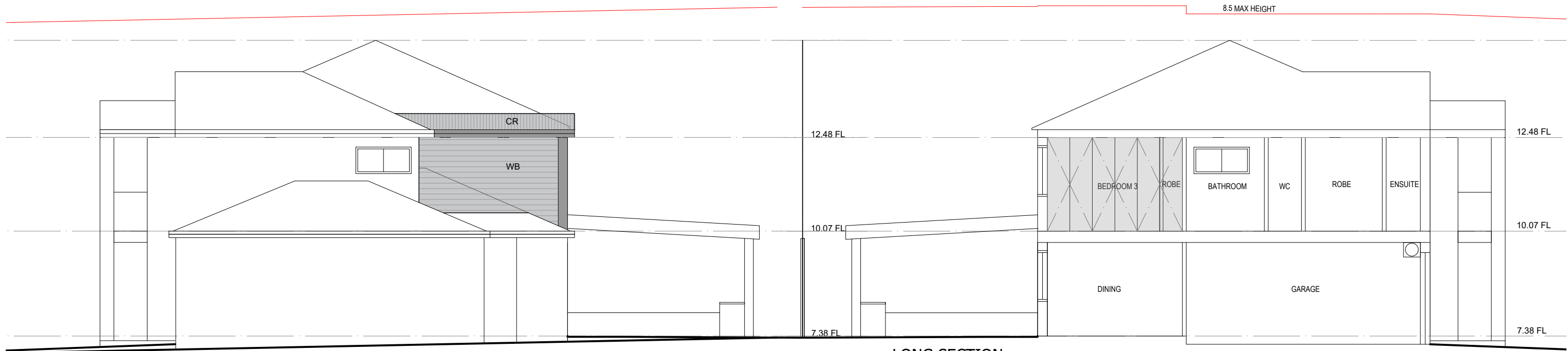
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DRAWN BY:
DEBORAH PARTOS dpartos@giddis.com.au

GIDDIS
DRAFTING SERVICES

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FLOOR PLANS					
PROJECT NO	SCALE	DATE	DRAWN	DWG NO	REVISION
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3 EAST ELEVATION
Scale: 1:100

4 LONG SECTION
Scale: 1:100

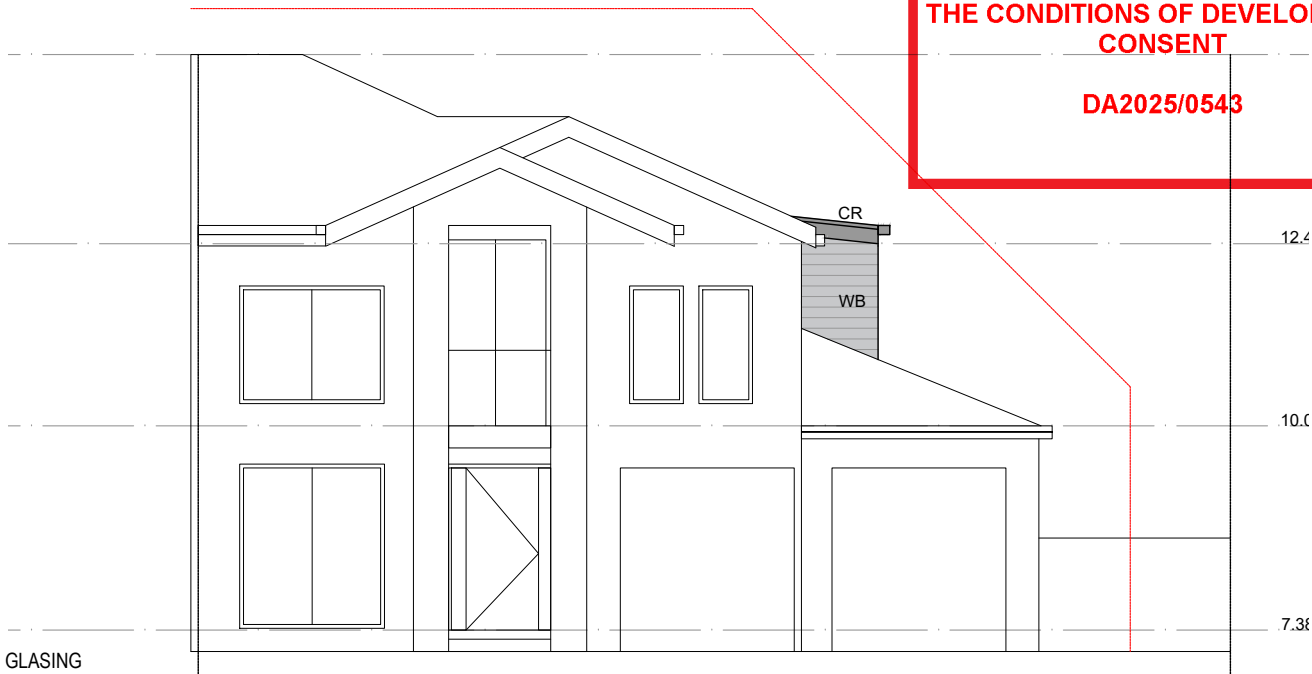


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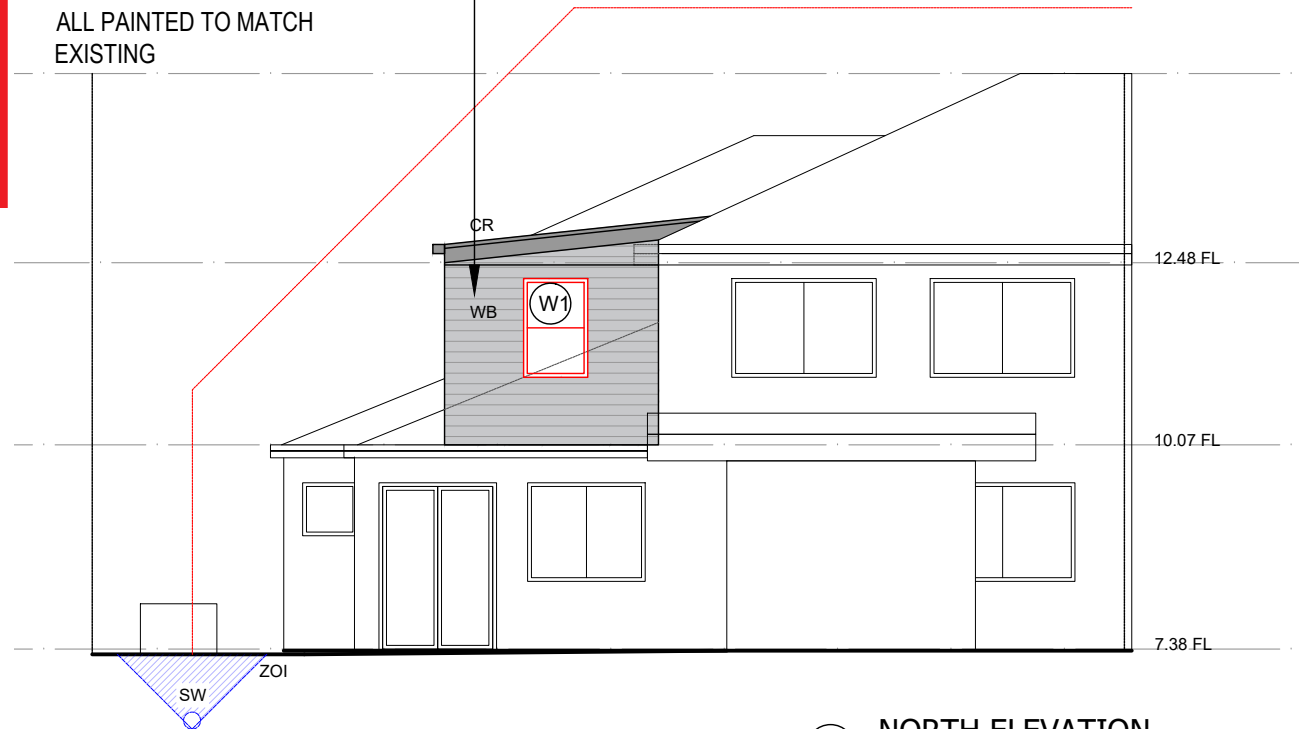
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MATCH EXISTING BAGGED
MASONRY OR WEATHERBOARD
ALL PAINTED TO MATCH
EXISTING



4 SOUTH ELEVATION
Scale: 1:100



5 NORTH ELEVATION
Scale: 1:100

LEGEND

OC	OPAQUE GLASING
CG	CLEAR GLASING
CR	COLOURBOND ROOFING
TF	TIMBER FLOORING TO OWNERS SPEC
TB	TIMBER BATTEN SCREEN
TF	TIMBER FRAME - PAINT FINISH
HW	HARDWOOD
FC	FIBRE CEMENT SHEET - PAINT FINISH
SC	SHADOWCLAD CLADDING - PAINT FINISH
WB	WEATHERBOARD CLADDING
BV	BRICK VANEER
CN	CONCRETE
PV	PAVERS TO OWNERS SPEC
TL	TILE TO OWNERS SPEC
ZOI	ZONE OF INFLUENCE
	INSTALL SMOKE ALARM IN ACCORD WITH AS 3786

	EXISTING WALLS
	NEW INTERNAL WALLS
	DEMOLISH
	NEW FLOOR AREA
	NEW WORK
	NEW WINDOWS & DOORS
	STORMWATER PIPE

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DRAWING TITLE

ELEVATIONS & LONG SECTION

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