

- MAY 2007

Our Ref: CP27038-1 MV

Your Ref: N0625/06

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

**Re: Pittwater RSL, Northern Terrace
Construction Certificate**

We refer to our engagement in respect of the above and enclose the Construction Certificate for such in accordance with the provisions of the Environmental Planning and Assessment Act 1979.

Please also find enclosed the appointment of PCA and Notice of Commencement of Work.

Should you require any further information please do not hesitate to contact the undersigned.

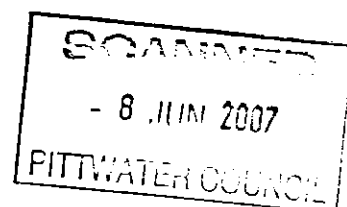
Yours faithfully,

Mark Vincent

Consultant

for Trevor R. Howse & Associates Pty Ltd

Encl.



Trevor R Howse & Associates Pty Ltd ABN 24 003 753 839

Level 8, 210 George Street, Sydney NSW 2000 PO Box N694, Grosvenor Place, NSW 1220
Telephone +612 9251 4500 Facsimile +612 9252 9822 Email trh@trh.com.au www.trh.com.au

**Building Regulations
Fire Safety Engineering
Management Services**

R. 217262

\$30.00

6/6/07

8. Compliance with Development Consent

Yes ☐ No ☐

Conditions may include the payment of security, bonds, and s94 contributions. The endorsement of plans by Sydney Water or other authorities. Ensure you have complied with all requirements of consent.

The applicant by answering Yes is certifying that all conditions have been satisfied. If all conditions have not been satisfied Council may without warning:

Have all conditions required to be satisfied prior to the commencement of work be satisfied?

- Issue Penalty Infringements Notices for each breach of the Act
- Prosecute the Applicant for making false or misleading statements
- Prosecute any person acting otherwise than in compliance with development consent
- Order or seek orders from the Land & Environment Court to cease all work until compliance is satisfied

Builder and Home Building Act 1989

9. Builder or other person in charge of work

The Applicant must check that the builder is licenced.

If the Builder is the Owner a copy of the Owner Builders permit must be attached.

Title: Mr ☐ Mrs ☐ Miss ☐ Ms ☐ Other:

Family name (or company):

Given names (or ACN):

Postal address:

LOCKED BAG 9 ASHFIELD Post Code: 1800

Phone (1) (...) 97975555 Fax (...) 9799 6149

Phone (2) (...) E-mail:

Builders License number:

Home Building Act 1989 Insurance Premium details

(To evidence payment insurance certificate must be attached)

This insurance is not required for Owner Builders however undertaking work without Home Warranty Insurance the Owner accepts the risk and insurance must be taken out if the Owner seeks to sell the residence within 7 years of the completion of work.

Contact person (Only if a company etc)

Proposed date of work commencement

10. Proposed date of work commencement

NOTE: This form shall be forwarded to Council by the PCA nominated on this form.

A period of 2 days must lapse, commencing from the forwarding of this form to Council, before works can commence.

4, 6, 07

Signature

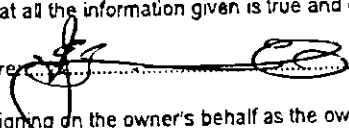
11. Applicant / Owner's consent

Must be signed by the person(s) having the ultimate benefit of the Development Consent.

Appointment by the builder may only occur where the builder holds ownership of the subject land.

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised Council officers to enter the land to carry out inspections.

I declare that all the information given is true and correct.

Signature:  Date: 30-5-07

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence.

(eg. power of attorney, executor, trustee, company director)

CONSTRUCTION CERTIFICATE

BUILDING WORKS

PRELIMINARIES	
CERTIFICATE NO. :	CP27038-1 MV
PROPERTY :	Pittwater RSL – Northern terrace
APPLICANT :	Paynter Dixon Constructions Pty Limited

DEVELOPMENT CONSENT	
CONSENT NO. :	N0625/06
DATE OF ISSUE :	24 th May 2007
CONSENT AUTHORITY :	Pittwater Council

DETERMINATION	
DETERMINATION :	Approved
DATE :	- 24 MAY 2007
REFUSAL REASONS :	N/A

DEVELOPMENT DESCRIPTION	
APPROVED WORKS :	Construction of a terrace to the northern side of the Pittwater RSL Club
CLASSIFICATIONS :	Class 9b
COST OF WORKS :	\$450,000.00
BUILDING SOLUTION :	Deemed-to-satisfy
EXCLUSIONS :	This certificate relates only to those works approved within the Development Consent, and excludes all other works / inconsistencies.

CERTIFYING AUTHORITY	
CERTIFIER :	Hayden L. Howse accreditation no. BPB0188
ACCREDITED BY :	NSW Accreditation Scheme
STATEMENT :	Work completed in accordance with approved documentation, without variation to the Development Consent, will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979.
SIGNED :	

FIRE SAFETY SCHEDULE				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Fire rated access panels & doors	NO		NO	
Automatic fail safe devices	NO		NO	
Automatic fire detection & alarm	YES	AS1670.1		
Automatic fire suppression systems	NO		NO	
Emergency lifts	NO		NO	
Emergency lighting	YES	BCA E4.2, E4.4 AS 2293.1 – 2005	NO	
EWIS	YES	BCA E4.9, AS 1670.4 – 2004 and AS 44289.4 – 2004.	NO	
Exit signs	YES	BCA E4.5, E4.6 AS 2293.1 – 2005	NO	
Fire control centres & rooms	NO		NO	
Fire dampers	YES	AS 1668.1 and AS 1682.1 and 2.	NO	
Fire doors	YES	AS 1905.1	NO	
Fire hydrant systems	YES	BCA Cl. E1.3, AS 2419.1 – 2005.	NO	
Fire seals	YES	BCA C3.15	NO	
Fire shutters	NO		NO	
Fire windows	NO		NO	
Hose reel systems	YES	BCA Cl. E1.4, AS 2441 – 2005.	NO	
Lightweight construction	YES	BCA C1.8	NO	
Mechanical air handling systems 1. Auto-shutdown of air-handling System.	YES	AS/NZS 1668.1	NO	
Perimeter emergency vehicle access	NO		NO	
Portable fire extinguishers	YES	AS 2444	NO	
Safety curtain in proscenium opening	NO		NO	
Smoke & heat vents	NO		NO	
Smoke dampers	NO		NO	
Smoke detectors & heat detectors	NO		NO	
Smoke doors	NO		NO	
Solid core doors	NO		NO	
Standby power systems	NO		NO	
Wall-wetting sprinkler / drenchers	NO		NO	
Warning & operational signs	YES	NSW H101.8	NO	
OTHER	NO		NO	

CONSTRUCTION CERTIFICATE DOCUMENTATION		
ANNEXURE	TITLED	DATED
1	Application for Construction Certificate	-
2	Receipt for Long Service levy Payment	29.05.07
2	Receipt for Council fees and charges	03.10.06
2	Access design statement	10.05.07
2	Structural design certificate	01.06.07
2	Glazing details	01.06.07

CONSTRUCTION CERTIFICATE PLANS - ARCHITECTURAL		
PLAN NO	TITLED	DATED
11379 DA1.01 K	Site Plan	09.05.07
11379 DA2.01 I	Ground Floor Plan	06.03.07
11379 DA2.02 K	First Floor Plan	09.05.07
11379 DA2.03 M	Part Ground & First Floor Plans	09.05.07
11379 DA2.04 D	Roof Plan	06.03.07
11379 DA3.01 I	External Elevations	06.03.07
11379 DA3.02 I	External Elevations	06.03.07
11379 DA4.01 I	Sections	06.03.07
11379 WD2.04 07	Lower Ground & Ground Floor Plans	30.05.07
11379 WD2.07 04	Finishes Plan Ground Floor Plan	30.05.07
11379 WD3.01 06	External Elevations	30.05.07
11379 WD4.01 05	Sections	30.05.07
11379 WD9.06 06	Construction Details	30.05.07
11379 WD9.07 05	Balustrade setout & details	30.05.07

ANNEXURE "1"

**CONSTRUCTION CERTIFICATE
APPLICATION FORM**

APPLICATION FORM

- ☐ COMPLYING DEVELOPMENT CERTIFICATE (CDC)
- ☒ CONSTRUCTION CERTIFICATE (CC)
- ☐ INTERIM OCCUPATION CERTIFICATE (IOC)
- ☐ OCCUPATION CERTIFICATE (OC)

TREVOR R HOWSE

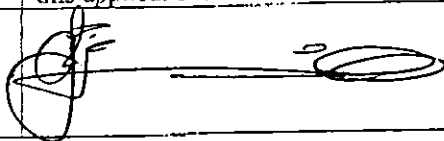
APPLICANT (complete for any application)

NAME / COMPANY : PAYNTER DIXON CONSTRUCTION

ADDRESS : 320 LIVERPOOL ROAD

SUBURB / STATE : ASHFIELD NSW

STATEMENT : I apply for approval to carry out the development / works described within this application. I declare all information given to be true and correct.

SIGNED : 

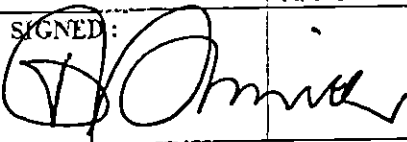
CONSENT OF OWNER (complete for CDC & CC only)

NAME / COMPANY : PITTWATER RSL CLUB

ADDRESS : 80-82 MONA VALE ROAD

SUBURB / STATE : MONA VALE

STATEMENT : As owner (s) of the subject land, I / we consent to this application and Trevor R. Howse & Associates Pty Ltd entering the land for inspection.

SIGNED : 

SUBJECT LAND (complete for any application)

ADDRESS : 80-82 MONA VALE ROAD

SUBURB / STATE : MONA VALE

COUNCIL AREA : PITTWATER COUNCIL

LOT NO : 26 + 120 DP/SP: 654 262 + 135512

DEVELOPMENT DESCRIPTION (complete for any application)

CLASSIFICATION :

COST OF WORKS : \$450,000 —

D/A CONSENT NO. : N° 625/06 DATE : 24 MAY 2007

Trevor R Howse & Associates Pty Ltd ABN 24 003 753 839
 Level 8, 210 George Street, Sydney NSW 2000 PO Box N694, Grosvenor Place, NSW 1220
 Telephone +612 9251 4500 Facsimile +612 9252 9822 Email trh@trh.com.au www.trh.com.au

Building Regulation
 Fire Safety Engineering
 Management Services

- 2 -

DEVELOPMENT DESCRIPTION (complete for any application)	
• PROPOSED WORKS	NEW NORTHERN OUTDOOR TERRACE
• AREA OF OCCUPATION:	200M ²

ACCOMPANYING DOCUMENTATION (complete for any application)	
NO.	TITLED
	LSL RECEIPT

FIRE SAFETY SCHEDULE (complete for CDC & CC only)				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Fire rated access panels & doors				BCA C3.13
Automatic fail safe devices				
Automatic fire detection & alarm				AS 1670 AS 3786
Automatic fire suppression systems				AS 2118.1
Emergency lifts				BCA C3.4
Emergency lighting				AS/NZS 2293.1
EWIS				AS 1670.4 AS 4428.4
Exit signs				AS/NZS 2293.1
Fire control centres & rooms				BCA E1.8
Fire dampers				AS/NZS 1668.1, 2
Fire doors				AS 1905.1
Fire hydrant systems				AS 2419.1
Fire seals				BCA C3.15, C3.16
Hose reel systems				AS 2441
Lightweight construction				BCA C1.8
Mechanical air handling systems				AS/NZS 1668.1, 2
Perimeter emergency vehicle access				BCA C2.4
Portable fire extinguishers				AS 2444
Safety curtain in proscenium opening				BCA H101.10
Smoke & heat vents				BCA Spec. E2.2c
Smoke dampers				AS/NZS 1668.1, 2
Smoke detectors & heat detectors				AS 1670
Smoke doors				BCA Spec. C3.4
Solid core doors				BCA Spec. C3.4
Standby power systems				
Wall-wetting sprinkler / drenchers				BCA C3.2
Warning operational signs				BCA C3.6, D2.23, E3.3, H101.8
Other				

- 3 -

AUSTRALIAN BUREAU OF STATISTICS (complete for CDC & CC only)											
Legislative requirement											
PARTICULARS OF BUILDING											
What is the area of the land (m ²)?											
What are the proposed uses of all parts of the building(s)/Land?											
How many pre-existing dwellings?											
What is the gross floor area of the existing building (m ²)											
What are the current uses of the building?											
Does the site contain a dual occupancy?											
How many dwellings are to be demolished?											
How many dwellings are proposed?											
What is the gross floor area of the proposed addition or new building (m ²)?											
How many storeys will the building consist of?											
MATERIALS TO BE USED											
(tick the empty box as applicable)											
ROOF			WALL			FLOOR			FRAME		
Tiles	10		Brick (double)	11		Concrete / slate	20		Timber	40	
Concrete / slate	20		Brick (veneer)	12		Timber	40		Steel	60	
Fibre cement	30		Concrete / stone	20		Other	80		Aluminium	70	
Steel	60		Fibre cement	30		Not specified	90		Other	80	
Aluminium	70		Timber	40					Not specified	90	
Other	80		Curtain glass	50							
Not specified	90		Steel	60							
			Aluminium	70							
			Other	80							
			Not specified	90							

RESIDENTIAL WORKS - BUILDER DETAILS (complete for CDC & CC only)	
NAME :	PAYNTER DIXON CONSTRUCTIONS
ADDRESS :	320 LIVERPOOL Rd.
SUBURB / STATE :	ASHFIELD
LICENSE NO : (attach copy of license)	
OWNER BUILDER :	Where the works are to be performed by an owner builder, a declaration signed by the owner of the land is required, to the effect that reasonable market cost of the labour and materials is less than the amount prescribed in section 29 of the Home Building Act for <i>owner builder work</i>

ANNEXURE "2"

OTHER DOCUMENTATION

Pittwater Council

OFFICIAL RECEIPT

29/05/2007 Receipt No 216374

To PAYNTER DIXON CONSTRUCTIONS
PTY LTD

320 LIVERPOOL ROAD
ASHFIELD NSW 2131

Applic Reference	Amount
GL Re OLST-Buil	\$1,575.00
1 X 80-82 MONA VALE RD NO	
Total:	\$1,575.00
Amounts Tendered	
Cash	\$0.00
Cheque	\$1,575.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$1,575.00
Rounding	\$0.00
Change	\$0.00
Nett	\$1,575.00

Printed 29/05/2007 12:51:02
Cashier NCulli

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

PLEASE PRINT ALL DETAILS USING CAPITALS

ENTER DIXON PTY LTD
97120315

LIVERPOOL ROAD
FISCHER

Postcode 2131 Bus. hours phone 97985505

2 MONA VALE ROAD
TVALE

Postcode 2103
6 Y 2007 Estimated finish date D 30 M 08 Y 2007

TWATER
25-06
28,450,000.00 Levy payable \$ 1,575.00

ide DA number here
JON ROSEN Date D M Y
Business hours phone

Contract amount \$ 1,575.00

Contact person (Print) Phone number
Contact person (Signature) Date D M Y

Any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name THAO PENGIES Signature Date D 29 M 05 Y 2007

Exemption Approval Certificate No.

FORM NO.

OFFICE USE ONLY

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person)
or Company/Organisation name

P A Y N T E R D I K O N P T Y L T D

Given names (if person)

ABN (if applicable)

8 4 0 9 7 1 2 0 3 1 5

POSTAL ADDRESS

No. and street or PO Box

3 2 0 L I V E K I O O L R O A D

A D H F I G L D

Town/suburb

State

N S W

Postcode

2 1 3 1

Bus. hours phone

9 7 9 8 5 5 0 5

Number and street

8 0 - 0 2 M O N T V A L E R O A D

Town/suburb

M O N T V A L E

State

N S W

Postcode

2 1 0 3

Estimated start date

D 0 4 M 0 6 Y 2 0 0 7

Estimated finish date

D 3 0 M 0 8 Y 2 0 0 7

Local Council Area

P I T T W A T E R

DA/CC/CDC No.

N 0 6 2 5 - 0 6

Estimated value

of work (see note on back)

\$ 4 5 0 0 0 0 . 0 0

Levy

payable \$

1 5 7 5 . 0 0

If you have provided a CC above, please provide DA number here

Signature of Officer/Private Certifier

TREVOR HOISEN

Date

D M Y

Name of Officer/Private Certifier

Business hours phone

Department/Authority

Contract/DA No (circle which)

Contract

amount \$

Levy payable

\$ 1 5 7 5 . 0 0

Contact person (Print)

Phone number

Contact person (Signature)

Date

D M Y

Any false or misleading information provided on this form may result in prosecution under Section 58A.

I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name

TREVOR HOISEN

Signature

Date

D 0 5 M 0 5 Y 2 0 0 7

Exemption Approval Certificate No.

Building and Construction Industry Long Service Payments Corporation, Locked Bag 3000, Central Coast MC NSW 2252

Tel: 13 14 41 Fax: (02) 9287 5685 Email: levy@lspc.nsw.gov.au www.lspc.nsw.gov.au ABN 93 646 090 808

Jan06/180

PREPARED BY: [REDACTED]

DATE: 01/06/2006

TAX INVOICE OFFICIAL RECEIPT

01/07/2006 Period To: 2025M

TO: PAYMENT OIXIN CONSTRUCTION
PTY LTD

510 LIVERPOOL RD
ASHFIELD

Qty/ Applnr	Reference	Amount
	705V-D4 S	\$1,628.00
GL Rec 1 X	NO625/01	
1	705V-T/P1	\$53.54
GL Rec 1 X	NO625/00	
	SS1	\$0.38
GL Rec		
1	RMID-Rord	\$45.45
GL Rec 1 X	NO625/00	
	SS1	\$0.55
GL Rec		
1	HKEP-RS A	\$180.00
GL Rec 1 X	NO625/00	
	SS1	\$18.00
GL Rec		
1	ADDP-Noti	\$27.27
GL Rec 1 X	NO625/00	
	HST	\$2.73
GL Rec		
To GL Receipts:		

Total Amount: \$1,976.00

Includes GST of: \$31.44

Amounts Received

Cheque	\$1,976.00
Total	\$1,976.00
Rounding	\$0.00
Change	\$0.00
Net	\$1,976.00

Printed 01/07/2006 09:40:17

Page 1 of 1



PAYNTER DIXON CONSTRUCTIONS PTY. LIMITED

ABN 84 097 120 315

CHEQUE No. 106335

DATE	INVOICE No.	JOB No.	INVOICE VALUE	DEDUCTIONS	PAYMENT
06MAR06	60306A	PRL110	3361.00		3361.00
06MAR06	60306B	PRL110	-3361.00		-3361.00
03APR06	30406	PRL110	1976.00		1976.00
<i>Domenic</i>					
					1976.00

PITTWATER COUNCIL

320 LIVERPOOL ROAD
ASHFIELD NSW 2131
TELEPHONE (02) 9797 5555
FAX (02) 9798 5505

PLEASE DETACH BEFORE BANKING

PAYNTER DIXON CONSTRUCTIONS PTY. LIMITED ABN 84 097 120 315

DATE 06 APR 06

Westpac Banking Corporation

ASHFIELD, 258 LIVERPOOL ROAD NSW

CHEQUE No. 106335

PAY PITTWATER COUNCIL							
MILLIONS	HUND.THOUS.	TEN THOUS.	THOUSANDS	HUNDREDS	TENS	UNITS	CENTS
*****	*****	*****	ONE	NINE	SEVEN	SIX	00
DOLLARS							

\$ *****1,976.00

NOT
NEGOTIABLE
ACCOUNT
PAYEE ONLY

For and on behalf of PAYNTER DIXON CONSTRUCTIONS PTY. LIMITED

106335 032000601 177618



10 May 2007

Mr Tony Fucile
Design Manager
Paynter Dixon
320 Liverpool Road
Ashfield NSW 2131

Dear Tony

**Re: Accessible path of travel to the proposed outdoor terrace:
Pittwater RSL Club**

I have audited the DA drawings of the proposed extension of the new terrace for Pittwater RSL Club, corner Mona Vale Road and Foley Street, Mona Vale. The drawings were received in this office on 4 May 2007 from Paynter Dixon and pdt Architects.

Job number 11379

Drawing no.	Scale	Issue	Issue Date
DA 1.01	1:500	I	6.3.07
DA 2.01	1:200	I	6.3.07
DA 2.02	1:200	I	6.3.07
DA 2.03	1:100	K	6.3.07
DA 2.04	1:200	D	6.3.07
DA 3.01	1:100	I	6.3.07
DA 3.02	1:100	I	6.3.07
DA 4.01	1:100	I	6.3.07

Brief description

The existing Club is on two levels with public facilities and back of house areas on both levels. The proposed outdoor terrace is located on the first floor on the northern side of the Club and is accessed via a series of doors from the gaming lounge extension. The drawings indicate a level floor of 41.240 for both the existing club and the proposed extension to create an accessible path of travel between the existing building and the proposed extension.

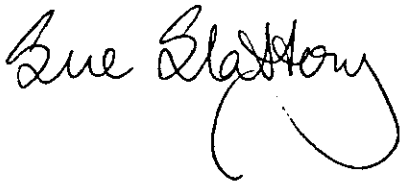
Access for people with a disability to the proposed terrace includes:

- a continuous accessible path of travel from the Foley Street entry on level one that complies with AS1428.1.

- a continuous accessible path of travel from the car park to the entry on ground level that complies with AS1428.1.
- a lift providing vertical access to comply with AS1428.1 from the lobby area on the ground level to the main public area on the first floor
- Adequate circulation space and paths of travel within the Club to all public areas, including ground and first floor lobbies, function rooms, coffee shop, brassiere, gaming lounge, existing lounge, existing terrace, extension to the gaming lounge and the new terrace that is accessed from the extensions to the gaming lounge on the first floor to comply with AS1428.2 and Pittwater Council DCP.
- a unisex accessible toilet facility located on the first floor level.

In my opinion the DA drawings indicate that there is a continuous accessible path of travel into and within the Club including the proposed new terraces to comply with the required access provisions for people with disabilities according to the Pittwater Council DCP, the BCA and the required elements of AS1428 that are appropriate for this development.

Yours sincerely



Sue Slattery BA Dip OT grad Dip Ed
Access Consultant
Occupational therapist

Taylor Thomson Whitting (NSW) Pty Ltd Consulting Engineers ACN 113 575 377
481 Church St Leeton NSW 2865 PO Box 735 Crows Nest NSW 2065
T 61 2 9439 7282 F 61 2 9439 3143 ttwtyd@ttw.com.au www.ttw.com.au



TaylorThomsonWhitting

7 June 2007

061117

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD NSW 2131

Attention: Mr Tony Fucile

PITTWATER RSL CLUB OUTDOOR TERRACE
DESIGN CERTIFICATE

Dear Sir,

We certify that we have prepared the structural design of Pittwater RSL Club Outdoor Terrace as shown on Drawing No. S00-E, S01-I, S02-G, S03-F, S04-J, S05-G, S05-H, S07-H, S08-H, S11-G, S12-G in accordance with the following Australian Standards:

- AS 3600 (2001) Concrete Structures
- AS 4100 (1998) Steel Structures
- AS 3700 (2001) Masonry Structures

Structural
Civil
Traffic
Facade
Engineers

and the structure shown would be sufficient to carry the relevant loads specified in the AS 1170 Parts 0, 1 and 2 (2002), Minimum design loads on structures.

For and on behalf of
TAYLOR THOMSON WHITTING (NSW) PTY LTD

ROBERT MACKELLAR
Director

P:\2006\061117\Certificates\070607 Terrace Design Certificate.doc

TTW Group

- Directors**
R. Jones, B. Hyslop, M. G. R. R. Ait
D. G. G. R. Hyslop, M. G. R. R. Ait
R. Hyslop, A. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
- Technical Directors**
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
- Associates**
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait
R. Hyslop, B. Hyslop, M. G. R. R. Ait

Admin 301/6/15.06.05/Design Certificate/1-1

DESIGN CERTIFICATION



DEVELOPMENT DETAILS

PROJECT NO: 11379
PROJECT: PITTWATER RSL NORTHERN TERRACE
ADDRESS: 80-82 Mona Vale Road, Pittwater NSW
DESCRIPTION: Construction of outdoor terrace to northern face of Pittwater RSL Club

DESIGN CERTIFICATION – NORTHERN TERRACE

Further to your email of items listed by BCA Consultant Trevor Howse & Associates we confirm that the design of the northern terrace conforms with the following BCA clauses:

- Clause C1.10
- Clause D2.13
- Clause D2.14

And that handrails will be provided to both sides of stair from terrace in accordance with the BCA,

- Clause D2.17

SIGNATURE

NAME: Mike Strazds
POSITION: Director
Nom. Architect NSW Reg. No. 5502

SIGNATURE:

DATE: 1 June 2007

A handwritten signature in black ink, appearing to read 'Mike Strazds', written over a light background.

SYDNEY

Level 7, 28 Foveaux Street, Surry Hills NSW 2010
PO Box K238, Haymarket, NSW 1240
t +61 2 8264 0102 f +61 2 8264 0108
pdt@pdtsydney.com.au www.pdtsydney.com.au

Can you please issue two sets of all CC 1 & 2 documentation approved by your office for the above lots so we can supply these to PBS & BHPL and Breakfast Point

CLAUDIO SAVIAN
Project Manager
APP Corporation Pty. Limited
Phone (02) 9963 9916
Facsimile (02) 9954 1951
Mobile: 0434 318 118

www.app.com.au

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Jason Storer

From: Savian, Claudio [claudio.savian@app.com.au]
Sent: Monday, 4 June 2007 9:49 AM
To: Jason Storer
Subject: RE: Re Lot 6B 2 & 3- Copies of drawings and A4 documents

Jason,

as discussed please produce two copies of all CC's except for CC1 for Lot 6b3 which I have already issued

CLAUDIO SAVIAN
Project Manager
APP Corporation Pty. Limited
Phone (02) 9963 9916
Facsimile (02) 9954 1951
Mobile: 0434 318 118

www.app.com.au

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-----Original Message-----

From: Jason Storer [mailto:jstorer@trh.com.au]
Sent: Tuesday, 29 May 2007 3:20 PM
To: Savian, Claudio
Subject: RE: Re Lot 6B 2 & 3- Copies of drawings and A4 documents

Claudio,

Please be advised that we can only issue a copy of the Construction Certificate itself, which you already have a copy of but which we would be happy to provide two further copies of each certificate, a total of 6 in all.

We cannot issue any further copies of plans as only 3 sets were provided. One is kept, one is sent to the approval authority and one is sent to the applicant. Please note that only the architectural plans are stamped by this office and as such if you wish us to please advise and we will copy the additional sets of architectural plans (six sets) and send a bill for the additional copying and clerical time needed to prepare 2 additional sets of Construction Certificate documentation for three Construction Certificates. Please be advised that there are 45 plans for those 2 CC's, thus a total of 90 plans that would need to be copied at A1 scale, this will be a significant cost to copy. Please provide confirmation you wish us to proceed to copy the plans and provide a bill to APP.

Regards,

Jason Storer

Technical Manager

For Trevor R. Howse & Associates Pty Ltd

-----Original Message-----

From: Savian, Claudio [mailto:claudio.savian@app.com.au]
Sent: Tuesday, 29 May 2007 1:01 PM
To: Jason Storer
Cc: Dickins, Cory
Subject: Re Lot 6B 2 & 3- Copies of drawings and A4 documents

Jason,



Facsimile Transmission

To: Theo

Date: 1 June 2007

Company: Paynter Dixon constructions Aust

Fax No: 9799 6149

From Gary Wells

Re: Northern Stacking glass doors for Pittwater RSL

Page: 1 of 1 If you do not receive all pages, please phone 02 9757 4600 A.S.A.P.

The automatic door equipment supplied and fitted by ADIS Automatic Doors for the above project conforms to all Australian Building codes **D2.19(B)(11)(1V)** doors will open on power failure with a force of less than 110 newtons and is fitted with a failsafe emergency opening device to open the door in the event of power failure whilst in normal operation mode.

The ADIS Automatic Door equipment is guaranteed for 3 years on all parts from date of commissioning and is manufactured and installed in compliance with Australian Standards for automatic sliding doors **AS 4085-1992** and **AS 5007** for powered doors for pedestrian access and egress.

The Glass doors supplied by ADIS have been selected and installed in compliance with. Section J of the BCA and AS 1288/2006

The labour warranty for repairs to the screen and auto door equipment is 12 months from the date of commissioning.

For any services to the Automatic Door please call 1800 600 602.

Yours faithfully,

Gary Wells

General Manager

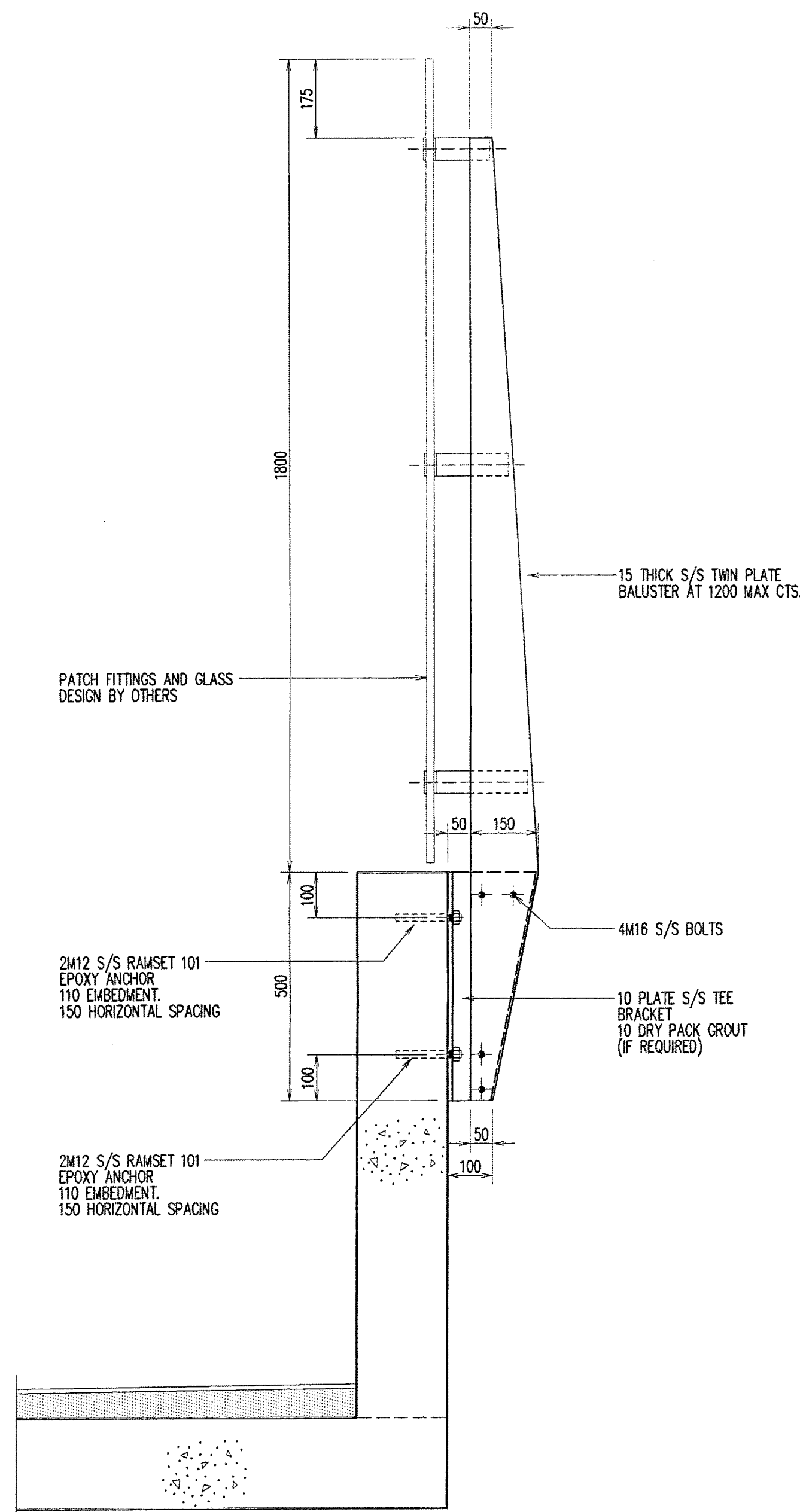
Unit 3, 413 Victoria Street, Wetherill Park NSW 2164 Telephone: (02)9757 4600 Facsimile (02)9757 4233

AUSTRALIAN OWNED- AUSTRALIAN MANUFACTURED

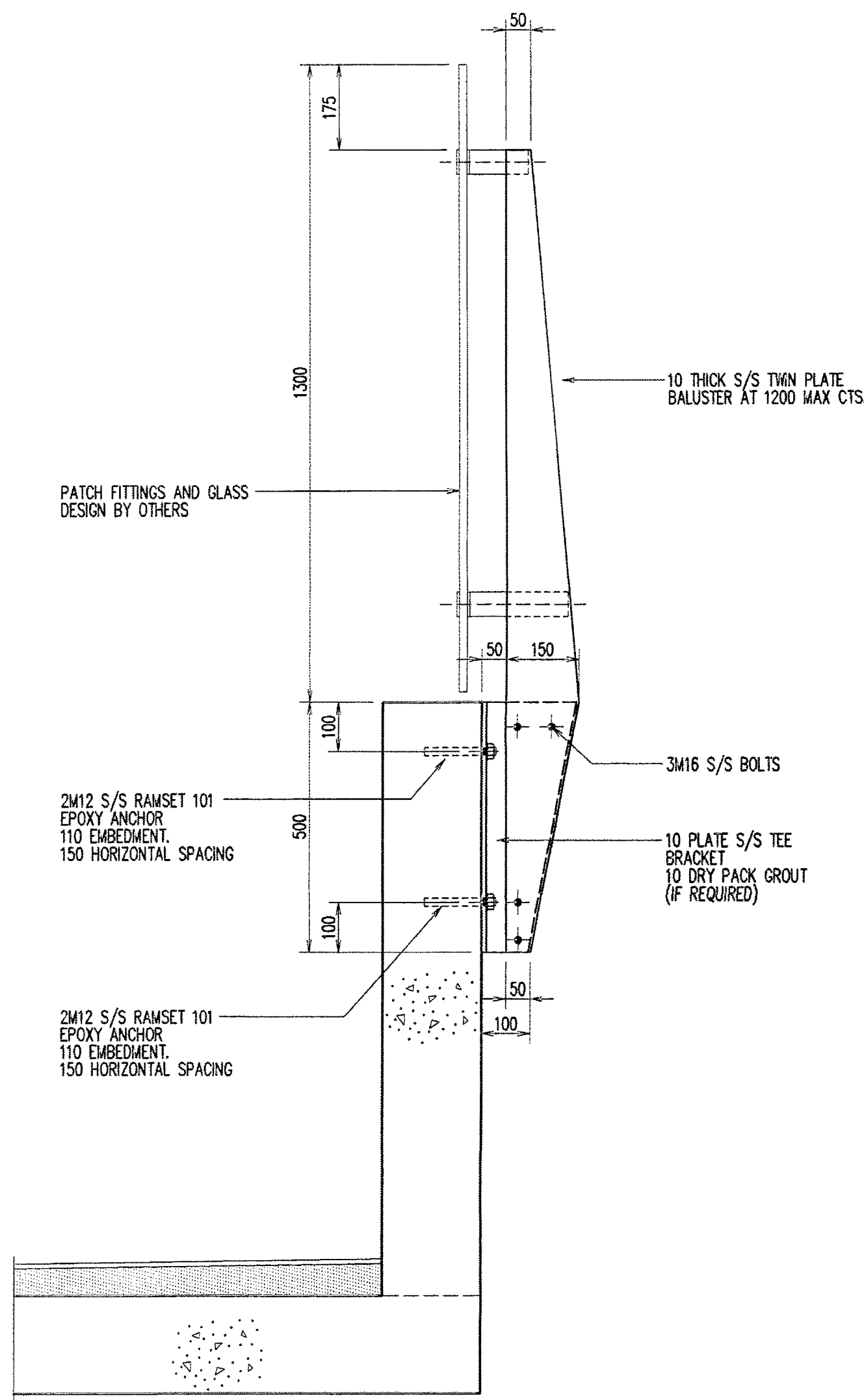
adiss@bigpond.com

ADIS Automatic Doors is a Trading name of Cyberdoor Systems P/L

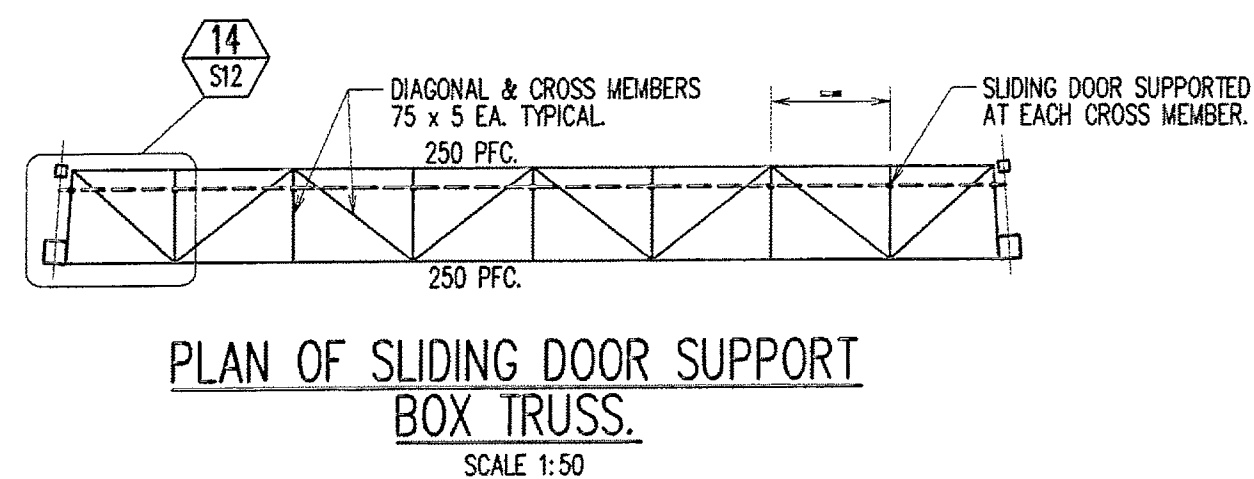
www.autodoors.com.au



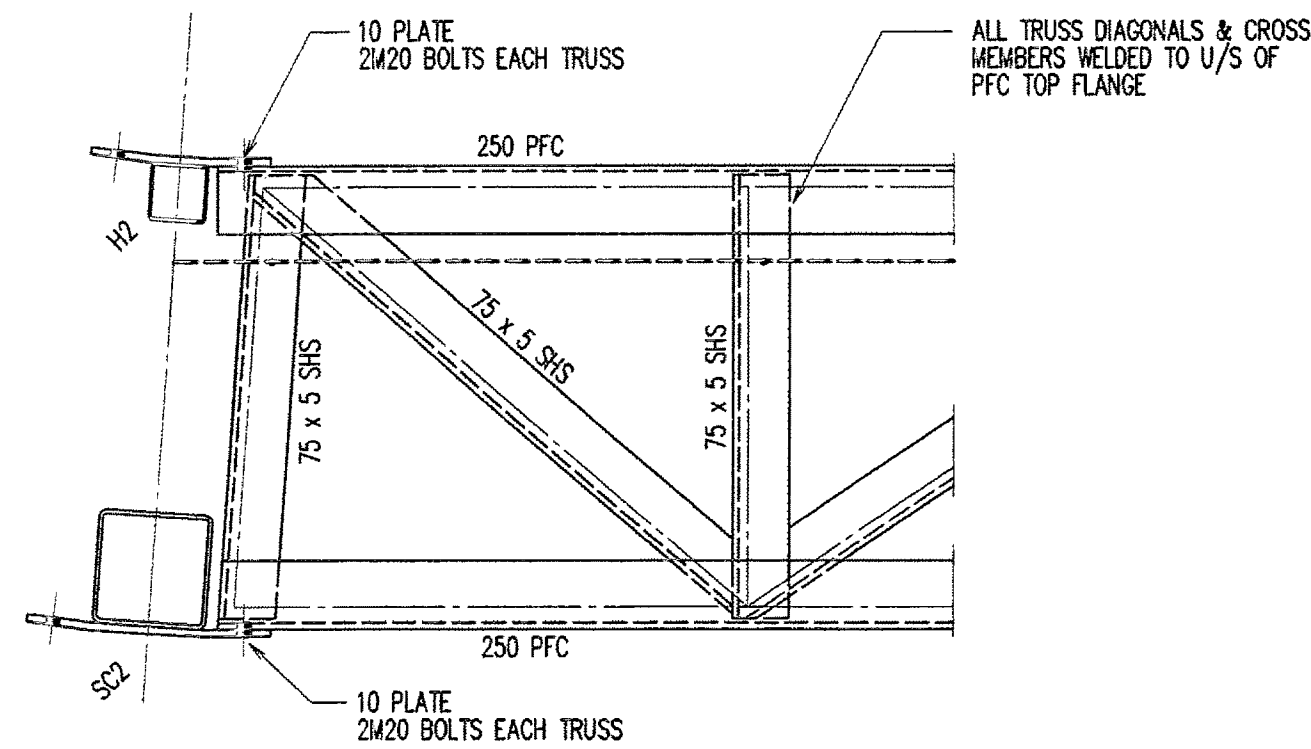
1800 HIGH GLASS BALUSTRADE



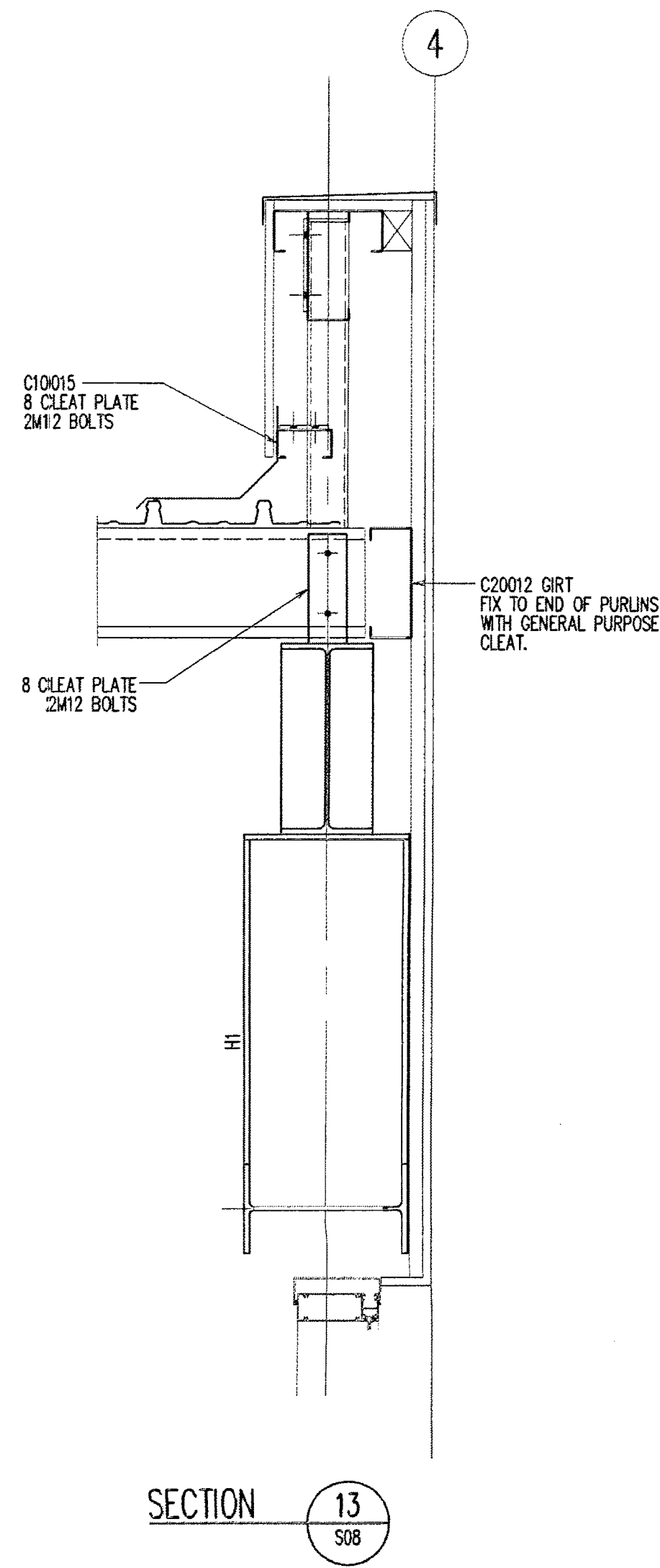
1300 HIGH GLASS BALUSTRADE



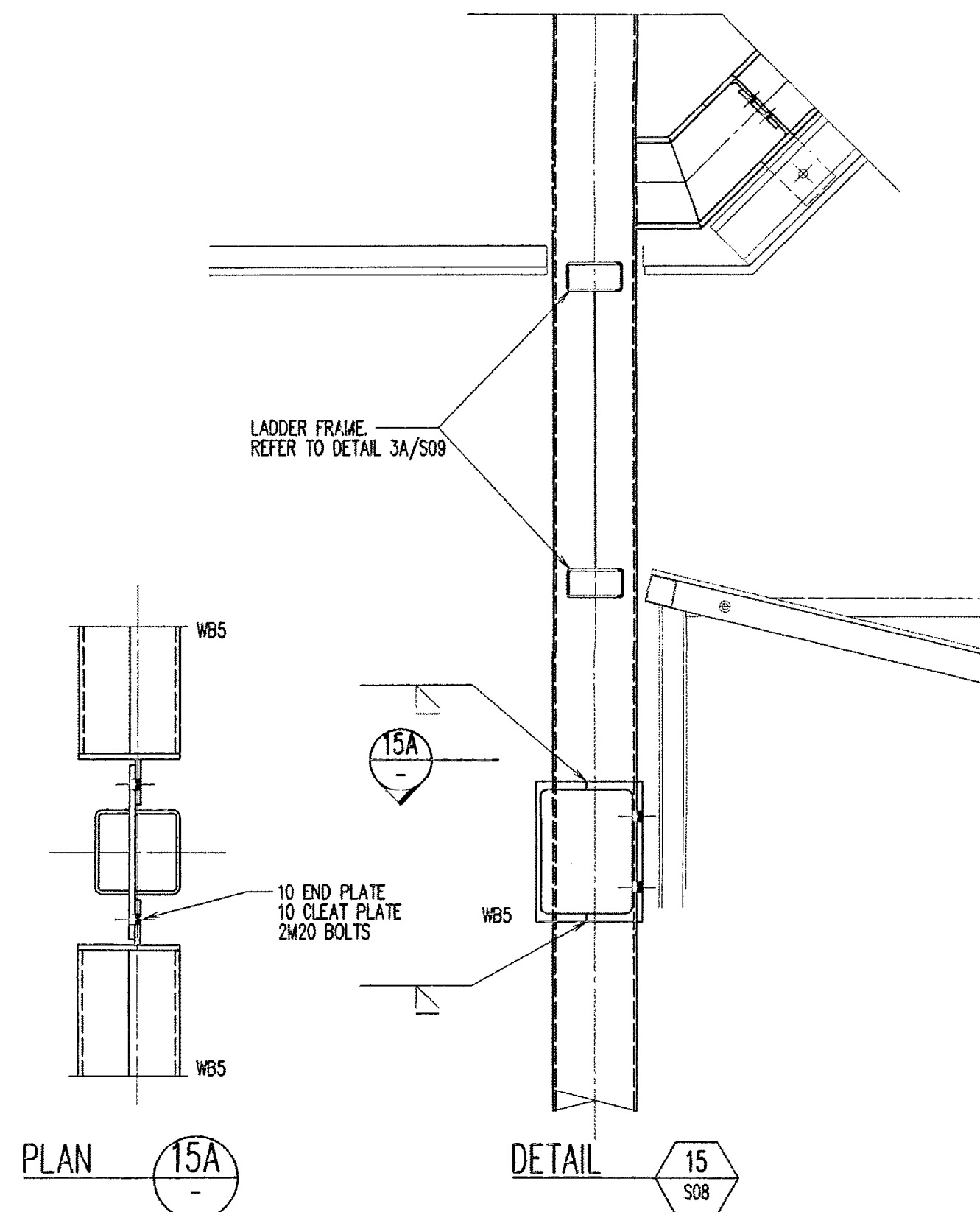
PLAN OF SLIDING DOOR SUPPORT BOX TRUSS.
SCALE 1:50



PLAN 14
S08



SECTION 13
S08



PLAN 15A
S08

DETAIL 15
S08

Rev	Description	Eng	Draft	Date
G	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	R.M.	G.P.	28.05.07
F	REVISED AS CLOUDED	R.M.	NA	27.03.07
E	ISSUED FOR CONSTRUCTION	R.M.	G.P.	23.01.07
D	SLIDING DOOR SUPPORT DETAILS ADDED	R.M.	G.P.	10.01.07
C	REVISED AS NOTED	R.M.	G.P.	24.11.06
B	SECTION 13 ADDED	R.M.	G.P.	01.11.06
A	ISSUED FOR TENDER	R.M.	G.P.	27.10.06

**PITWATER RSL
SMOKERS TERRACE
EXTENSIONS**

**ROOF STEELWORK
DETAILS SHEET 4**

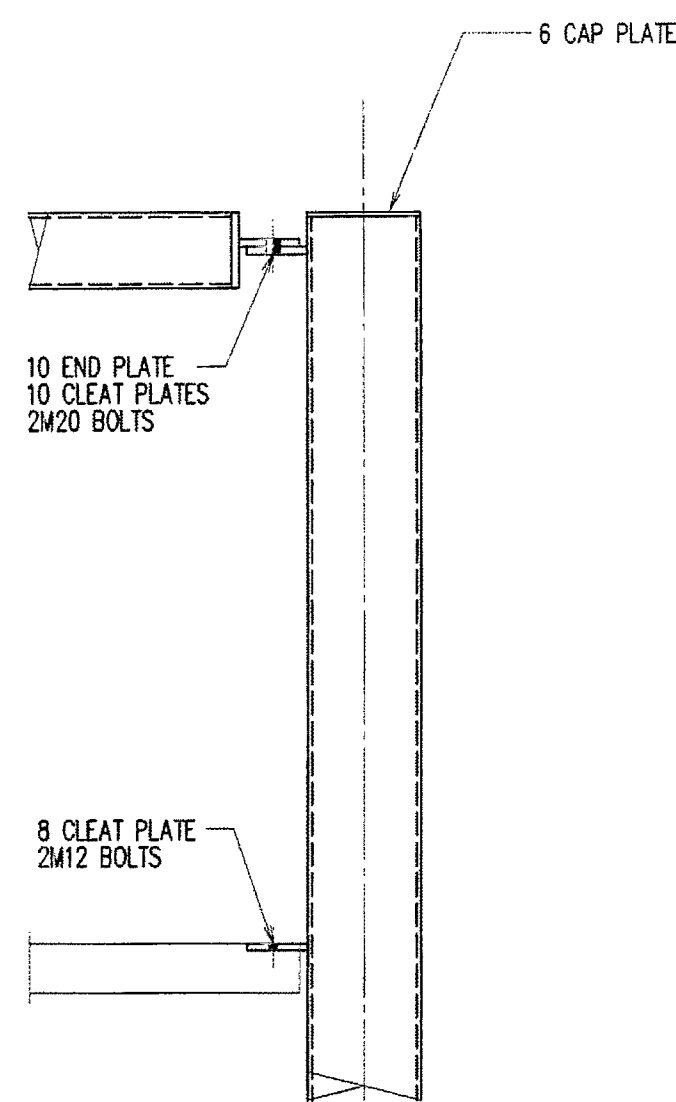
Client
PAYNTER DIXON
Paynter Dixon Constructions Pty Limited
320 Liverpool Road, Ashfield NSW 2131
Tel (02) 9737 5555 Fax (02) 9799 6149
ABN 84 097 120 315

Architect
PDT ARCHITECTS
LEVEL 7, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010
PH. 8264 0102 FAX. 8264 0108

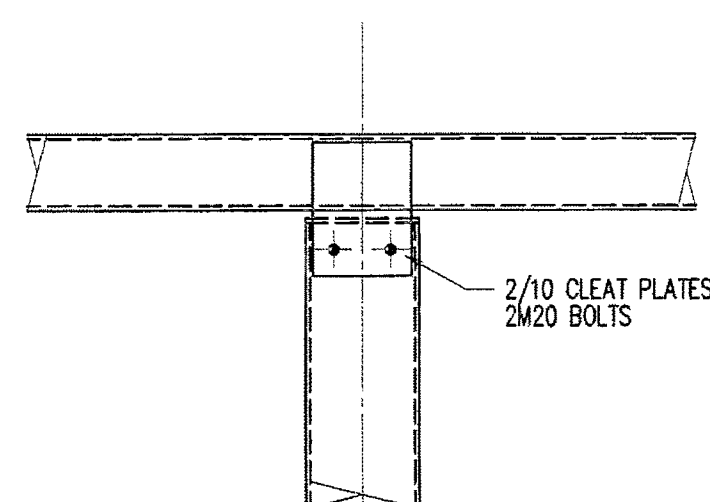
Taylor Thomson Whitting
Consulting Engineers
48 Chandos Street St Leonards NSW 2055
T: +61 2 8438 7388 F: +61 2 8438 3148 theray@ttw.com.au
Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 574 377

Scale : A1
1:10 Drawn G.J.P. Authorised
Job No 061117 Drawing No S12 Revision G
Plot File Created: May 28, 2007 - 9:04am

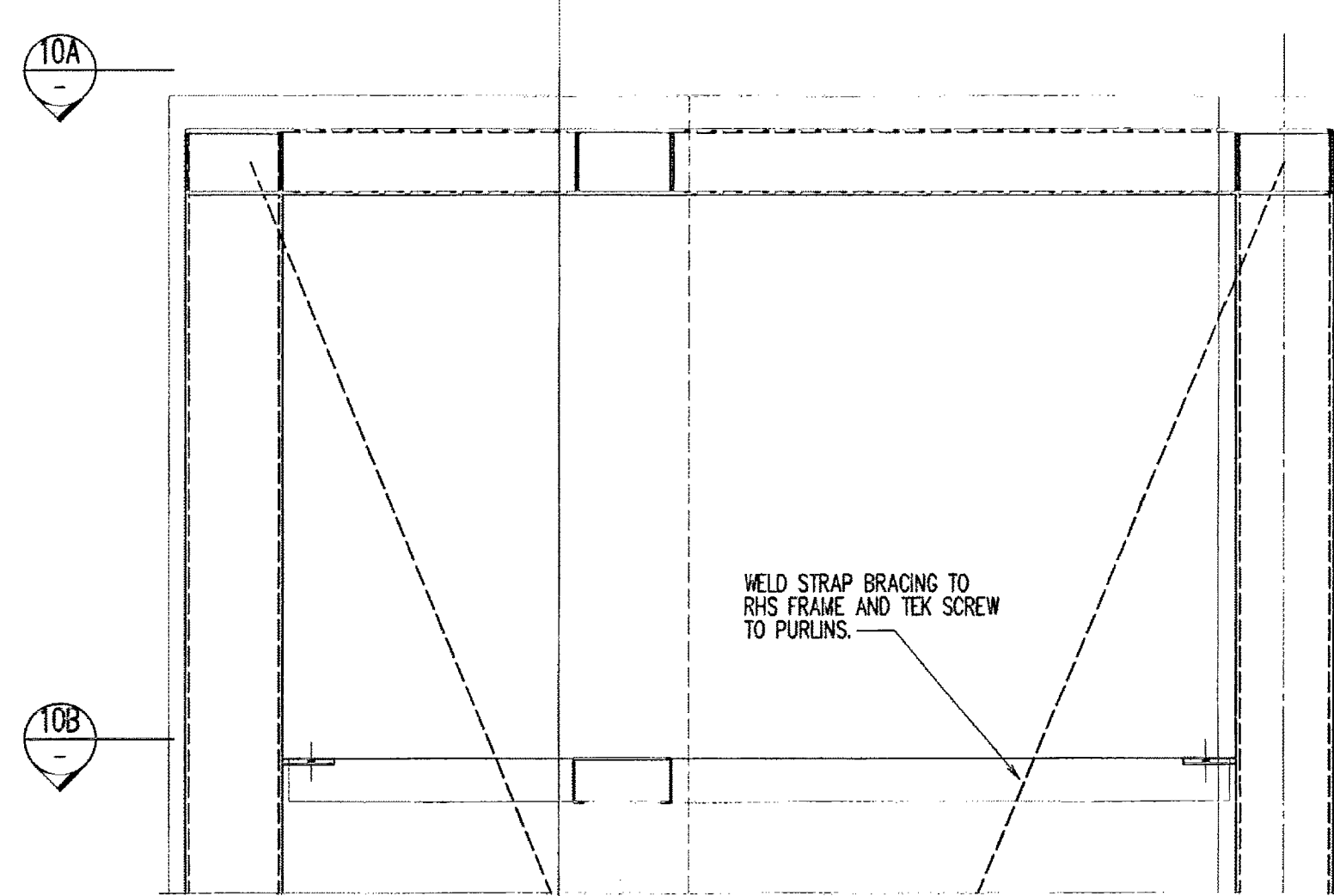
REFER TO DRAWING S00 FOR STRUCTURAL NOTES



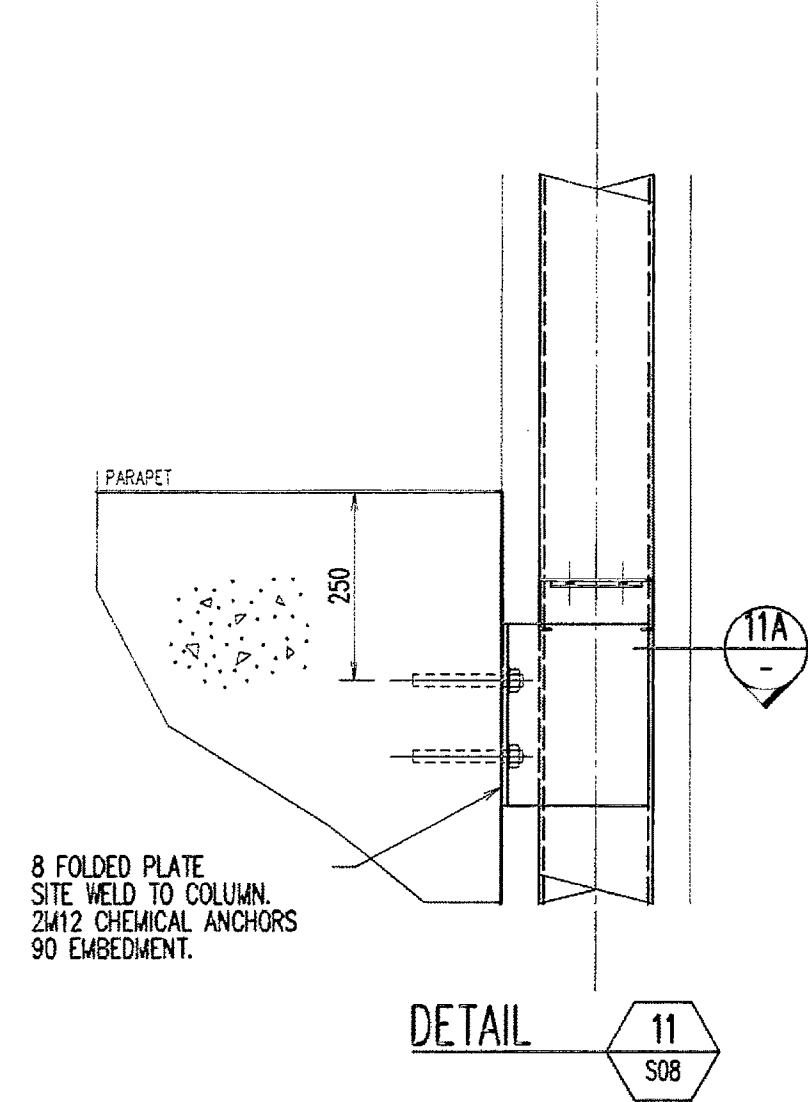
DETAIL 7
S08



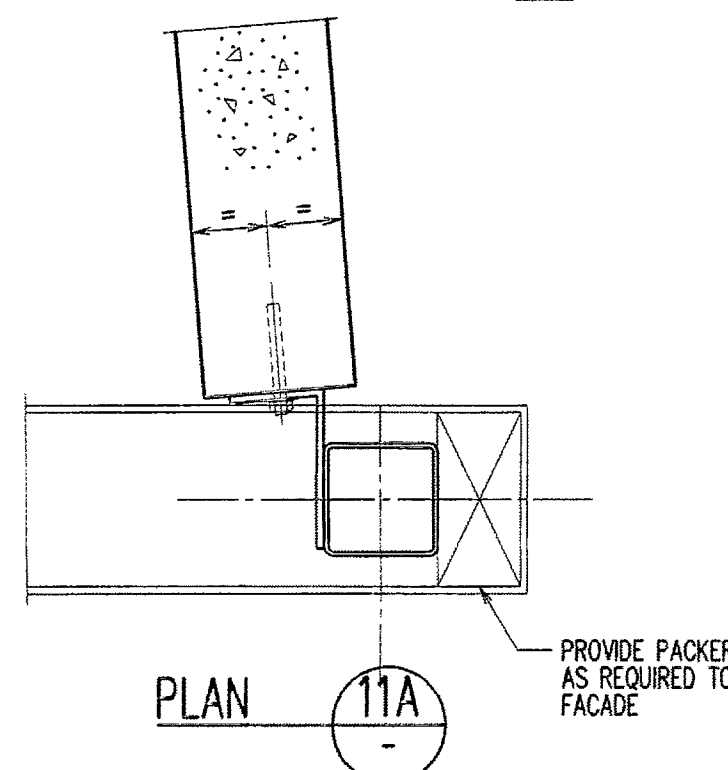
DETAIL 8
S08



DETAIL 10
S08

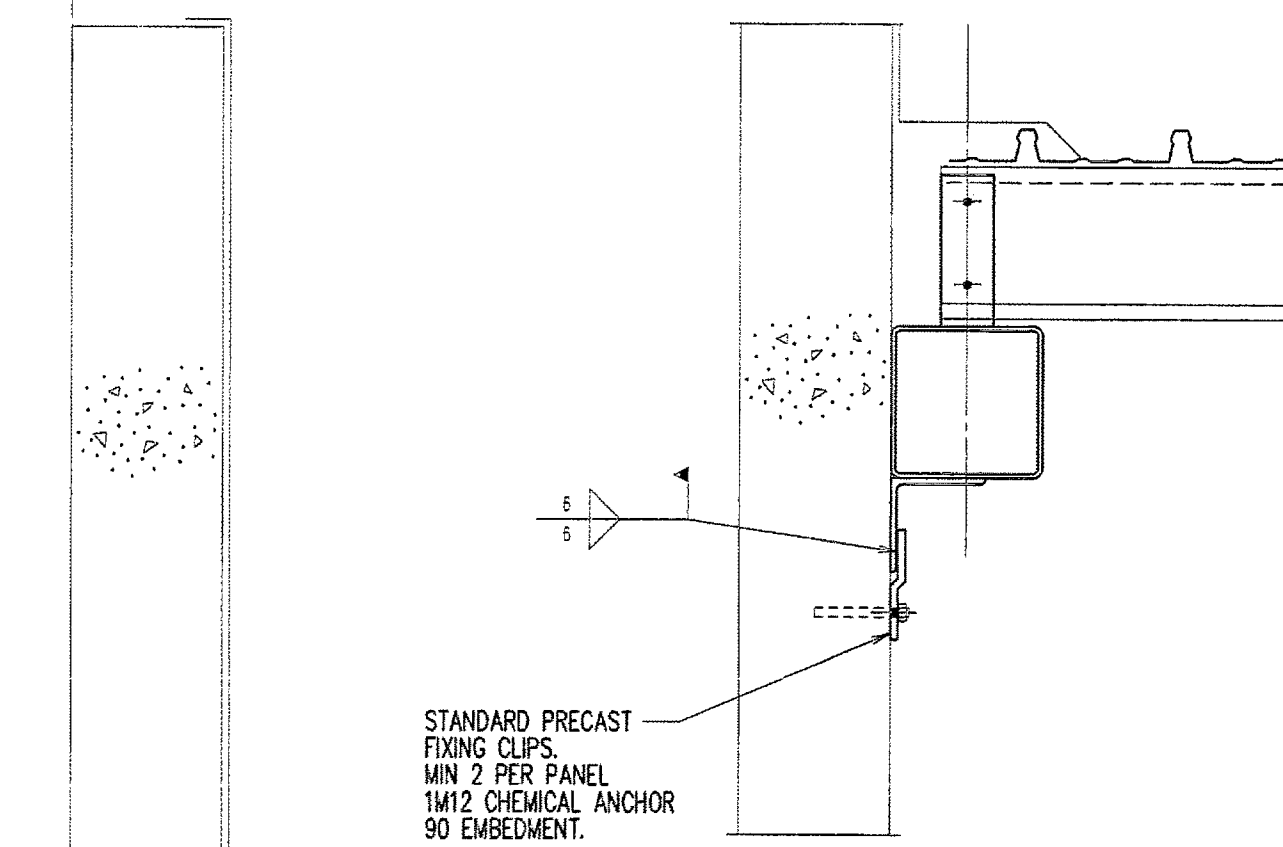


DETAIL 11
S08

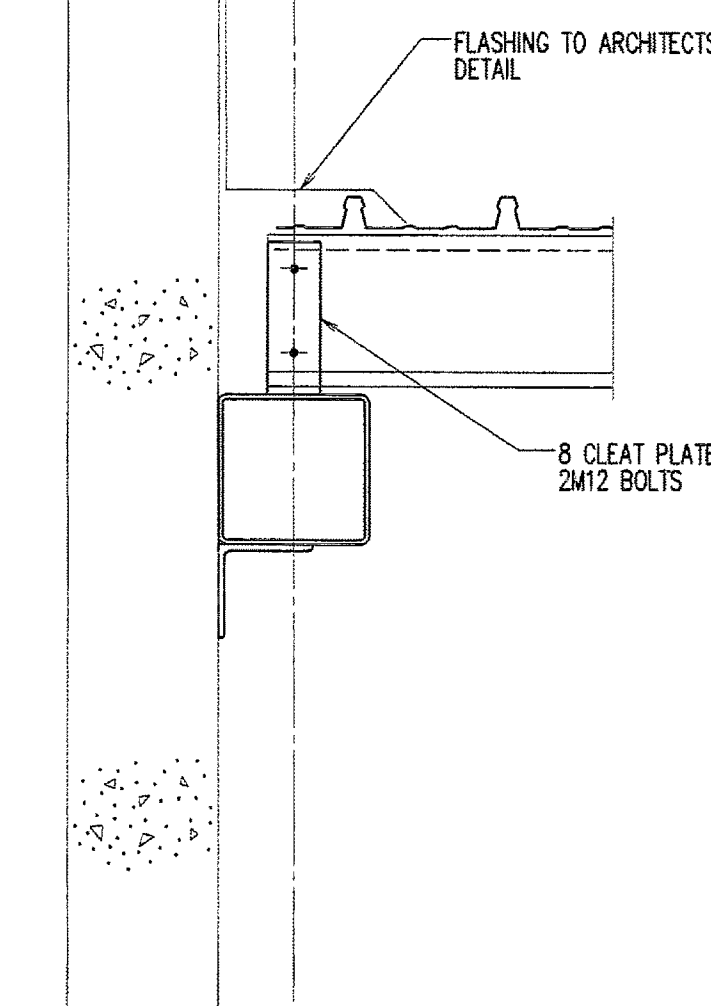


PLAN 11A
S08

1



TYPICAL PRECAST TOP FIXING DETAIL



SECTION 12
S08

Rev	Description	Eng	Draft	Date
G	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	R.M.	G.P.	26.05.07
F	REVISED AS CLOJED	R.M.	NA	27.03.07
E	ISSUED FOR CONSTRUCTION	R.M.	G.P.	23.01.07
D	REVISED AS NOTED	R.M.	G.P.	24.11.06
C	STEEL DETAILS ADDED	R.M.	G.P.	01.11.06
B	RE-ISSUED FOR TENDER	R.M.	G.P.	27.10.06
A	ISSUED FOR TENDER	R.M.	G.P.	10.10.06
P1	PRELIMINARY ISSUE	R.M.	G.P.	08.09.06

Project
**PITTWATER RSL
SMOKERS TERRACE
EXTENSIONS**

Sheet Subject
**ROOF STEELWORK
DETAILS SHEET 3**

Client
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Paynter Dixon Constructions Pty Limited
320 Liverpool Road, Ashfield NSW 2131
Tel (02) 9797 5555 Fax (02) 9799 6149
ABN 84 097 120 315

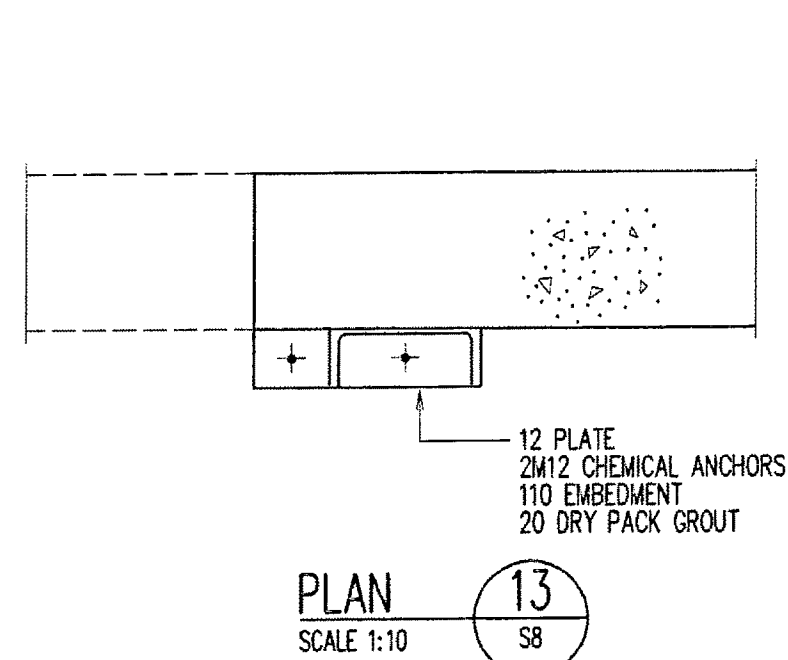
Architect
PDT ARCHITECTS
LEVEL 7, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010
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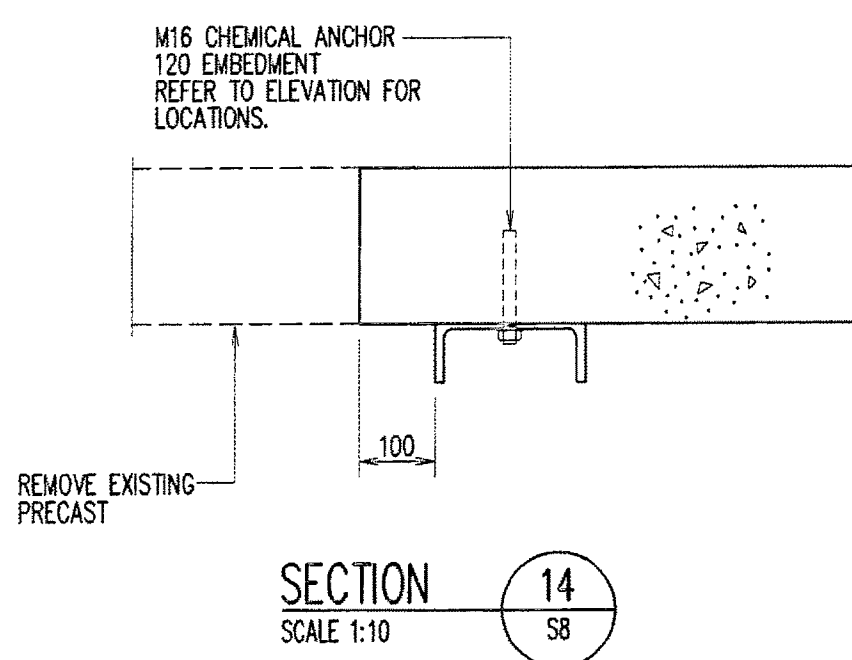
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Job No: 061117 Drawing No: S11 Revision: G

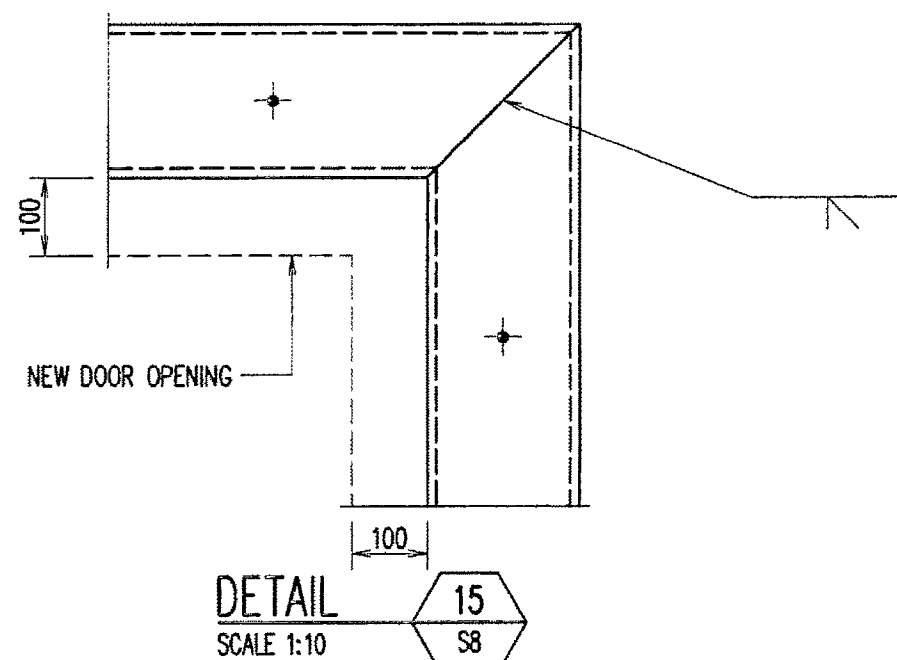
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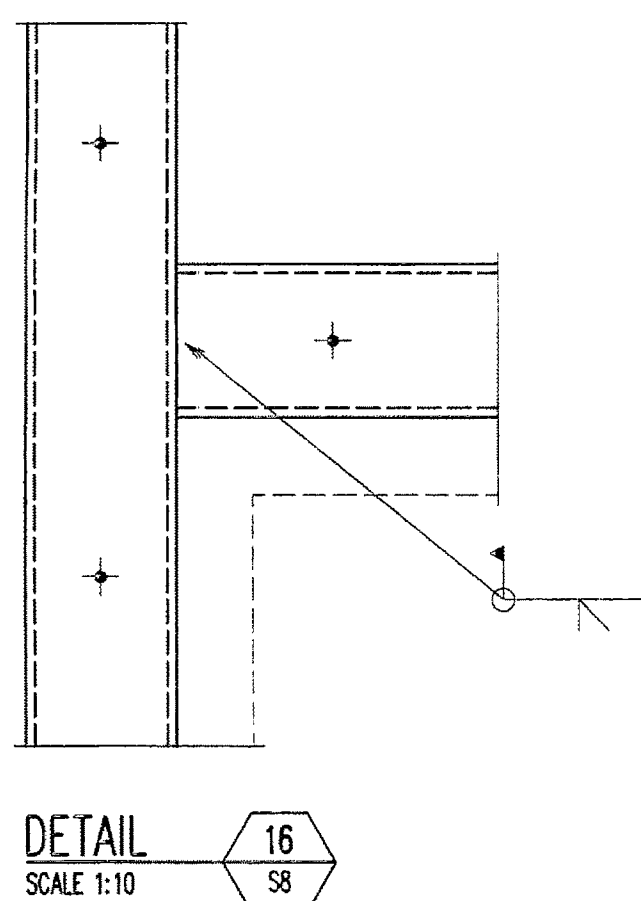
PLAN 13
SCALE 1:10
S8



SECTION 14
SCALE 1:10
S8

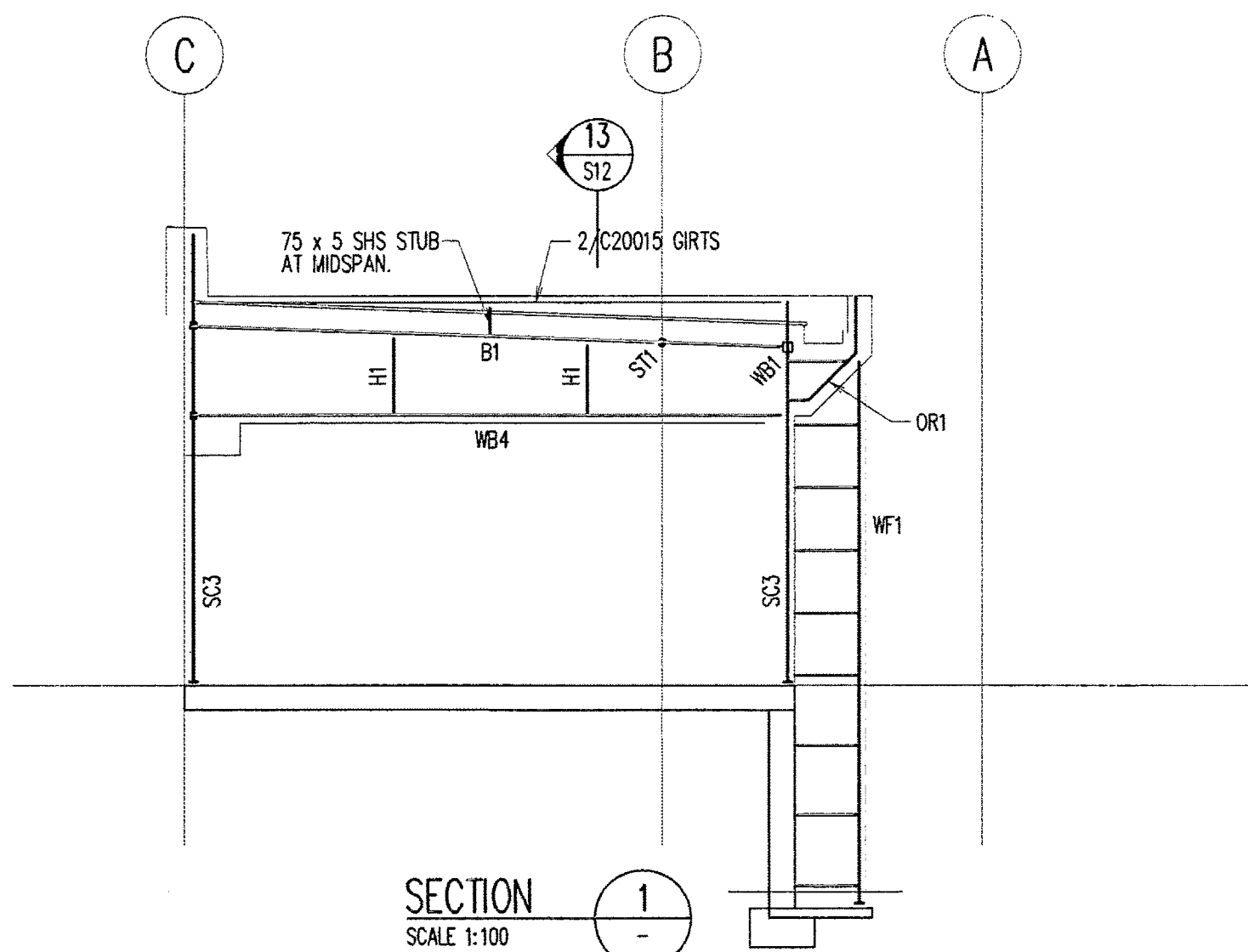


DETAIL 15
SCALE 1:10
S8

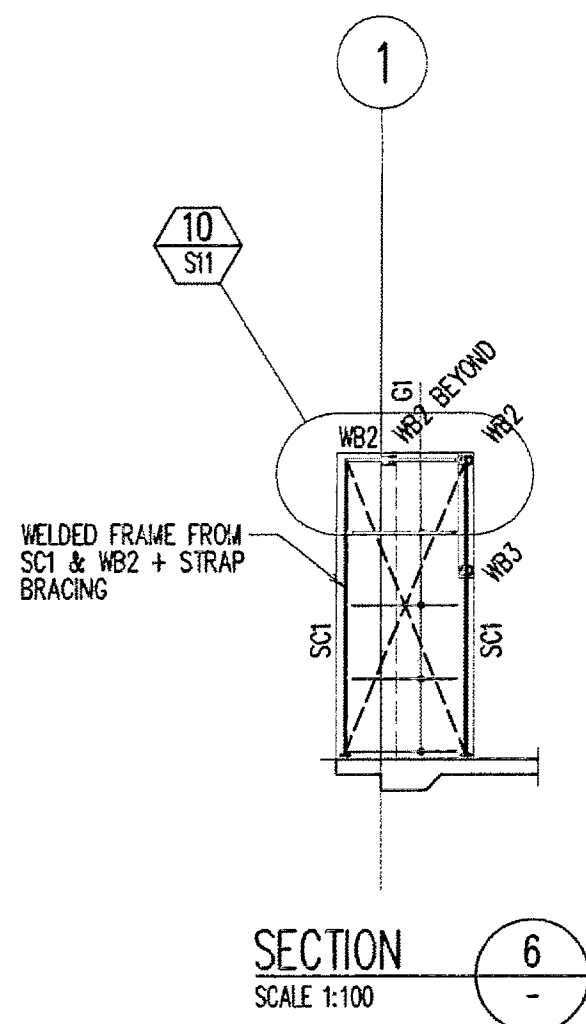
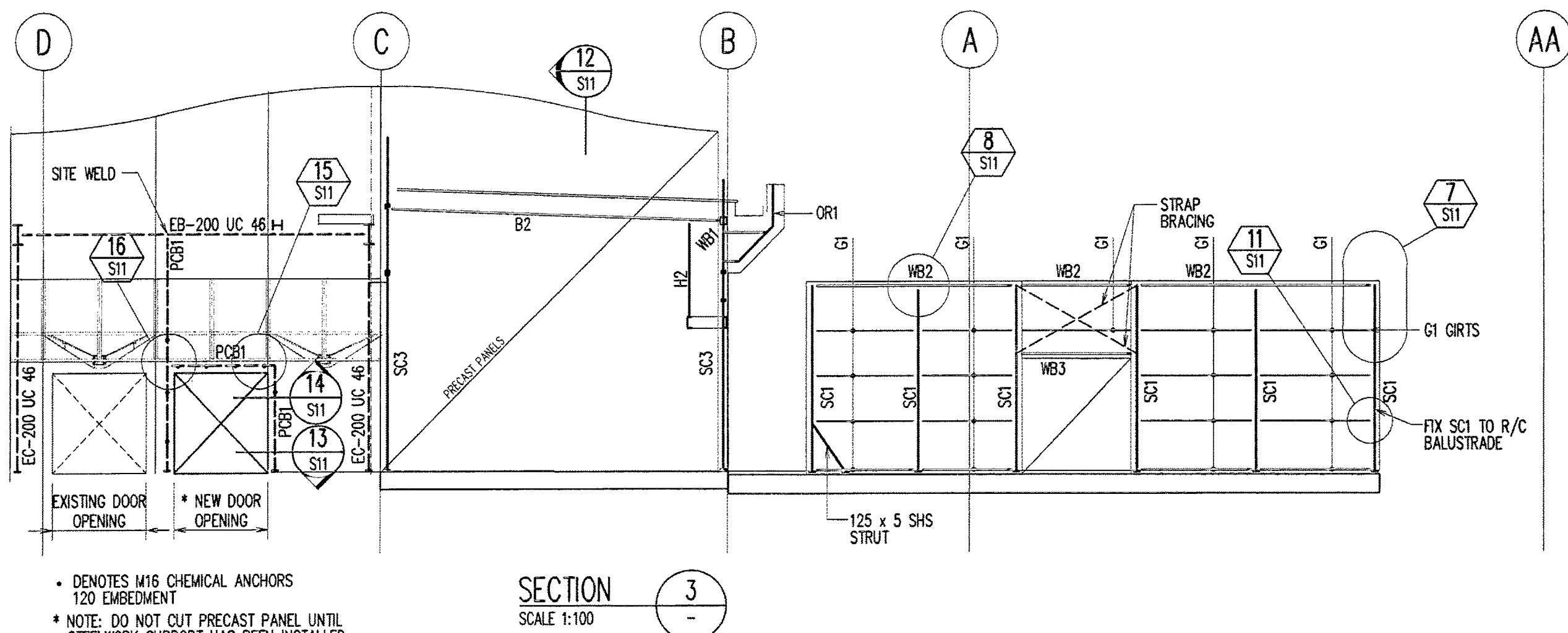
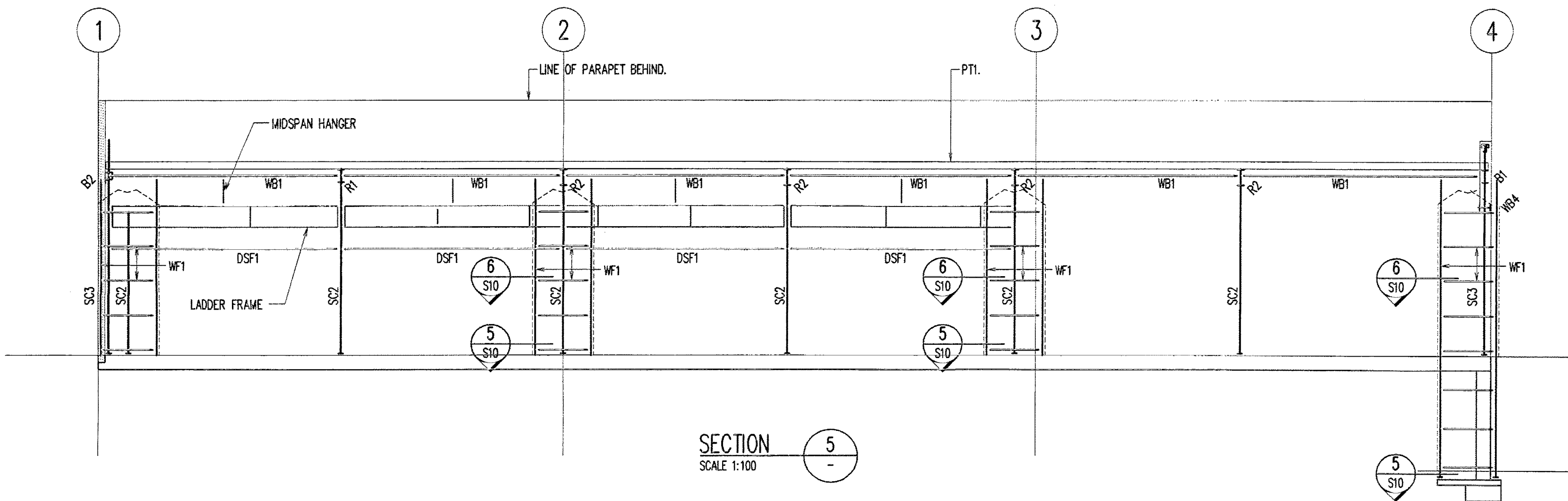
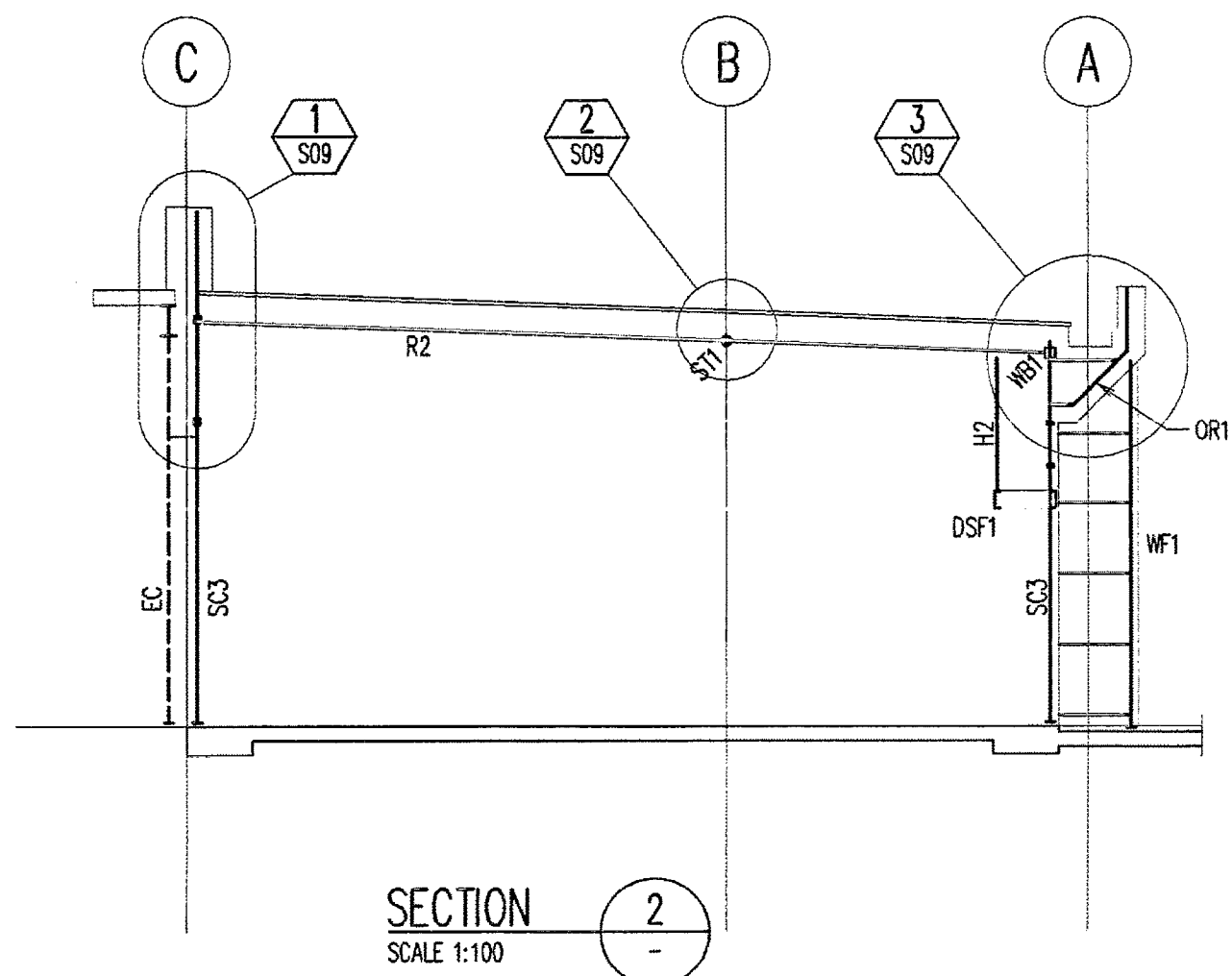
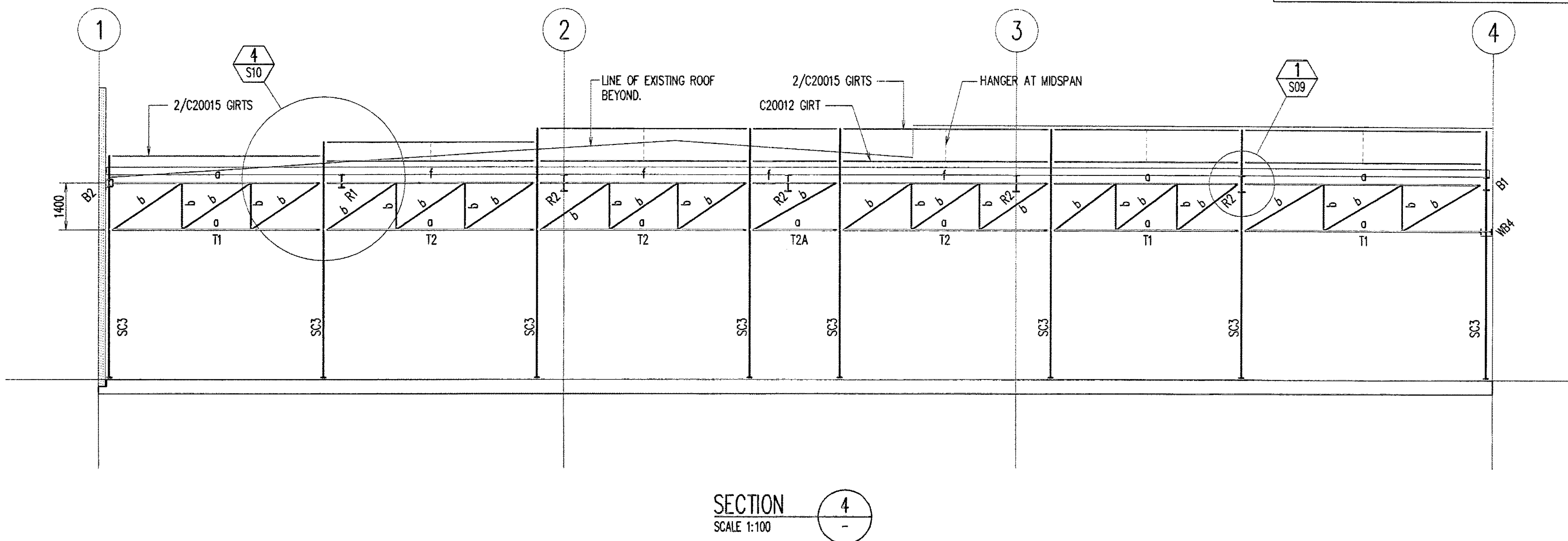


DETAIL 16
SCALE 1:10
S8

REFER TO DRAWING S00 FOR STRUCTURAL NOTES



MARK	TYPE	SIZE
a	TOP/BOTTOM CHORD	125 x 75 x 5 RHS
b	VERTICAL/DIAGONAL	125 x 75 x 5 RHS
d	BOTTOM CHORD	200 UB 30
f	TOP CHORD	125 x 125 x 6 SHS
c & e	NOT USED	



h	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	R.M.	G.P.	28.06.07
g	REVISED AS CLOUSED	R.M.	N.A.	27.03.07
f	ISSUED FOR CONSTRUCTION	R.M.	G.P.	23.07.07
e	FRAMING DELETED TO MATCH ARCH CHANGES	R.M.	G.P.	23.07.07
d	SLOING DOOR SUPPORT FRAMING ADDED	R.M.	G.P.	10.07.07
c	REVISED AS NOTED	R.M.	G.P.	24.11.06
b	LADDER FRAMING ADDED SECTION 5	R.M.	G.P.	01.11.06
a	RE-ISSUED FOR TENDER	R.M.	G.P.	27.10.06
	PRECAST SUPPORT BEAMS ADDED	R.M.	G.P.	25.10.06
	ISSUED FOR TENDER	R.M.	G.P.	10.10.06
p1	PRELIMINARY ISSUE	R.M.	G.P.	08.09.06

Rev Description Eng Draft Date

PITTWATER RSL SMOKERS TERRACE EXTENSIONS

Sheet Subject
ROOF STEELWORK ELEVATIONS

Client
PAYNTER DIXON
Paynter Dixon Constructions Pty Limited
320 Liverpool Road, Ashfield NSW 2131
Tel (02) 9797 5555 Fax (02) 9799 6149
ABN 84 097 120 315

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PDT ARCHITECTS
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Scale: A1
1:100
Job No: 061117
Drawing No: S08
Revision: H
Plot File Created: May 28, 2007 - 9:03am

REFER TO DRAWING S00 FOR STRUCTURAL NOTES

STEEL MEMBER SCHEDULE		
MARK	TYPE	SIZE
SC1	COLUMN	150 x 150 x 6.0 SHS
SC2	COLUMN	150 x 150 x 6.0 SHS
SC3	COLUMN	200 UC 59
R1	RAFTER	360 UB 50 + 1 FLYBRACE / SPAN
R2	RAFTER	460 UB 67 + 2 FLYBRACE / SPAN
B1	BEAM	360 UB 45
B2	BEAM	200 x 200 x 9 SHS + 100 EA
ST1	STRUT	114 DIA x 4.8 CHS
ST2	STRUT	125 x 5 SHS
WB1	WIND BEAM	150 x 150 x 5.0 SHS
WB2	WIND BEAM	150 x 100 x 5.0 RHS
WB3	WIND BEAM	150 x 50 x 5.0 RHS
WB4	WIND BEAM	310 UB 32
WB5	WIND BEAM	2 / 250 x 75 PFC
WC1	WIND COLUMN	150 x 150 x 6.0 SHS
WF1	WELDED FRAME	SEE DETAIL DRG S10
OR1	OUTRIGGER FRAME	SEE DETAIL 3/S09
T1, T2, T2A	TRUSS	REFER TO ELEVATIONS DRG S08
H1	HANGER	310 UB 32
H2	HANGER	75 x 5 SHS
DSF1	DOOR SUPPORT FRAME	REFER TO DRG S12
o	BRACING	65 x 65 x 6.0 E.A. CLIP TO EVERY PURLIN
P1	PURLINS	SZ20019 AT 1200 CTS BRIDGING AT MIDSPAN
PT1	PURLIN TRIMMER	SC20024 CUTTER TO BE FACED TO SUIT STRAIGHT PTT
G1	GIRT	C15012 AT 900 CTS

ALL PURLINS TO BE GRADE AS1397/C450-2350 U.N.O.

1	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	R.M.	GJP	28.05.07
2	REVISED AS CLOUSED	R.M.	NA	27.03.07
3	ISSUED FOR CONSTRUCTION	R.M.	GJP	23.01.07
4	HANGER COLUMN ADDED FOR DOOR SUPPORT FRAME	R.M.	GJP	10.01.07
5	REVISED AS NOTED	R.M.	GJP	24.11.06
6	STEEL COLUMNS MOVED	R.M.	GJP	01.11.06
7	RE-DESIGNED FOR TENDER	R.M.	GJP	27.10.06
8	ISSUED FOR TENDER	R.M.	R.C.L.	10.10.06
9	PRELIMINARY ISSUE	R.M.	R.C.L.	08.08.06

Rev Description Eng Draft Date

Project

PITTWATER RSL SMOKERS TERRACE EXTENSIONS

Sheet Subject

ROOF STEELWORK MARKING PLAN

Client
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Paynter Dixon Constructions Pty Limited
320 Liverpool Road, Ashfield NSW 2131
Tel (02) 9797 5555 Fax (02) 9799 6149
ABN 64 097 120 315

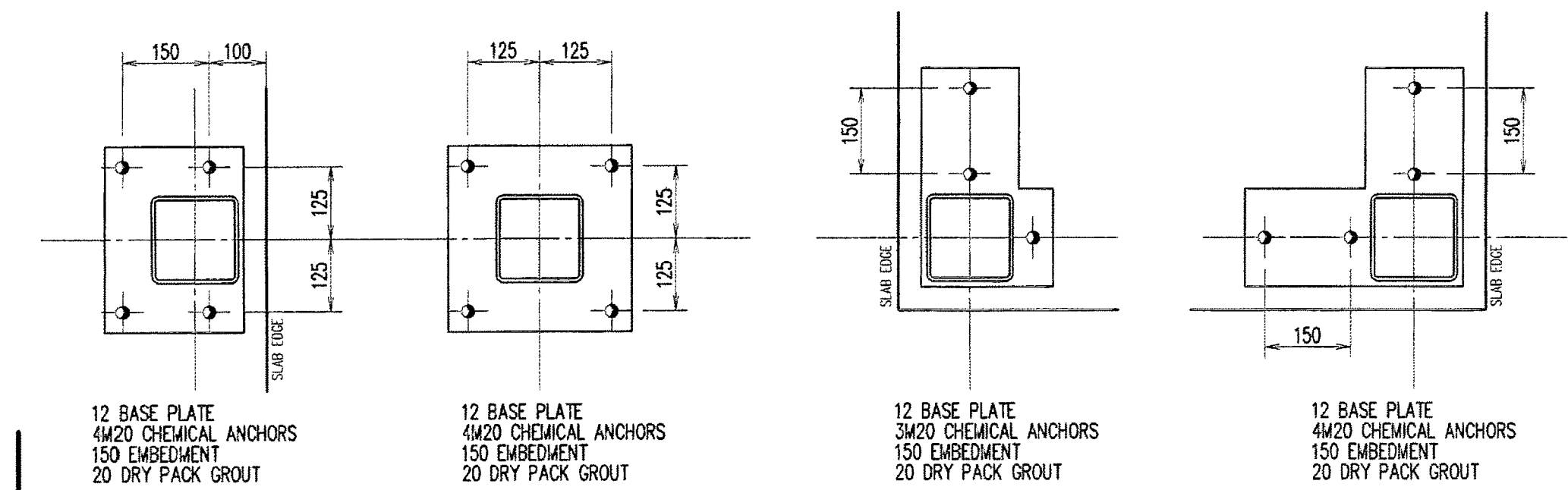
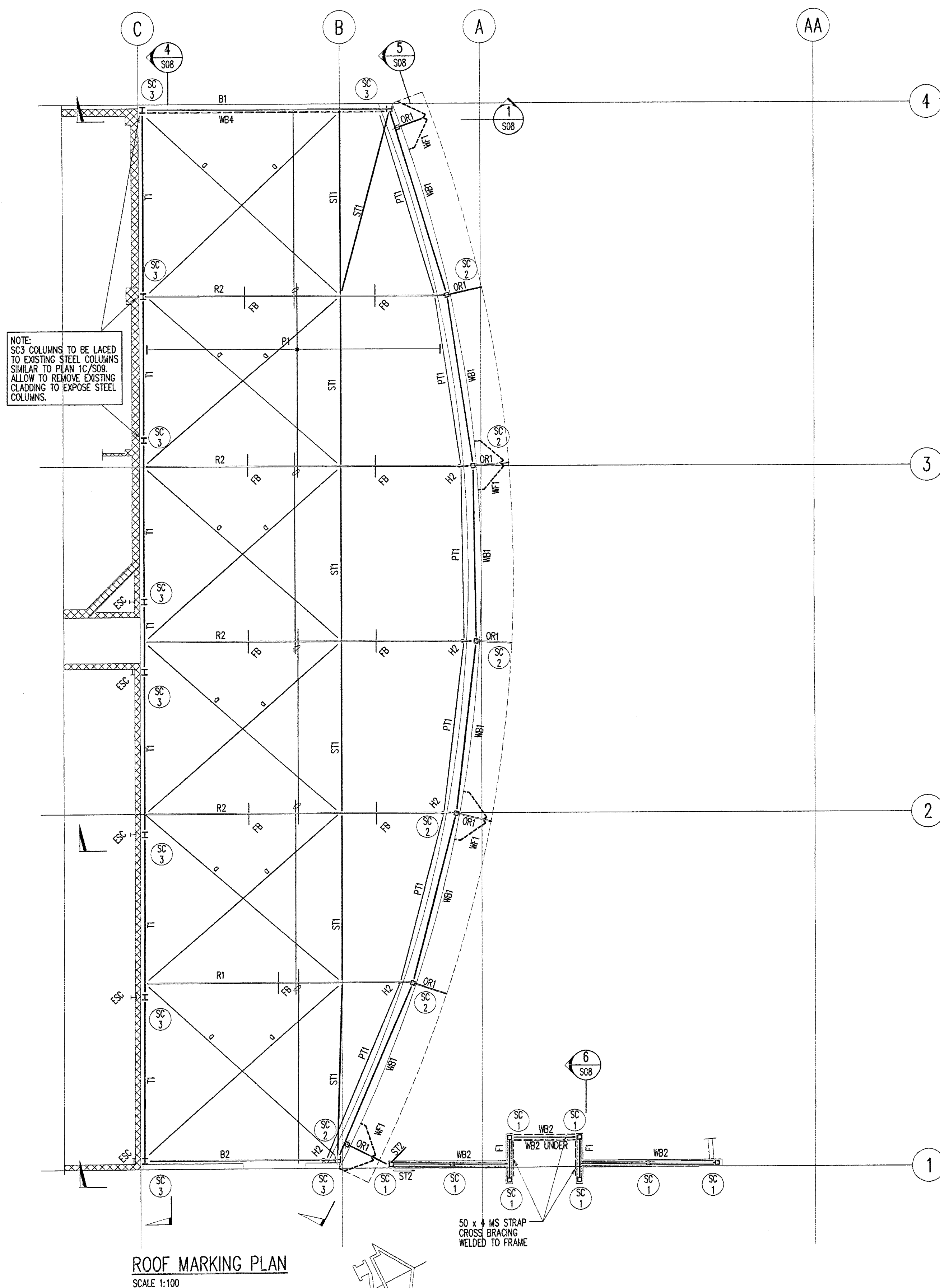
Architect
PDT ARCHITECTS
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T: +61 2 9439 7288 F: +61 2 9439 3146 ttwytd@tw.com.au
Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 878 377

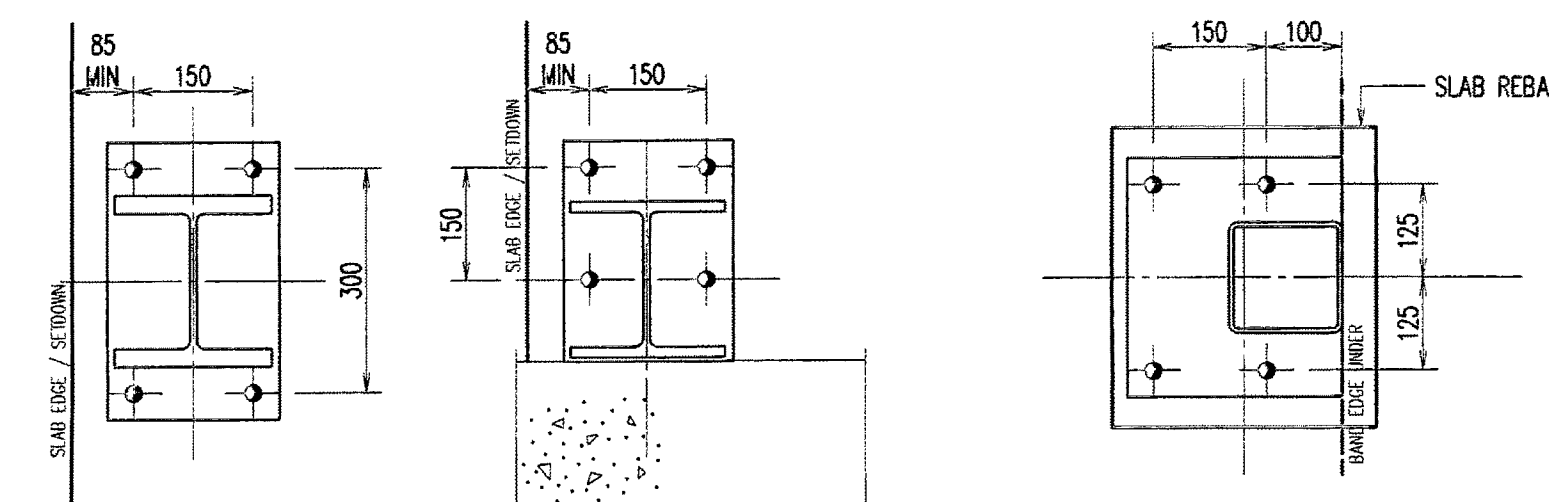
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1:100, 1:20 G.J.P.

Job No Drawing No Revision
061117 S07 H

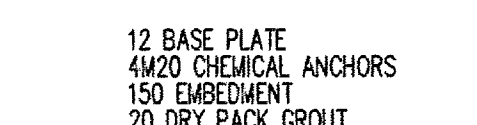
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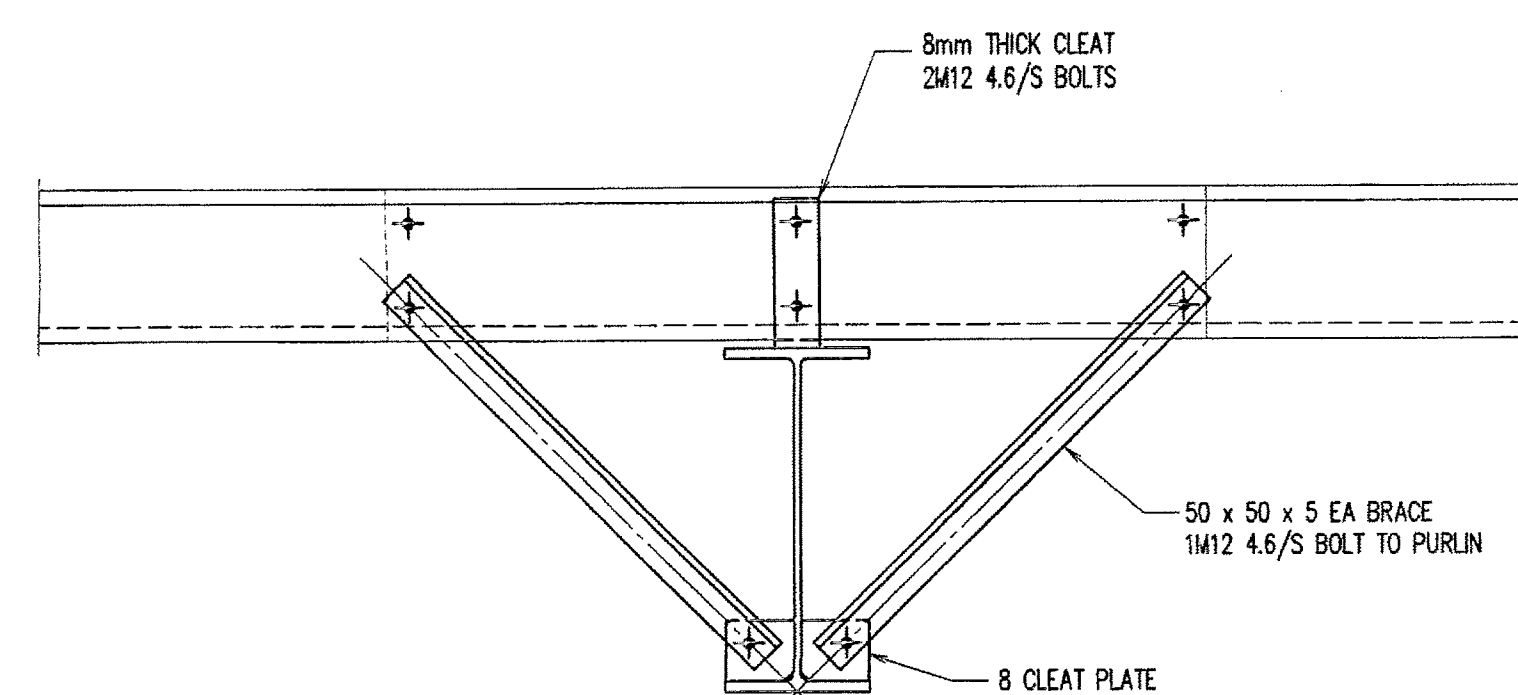
SC1



SC3



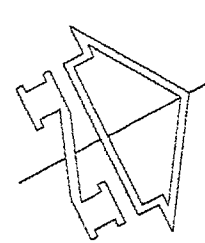
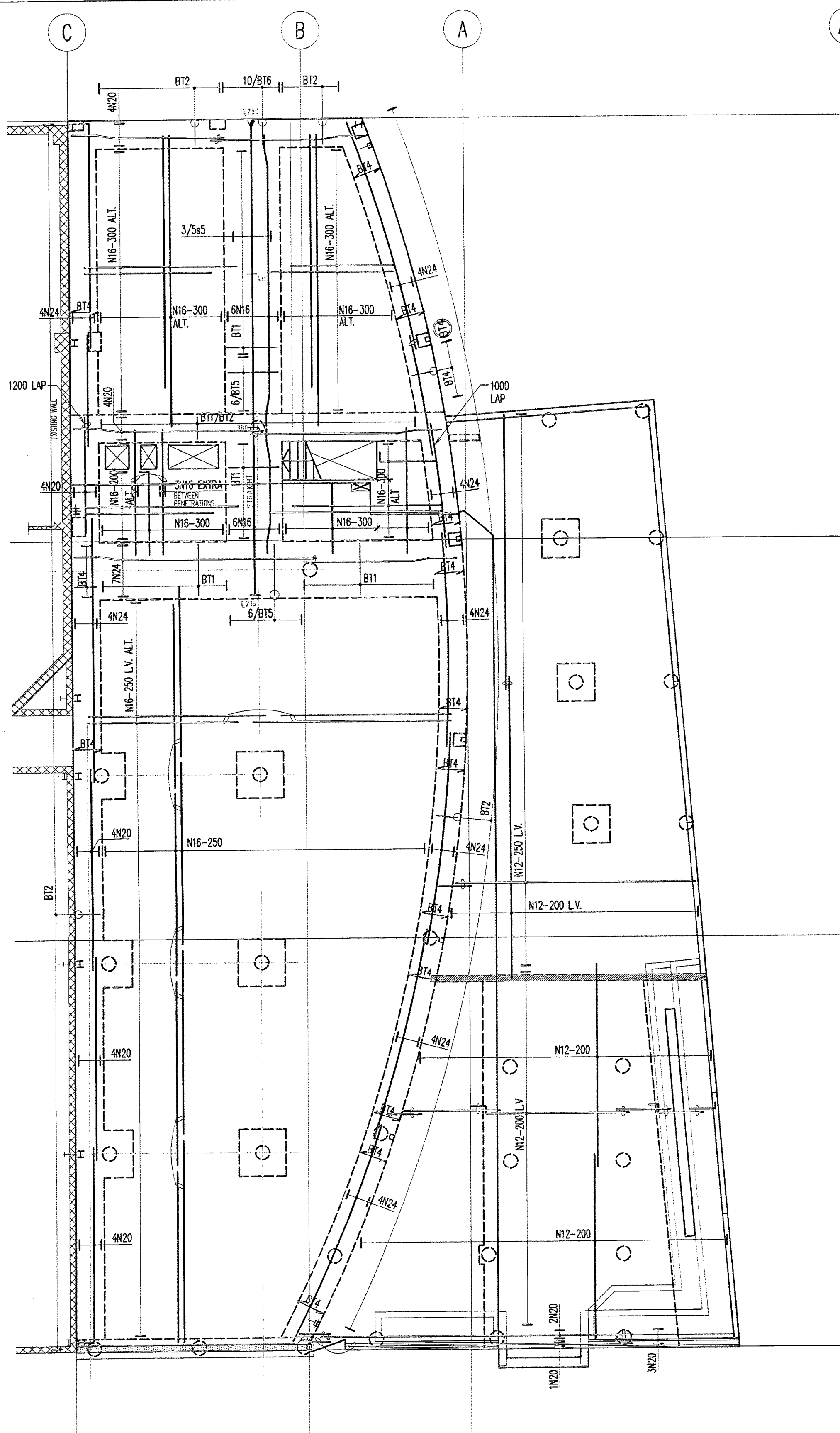
SC2



TYPICAL FLY BRACE DETAIL

BAND TIE TYPE SCHEDULE		
TAG	TE SIZE & SPACING	TYPE
BT1	N12-300	
BT2	N12-300	
BT3	N12-300	
BT4	9N12-300 EXTRA	
BT5	3N12-300	
BT6	2N12-200	

NOTE:
1. REFER TO PLAN FOR BAND DIMENSION
2. ON PLAN - 8/BT4 DENOTES 8 SPACES OF THE TYPE BT4



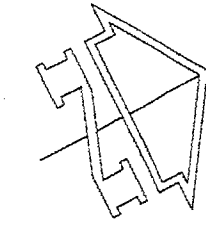
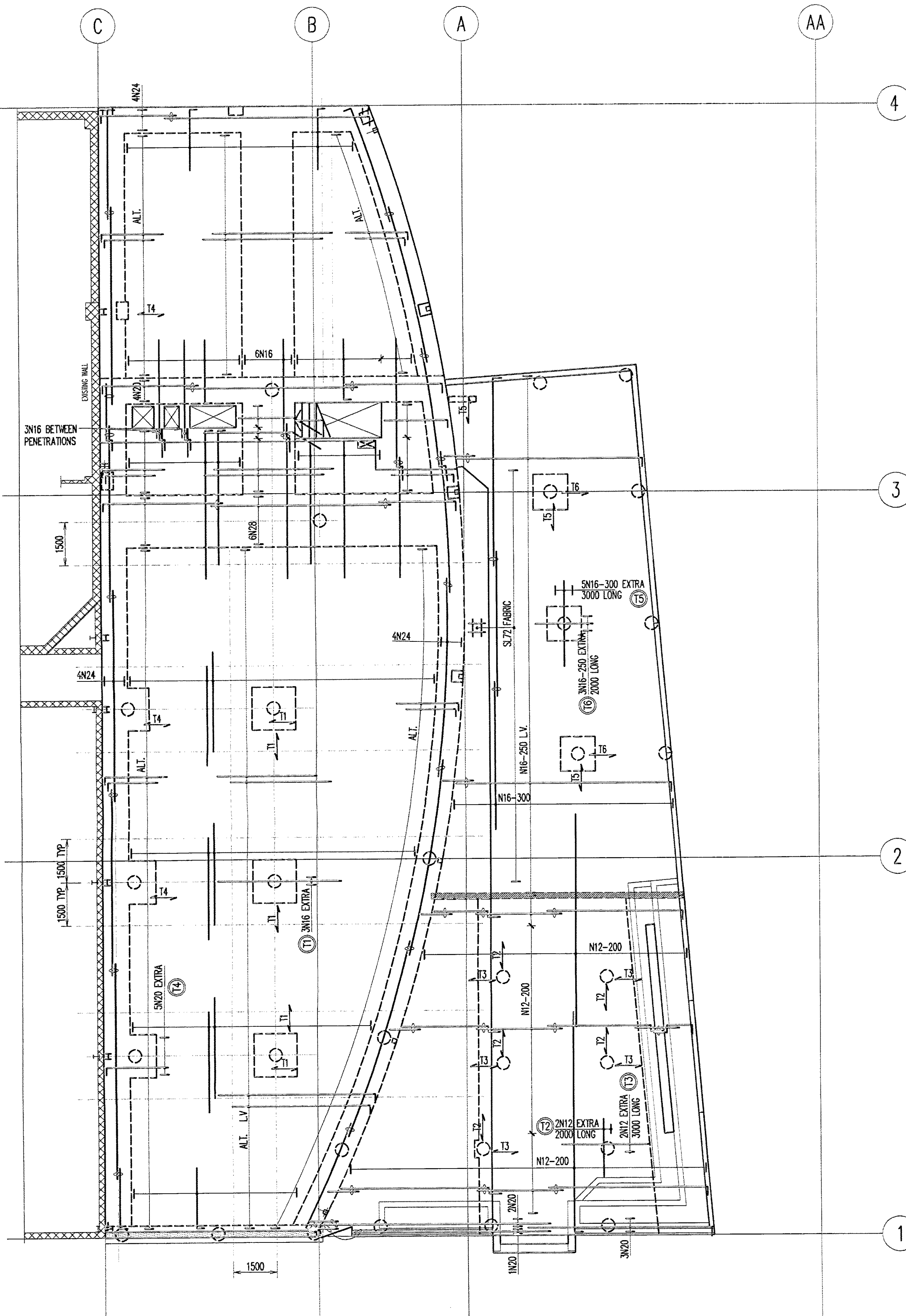
GROUND FLOOR POST TENSIONING & BOTTOM REINFORCEMENT PLAN

SCALE 1:100

NOTES:



BAR LAYING SEQUENCE



GROUND FLOOR TOP REINFORCEMENT PLAN

SCALE 1:100

NOTES:
1. ALL REINFORCEMENT TO BE N16-250 UNL0

ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	R.M.	G.P.	28.08.07
TERRACE REINFT REVISD TO SUIT NEW SHAPE	R.M.	G.P.	29.03.07
ISSUED FOR CONSTRUCTION	R.M.	G.P.	21.01.07
REVISED TO SUIT AS BUILT COLUMN LOCATIONS	R.M.	G.P.	18.12.06
REVISED TO SUIT SLAB STEPS & FALLS	M.K.	G.P.	28.11.06
RE-ISSUED FOR TENDER	M.K.	G.P.	27.10.06
ISSUED FOR TENDER	M.K.	N.A.	28.09.06

Project
**PITTWATER RSL
SMOKERS TERRACE
EXTENSIONS**

Sheet Subject
**GROUND FLOOR
REINFORCEMENT & POST
TENSIONING PLANS**

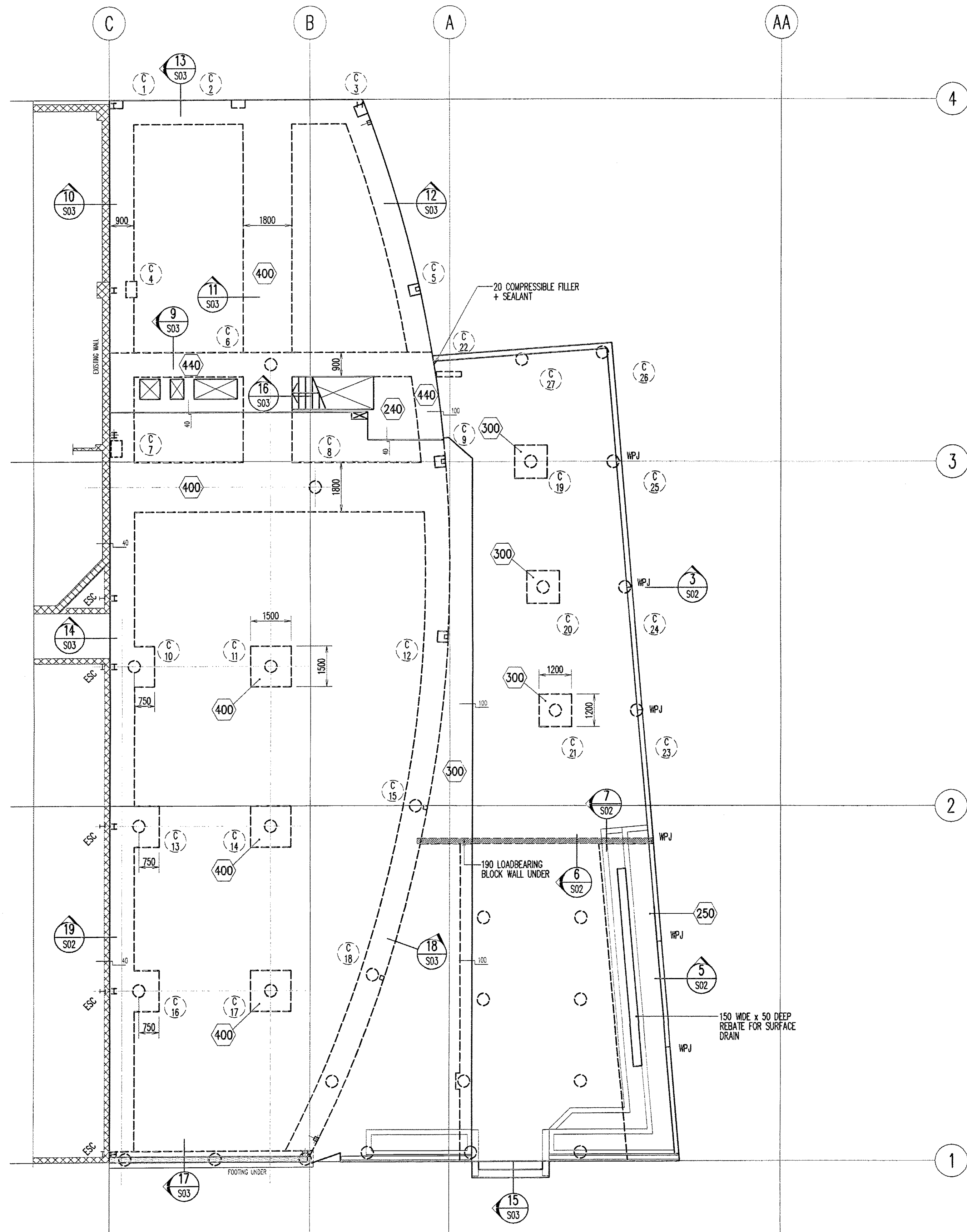
Client
PAYNTER DIXON
Paynter Dixon Constructions Pty Limited
320 Liverpool Road, Ashfield NSW 2131
Tel (02) 9797 5555 Fax (02) 9789 6149
ABN 84 097 120 315

Architect
PDT ARCHITECTS
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T: +61 2 9439 7288 F: +61 2 9439 3146 ttw@tdw.com.au
Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 578 377

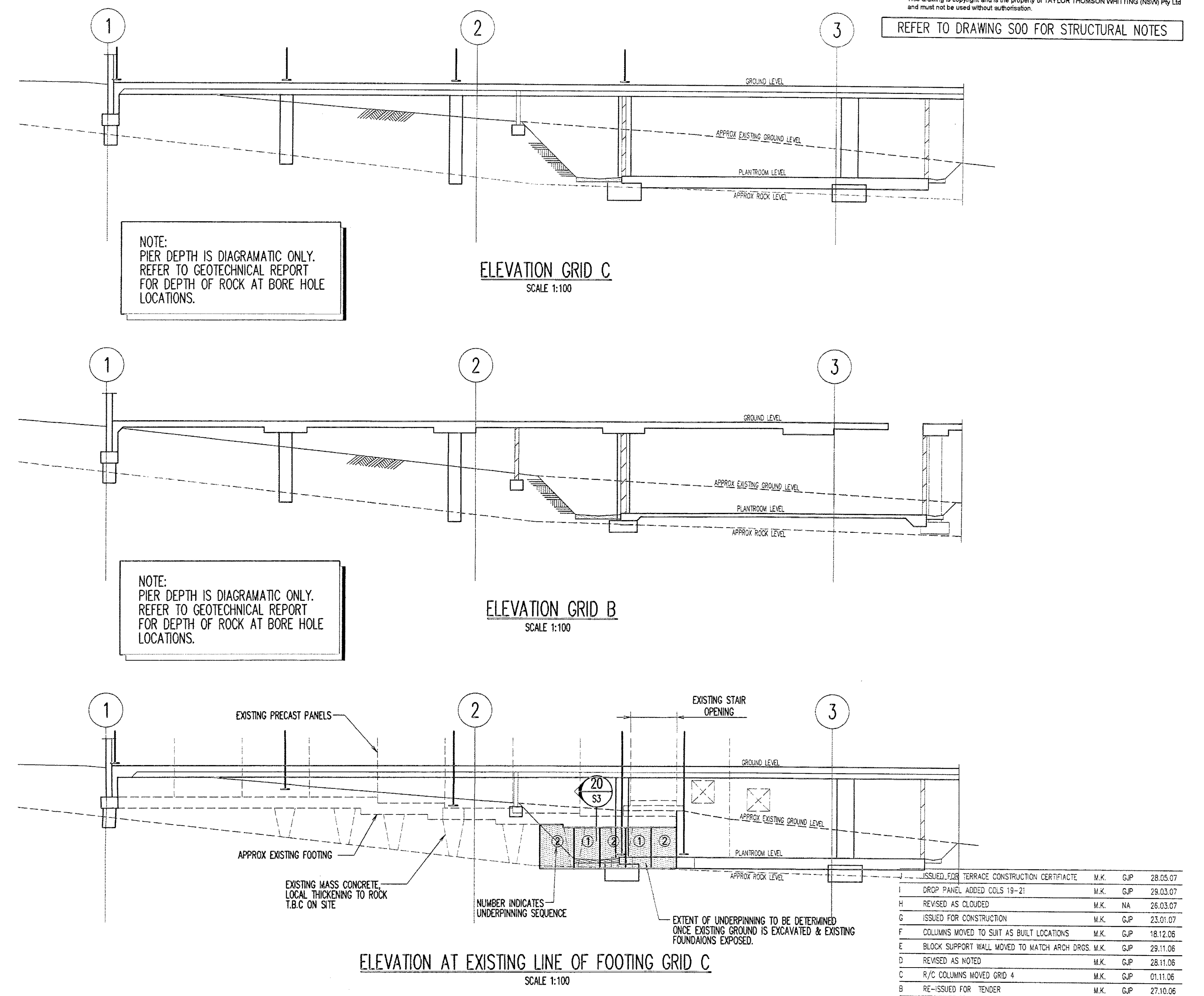
Scale: A1
1:100
Drawn: G.J.P.
Authorised:
Job No: 061117
Drawing No: S05
Revision: G

Plot File Created: May 28, 2007 - 8:02am



GROUND FLOOR PLAN - 200 SLAB U.N.O.
SCALE 1:100

- NOTES:**
1. ESC DENOTES EXISTING STEEL COLUMN
 2. XXXXXXXX DENOTES EXISTING WALL
 3. FOR LOCATION OF CAST IN DRAINS TO TERRACE AREA REFER TO CIVIL DRAWINGS.



Rev	Description	Eng	Draft	Date
1	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	M.K.	G.P.	28.05.07
2	CRIP PANEL ADDED COLS 19-21	M.K.	G.P.	28.05.07
3	REVISED AS CLOUSED	M.K.	NA	28.05.07
4	ISSUED FOR CONSTRUCTION	M.K.	G.P.	23.01.07
5	COLUMNS MOVED TO SUIT AS BUILT LOCATIONS	M.K.	G.P.	18.12.06
6	BLOCK SUPPORT WALL MOVED TO MATCH ARCH DRGS.	M.K.	G.P.	28.11.06
7	REVISED AS NOTED	M.K.	G.P.	01.11.06
8	R/C COLUMNS MOVED GRID 4	M.K.	G.P.	27.10.06
9	RE-ISSUED FOR TENDER	M.K.	G.P.	13.10.06
10	UNDERPINNING ELEVATION ADDED	M.K.	G.P.	26.09.06
11	ISSUED FOR TENDER	M.K.	G.P.	25.08.06
12	PRELIMINARY ISSUE FOR COSTING	M.K.	G.P.	08.08.06
13	PRELIMINARY ISSUE	M.K.	R.C.L.	

PITWATER RSL SMOKERS TERRACE EXTENSIONS

Sheet Subject
GROUND FLOOR PLAN

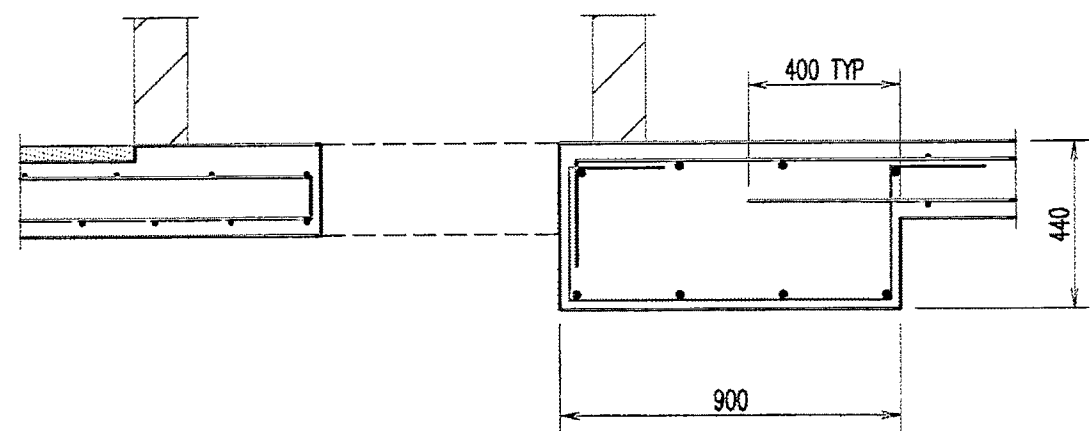
Client
PAYNTER DIXON
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ABN 84 097 120 315

Architect
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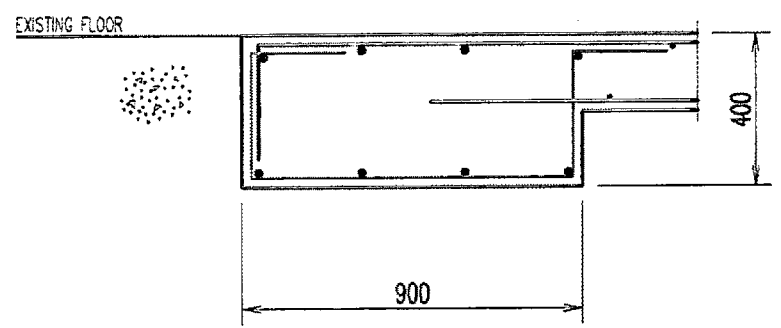
Consulting Engineers
TaylorThomsonWhitting
48 Chandos Street St Leonards NSW 2065
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Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 579 377

Scale : A1	Drawn	Authorised
1:100	R.C.L.	
Job No	Drawing No	Revision
061117	S04	J
Plot File Created: May 28, 2007 - 9:02am		

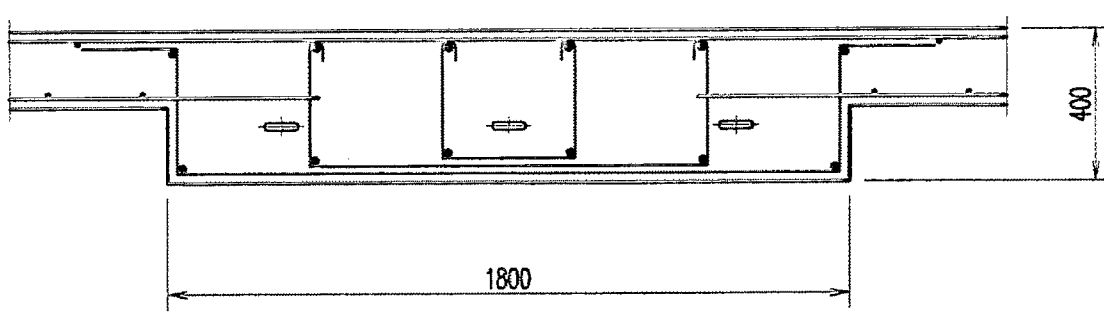
REFER TO DRAWING S00 FOR STRUCTURAL NOTES



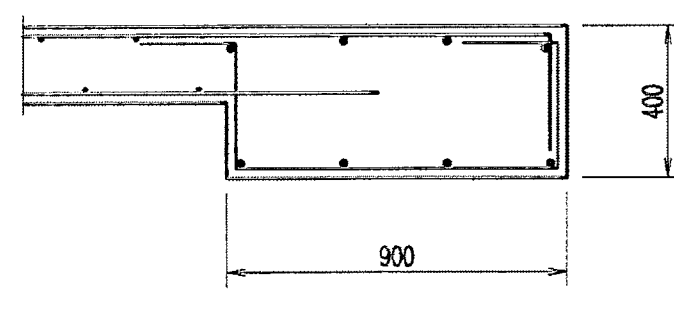
SECTION 9
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S04



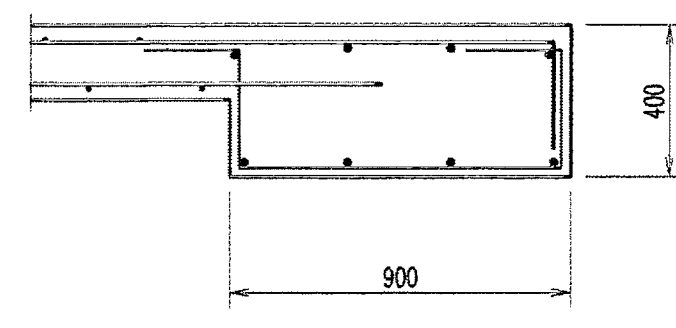
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S04



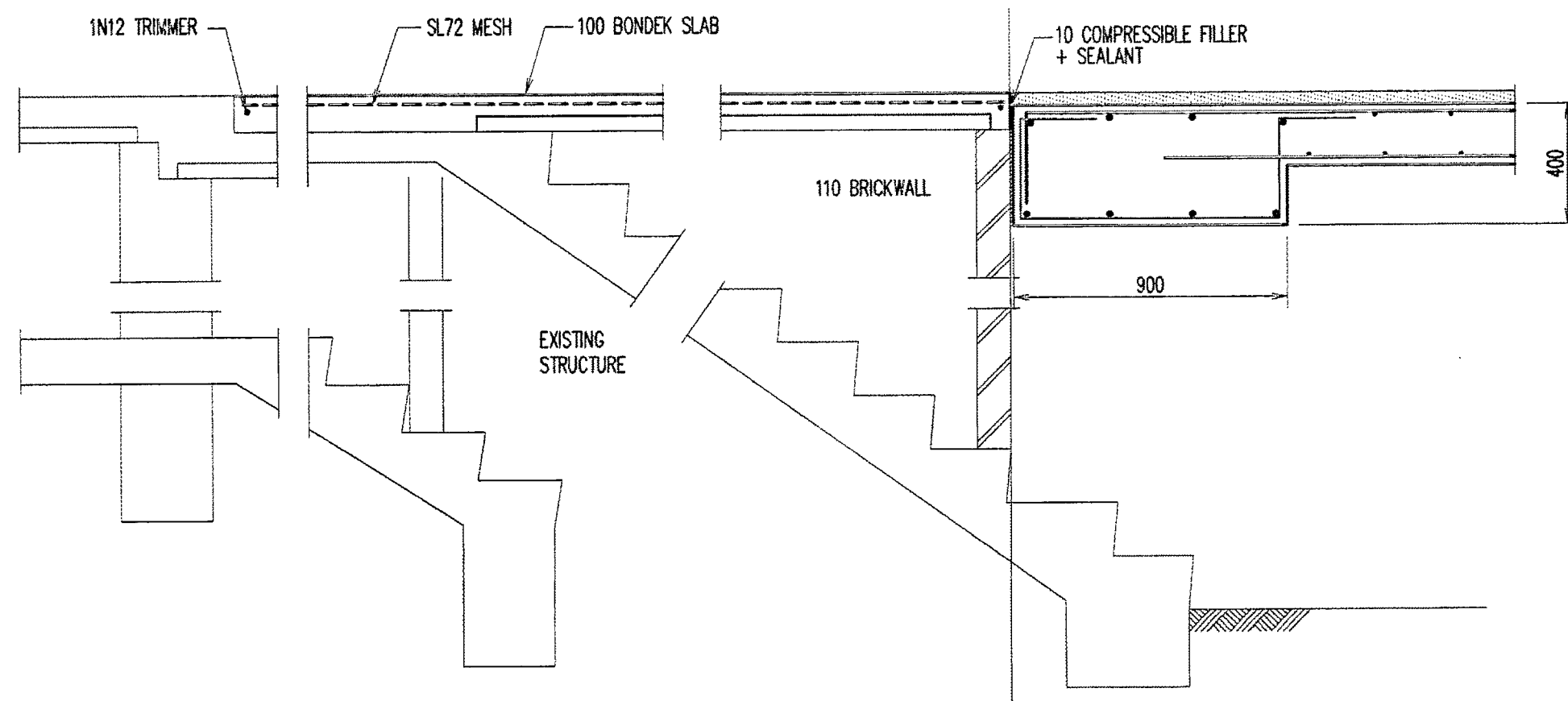
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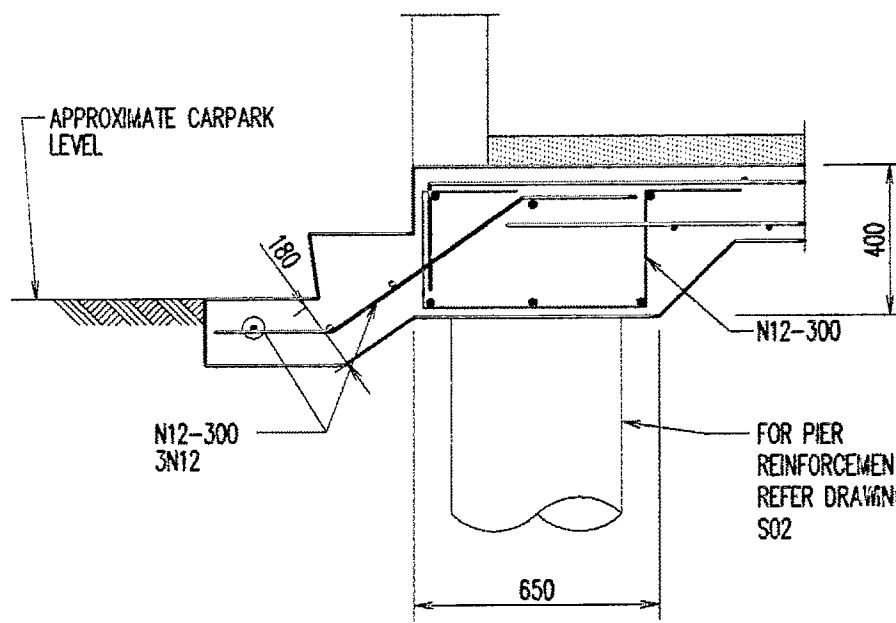
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S04



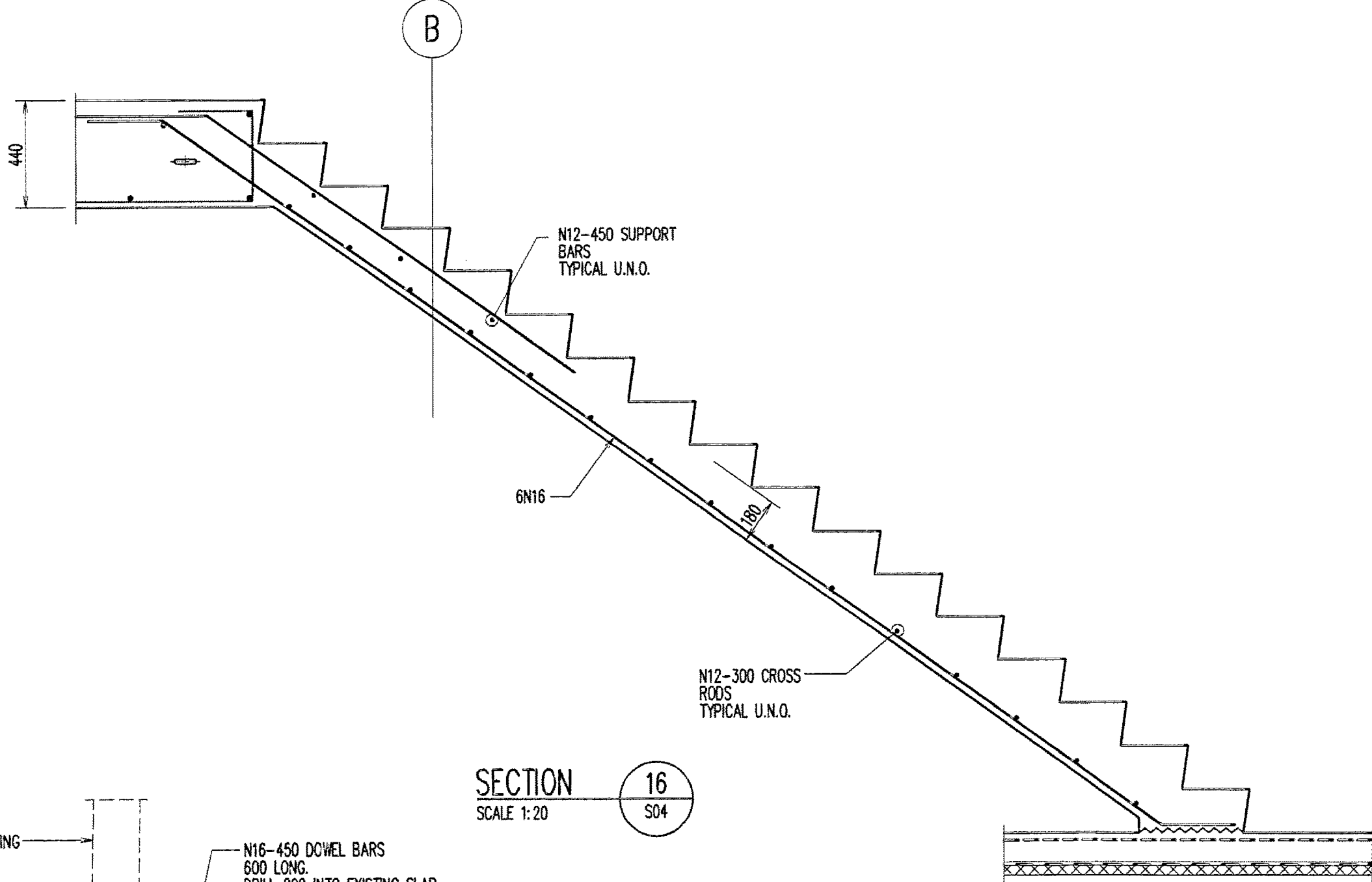
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S04



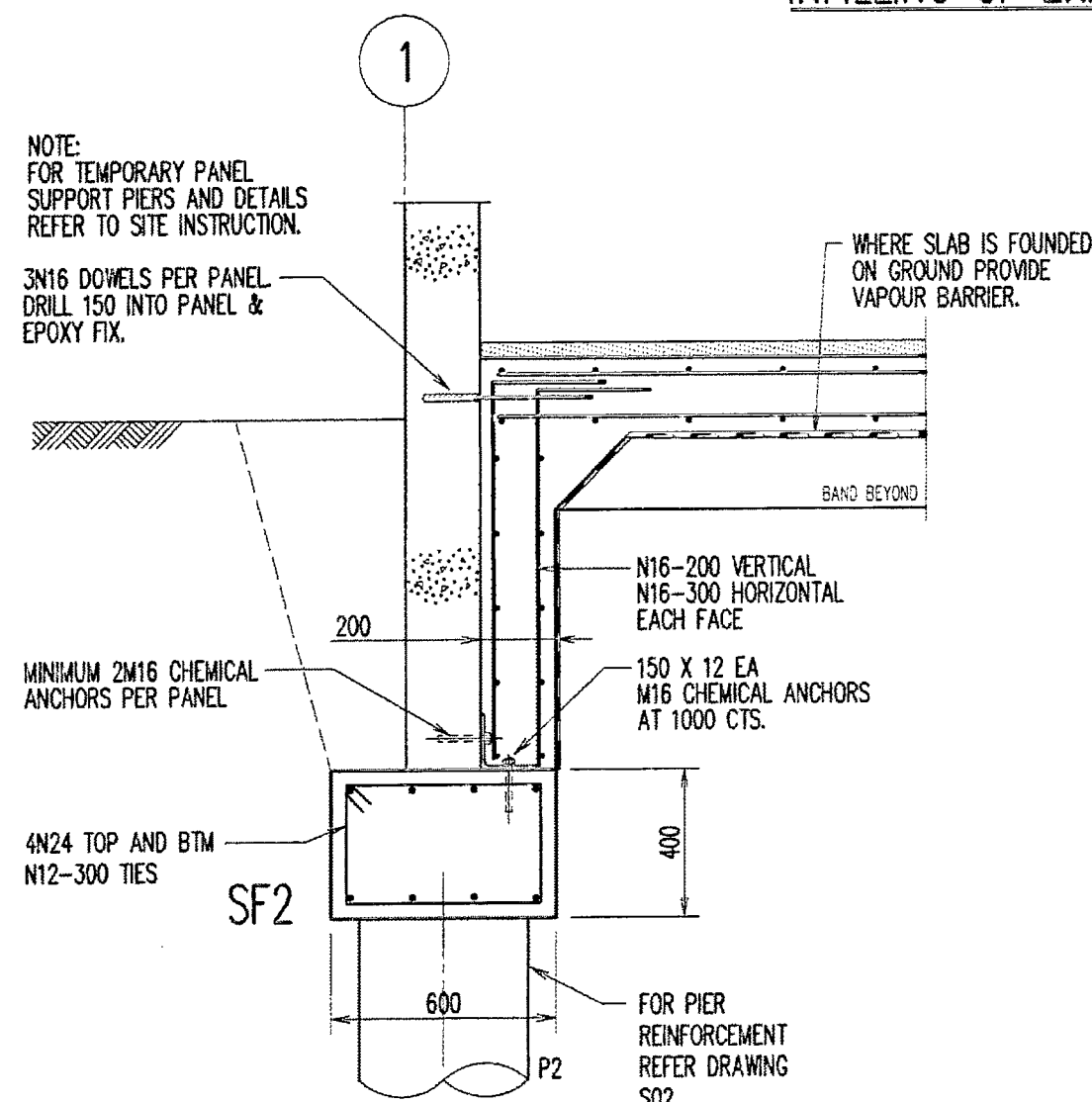
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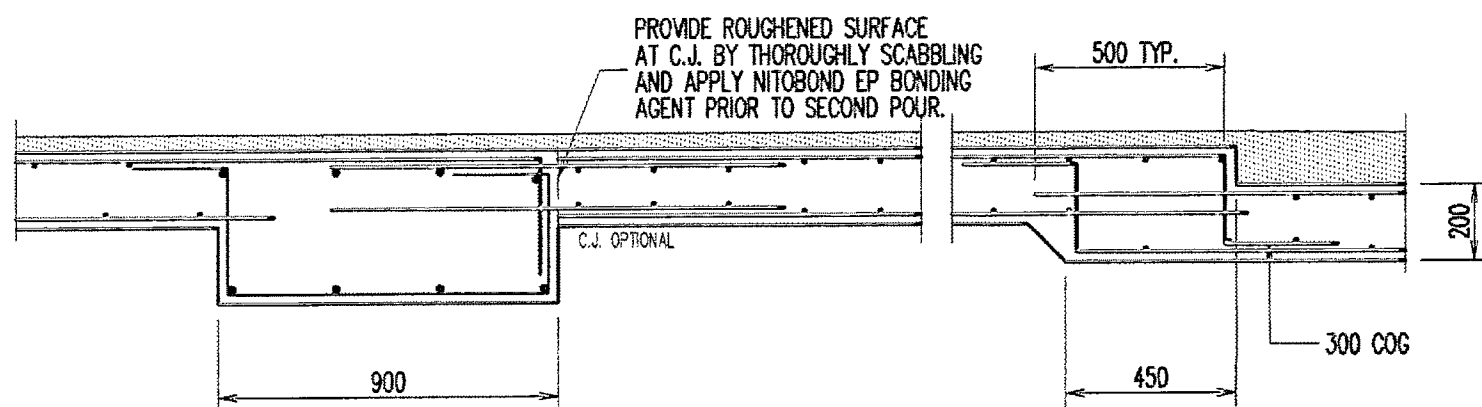
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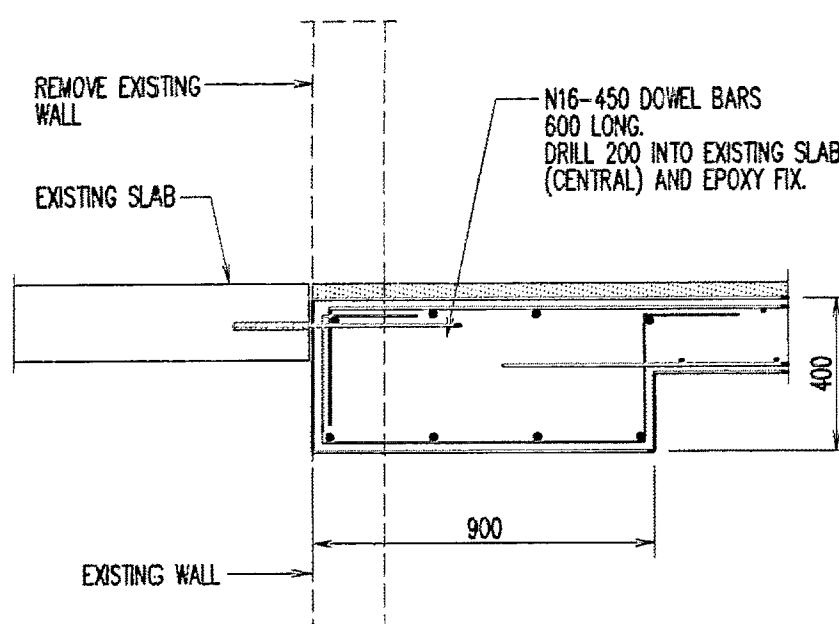
SECTION 16
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S04



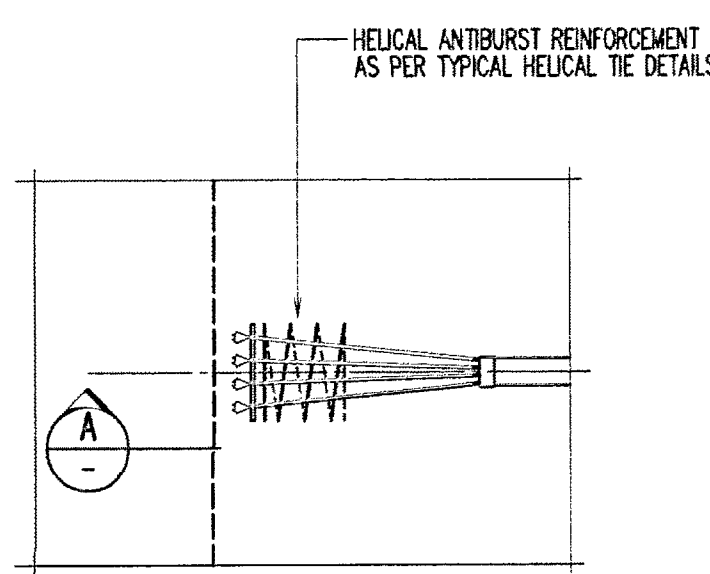
SECTION 17
SCALE 1:20
S01,04



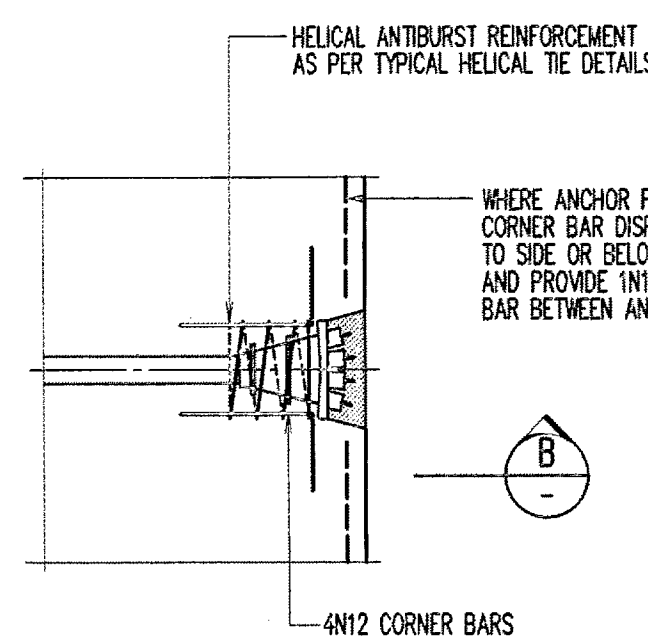
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S04



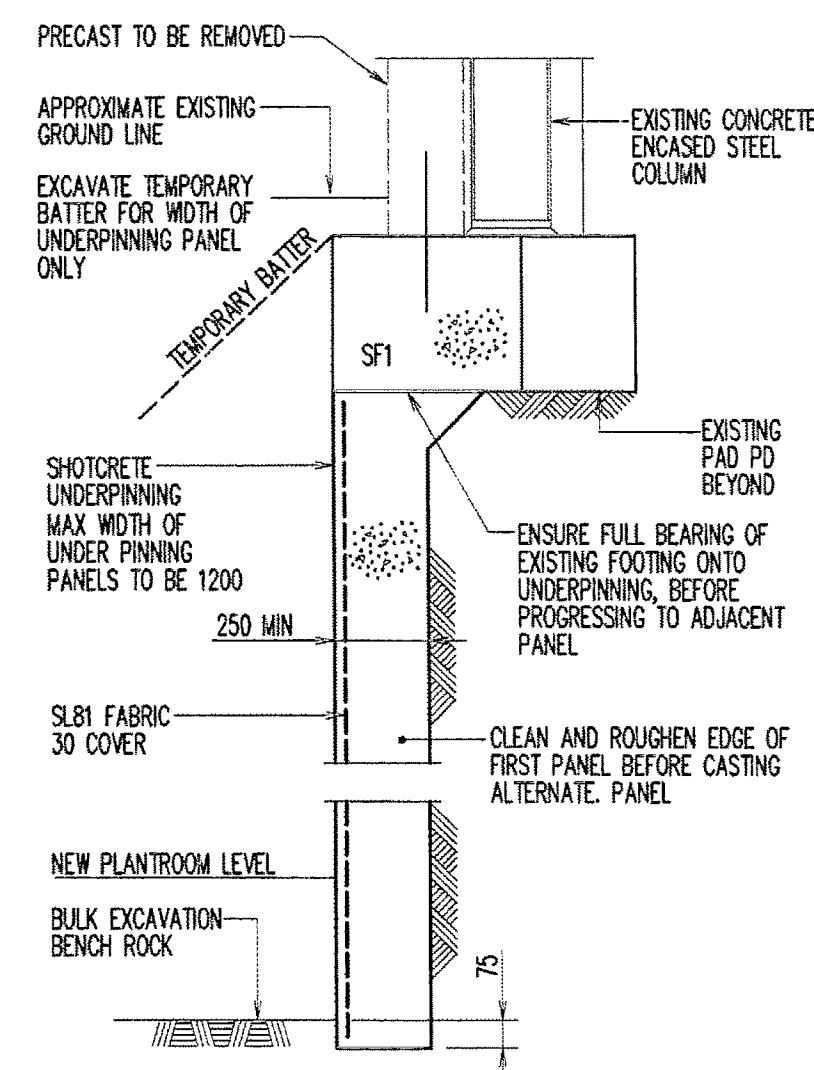
SECTION 19
SCALE 1:20
S04



TYPICAL DEAD END PLAN



TYPICAL LIVE END PLAN



SECTION 20
SCALE 1:20
S4

F	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	M.K.	G.P.	28.05.07
E	REVISED AS CLOVED	M.K.	NA	26.03.07
D	ISSUED FOR CONSTRUCTION	M.K.	G.P.	23.01.07
C	REVISED AS NOTED TO SLT SLAB TOPPING & FALLS	M.K.	G.P.	28.11.06
B	SECTION 17 REVISED TO SLT CONSTRUCTION METHOD	M.K.	G.P.	17.11.06
A	RE-ISSUED FOR TENDER	M.K.	G.P.	27.10.06
	SECTION 20 ADDED	M.K.	S.S.	26.10.06
	ISSUED FOR TENDER	M.K.	G.P.	26.09.06
P1	PRELIMINARY ISSUE	M.K.	P.L.C.	08.08.06

PITTWATER RSL SMOKERS TERRACE EXTENSIONS

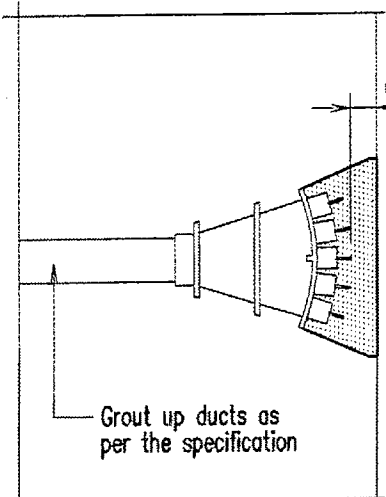
SECTIONS & DETAILS SHEET 2

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Scale: A1
1:20
Job No: 061117
Drawing No: S03
Revision: F
Plot File Created: May 28, 2007 - 9:23am



EXPOSED TO WEATHER (EXTERNAL)

Exposure Class B1

1. After final stressing and approval of extensions by TTW, cut off strands to give 30mm minimum cover to ends of strands.
2. Provide records of measured cover at each anchor recess for TTW to inspect and provide the opportunity for TTW to inspect recesses.
3. Thoroughly clean anchorage recess (use high pressure water jet if necessary) to remove all oil, grease, polystyrene etc.
4. Prime all metal surfaces with 'Niloprima Zinch' or approved equivalent.
5. Prime all concrete surfaces with 'Nilobond EP' or approved equivalent.
6. Grout up recess with 'Renderite R6' - applied as per manufacturers instructions. Infill is to be finished flush with surrounding concrete surface to the Superintendent's requirements. A test sample is to be submitted for approval and used for acceptance/rejection criteria.
7. The contractor shall provide records that demonstrate steps 3,4,5 & 6 have been satisfactorily completed at each anchor recess.

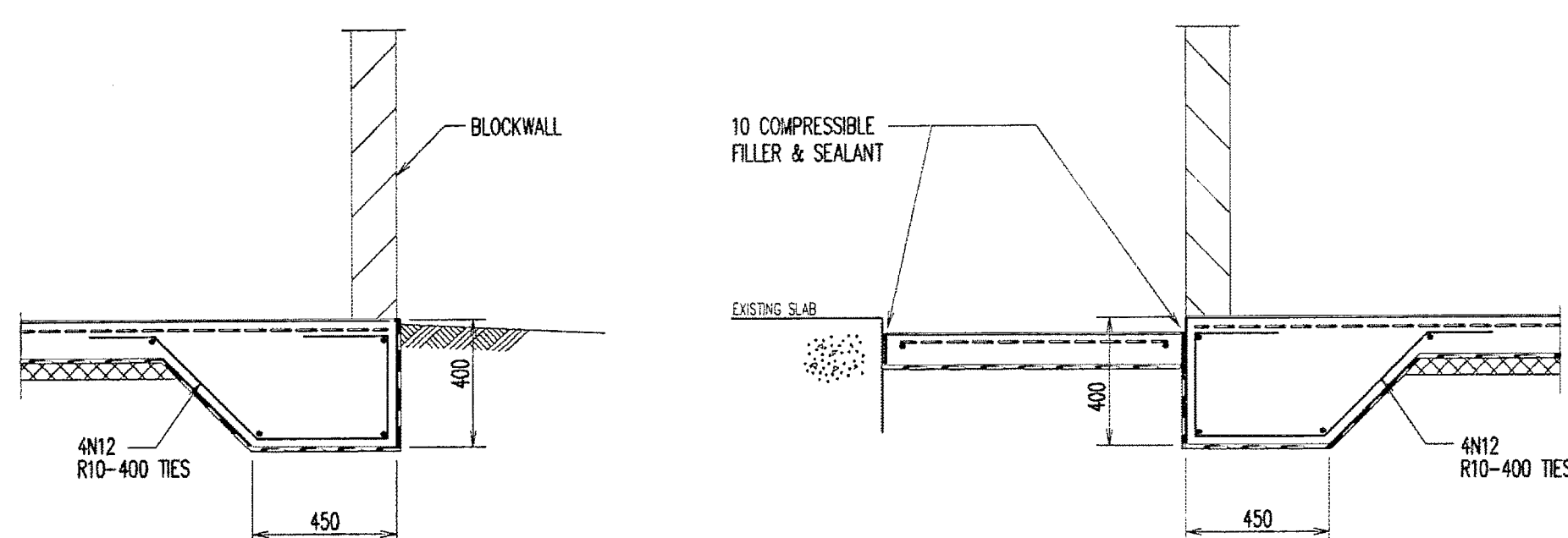
ANCHORAGE RECESS GRouting PROCEDURE

The contractor shall submit a Construction Method Statement and Inspection Test Plan for this work a minimum of 14 days prior to commencement of grouting.
All materials and workmanship to be in accordance with manufacturers details.
Alternative equivalent products are to be approved by TTW.

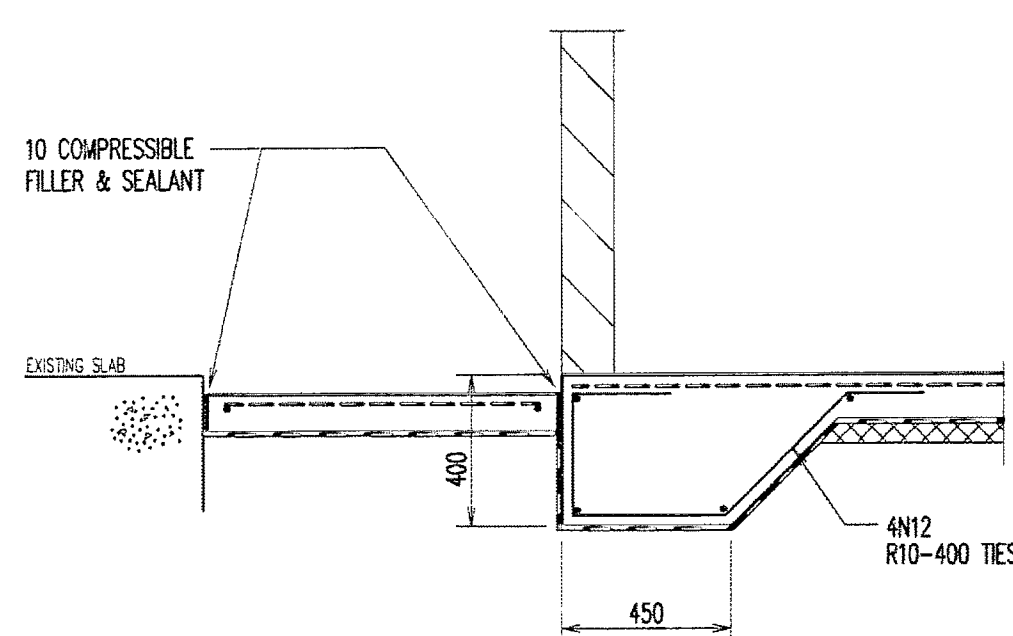
TYPICAL HELICAL ANTIBURST REINFORCEMENT DETAILS

HELICAL TIES ARE TO BE PLACED CENTRALLY AND SQUARELY ABOUT ANCHOR

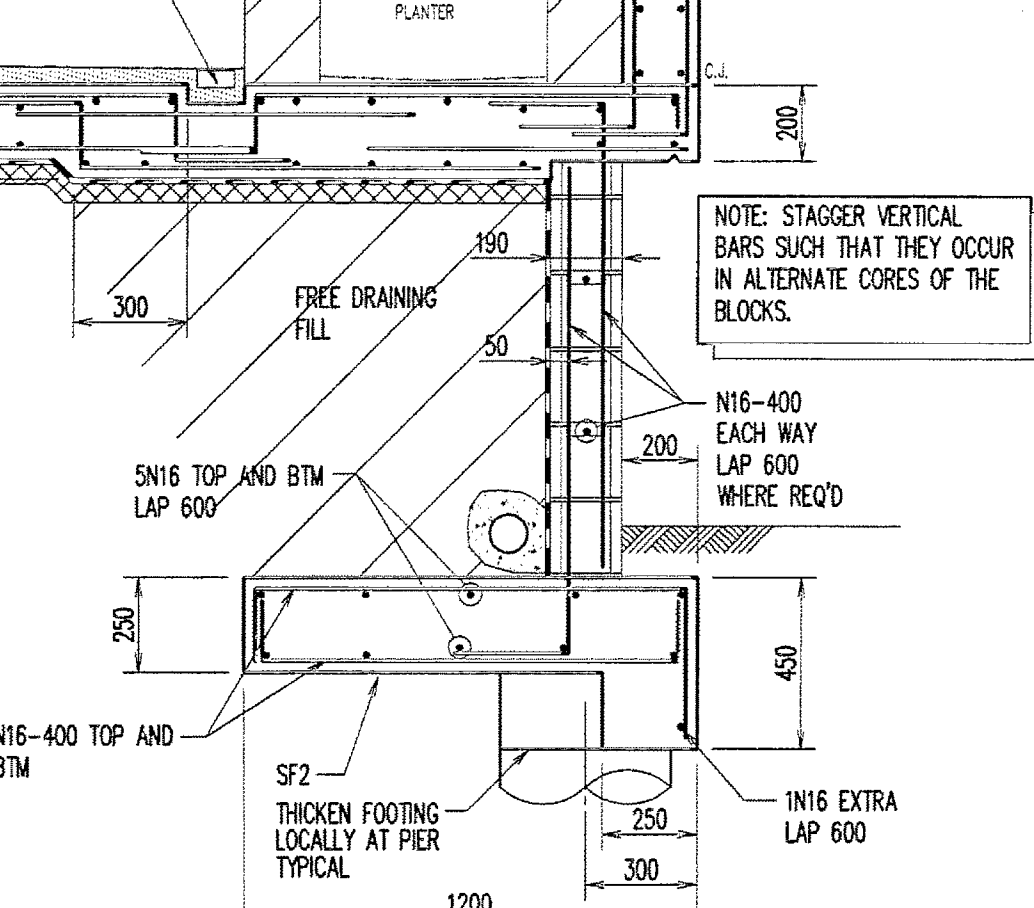
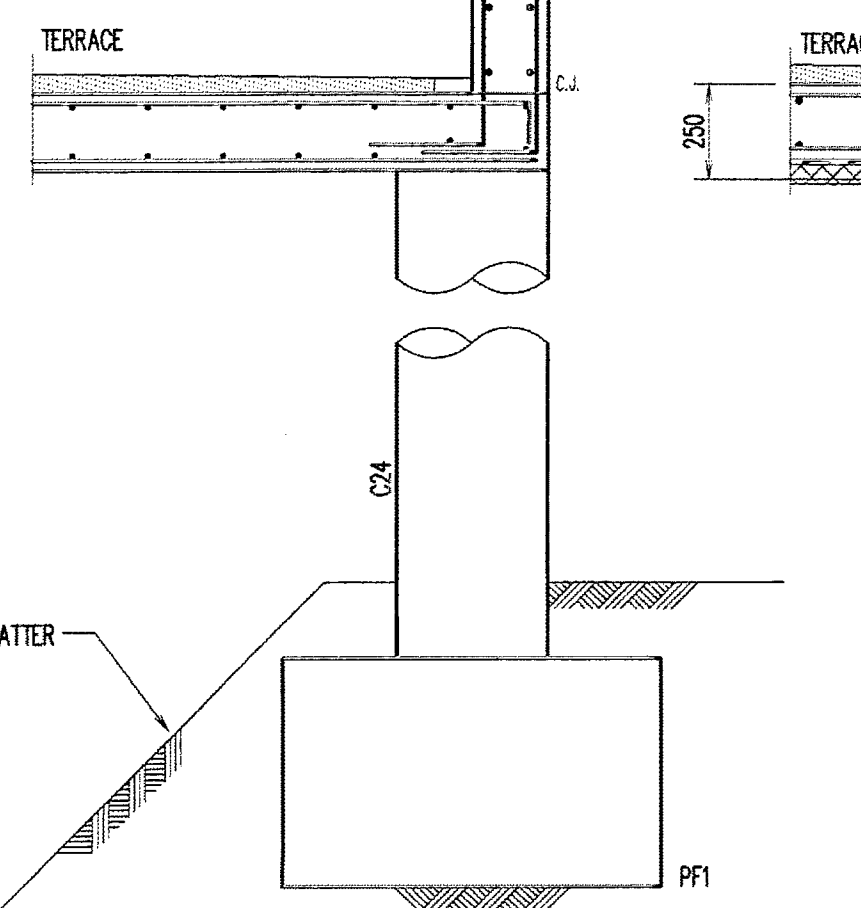
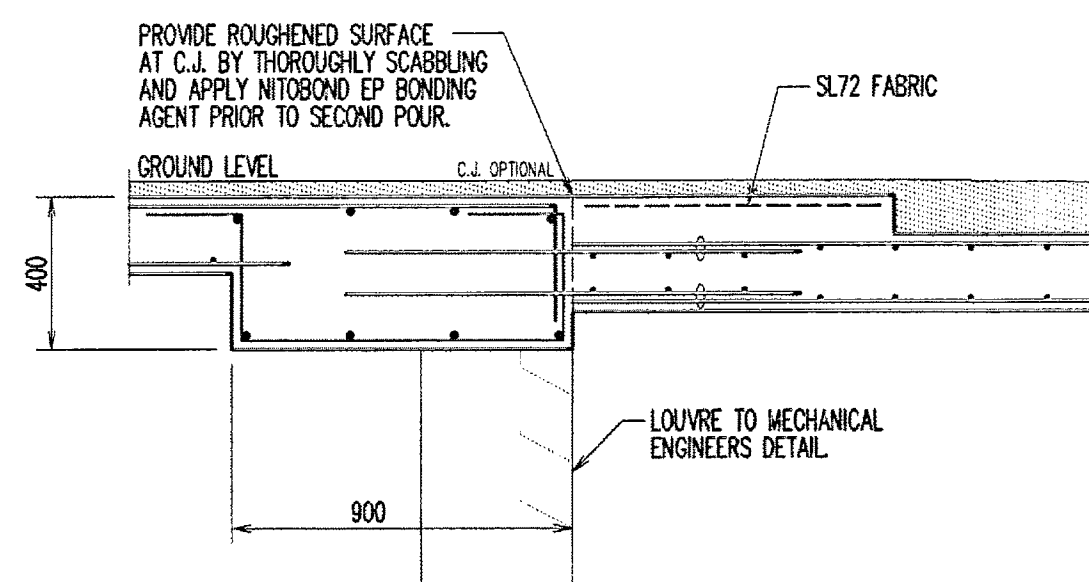
BURSTING REINFORCEMENT SHOWN ON THE DRAWINGS MUST BE CHECKED BY THE STRESSING CONTRACTOR FOR COMPLIANCE WITH THE REQUIREMENTS OF THEIR POST TENSIONING SYSTEMS.



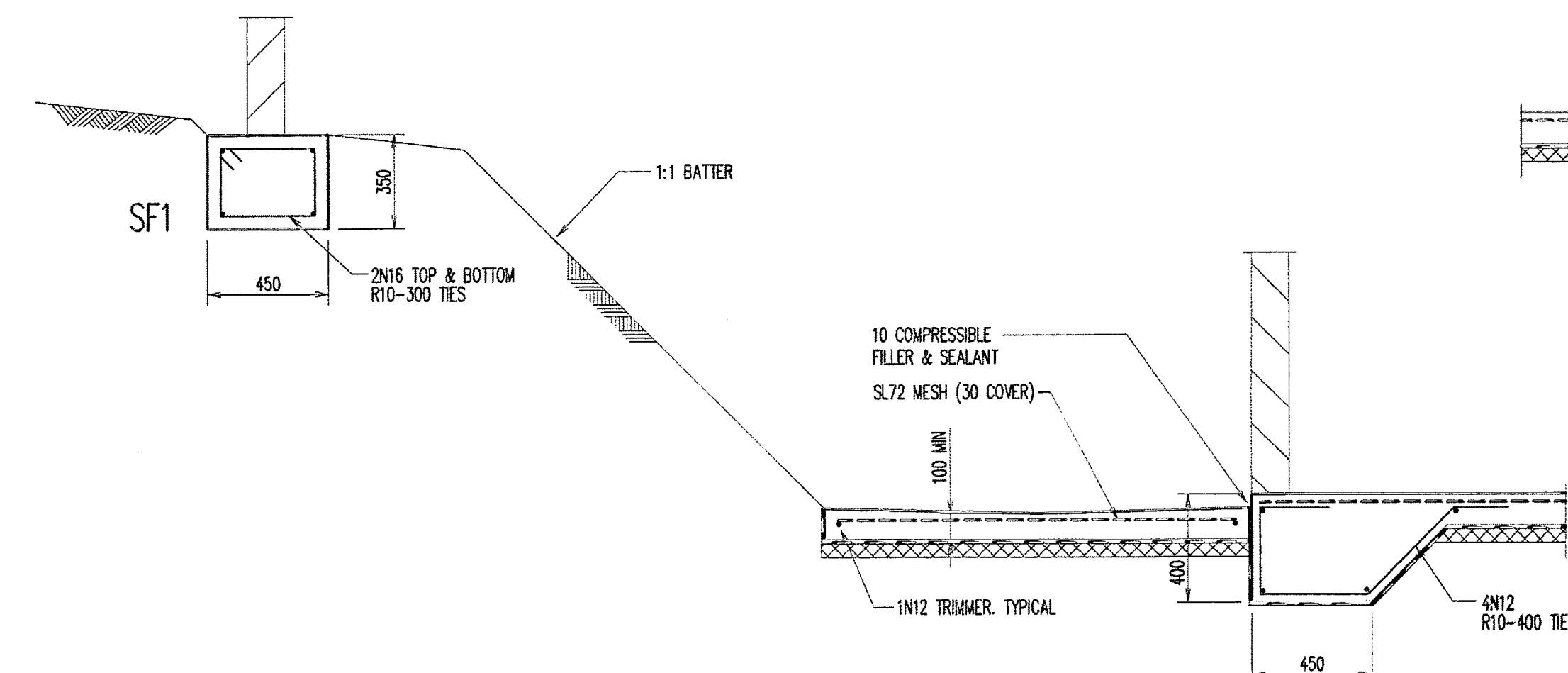
SECTION 1
SCALE 1:20
S01



SECTION 2
SCALE 1:20
S01

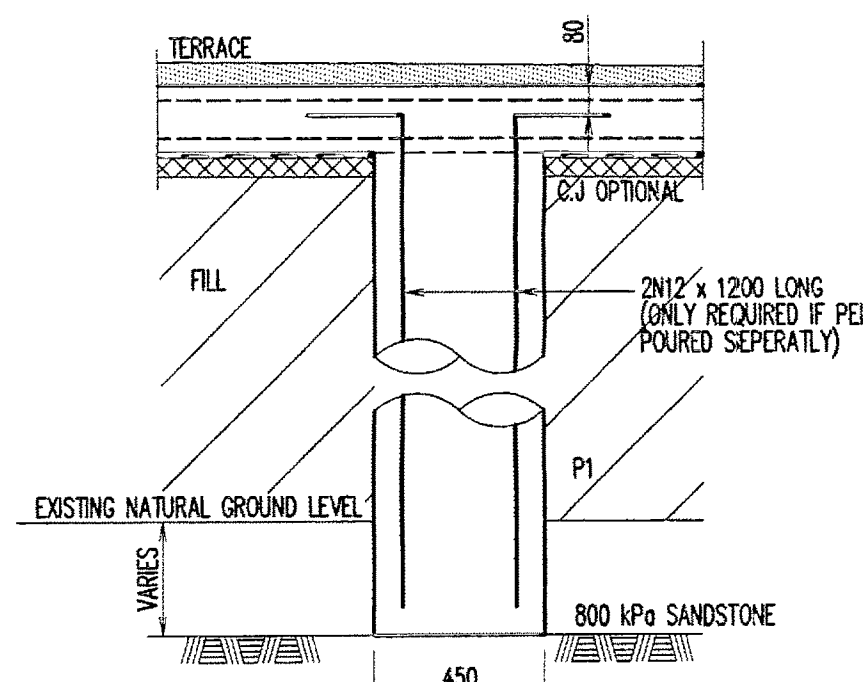


SECTION 5
SCALE 1:20
S01,04



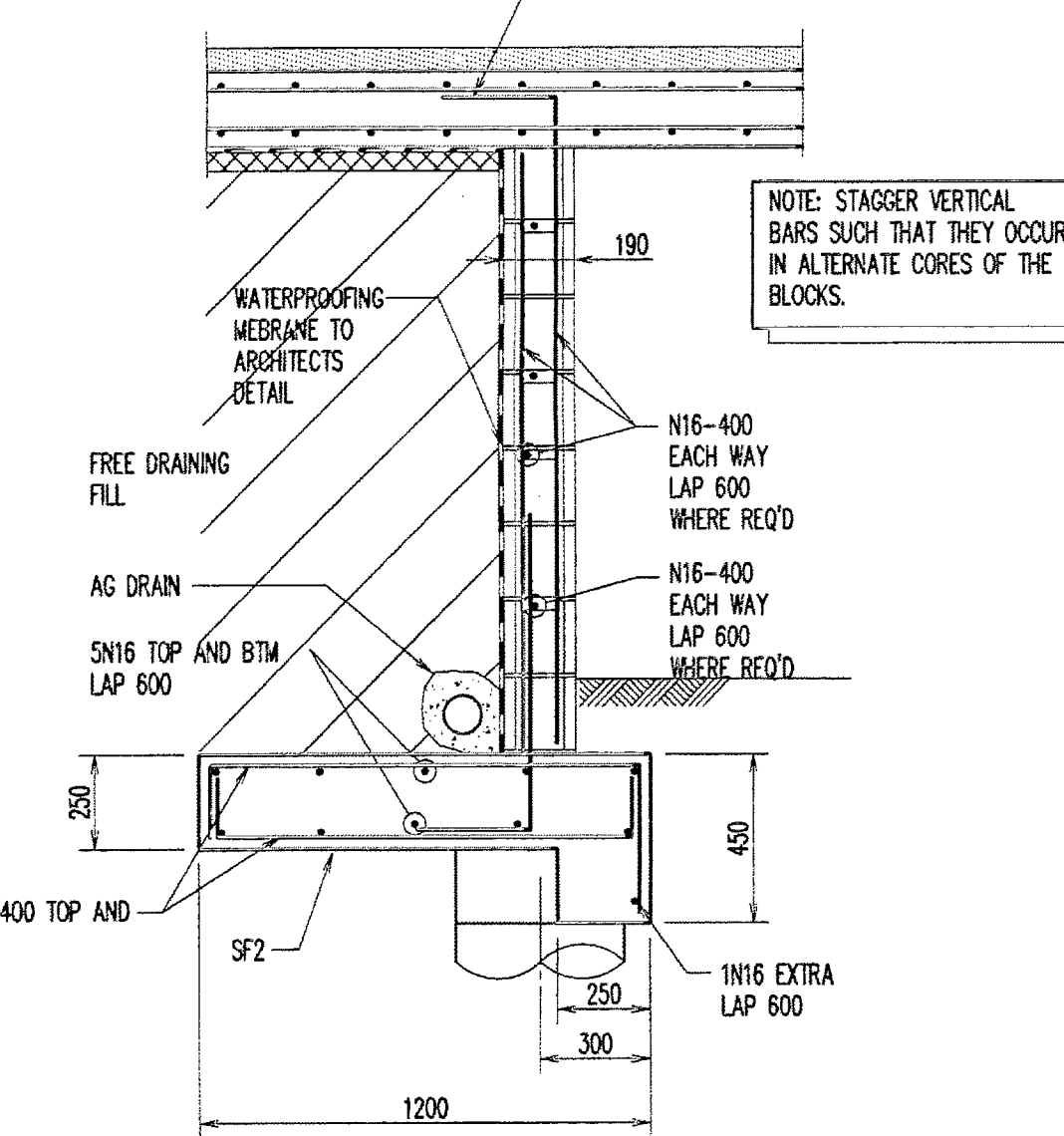
SECTION 4
SCALE 1:20
S01

SECTION 3
SCALE 1:20
S01



PIER P1 DETAIL

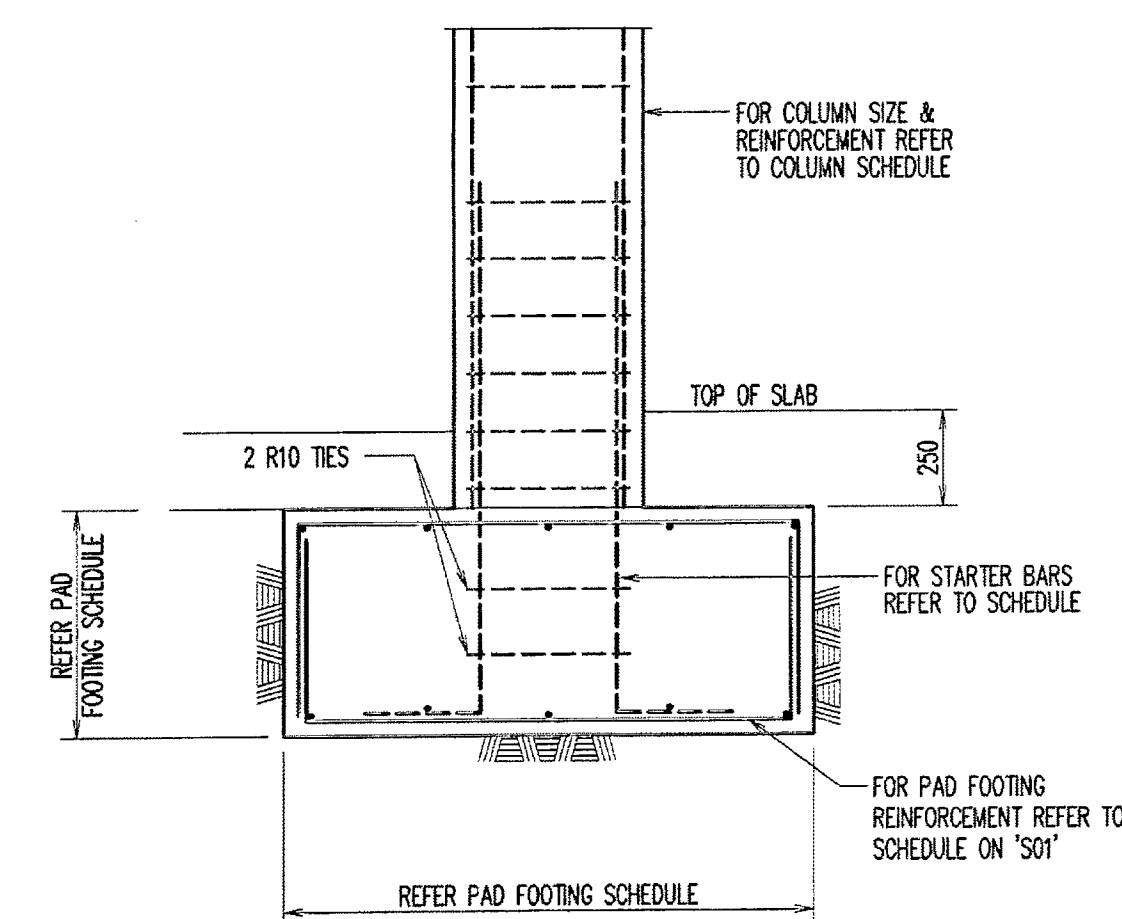
W.P.J. - WEAKENED PLANE JOINT
SCALE 1:20



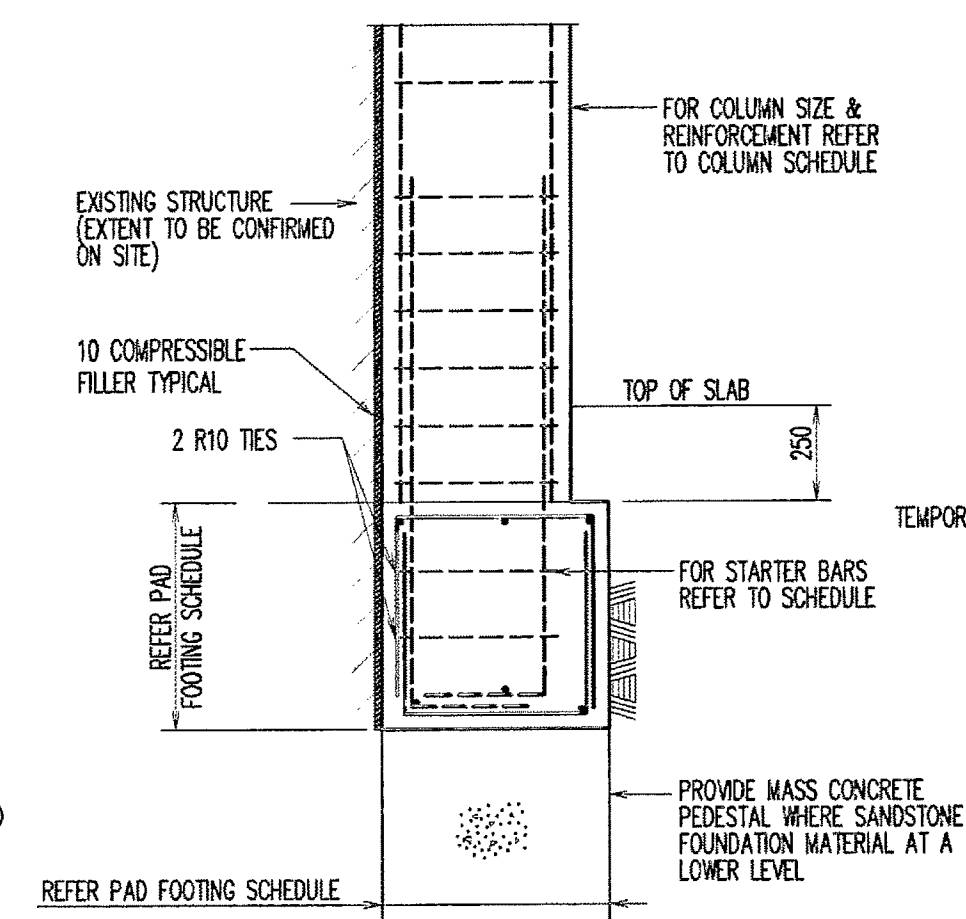
SECTION 6
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S01, 04

NOT USED

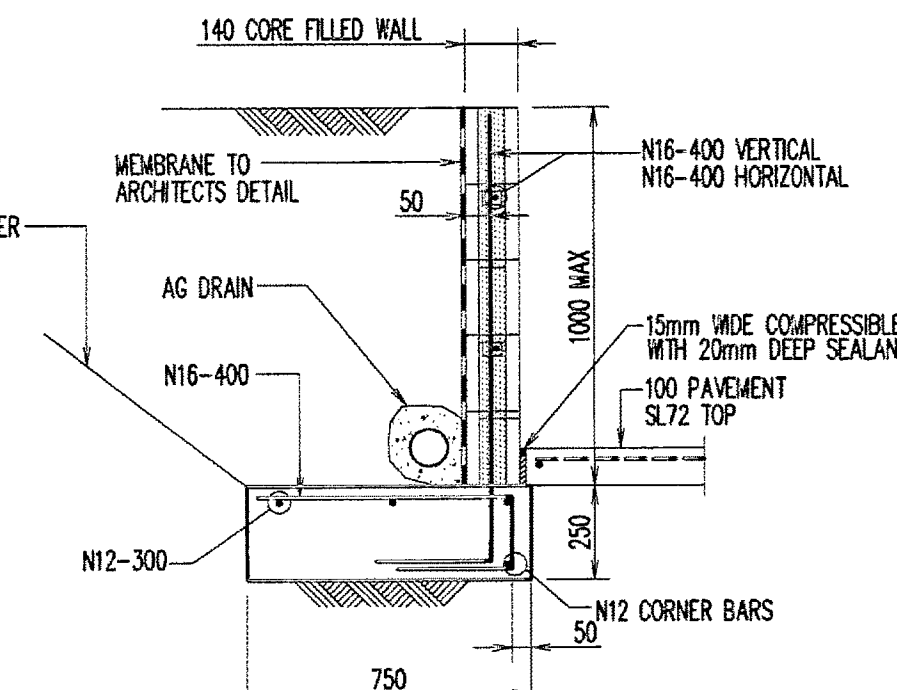
SECTION 7
SCALE 1:20
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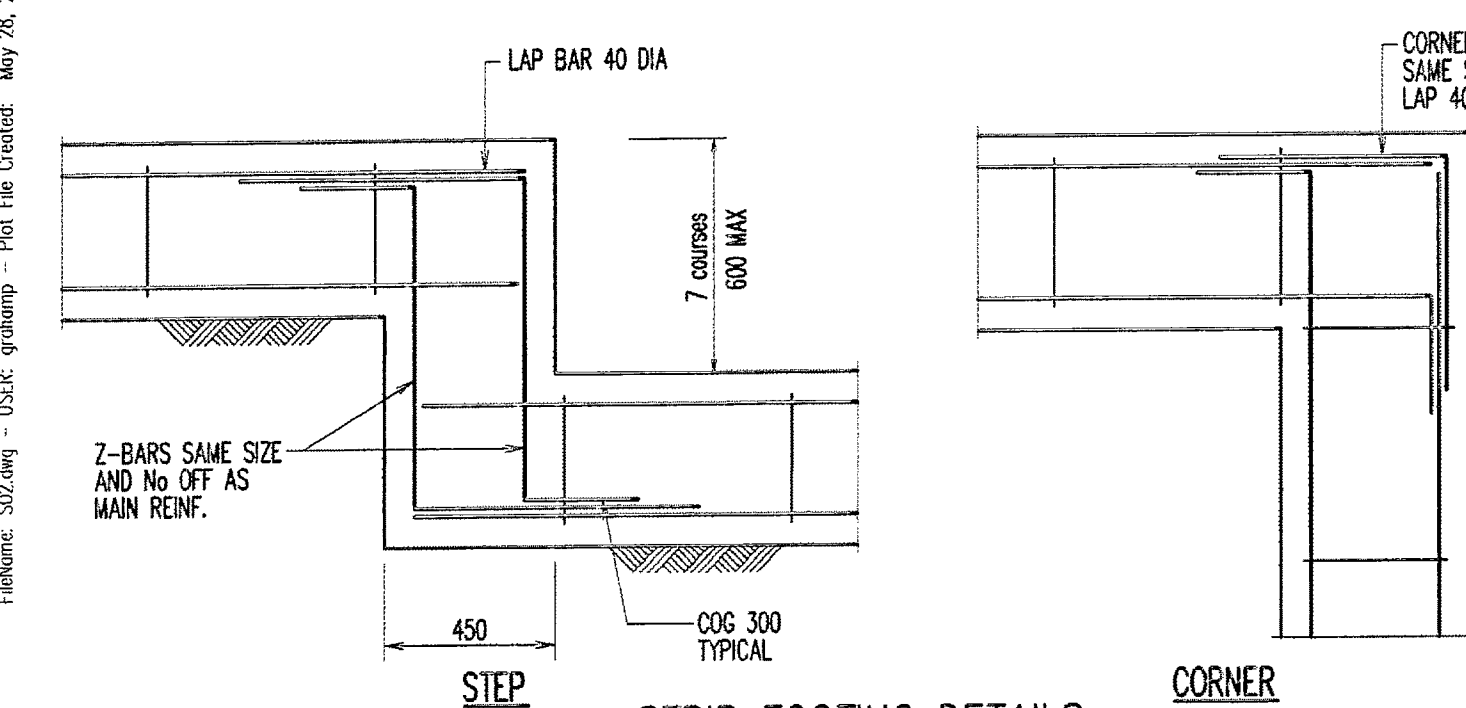
PAD FOOTING DETAIL - PF1



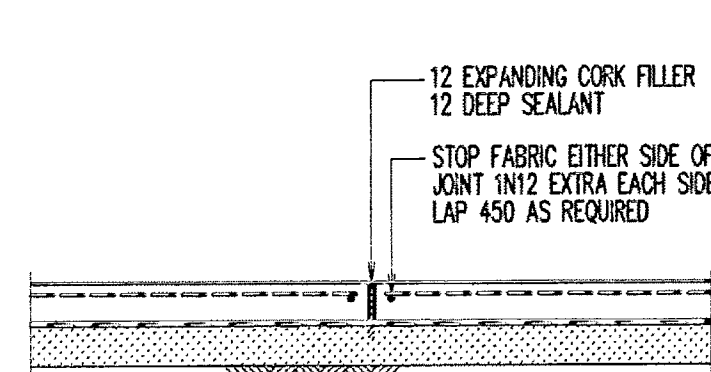
PAD FOOTING DETAIL - PF2
PF3 AND PF4 SIMILAR



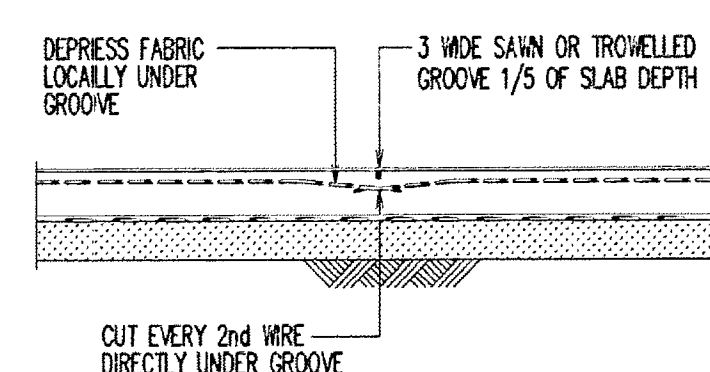
TYPICAL SECTION THROUGH EXISTING
GAMING LOUNGE EGRESS RETAINING WALL



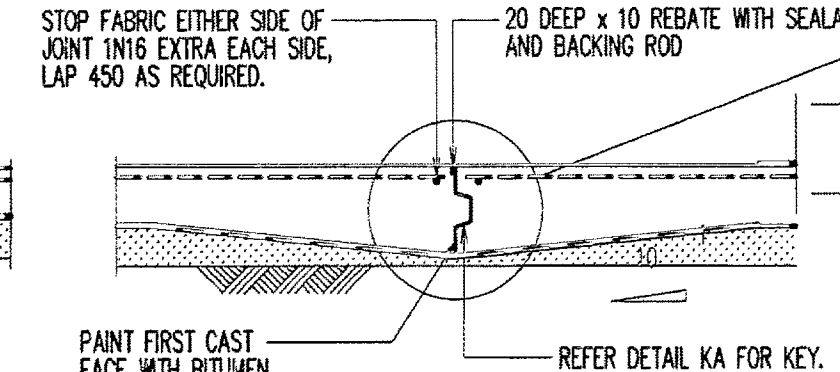
STRIP FOOTING DETAILS



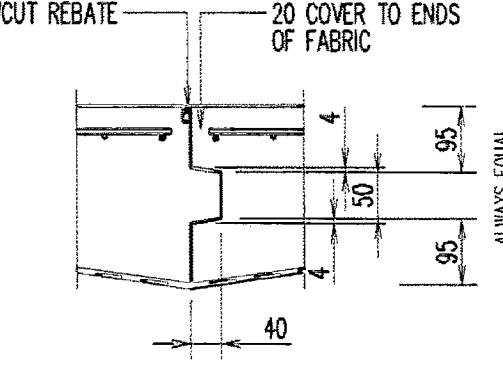
C.J. - CONTROL JOINT
SCALE 1:20



S.J. - SAWN CONTROL JOINT
SCALE 1:20
NOTE: SAW CUT TO BE MADE WITHIN 16 HOURS OF CASTING SLAB



K.J. - KEYED CONSTRUCTION JOINT
SCALE 1:20



DETAIL KA
SCALE 1:10

G	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	M.K.	G.P.	28.05.07
F	REVISED AS CLOUDED	M.K.	N.A.	26.03.07
E	ISSUED FOR CONSTRUCTION	M.K.	G.P.	23.01.07
D	SETOUT OF WALL REVISED TO MATCH ARCHITECTURAL M.K.	G.P.		29.11.06
C	END FLOOR SLAB FALLS & LEVELS REVISED	M.K.	G.P.	28.11.06
B	WALL LOCATION REVISED	M.K.	G.P.	17.11.06
A	RE-ISSUED FOR TENDER	M.K.	G.P.	27.10.06
P2	ISSUED FOR TENDER	M.K.	G.P.	26.09.06
P1	PRELIMINARY ISSUE	M.K.	N.A.	23.08.06
P1	PRELIMINARY ISSUE	M.K.	R.C.L.	08.08.06

Rev Description Eng Draft Date

Project

**PITTWATER RSL
SMOKERS TERRACE
EXTENSIONS**

Sheet Subject

**SECTIONS & DETAILS
SHEET 1**

Client

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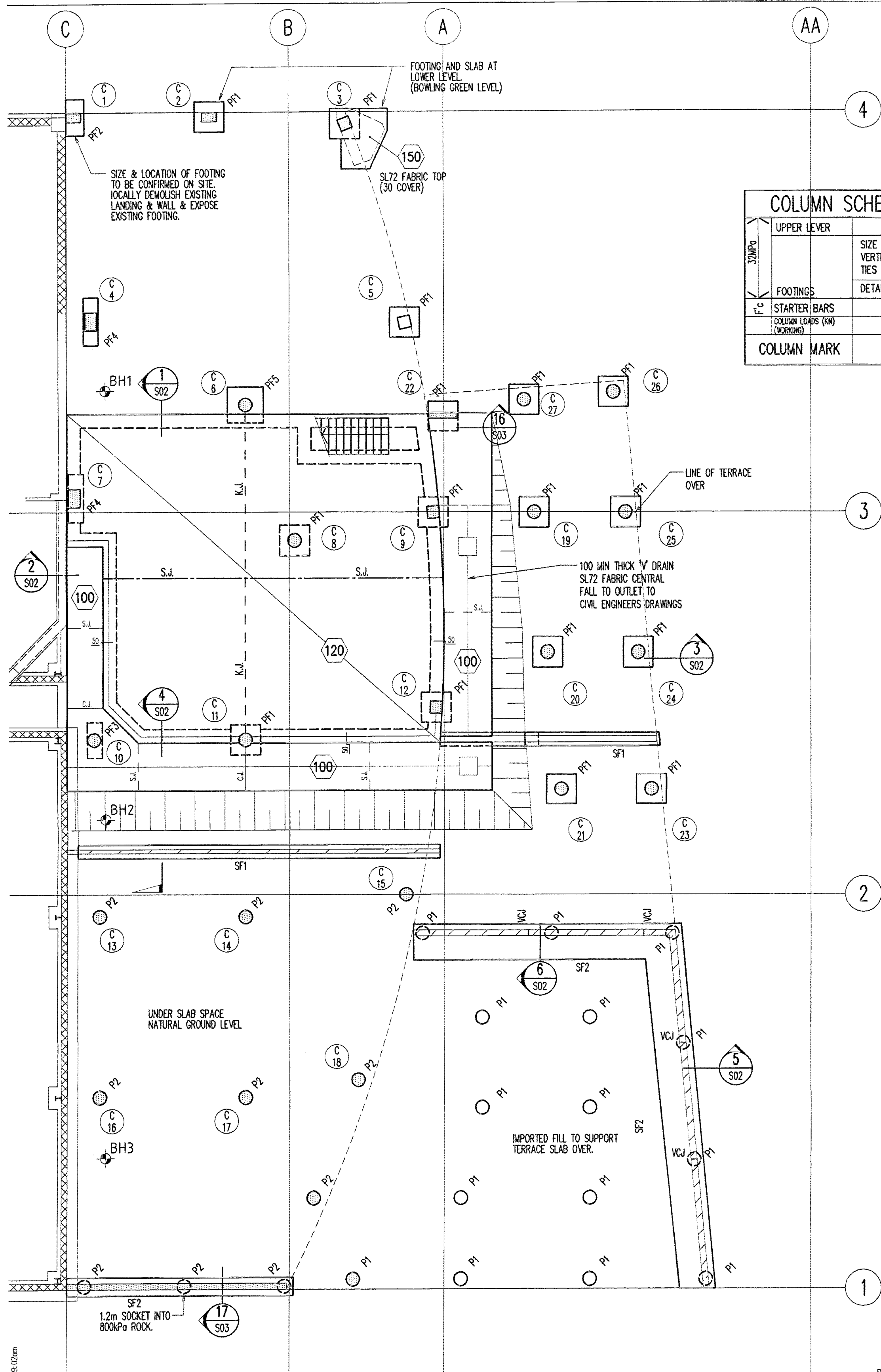
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Job No 061117 Drawing No S02 Revision G

Plot File Created: May 28, 2007 - 9:04am

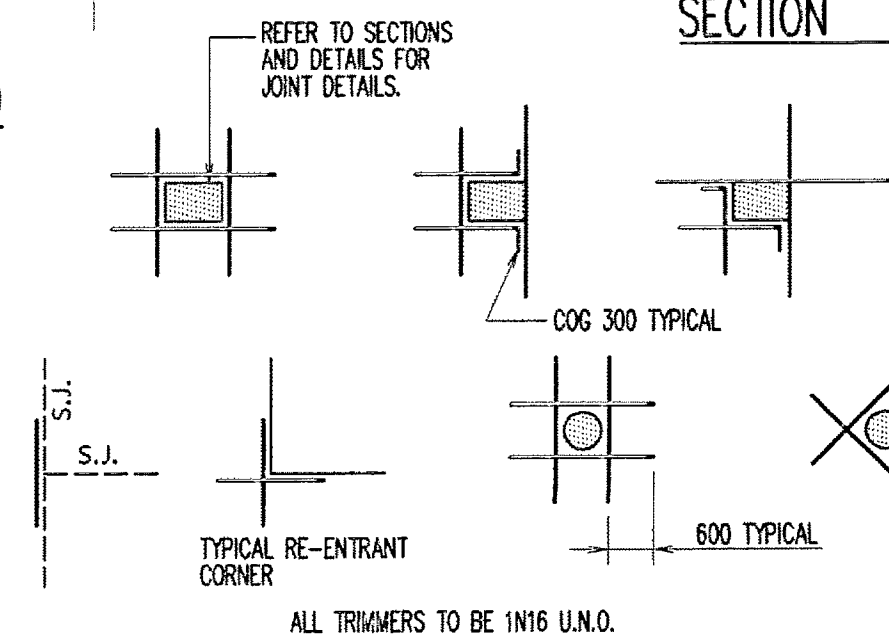
PAD FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
PF1	1000 x 1000 x 600 MIN.	5N20 EACH WAY - TOP & BTM
PF2	600 x 1200 x 600 MIN.	4N20 TOP & BTM LONGITUDINAL N20-300 TOP & BTM TRANSVERSE
PF3	500 x 1200 x 600 MIN.	4N20 TOP & BTM LONGITUDINAL N20-300 TOP & BTM TRANSVERSE
PF4	500 x 1600 x 600 MIN.	4N20 TOP & BTM LONGITUDINAL N20-300 TOP & BTM TRANSVERSE
PF5	1200 x 1200 x 600 MIN.	5N20 EACH WAY - TOP & BTM

COLUMN SCHEDULE		2	2	2	2	2	3	2	3	2	3	3	2	3	3	3	3	3	3	3	3	3	2 SIM	3	3	3	3	3
UPPER LEVEL	SIZE	500 x 300	500 x 300	400 x 400	600 x 400	400 x 400	450#	600 x 400	450#	400 x 400	450#	450#	400 x 400	450#	450#	450#	450#	400#	400#	400#	400#	900 x 200	400#	400#	400#	400#	400#	
FOOTINGS	DETAIL NUMBER	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
STARTER BARS	DETAIL NUMBER	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
COLUMN MARK	DETAIL NUMBER	C1	C2	C3	C4	C5	C6	C7	C8	C9	C10	C11	C12	C13	C14	C15	C16	C17	C18	C19	C20	C21	C22	C23	C24	C25	C26	C27

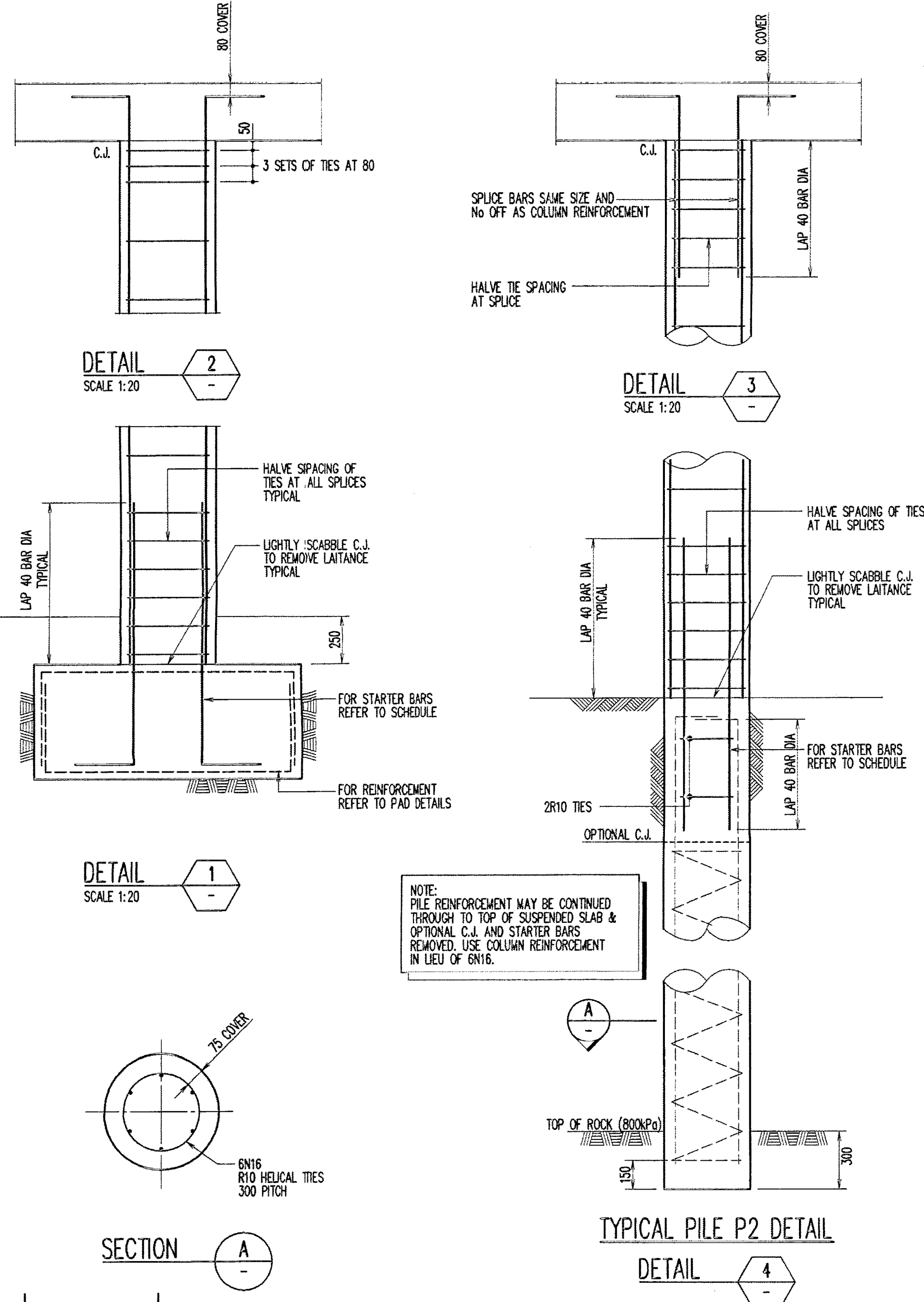


FOOTING AND LOWER GROUND FLOOR PLAN - 120 SLAB ON GROUND U.N.O.
SCALE 1:100

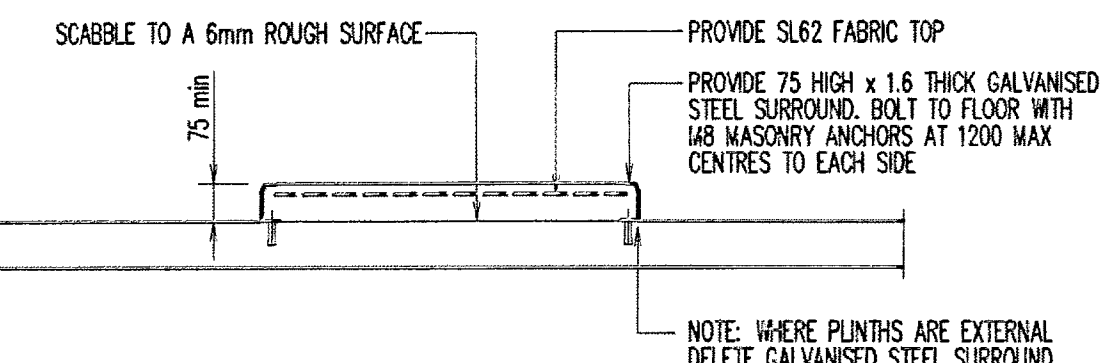
- NOTES:
1. TOP OF FOOTING LEVELS TO BE DETERMINED BY THE BUILDER. 250 MM BELOW PLANTROOM LEVEL. ALLOW ADDITIONAL CLEARANCE TO TOP OF FOOTINGS FOR HYDRAULIC SERVICES WHERE REQUIRED.
 2. P1 - 450 DIA. MASS CONCRETE PIERS BEARING ONTO 800KPa SANDSTONE
P2 - 450 DIA. CONCRETE PIERS BEARING ONTO 800KPa SANDSTONE
 3. ALL EXISTING SERVICES TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCING EXCAVATION. DIVERT SERVICES WHERE INDICATED ON SERVICES CONSULTANTS DRAWINGS.
 4. REINFORCE SLAB ON GROUND WITH SL72 MESH TOP THROUGHOUT (30 COVER)
LAP 300 WHERE REQUIRED
 5. PROVIDE 50mm DRAINAGE BASECOURSE AND A VAPOUR BARRIER
 6. // DENOTES 190 BLOCKWALLS
 7. x x x x x x DENOTES EXISTING WALL
 8. BH1 DENOTES APPROX BORE HOLE LOCATION. REFER TO NOTES DRAWING No. S00.



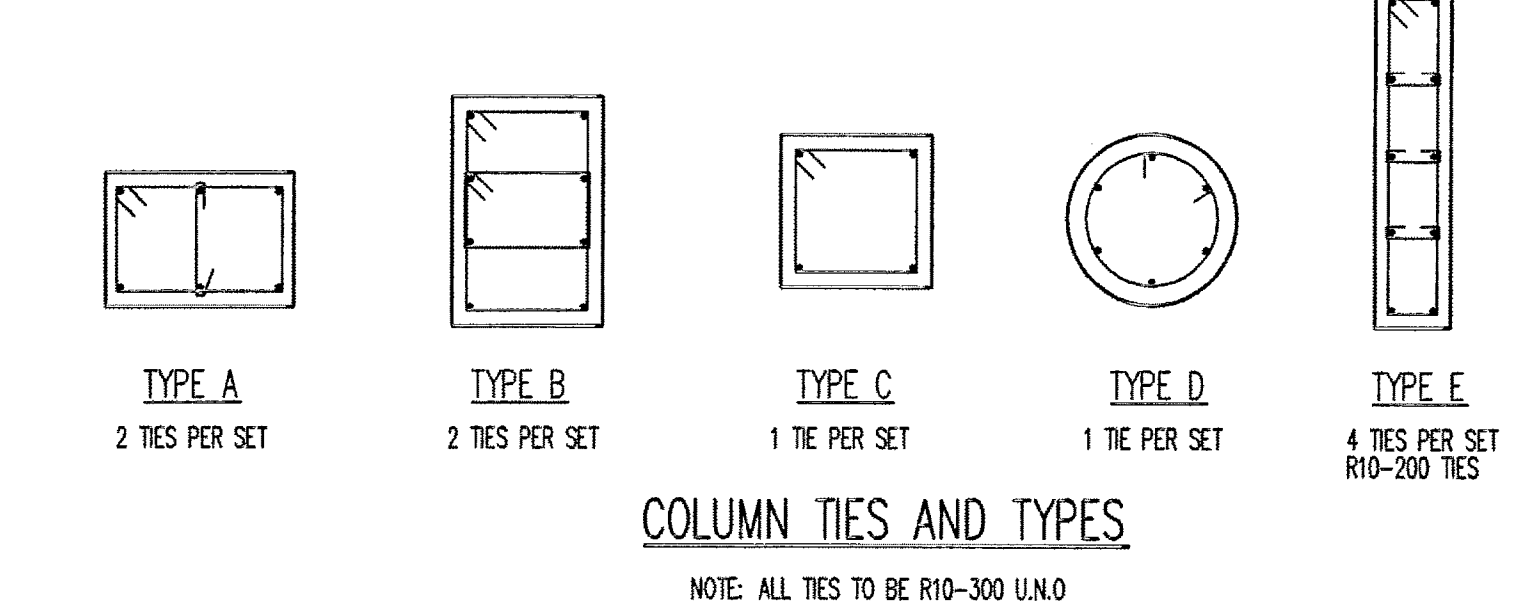
TYPICAL SLAB ON GROUND TRIMMER DETAILS
AT ALL COLUMNS, WALLS, PITS, FLOOR WASTES, ETC THAT CAUSE A PENETRATION THROUGH THE SLAB.



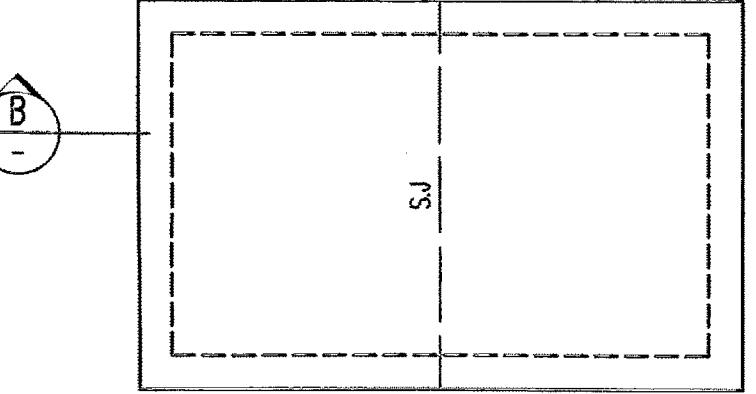
TYPICAL PILE P2 DETAIL
DETAIL 4



TYPICAL PLINTH DETAIL
PLINTH SIZES & LOCATIONS TO CONTRACTORS REQUIREMENTS

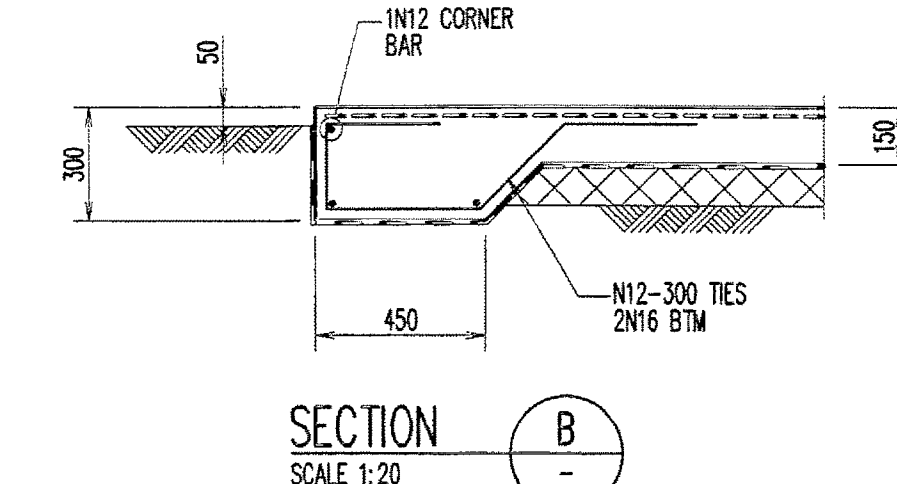


COLUMN TIES AND TYPES
NOTE: ALL TIES TO BE R10-300 UNO

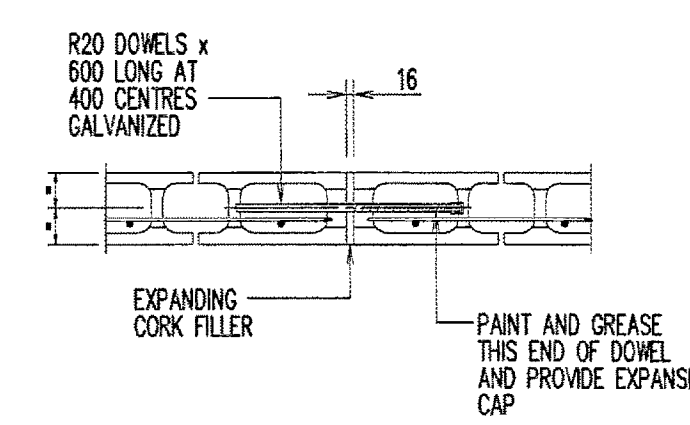


CHILLER SLAB PLAN - 150 THICK U.N.O.
SCALE 1:100

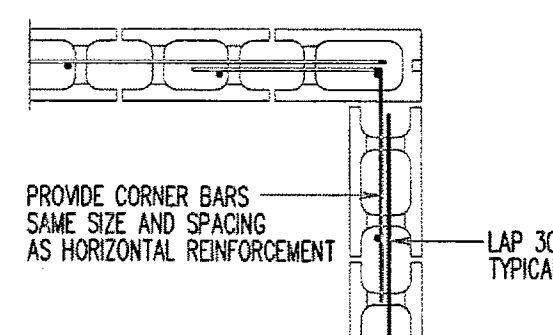
- NOTES:
1. REINFORCE WITH SL82 TOP THROUGHOUT (40 COVER)
 2. SLAB TO BE POURED ON 100mm ROAD BASE.



SECTION B
SCALE 1:20



TYPICAL VERTICAL CONTROL JOINT DETAIL (V.C.J.)
(800 MAX. CTS UNO.)



CORNER DETAIL

Rev	Description	Eng	Draft	Date
1	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	R.M.	G.P.	26.06.07
2	REVISED AS CLOUSED	R.M.	N.A.	26.03.07
3	EXTENT OF SLAB REVISED	R.M.	G.P.	06.02.07
4	ISSUED FOR CONSTRUCTION	R.M.	G.P.	23.01.07
5	COLUMNS MOVED TO SUIT AS BUILT LOCATION	R.M.	G.P.	23.01.07
6	COLUMNS MOVED TO SUIT AS BUILT LOCATION	R.M.	G.P.	18.12.06
7	WALL & FOOTING MOVED TO MATCH ARCHITECT	M.K.	G.P.	29.11.06
8	REVISED AS NOTED	M.K.	G.P.	01.11.06
9	COLUMNS & PAD RELOCATED GRID 4	M.K.	G.P.	01.11.06
10	RE-ISSUED FOR TENDER	M.K.	G.P.	27.10.06
11	ISSUED FOR TENDER	M.K.	G.P.	27.08.06
12	PRELIMINARY ISSUE - OUTLINES UPDATED	M.K.	N.A.	23.08.06
13	PRELIMINARY ISSUE	M.K.	R.C.L.	08.08.06

Project
PITWATER RSL SMOKERS TERRACE EXTENSIONS

Sheet Subject
LOWER GROUND FLOOR, FOOTING PLAN AND COLUMN SCHEDULE & DETAILS

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Scale: A1
1:100
Job No: 061117
Drawing No: S01
Revision: 1
Plot File Created: May 28, 2007 - 9:02am

PITTWATER RSL CLUB

80-82 MONA VALE ROAD

GENERAL NOTES

- These drawings are for structural purposes only and are to be read in conjunction with the specification, architectural drawings, other control documentation and the requirements of the relevant authorities.
- Verify all setting out dimensions with the Architect.
- Do not obtain dimensions by scaling the structural elements.
- Should any ambiguity, error, omission, discrepancy, inconsistency or other fault exist or seem to exist in the contract documents, immediately notify in writing to the Superintendent.
- Maintain the structure in a stable condition during construction. Temporary bracing/shoring shall be provided by the contractor to keep the structure and excavations stable at all times, ensuring that no part of the documented structure becomes overstressed. For all temporary barriers obtain geotechnical engineers recommendations.
- All workmanship and materials shall be in accordance with the requirements of current SAA codes and the bylaws, ordinances or other requirements of the relevant building authorities.
- All work is to be carried out in accordance with all Workcover requirements and occupational health and safety act regulations.
- Construction using these drawings shall not commence until a Construction Certificate is issued by the Principal Certifying Authority.

DESIGN LOADS

- Floor Loads : Live Load = 5.0kPa
Superimposed Dead Load = 1kPa
Roof = 0.25kPa
- Wind Loads : $V_k = 41m/s$ Where $R = 1000$ years
Region = A
Terrain Category = 3

CONCRETE NOTES

EXPOSURE CLASSIFICATION : External : B1
Internal : A1 (Footings : A2)

CONCRETE

1. Place concrete of the following characteristic compressive strength f_{ck} as defined in AS 1379:

Location	AS 1379 f_{ck} MPa at 28 days	Specified Slump	Nominal Agg. Size
Footings	S(25)	80	20
Columns	S(32)	80	20
Slabs	S(32)	80	20

- Use Type 'SL' cement, unless otherwise specified.
- All concrete shall be subject to project assessment and testing to AS 1379.
- Consolidate by mechanical vibration. Cure all concrete surfaces as directed in the Specification.
- For all falls in slab, drip grooves, rejets, chomters etc. refer to Architects drawings and specifications.
- Unless shown on the drawings, the location of all construction joints shall be submitted to Engineer for review.
- No holes or chases shall be made in the slab without the approval of the Engineer.
- Conduits and pipes are to be fixed to the underside of the top reinforcement layer.
- Slurry used to lubricate concrete pump lines is not to be used in any structural members.
- All slabs cast on ground require sand blinding with a 0.2mm vapour barrier.
- (170) Indicates Slab or Band thickness variation.

FORMWORK

- The design, certification, construction and performance of the formwork, falsework and backslapping shall be the responsibility of the contractor. Proposed method of installation and removal of formwork is to be submitted to the superintendent for comment prior to work being carried out.

SHORING NOTES

- Test records shall be provided for test loadings of all anchors.
- Any variation in the location or inclination of anchors will require re-calculation of the required working loads and shall be notified to the Engineers for approval.
- All anchors shall be located so as to avoid all services and pits.

REINFORCEMENT NOTES

- Fix reinforcement as shown on drawings. The type and grade is indicated by a symbol as shown below. On the drawings this is followed by a numeral which indicates the size in millimetres of the reinforcement.

N: Hot rolled ribbed bar grade 500N
R: Plain round bar grade 500N
S: Square mesh grade 500L
RL: Rectangular mesh grade 500L

- Provide bar supports or spacers to give the following concrete cover to all reinforcement unless otherwise noted on drawings:
Footings - 65 top, 65 bottom, 65 sides
Slabs - 20 top, 20 bottom
- 40 when exposed to weather or ground.

- Columns - 40 to ties and spirals.
- 50 when exposed to ground.
- Cover to reinforcement ends to be 45 mm u.n.c.
 - Provide N12-450 support bars to top reinforcement as required. Lap 450. U.N.C.

- Maintain cover to all pipes, conduits, rejets, drip grooves etc on the drawings unless otherwise approved. Lap lengths shall be 40 bar dia, unless noted otherwise.
- Laps in reinforcement shall be made only where shown on the drawings unless otherwise approved.
- All cogs to be standard cogs unless noted otherwise.
- Fabric end and side laps are to be placed strictly in accordance with the manufacturers requirements to achieve a full tensile lap. Fabric shall be laid so that there is a maximum of 3 layers at any location.

FABRIC LAPS



REINFORCEMENT LEGEND

- Denotes the extent of area covered by bars.
- Denotes a change in bar shape and/or length.
- Indicates to repeat bars tagged thus etc. **LAP BARS IN DIRECTION INDICATED BY ARROW.**
- Bars shown staggered on plan are to be placed alternately.
- ALT. denotes bars of different length and/or shape to be laid alternately.
- Indicates 10 bars at 250 centres plus 3 bars placed one per space centrally over column.

ABBREVIATIONS USED ON DRAWINGS :

U.N.C. - Unless Noted Otherwise
N.S.O.P. - Not Shown On Plan
N.S.O.E. - Not Shown On Elevation
L.V. - Bar Lengths Vary
E.W. - Each Way
E.F. - Each Face
N.F. - Near Face
F.F. - Far Face

UNDERPINNING NOTES

- Excavation below footings shall not proceed until the existing footing levels have been inspected by the engineer.
- Excavate and install the panels in the sequence noted on the elevations. Each stage is to be approved by the Engineer.
- All panels to be grouted and left for 2 days before excavation for the next stage is commenced.
- Edges of panels are to be cleaned and roughened prior to casting adjacent panel.

UNDERPINNING PROCEDURE

- Excavate drives 1200 wide (max) for stage 1 panels. Form, reinforce and cast the panels.
- Pack grout between existing footing and panel no sooner than 24 hours after casting panels.
- When grout is a minimum of 72 hours old repeat steps 1 & 2 for stage 2 panels.

POST-TENSIONED CONCRETE NOTES

GENERAL

- Submit all test certificates, theoretical extensions, calculations and shop drawing to the Superintendent as required by the Specification prior to construction.
- All reactions from post-tensioning shall be supplied to the formwork contractor for formwork design.
- Stressing contractor is to pay particular attention to concrete compaction where ducts cross columns and at all tendon anchors and ensure that pump lines are adequately cleared and restrained so as to be kept separate from tendons and reinforcement.
- Holes cored through post-tensioned slabs must be approved by the structural Engineer in writing.

DESIGN ASSUMPTIONS

The design assumptions used in the calculation of stressing losses were :
Friction curvature coefficient $\mu = 0.2$
Wobble (rad. per m) $\phi = 0.025$
Draw-in at anchorage $\delta = 6$ mm
Relaxation of stressed steel $= 2.0 \%$ (after 1 000 hours at 0.70 fp)

TENDONS

- Strand shall be 7 wire stress relieved super grade low relaxation in accordance with AS 1331 unless denoted otherwise.
- Bar shall be cold-worked high-tensile alloy steel bars in accordance with AS 1373 and shall be super grade unless noted otherwise.
- Locate and fix tendons as shown on the drawing & co-ordinate with cast in bolts, conduits & penetrations etc. Tendon profiles shall be parabolic unless noted otherwise and vertical offsets shall be measured from the deck (i.e. soffit of the concrete) to the underside of the duct, except for soffit of concrete to centreline of duct at anchorage unless noted otherwise. Offsets marked with ϕ shall be measured from the top of slab.
- Tendon notation :
No. of Tendons $\frac{3/58-5}{}$ No. of strands in each tendon
Strand type: 58 = 12.7 dia strands
58 = 15.2 dia strands

On tendon layout :
CENTRAL - denotes that tendon is placed flat at centre of slab
NO DRAPE - denotes tendon is a straight line between ordinates

- Ducting shall be galvanneal steel:
- 70 x 19 for 5 x 12.7 dia strand tendons
- 80 x 19 for 5 x 15.2 dia strand tendons
- Saw off all ducts and securely close joints to prevent ingress of mortar during concreting.

TENSIONING AND GROUTING

- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (0.85 UTS) per strand.
15.2dia strand tendons - 212 kN (0.85 UTS) per strand.
- The first stage of stressing is for 25% of the jacking force to be applied after one day (at > 7 MPa minimum) followed by the remainder of the jacking force at > 22 MPa unless noted otherwise below. Each individual strand or bar shall be tensioned during the first stage unless noted otherwise.
- Records of net tendon elongation and other aspects of the tensioning operation required by the Specification shall be submitted to the Engineer and approved prior to cutting of tendons and grouting the ducts.
- All tendons to be grouted in accordance with the specification.
- Post-tensioning anchorage pockets shall be fully grouted with a polymer modified repair mortar. Minimum cover to any tendons or anchorage plate shall be as for the element in which they are located.
- Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
- Grout to pocket with Renderac HB - cured as per manufacturers instructions. Patch to be finished flush with surrounding concrete surface. Refer to Anchorage Recess Grouting Procedure Detail.

STRUCTURAL STEELWORK NOTES

- Unless noted otherwise:
(1) Use 10mm thick gusset, fin & plates welded all round.
(2) All welds 5mm continuous fillet.
(3) All bolts 20mm dia.
(4) All bolts grade 8.8/s (including purin / girt bolts)
(5) All holding down bolts are grade 4.6 U.N.C.
(6) All bolts, including holding down bolts are to be hot dip galvanized.
(7) All fillet welds to be category GP.
(8) Bolt weld all flanges of end plates and at all mitre cuts.
(9) Bolt weld all stiffener plates to flanges only.
(10) All built welds shall be full penetration, grade SP.
(11) All connections to have a minimum of 2 bolts.
(12) Slabs fabricated to AS1554.2.
(13) All shear studs (composite slab to steel) grade 410 MPa.
(14) All welded studs (steel to steel) grade 580 MPa.
- Bolting categories are identified on the drawings in the following manner:
4.6/5 Commercial bolts of grade 4.6 snug tightened.
8.8/5 high strength bolts of grade 8.8 snug tightened.
8.8/1B high strength bolts of grade 8.8 fully tensioned to AS4100 as a bearing type joint.
8.8/1F high strength bolts of grade 8.8 fully tensioned to AS4100 as a friction type joint with fouling surfaces left uncoated.
Note: Grade 8.8 bolts are NOT to be welded.

- Clip all welds free of slag.
- Contractor is to confirm with Architect as to where exposed welds are to be ground flush / smooth.
- Provide temporary bracing to maintain stability of steelwork during construction.
- Do not grind under base plates until first level steelwork is plumb and fixed by welding or bolting.
- Submit all shop drawings to the Superintendent before commencing fabrication.
- Unless noted otherwise, the fixing of purins, girts, bridging, sheeting and any other component shall be in accordance with the Manufacturer's specification and recommendations.
- Bridging shall be designed and erected in accordance with the Manufacturer's requirements. Rod bridging is not acceptable unless approved in writing.
- Sheeting / cladding is to be screw fixed to the purins / girts to provide lateral restraint to the purins/girts in accordance with the Manufacturer's requirements.
- Provide double purins at expansion joints in roof sheeting.
- For bridging members to purins at curved roof areas provide bridging suitable for curved roofs to Manufacturer's details.
- Purin / girt sizes shown are based on the Users Manual-NSW by Lysaght dated 3 Nov 2003, including restraint from roof sheeting and bridging. The manufacturer should confirm any alternative systems used are equivalent or redesign the purins / girts to provide an equivalent system.
- Purin cleats are to be in accordance with the Manufacturers details. Where the distance between the bottom flange of the purin and the rafter is greater than 100mm use 75 x 75 x 9 EA cleats.
- Provide 75 x 75 x 3 galvanneal angle trimmers to support roof sheeting edges at all rafter/valley and angled sheet edges. Fix to each purin with one No. 14 tek screw.
- Lap all 2 purins as follows :

SPAN	LAP
< 8000	800
8000 - 12000	1200
over 12000	1600

STEELWORK FINISHES - COMPLYING WITH AS/NZ 2312.1

All point thicknesses are dry film thickness
Figures in brackets refer to AS/NZ 2312-1 System designation
All surface preparations to AS1627 and in strict accordance with paint manufacturers specifications and requirements.

INTERNAL - long term protection (ZS1)

75 microns of inorganic zinc silicate primer

EXTERNAL - long term protection and steel in contact with masonry and concrete (HD6600)

Hot dip galvanize - 600g/m²

FOUNDATIONS

- Foundations have been designed for:
Allowable Bearing Pressure - 800kPa
- Foundation material is to be inspected and approved by the geotechnical engineer before casting foundations.
- Refer to geotechnical report No. 24989 dated March 1998 by Douglas Partners.
- Locate all pipes, retaining walls and excavation outside a 1:2 (vertical:horizontal) zone of influence from the bottom edge of the footing.
- Where side slope is required to be developed, clean and roughen the sides of the excavation to the satisfaction of the geotechnical engineer.
- Footings shall be located centrally under walls and columns unless noted otherwise.
- Footings to be constructed and backfilled as soon as possible following excavation to avoid softening or drying out by exposure.
- Contractor is to allow for cost of geotechnical inspections.

SLAB ON GROUND NOTES

- Refer to Geotechnical Report No. 24989 dated March 1998 by Douglas Partners.
- Strip all topsoil from the construction area. All stripped topsoil is to be removed from the site unless directed otherwise.
- Before placing fill, proof roll exposed subgrade with 5 passes of a 10 tonne minimum roller to test subgrade and then remove soft spots (areas with more than 2mm movement under roller). Soft spots to be replaced with select fill as per table:

SEVE APERTURE (mm)	TO AS1152	PERCENTAGE PASSED (BY MASS)
75.0	100	100
9.5	100	50
2.36	100	30
0.6	50	15
0.075	25	5
- Plasticity index is to be $>$ or $= 28$ and $<$ or $= 15\%$. Non dispersive (a rating of nil as defined by the "dispersion" test AS1289.3.8.1)
- Compact fill areas and subgrade under buildings and pavements to minimum 98% standard maximum dry density in accordance with AS 1289.5.1.1. Compaction under buildings to extend 2m minimum beyond building footprint.
- All basecourse material to comply with RTA specification NO 3051 and compacted to minimum 98% modified standard dry density in accordance with AS 1289.5.2.1.
- Place sand blinding prior to placement of 0.2mm vapour barrier.

MASONRY NOTES

- Masonry to be in accordance with AS 3700.
- Masonry units shall comply with AS/NZS 4455 and as follows:

Type of masonry unit	Characteristic unfactored compressive strength f_{cu}	Characteristic lateral modulus of rupture f_{lt}
Clay & Calcium silicate	15 MPa	0.8 MPa
Concrete (used in unreinforced non-loadbearing masonry)	4.5 MPa (hollow units) 3.0 MPa (solid or cored units)	0.8 MPa
Concrete (used in unreinforced loadbearing masonry and reinforced masonry)	18 MPa (hollow units) 10 MPa (solid or cored units)	0.8 MPa
- All load bearing concrete masonry walls shall have all cores filled with grout U.N.C. Core filling grout shall be thoroughly compacted. Grout to be in accordance with AS3700 and as follows:

Location	f_{ck} MPa	Specified Slump	Maximum Agg. Size
Grout	20	230	10
- Mortar shall consist of the following:
M3 for general applications
1 part Type GP cement : 5 parts sand plus water thickener
M4 for elements in interior environments subject to soiling, wetting and drying, below a damp-proof course or in contact with ground in aggressive soils, in severe marine environments, or saline or contaminated water including tidal splash zones and within 1km of an industry producing chemical pollutants.
1 part Type GP cement : 4 parts sand plus water thickener
- Provide vertical control joints in masonry over permanent form joints and as per the architectural drawings.
- Masonry walls shown on the structural plans are load-bearing U.N.C. Non-loadbearing walls shall be separated from the concrete structure above with 20mm compressible filler. Masonry walls supporting slabs shall have a layer of mortar trowled smooth on top. Provide M.E.T. slights to separate floor slabs and masonry. Provide Hercules HD600-SLP COMPOSITE to separate roof slabs and masonry.
- Other than what is allowed in the specification no chasing or rebates may be made in masonry walls without written approval.
- The contractor shall provide records that demonstrate all masonry bed joint reinforcement, masonry ties and masonry wall stiffeners have been installed in accordance with the drawings and specification.
- In reinforced blockwork cleanout openings shall be provided at the bottom of each core containing vertical reinforcement. Reinforced cores shall be cleaned of mortar protrusions before grouting.
- All reinforced block walls shall have all cores filled with grout U.N.C. Core filling grout to be in accordance with note 3.
- Cover to reinforcement to be 50mm to face of block U.N.C.
- Provide bed joint reinforcement as follows:
M.E.T. galvanneal masonry ties where M3 mortar is used (supplied by DUNSTON, WAZE in NSW)
Ancon CCL stainless steel where M4 mortar is used and locate as follows:
- in 2 bed joints below and above head and sill flashings to openings
- in 2 bed joints below and above openings
- in third bed joint above bottom of wall
- in second bed joint below top of wall

- These drawings are preliminary drawings issued for tender as an indication of the extent of works only. They are not a complete construction set of drawings.
- To determine the full extent of work, these drawings shall be read in conjunction with the architectural drawings and other contract documents. Allow for all items shown on architectural and other drawings as not all items are shown on the structural drawings.
- Should any ambiguity, error, omissions, discrepancy, inconsistency or other fault exist or seem to exist in the documents, immediately notify in writing to the Superintendent.
- Notes shown on the drawings are for the final structure in place and do not allow for any wastage, rolling margins, over supply or fabrication requirements, etc.

TENDER NOTES

- These drawings are preliminary drawings issued for tender as an indication of the extent of works only. They are not a complete construction set of drawings.
- To determine the full extent of work, these drawings shall be read in conjunction with the architectural drawings and other contract documents. Allow for all items shown on architectural and other drawings as not all items are shown on the structural drawings.
- Should any ambiguity, error, omissions, discrepancy, inconsistency or other fault exist or seem to exist in the documents, immediately notify in writing to the Superintendent.
- Notes shown on the drawings are for the final structure in place and do not allow for any wastage, rolling margins, over supply or fabrication requirements, etc.

Rev	Description	Eng	Draft	Date
E	ISSUED FOR TERRACE CONSTRUCTION CERTIFICATE	M.K.	G.J.P.	28.05.07
D	ISSUED FOR CONSTRUCTION	M.K.	G.J.P.	23.06.07
C	REVISED AS NOTED	M.K.	G.J.P.	28.11.06
B	RE-ISSUED FOR TENDER	M.K.	G.J.P.	27.10.06
A	UNDERPINNING NOTES ADDED	M.K.	G.J.P.	13.10.06
A	ISSUED FOR TENDER	M.K.	G.J.P.	26.09.06
P1	PRELIMINARY ISSUE	R.W.	R.C.L.	08.08.06

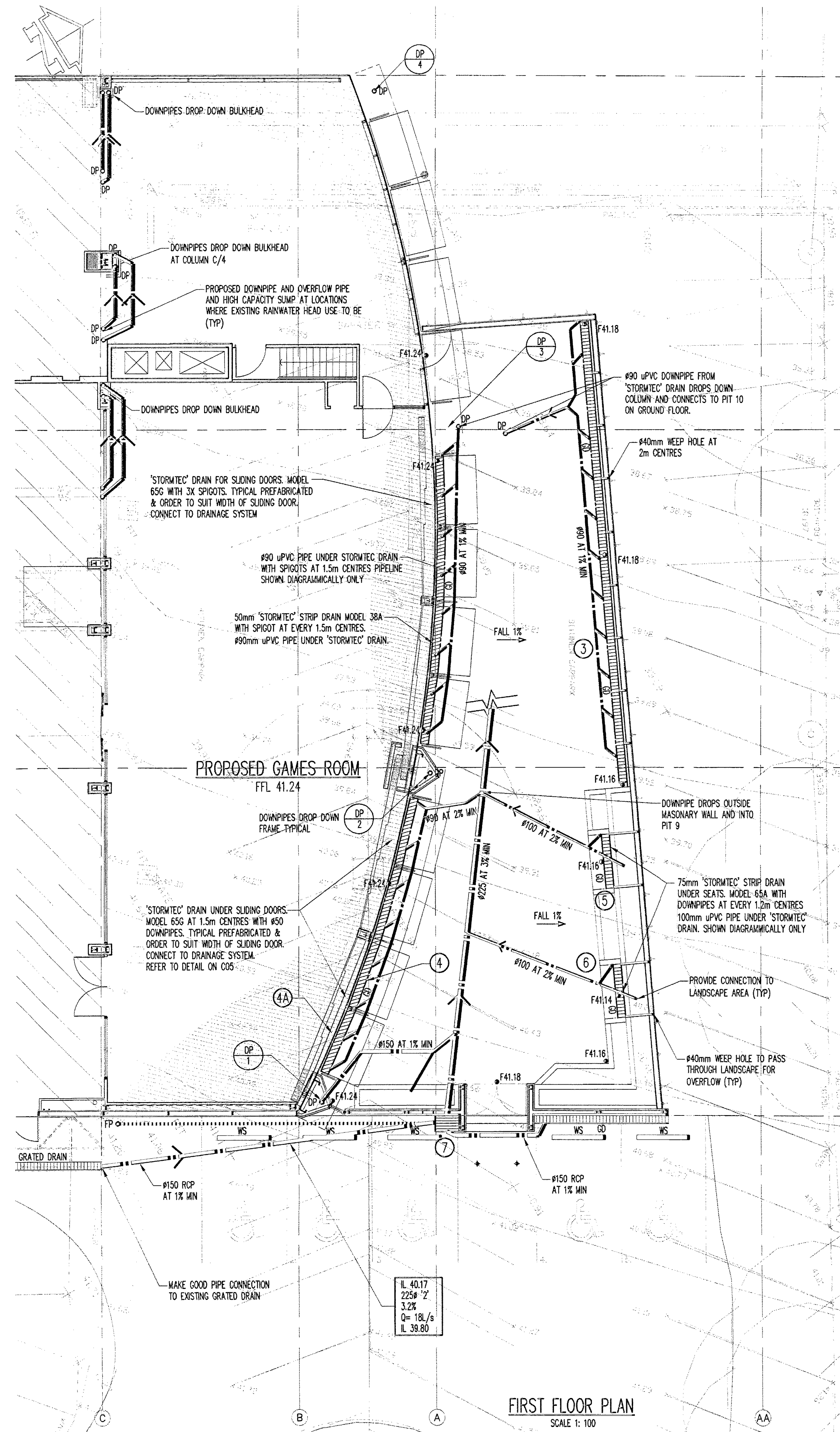
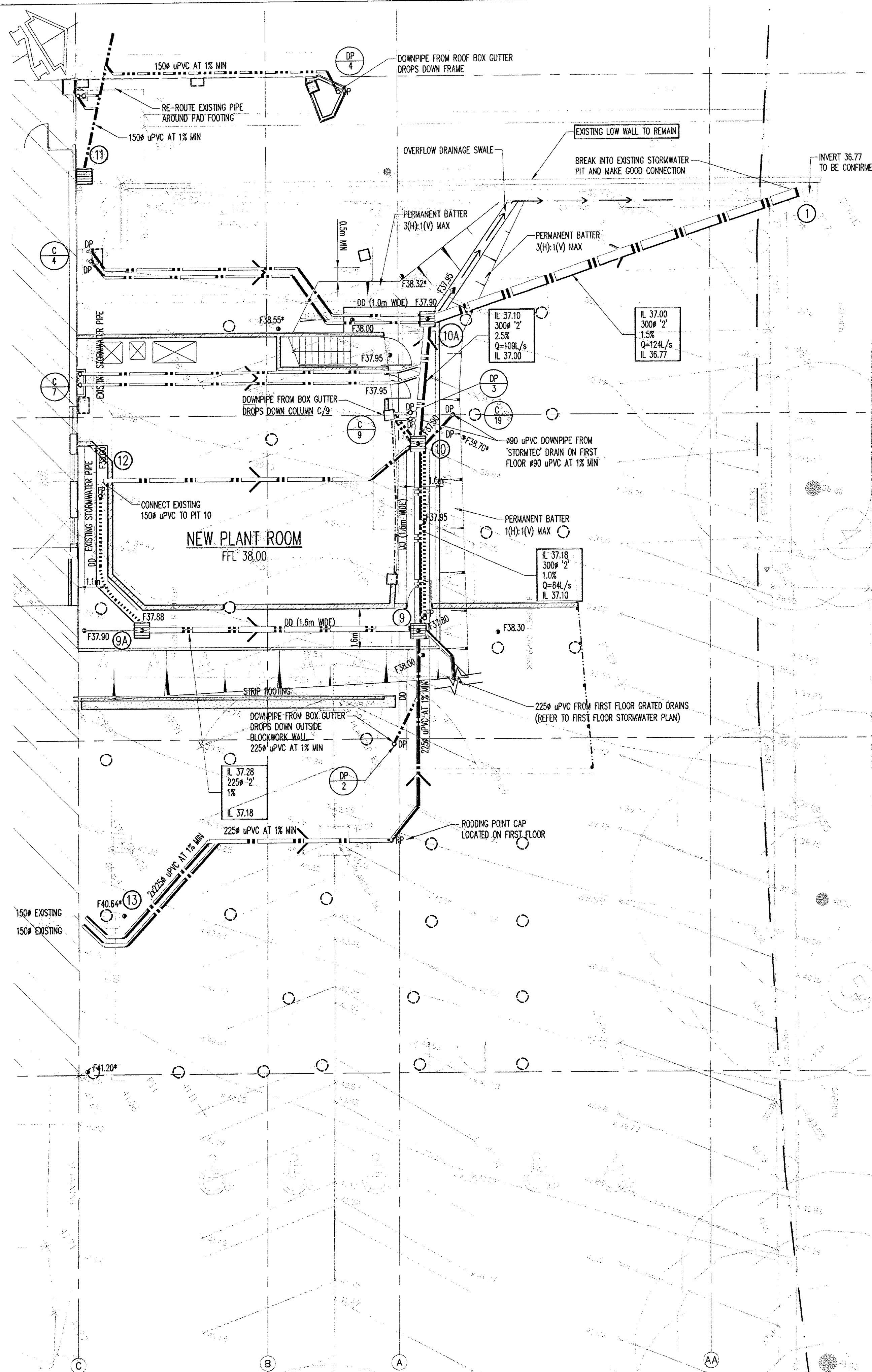
STRUCTURAL NOTES

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Scale : A1	Drawn	Authorised
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Job No	Drawing No	Revision
061117	S00	E
Plot File Created: May 28, 2007 - 9:01am		



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REFER TO DRAWING C01 FOR CIVIL NOTES

EXISTING ROOF DRAINAGE

1. EXISTING BOX GUTTER TO BE REPLACED - 450(W) X 150(D)
2. EXISTING RAINWATER HEADS TO BE REMOVED
3. DOWNPIPE Ø150 WITH 450(W) X 800(L) X 150(D) SUMP & Ø150 OVERFLOW PIPE

PROPOSED ROOF DRAINAGE

1. BOX GUTTER - 600(W) X 170(D)
2. DOWNPIPE Ø150 WITH 600(W) X 350(L) X 125(D) SUMP & OVERFLOW DUCT THROUGH FASCIA 300(W) X 150(D)

F	ISSUE FOR CONSTRUCTION CERTIFICATE	PL	TB	28.05.07
E	ISSUE FOR CONSTRUCTION	PL	TB	27.03.07
D	STORMTEC DRAIN REVISED	DN	TB	06.12.06
C	STORMTEC DRAIN ADDED	DN	TB	24.11.06
B	RE-ISSUE FOR TENDER	DN	TB	27.10.06
A	ISSUE FOR TENDER	DN	TB	20.10.06
Rev	Description	Eng	Draft	Date

Project
PITTWATER RSL CLUB

Sheet Subject

**SITEWORKS AND
STORMWATER PLAN**

Client

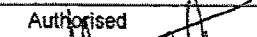
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Taylor Thomson Whitling (NSW) Pty Ltd A.C.N. 113 578 377			
Scale : A1	Drawn	Authorised	
1:100	TB		
Job No	Drawing No	Revision	
061117	C02	F	
Plot File Created: May 28, 2007 - 10:04am			

1. Contractor must verify all dimensions and existing levels on site prior to commencement of works. Any discrepancies to be reported to the Engineer
2. Strip all topsoil from the construction area. All stripped topsoil shall be disposed of off-site unless directed otherwise.
3. Make smooth connection with all existing works.
4. Contractor to subside under buildings and excavations to a minimum 98% standard maximum dry density in accordance with AS 1289.51.
5. Compaction under buildings to extend 2m minimum beyond building footprint.
5. All work on public property, property which is to become public property, or any work which is to come under the control of the Statutory Authority is to be carried out in accordance with the requirements of the relevant Authority. The Contractor shall also ensure that all work is carried out in accordance with the requirements of the Authority are different to the drawings and specifications, the requirements of the Authority shall be applicable.
6. For all temporary matters refer to geotechnical recommendations

1. These drawings have been based from, and to be read in conjunction with the following Consultants drawings. Any conflict to the drawings must be notified immediately to the Engineer.

PIT SCHEDULE

Note: Grate size does not necessarily reflect pit size, refer pit
type data, shown on detail sheets - CDE

STORMWATER DRAINAGE NOTES

1 Stormwater Design Criteria :

(A) Average recurrence interval -
1:100 years for roof drainage to first external pit
1:20 years for paved and landscaped areas

(B) Rainfall intensities -
Time of concentration: 5 minutes
1:100 years = 259 mm/hr
1:20 years = 203 mm/hr

(C) Runoff coefficients -
Roof areas: $C_{ro} = 1.0$
Roads and paved areas: $C_{ao} = 0.95$
Landscaped areas: $C_{lo} = 0.58$

2. Pipes 300 dia and larger to be reinforced concrete DSS "2" approved spigot and socket with rubber ring joints U.N.O.
3. Pipes up to 300 dia shall be sewer grade uPVC with solvent welded joints.
4. Equivalent strength VOP or FCR pipes may be used subject to approval.
5. Precast pipes may be used external to the building subject to approval by.
6. Enlargements, connections and junctions to be manufactured in concrete where pipes are less than 300 dia.
7. Where subsoil drains pass under floor slabs and vehicular pavements, uncoated UPVC sewer grade pipe is to be used.
8. Grates and covers shall conform with AS 3996-2006.
9. 1200 x 1200 for road drains and 600 x 600 for footpaths.
10. Pipes are to be installed in accordance with AS 3725 All bedding to be type H2, U.N.O.
11. Care is to be taken to ensure that stormwater lines, grades shown are not to be reduced without approval.
12. All stormwater pipes to be 150 dia at 1.0% min fall U.N.O.
13. Subsoil drains to be styled as per drawings.
14. Adopt level lines for pipe installation (grades shown are only nominal).

	Finished surface level
	Dish drain
	Stormwater pit, flow direction and line with Invert level upstream Pipe size and class Pipe grade Flow (Litres per second) Invert level downstream
	Down pipe
	Rodding point
	Suspended stormwater line
	Subsoil drainage line (100 dia)
	Flushing point
	Groated drain
	Wetstop

SURVEY

Origin of levels : SSM 79739 R.L. 6.454 (AHD)
Datum of levels : A.H.D. AUSTRALIAN HEIGHT DATUM
Coordinate system : ISG
Survey prepared by : TREHY INGOLD NEATE
Setout Points : CONTACT THE SURVEYOR
CONTACT THE SURVEYOR

Taylor Thomson Whitting does not guarantee that the survey information shown on these drawings is accurate and will accept no liability for inaccuracies in the survey information provided to us from any cause whatsoever.

The locations of underground services shown on Taylor Thomson Whittings drawings have been plotted from diagrams provided by service authorities. This information has been prepared solely for the authorities own use and may not necessarily be updated or accurate.

The position of services as recorded by the authority at the time of installation may not reflect changes in the physical environment subsequent to installation.

Taylor Thomson Whitting does not guarantee that the services information shown on these drawings shows more than the presence or absence of services, and will accept no liability for inaccuracies in the services information shown from any cause whatsoever.

The Contractor must confirm the exact location and extent of services prior to construction and notify any conflict with the drawing immediately to the Engineer/Superintendent.

The contractor is to get approval from relevant the state survey department, to remove any survey mark. This includes but is not limited to; State Survey Marks (SSM), Permanent Marks (PM), cadastral reference marks or any other survey mark which is to be removed or adjusted in any way.

	Surface level
	Colour
	Kerb line
	Batter
	Retaining wall
	Stormwater drainage line
	Telecommunications line
	Gas line
	Water main
	Sewer line
	Fence
	Boundary
	Sign
	Hydrant
	Manhole
	Gas
	Stop Valve
	Water
	Telstra
	Trap
	Gully
	Grate
	Sewer Manhole
	Energy Australia (Electricity)
	Electric Light Pole
	Permanent Mark
	Bench Mark
	Flag Pole Box
	Ballard
	Seat

1. All bulk earthworks setout from grid lines U.N.O.
2. All batters at a slope of 1 (H) : 1 (V) U.N.O.
3. Excavated material may be used as structural fill provided,
 - (i) it complies with the specification requirements for fill material
 - (ii) the placement moisture content complies with the Geotechnical Consultants requirements, and allows filling to be placed and proofrolled in accordance with the specification. Where necessary the Contractor must moisture condition the excavated material to meet these requirements.

Compost fill areas and subgrade to not less than:		
Location	Standard dry density (AS 1289 5.1.1)	Moisture (OMC)
Under building slabs on ground	98%	±2%
Under roads and carports:	98%	±2%
Landscape areas:	95%	±2%

Before pitching fill, ground exposed subgrade with a 10 metre radius shall be cut subgrade and then remove soft spots (areas with more than 3mm movement under soft soil).
Soft spots to be replaced with **select fill** U.N.O.
Contractor shall place safety barriers around excavations in accordance with relevant safety regulations.
For integration of bulk earthworks, full print line shown on the bulk earthworks drawings refer to the bulk earthworks construction legend.
Bulk earthwork drawings are not to be used for detailed excavation. Refer to Geotechnical Report prepared by
— DOUGLAS PARTNERS
PITKINER SP, CLUB, MONA VALA, SP, MONA VALA

Diagram illustrating the cross-section of a retaining wall structure, labeled **BATTER TYPE A**. The diagram shows the wall face, the bulk earthworks line, the proposed building or retaining wall, and the building bulk platform level. The wall is constructed on a 1m UND (undisturbed ground) base. The wall is labeled **BATTER TYPE A**.

1. * Bulk Earthworks level = Finish surface – Pavement/slab thickness
2. Refer architects drawings for building setout
3. Bulk Earthwork drawings are for bulk excavation only. They are not to be used for detailed excavation such as: lift shafts, footings, pits etc
4. Bulk Earthwork setout refers to bulk excavation only. They are not to be used for building, kerb or any other setout.

EXPOSURE CLASSIFICATION

CONCRETE

Location	AS 1379 Cure time W/C at 28 days	Specified Slump	Specified Strength	Nominal Agg. Size
Plis, Kerbs, footpaths	S(25)	80	20	
Footings	S(32)	80	20	
Vertical pavements	S(32)	80	20	

at 50° C for 24 hours.

- Use Type "S" cement unless otherwise specified.
- All concrete shall be subject to project assessment and testing to AS 1379.
- Conformity by mechanical vibration. Cure all concrete surfaces as directed in the Specification.
- For all fills in abut, dip, grove, reverts, chambers etc. refer to Architects drawings and specifications.
- Unless shown on the drawings, the location of all construction joints shall be submitted to Engineer for the review.
- No holes or changes shall be made in the slab without the approval of the Engineer.
- Curbs and gapes are to be fixed to the underside of the top reinforcement.
- Shurry used to lubricate concrete pump lines is not to be used in any structural members.

(170) Indicates Slab or Board thickness variation.

ix. Fix reinforcement as shown on drawings. The type and grade is indicated by a symbol as shown below. On the drawings this is followed by a number which indicates the size in millimetres of the reinforcement.

N. Hot rolled ribbed bar	grade D50N
R. Plain round bar	grade F50N
S. Square mesh	grade F50N
L. Square mesh	grade F50L
R. Rectangular mesh	grade F50R

x. Provide bar supports or spacers to give the following concrete cover to all reinforcement unless otherwise noted on drawings.

Bottoms	bottom, top, sides.
Slabs	top, bottom, when exposed to weather.
Beams	bottom, sides, top to ties.
Columns	top and bottom, when exposed to weather or ground.
Walls	generally.

When cast in forms but later exposed to weather or ground, when cast directly in contact with ground.

xi. Cover to reinforcement ends to be 45 mm u/c.

xii. Provide N12-400 support bars to top reinforcement.

xiii. Rebar to be 450 mm lap.

xiv. Main cover to all pipes/cables/teleguide grooves etc. laps in reinforcement shall be made only where shown on the drawings and shall be 40 bar diam. Lap lengths shall be 40 bar dia. unless noted otherwise.

xv. All laps to be standard class unless noted otherwise.

xvi. The ends and top of reinforcement shall be protected in accordance with the manufacturers requirements to achieve a 100% service life of the reinforcement and that there is a minimum of 3 layers of all location.

9. COGGED BAR LAPS U.N.O.

Diagram 9 illustrates a lap joint for cogged bars. The top bar has a width of 25. The lap length is 40 bar dia. The bottom bar is labeled 'BTM BARS SIMILAR'. The joint is labeled 'STANDARD COG'. The vertical dimension of the cog is labeled 'BAR DIA'.

The design, certification, construction and performance of the formwork, falsework and backpropping shall be the responsibility of the contractor. Proposed method of installation and removal of formwork is to be submitted to the superintendent for comment prior to work being carried out.

1. Denotes the extent of crop covered by bars.

2. Denotes a change in bar shape or length.

3. Indicates to repeat bars tagged thus etc.

4. **BARS IN DIRECTION INDICATED BY ARROW.**

5. Bars shown encircled or plain are to be placed alternately.

6. **ALL** denotes bars of different length and/or shape to be laid alternately.

7. **10** Indicates 10 bars at 250 centres

8. **1** bars placed one per space centrally over column.

LIST OF ABBREVIATIONS:

U.O. = unless noted otherwise

N.W. = North West N.S.O. = Not Shown On Plan

E.W. = East West N.S.E. = Not Shown On Elevation

E.F. = Each Face N.F. = Near Face

F.F. = Far Face

1. All basecourse material to comply with RTA specification No 3051 and compacted to minimum 98% modified standard dry density in accordance with AS 1289 5.2.1.
2. All trench backfill material shall be compacted to the same density as the adjacent material.
3. All service trenches under vehicular pavements shall be backfilled with an approved select material and compacted to a minimum 98% standard maximum dry density in accordance with AS 1289 5.1.1

The property boundary and easement locations shown on Taylor Thomson Whiting drawing's have been based from information received from: No boundary information received.
Refer architect for boundary information and locations
Taylor Thomson Whiting makes no guarantees that the boundary or easement information shown is correct.
Taylor Thomson Whiting will accept no liabilities for boundary inaccuracies. The contractor/builder is advised to check/confirm all boundaries in relation to all proposed work prior to the commencement of construction. Boundary inaccuracies found are to be reported to the superintendent prior to construction starting.

BULK EARTHWORKS LEGEND

Diagram illustrating the legend for Bulk Earthworks:

- Botter
- Bulk Earthworks Step (Step from low side to high side)
- Bulk earthworks spot level
- Bulk earthworks contour level
- Bulk earthworks platform level

1. All exposed concrete pavements are to be broomed finished.
2. All edges of the concrete pavement including keyed and doweled joints are to be finished with an edging tool.
3. Concrete pavements with grades greater than 10 % shall be heavily broomed finished.
4. Carborundum to be added to all stair treads and ramped crossings U.N.O.

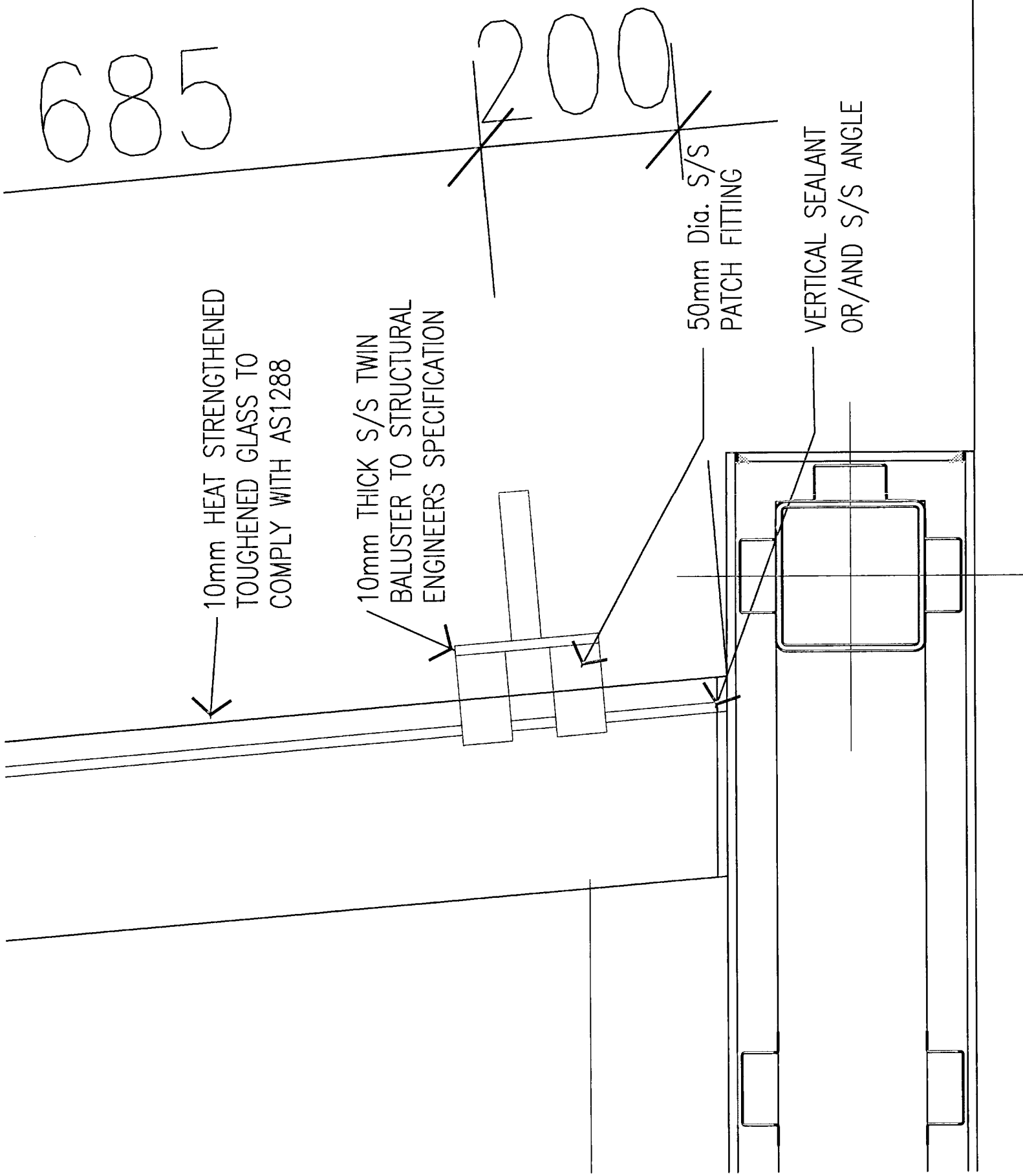
1. These drawings are preliminary drawings issued for tender as an indication of the extent of works only. They are not a complete construction set of drawings.
2. To determine the full extent of work, these drawings shall be read in conjunction with the architectural drawings and other contract documents.
Allow for all items shown on architectural and other drawings as not all items are shown on the structural/civil works drawings.
3. Should any ambiguity, error, omissions, discrepancy, inconsistency or other fault exist or seem to exist in the documents, immediately notify in writing to the Superintendent.
4. Rates shown on the drawings are for the final structure/civil works in place and do not allow for any waste, rolling margins, over supply or fabrication requirements, etc.

CIVIL WORKS FOR WATER RSL CLUB

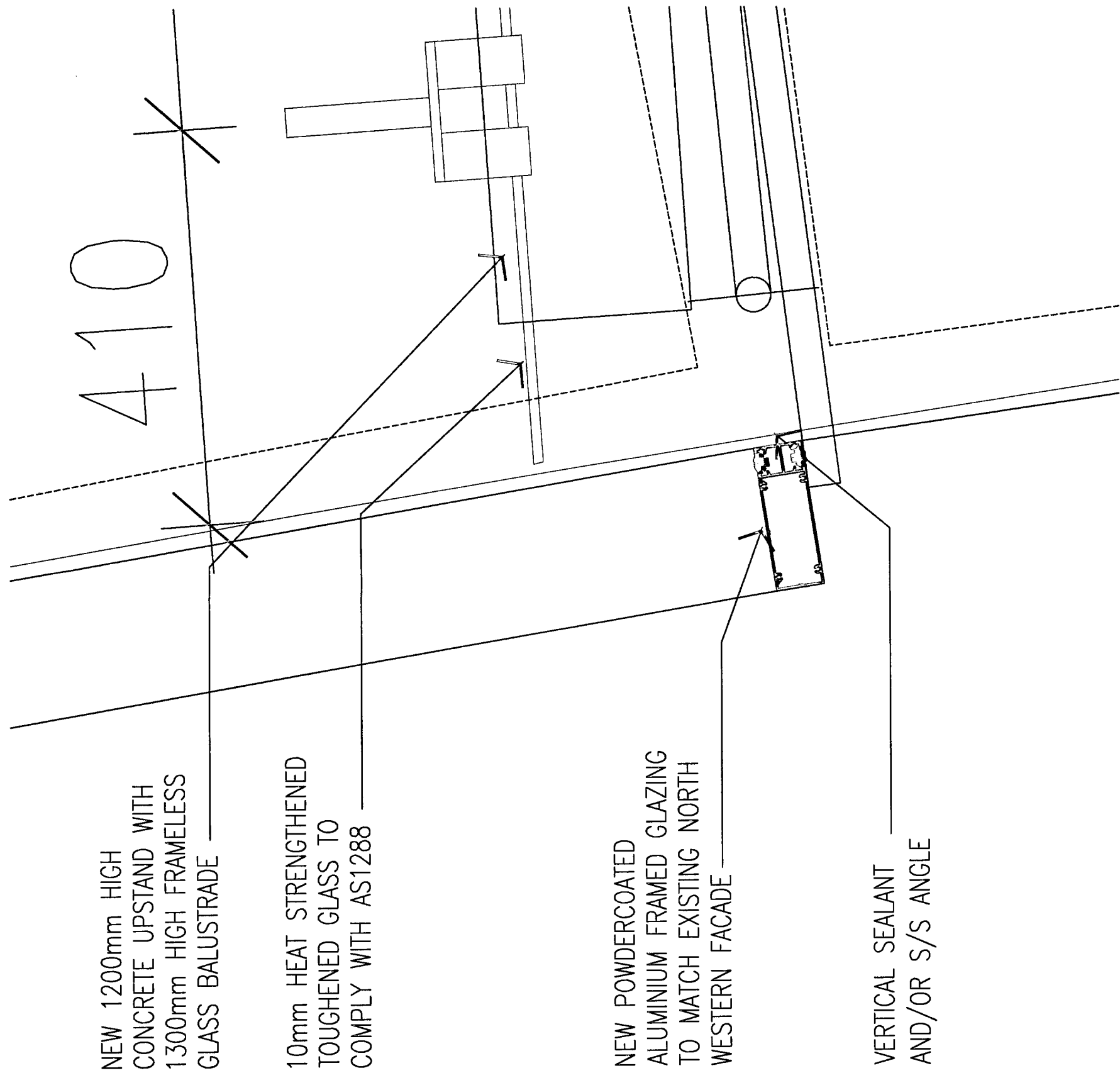
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C01	NOTES AND LEGENDS SHEET
C02	SITEWORKS AND STORMWATER PLAN
C03	BULK EARTHWORKS PLAN
C04	EROSION AND SEDIMENT CONTROL PLAN
C05	DETAILS SHEET

ORIGINAL SHEET SIZE: A0 - 1189 x 841

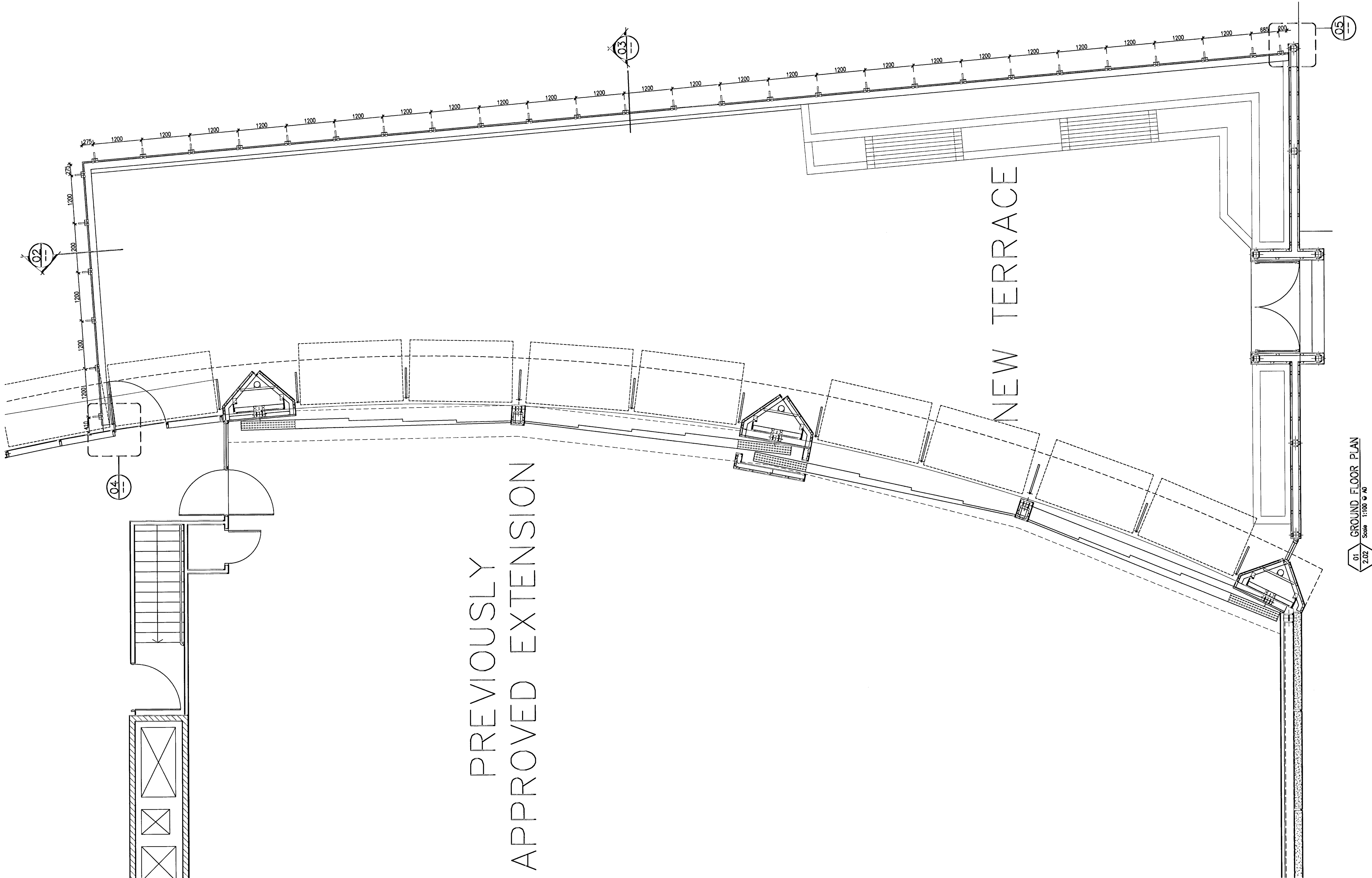
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DATE: 03.03.05
BY: MR
CHECKED: MS
APPROVED: MS



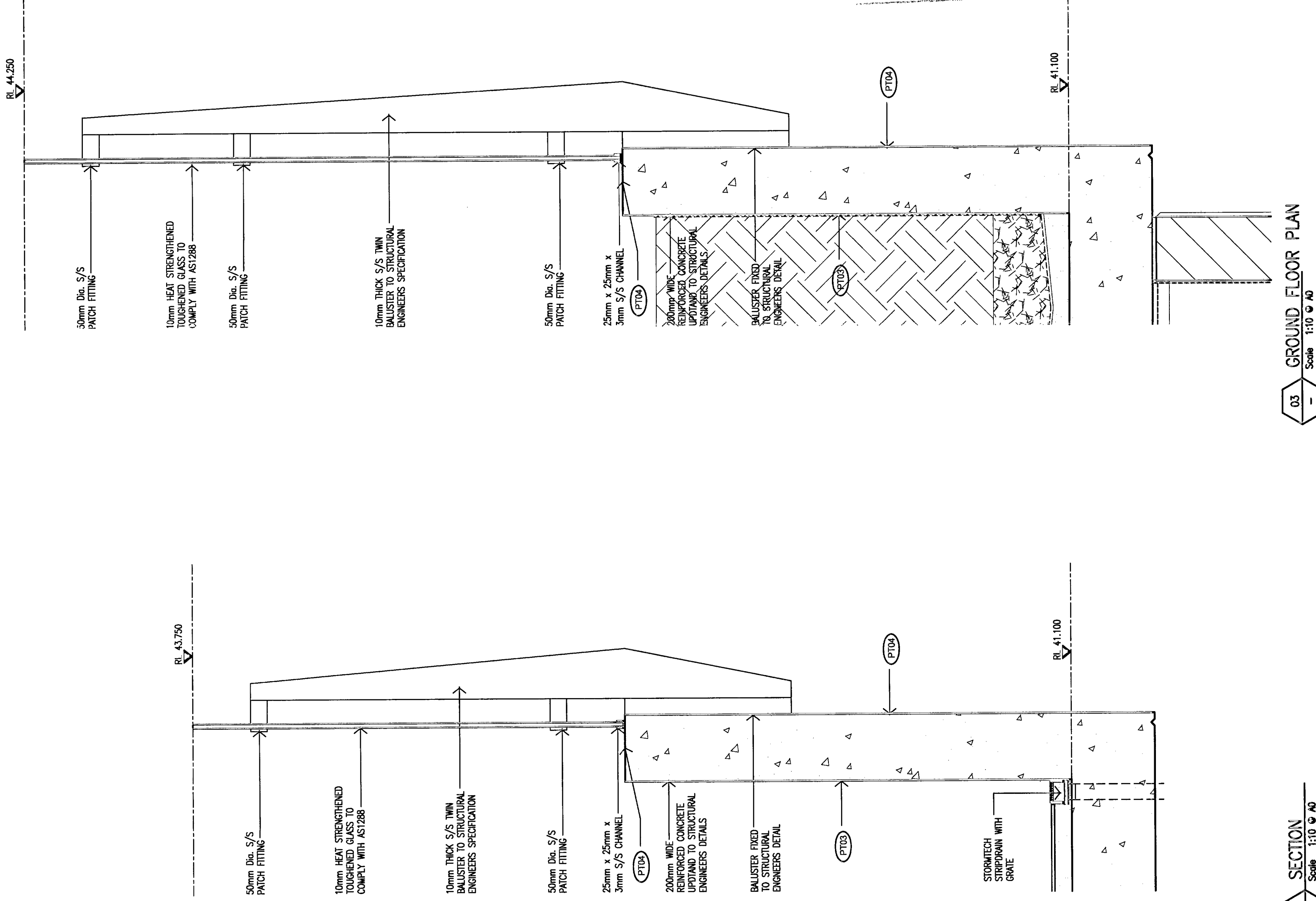
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04 PLAN - DETAIL
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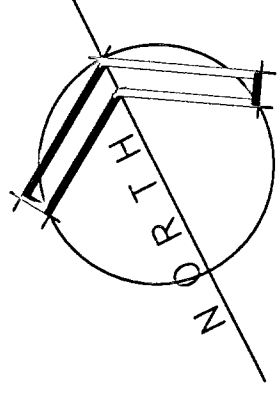


01 GROUND FLOOR PLAN
Scale: 1:100 @ A0



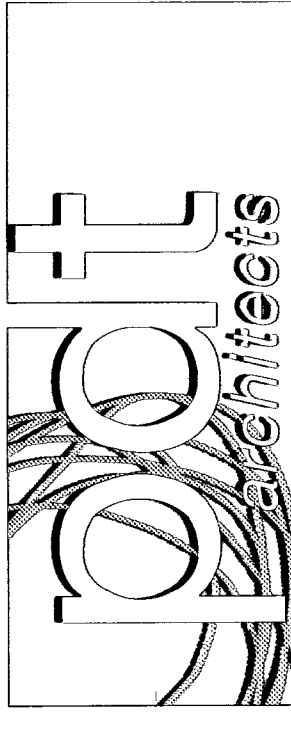
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03 GROUND FLOOR PLAN
Scale: 1:10 @ A0



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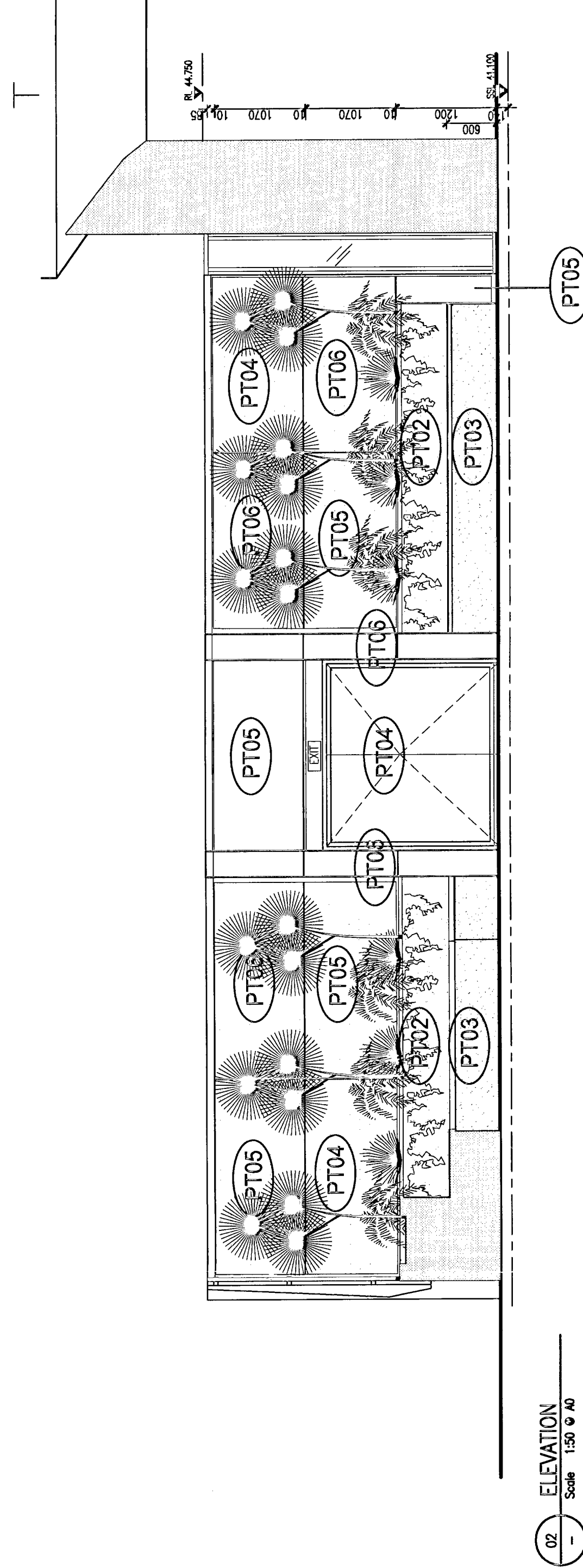


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sydney@pdtarchitects.com.au

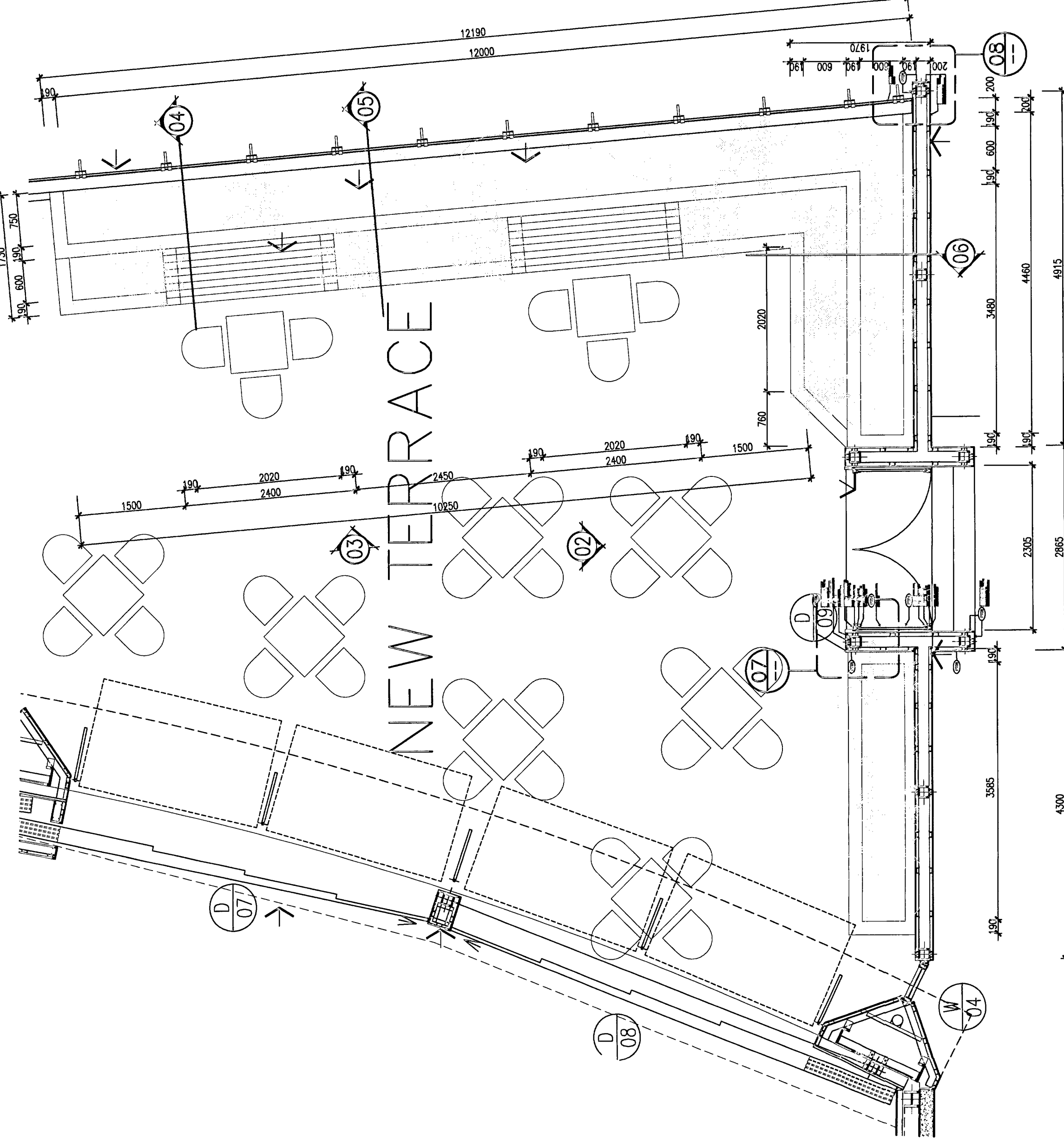
PITTWATER RSL CLUB
80-82 MONA VALE ROAD
BUILDING EXTENSION & NEW TERRACE
BALUSTRADE SETOUT & DETAILS

Travis R. House & Associates Pty Ltd
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Developed by: *Travis R. House & Associates Pty Ltd*
CP 27038 - 1
Henderson, L. House, 828-838...
As a registered engineer, I certify that this drawing is a true and correct representation of the work described.

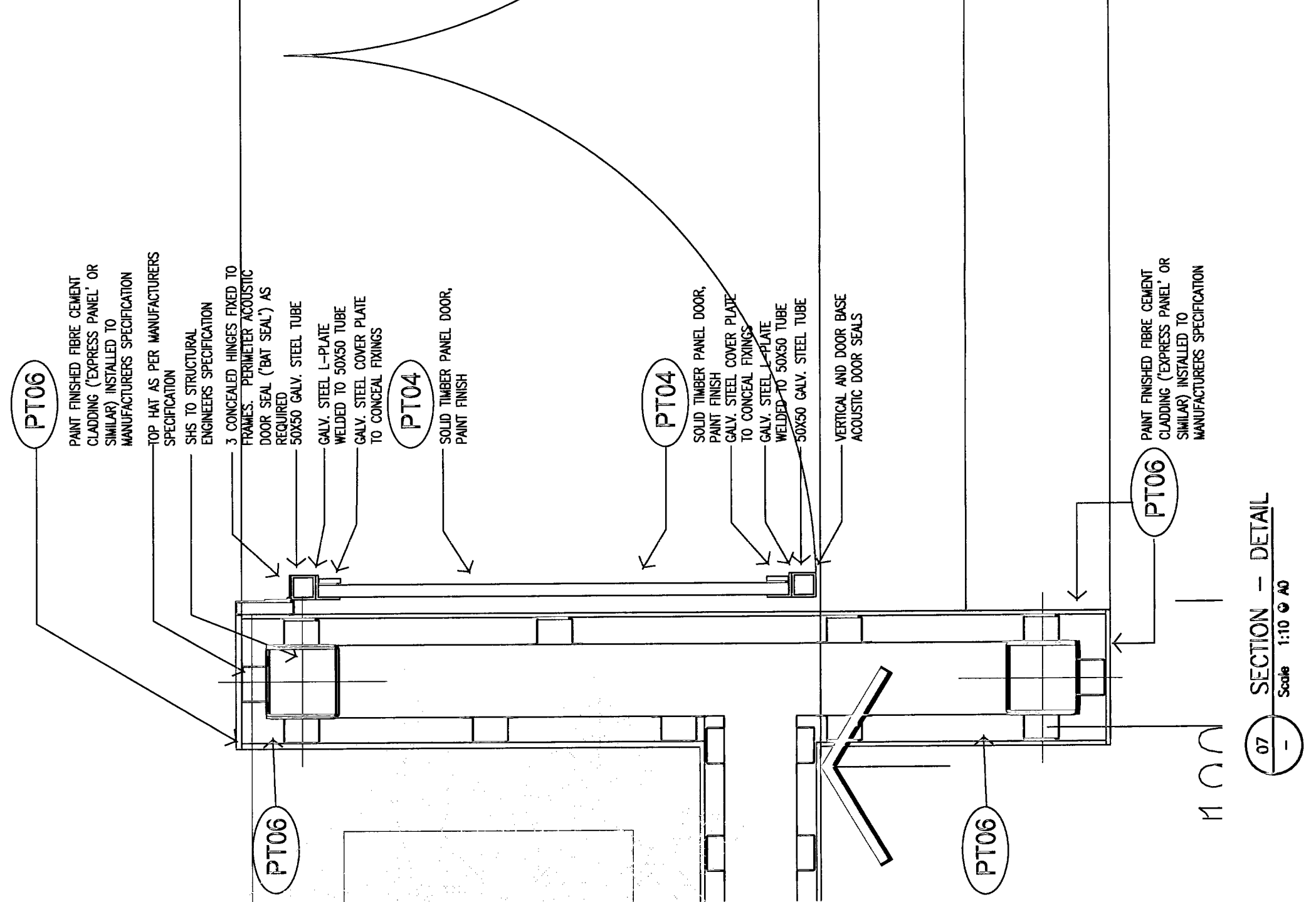
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BY	WD			
DATE	29.11.06			
BY	MR			
DATE	29.11.06			
BY	MS			
AMENDMENTS				
DATE	ISSUE	ACTIVITY	DATE	CHK
17.01.07	01	ISSUE FOR CONSTRUCTION	JK	MS
29.01.07	02	CONSTRUCTION ISSUE	KM	MS
29.01.07	24	PANT CODES ADDED	JK	JK
29.01.07	25	PANT CODES ADDED	JK	JK
29.01.07	26	PANT CODES ADDED	JK	JK
31.01.07	30	CONSTRUCTION ISSUE 03	JK	MS
31.01.07	31	CONSTRUCTION ISSUE 03	JK	MS
14.03.07	04	CONSTRUCTION ISSUE - WHOLE	KM	MS
14.03.07	05	CONSTRUCTION ISSUE 05	KM	MS
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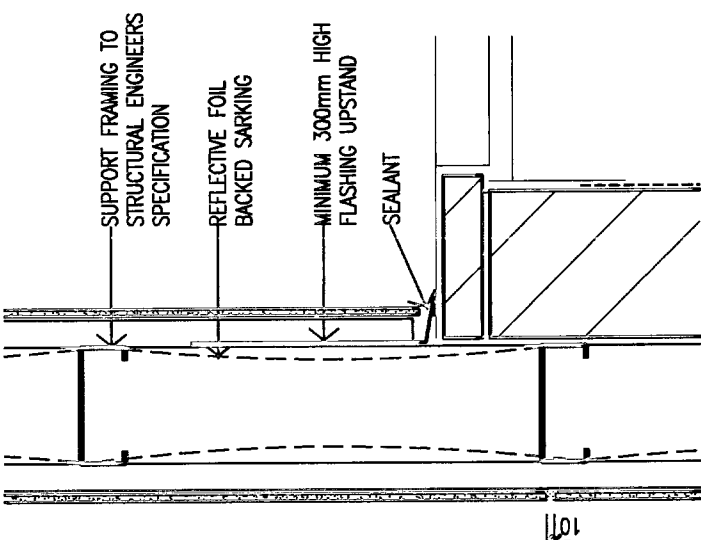
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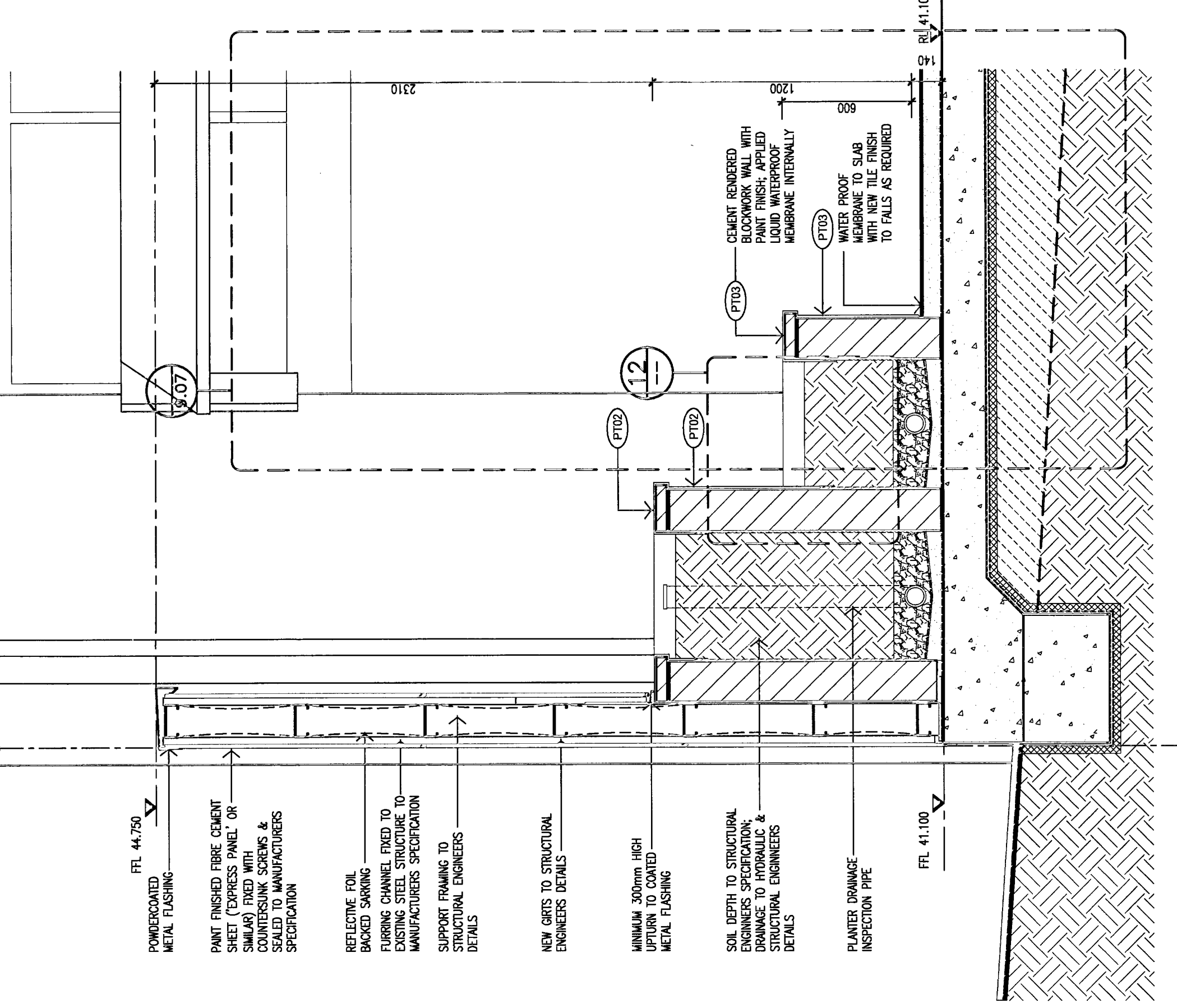
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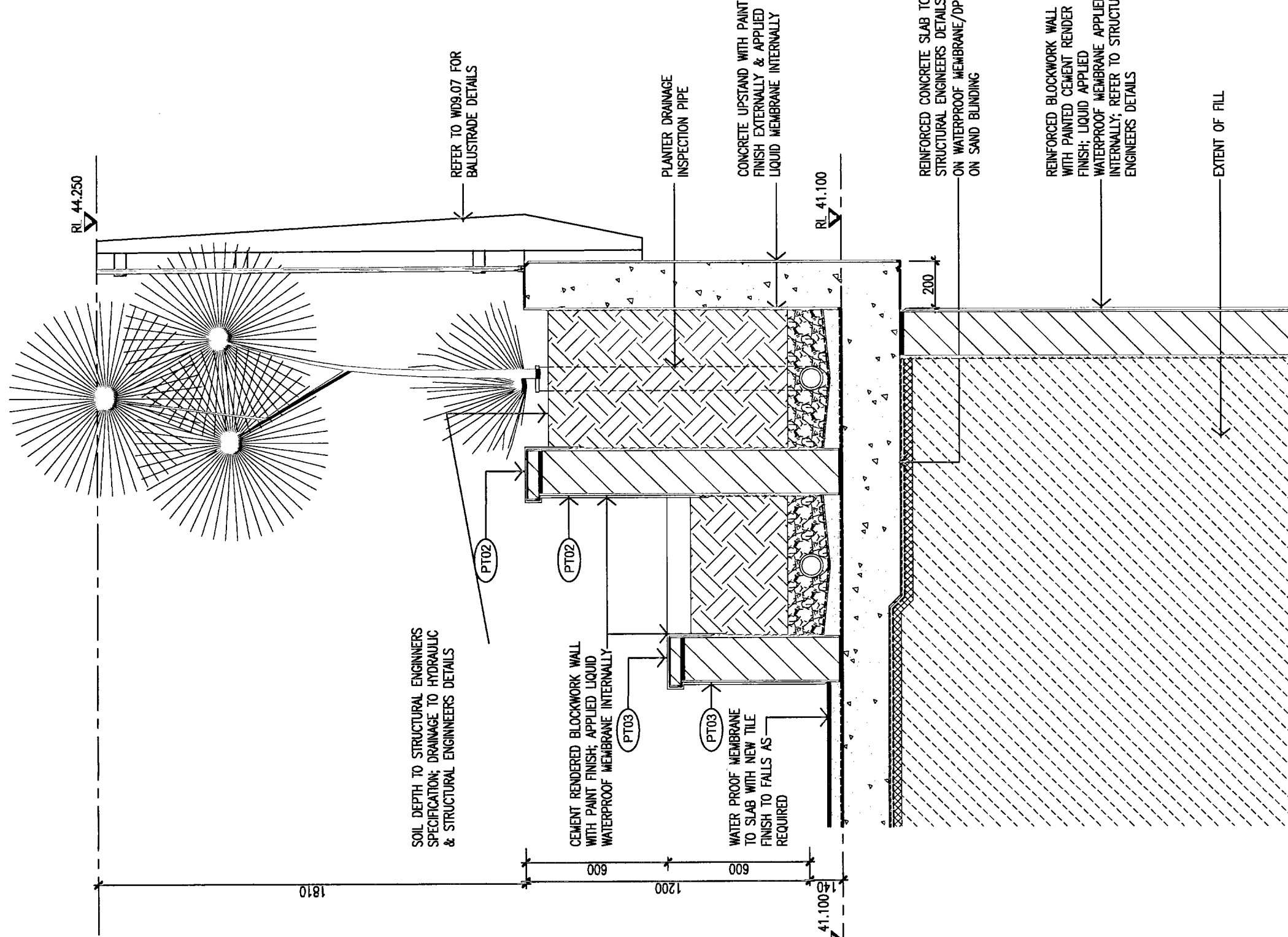
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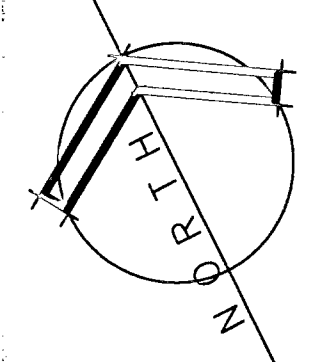


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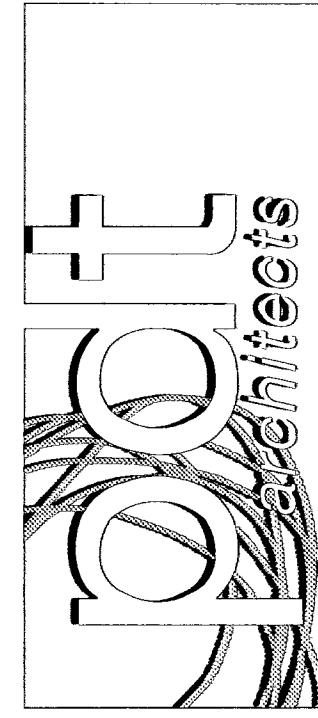


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Worrell R. House & Associates
Architects
Registration No: 005008



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PITTWATER RSL CLUB
80-82 MONA VALE ROAD

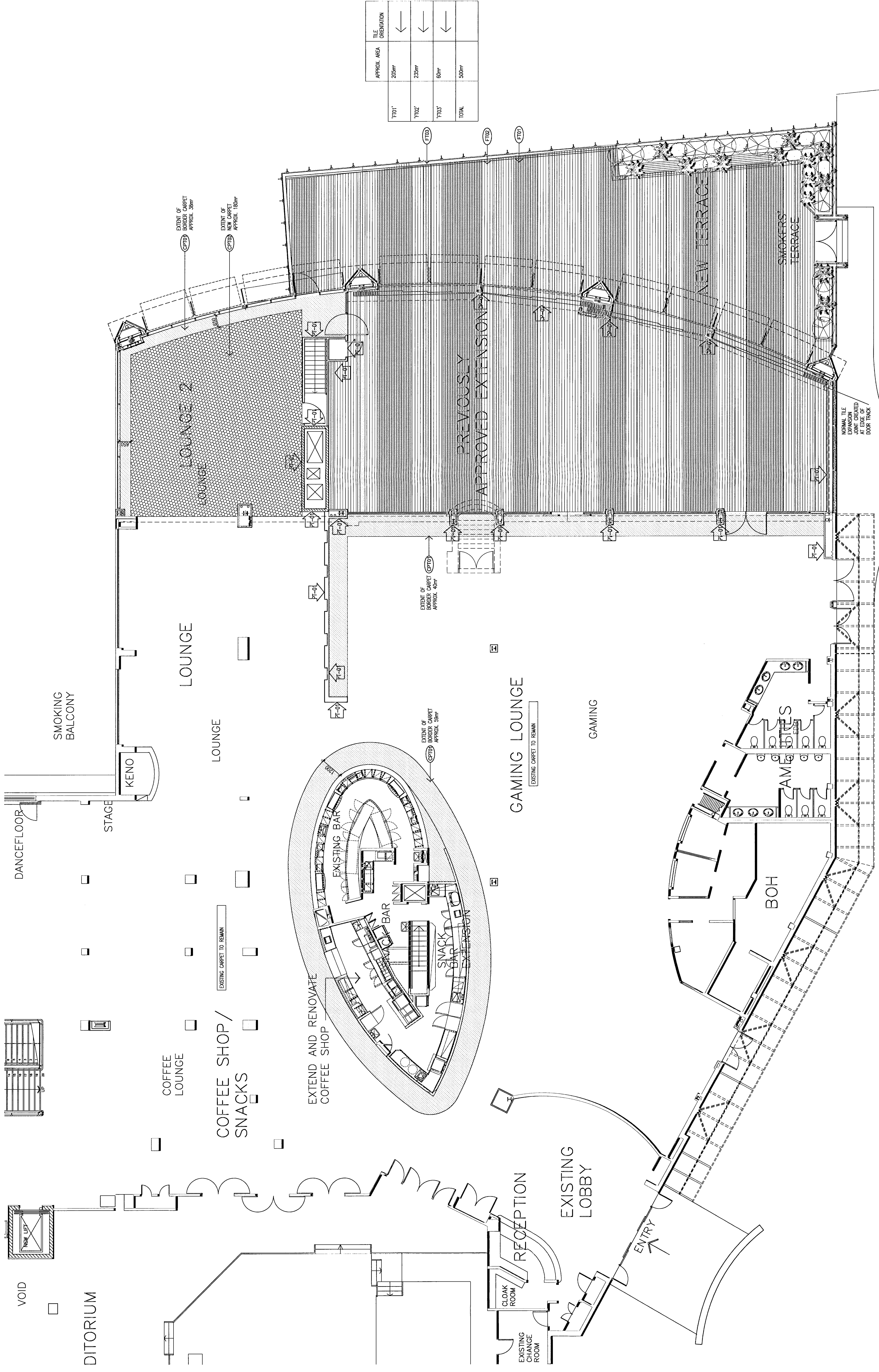
BUILDING EXTENSION & NEW TERRACE

CONSTRUCTION DETAILS

DATE	REVISION	BY	DATE	REVISION	BY
04.04.06	MR				

DATE	REVISION	BY	DATE	REVISION	BY
17.01.07	01	ISSUED FOR CONSTRUCTION	JK	MS	
27.02.07	02	CONSTRUCTION ISSUE 2	JK	MS	
26		ADDS TO SUIT NEW TERRACE	JK	MS	
07.03.07	03	CONSTRUCTION ISSUE 2	JK	MS	
36		TILE ORIENTATION AND QUANTITIES AMENDED.	JK	MS	
07.03.07	04	CONSTRUCTION ISSUE 2	JK	MS	
30.05.07	04	ISSUED TO COUNCIL FOR C.C.	JK	MS	

APPROX. AREA	TILE ORIENTATION
1707	←
1702	←
1703	←
TOTAL	←



EXISTING DRIVEWAY

CLIENT
PITTSBURGH
PITTSBURGH
PITTSBURGH

ARCHITECT
PITTSBURGH
PITTSBURGH
PITTSBURGH

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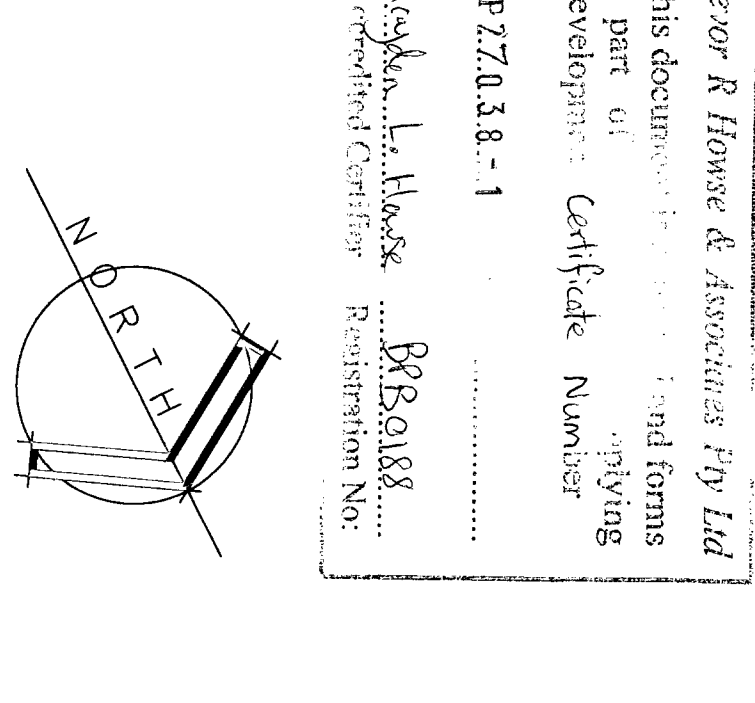
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DRAWING REVIEW			
DATE	SKETCH	APPROV	SIGNATURE
04-04-06	WD	MR	MS

SHADING DENOTES
EXISTING BUILDING

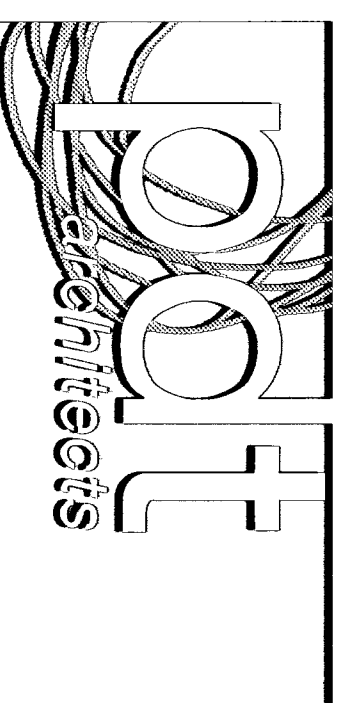
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EXISTING BUILDING



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ARCHITECT



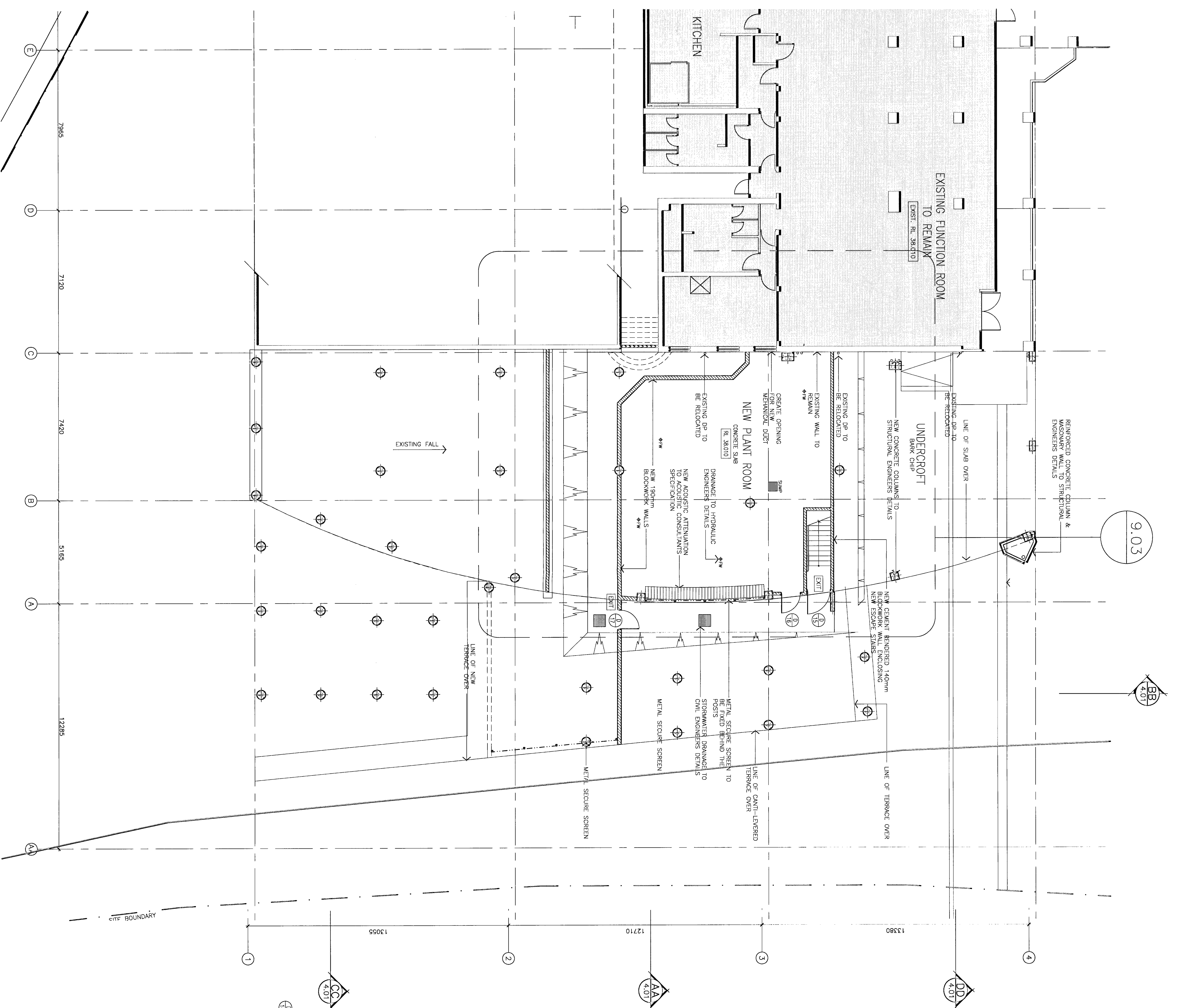
PDT ARCHITECTS (NSW) Pty/Ltd
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PITTSBURGH RSL CLUB
80-82 MONA VALE ROAD

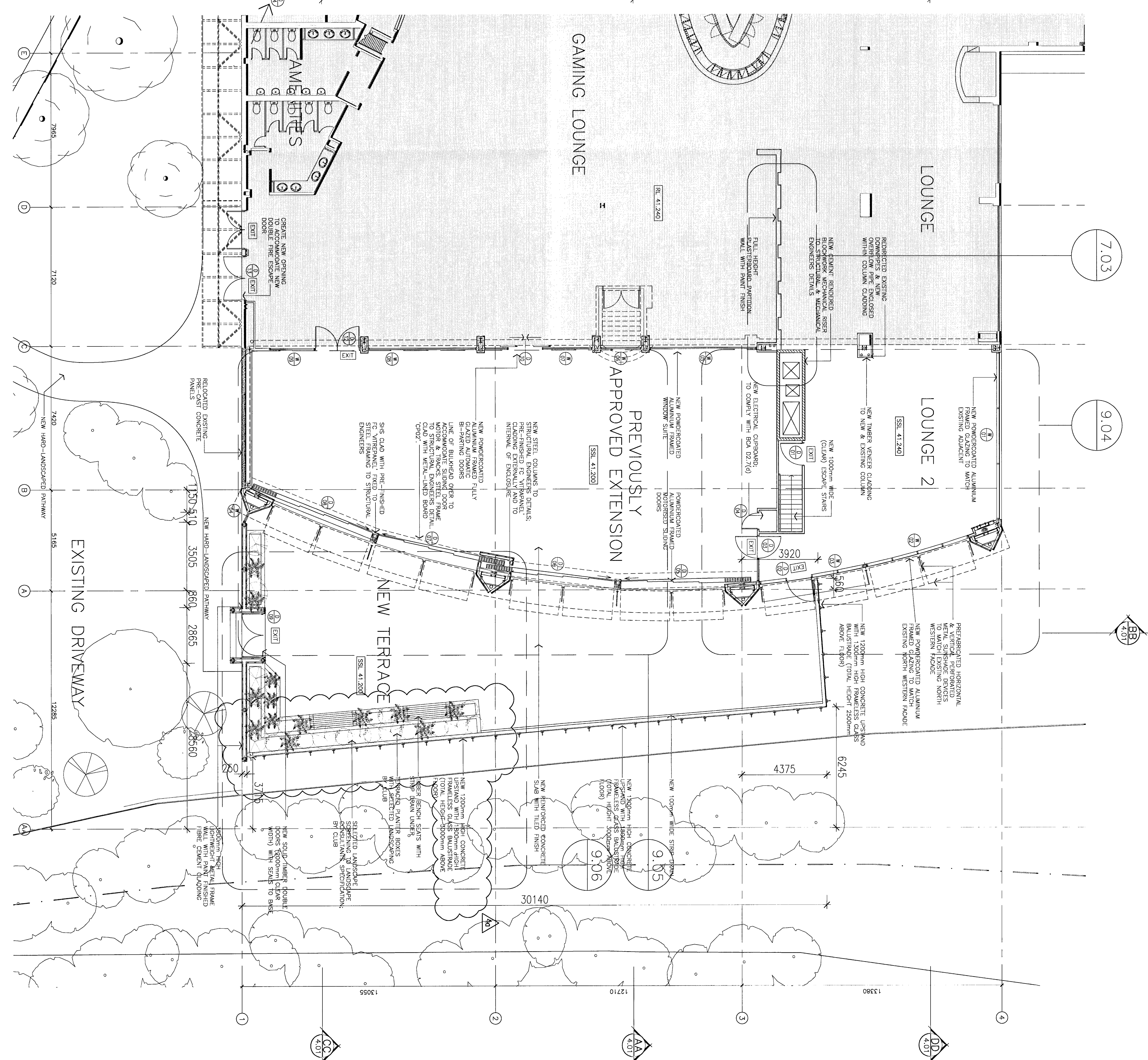
BUILDING EXTENSION & NEW TERRACE

SHEET TITLE:
**LOWER GROUND &
GROUND FLOOR PLANS**

SHEET: 1:100 of A0	
JOB NO.	DRAWING NO.
11379	WD 2.04
ISSUE DATE 30.05.07	
ISSUE 07	



02 LOWER GROUND FLOOR PLAN
2.01 Scale 1:100 © AD



02
2.02

GROUND FLOOR PLAN

Scale 1:100 @ A0

SHEET SETUP DATE	08.05.08
DRAWING AUTHORS	MR
PROJECT SUPERVISOR(S)	MS

DRAWING REVIEW			
DATE	STAGE	AUTHOR	SUPERVISOR
07.04.06	DA	MR	MS
30.05.06	DA	MR	MS
18.08.06	DA	MR	MS

AMENDMENTS			ACTIVITY	AUTH	CHK
DATE	ISSUE				
04.04.06	A	PRELIMINARY ISSUE	NS	MS	NS
05.04.06	B	PRELIMINARY ISSUE	NS	MS	MS
07.04.06	C	ISSUED FOR DEVELOPMENT APP	MR	MS	MS
30.05.06	D	ISSUED FOR DEVELOPMENT APP	MR	MS	MS
29.06.06	E	ISSUED FOR DEVELOPMENT APP	MR	MS	MS
18.08.06	F	ISSUED FOR DEVELOPMENT APP	MR	MS	MS
20.09.06	G	ISSUED FOR DEVELOPMENT APP	MR	MS	MS
06.03.07	H	ISSUED FOR S96 APPROVAL	KM	MS	MS
06.03.07	I	ISSUED FOR AMENDED DA APPROVAL	KM	MS	MS

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PDt
ARCHITECTS

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80-82 MONA VALE ROAD

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PROPOSED OUTDOOR TERRACES

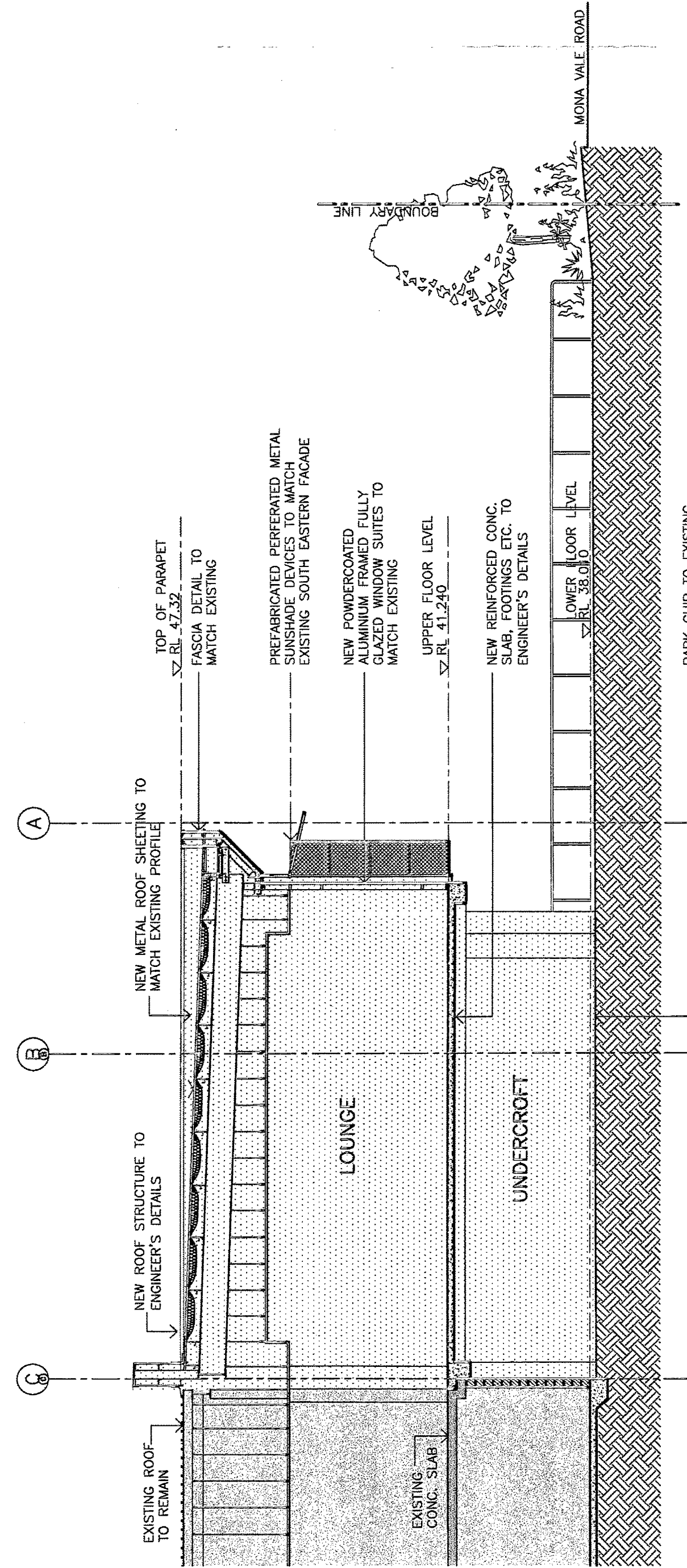
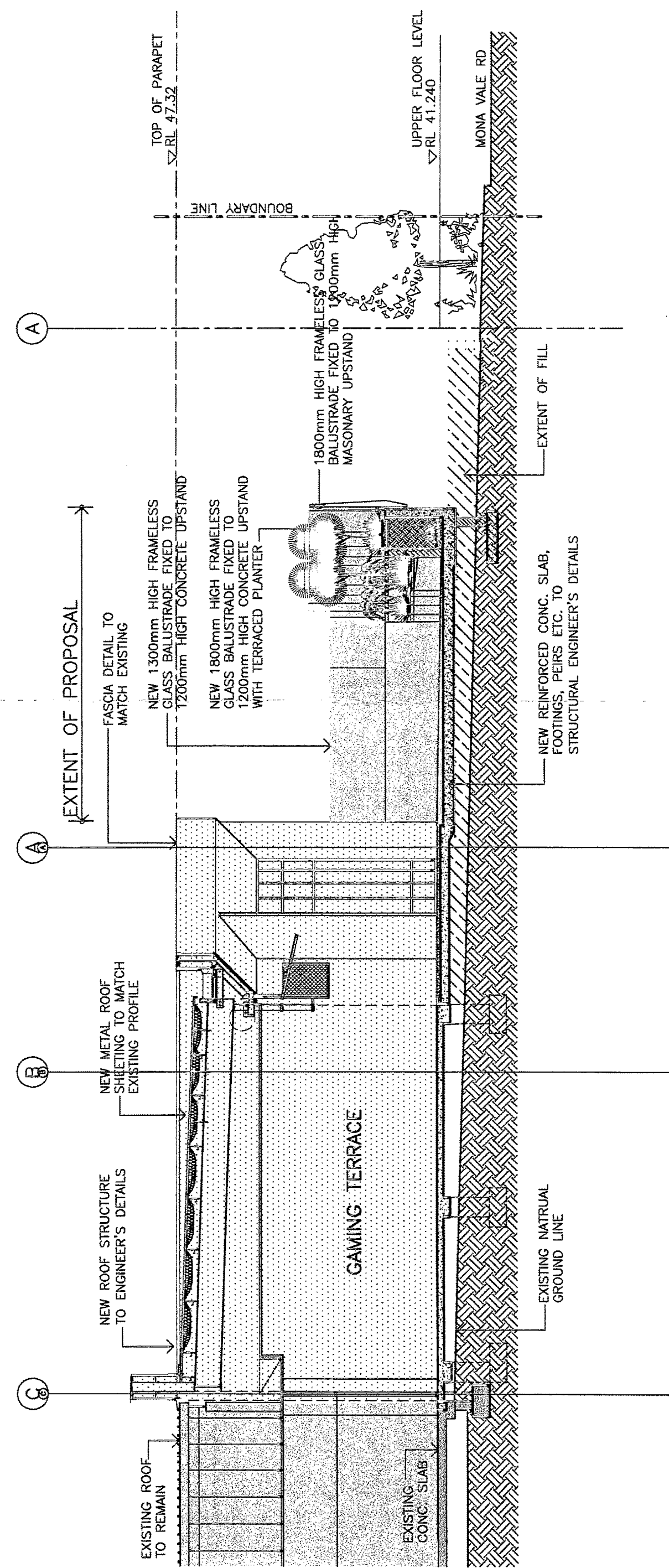
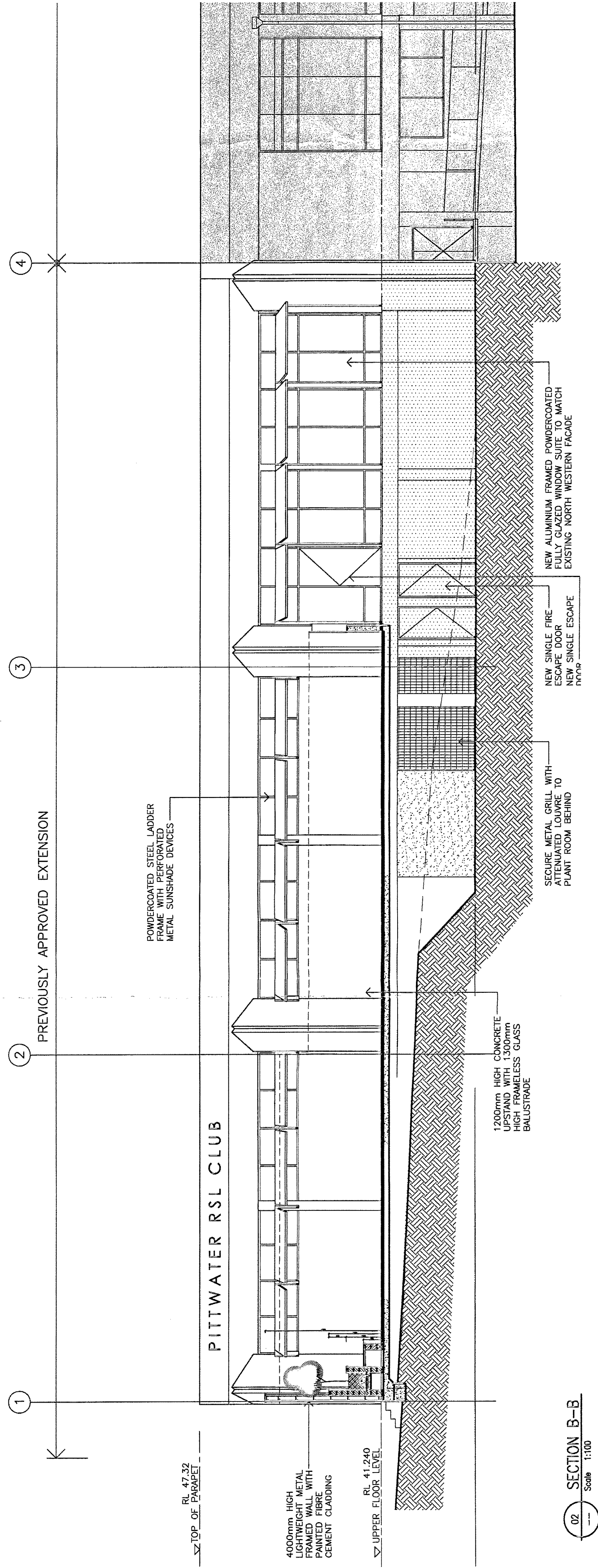
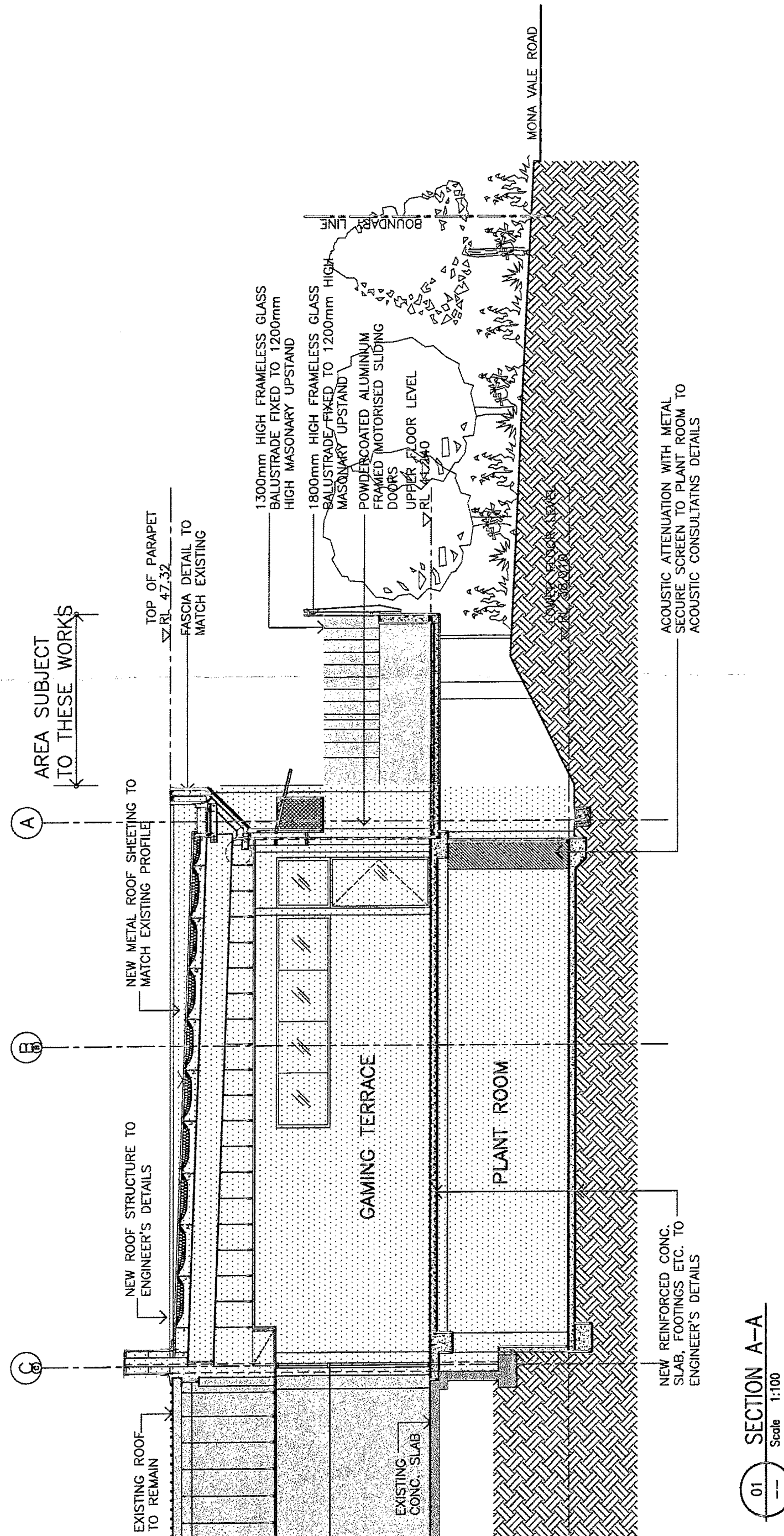
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 CP 27038-1
 Hendon, L. Hense 8/80/88
 Qualified Officer Registration No:

PITTSBURGH
APPROVED DEVELOPMENT CONCEPT

 SURFING DENOTES EXISTING BUILDING TO REMAIN UNCHANGED

 HATCH DENOTES AREA

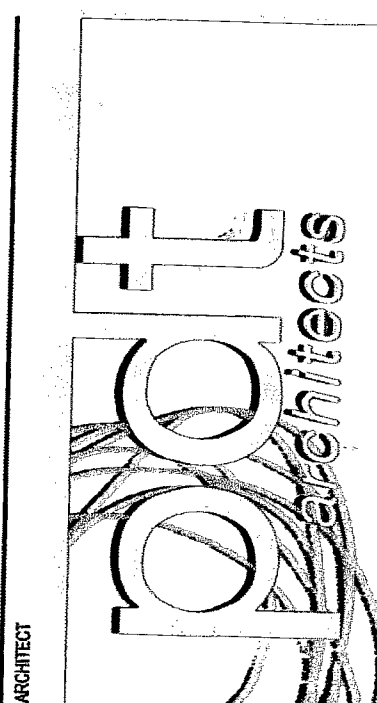
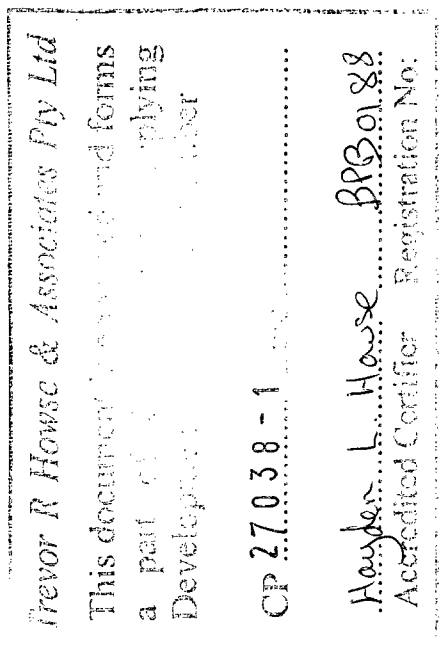


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04 SECTION D-D
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DRAWING REVIEW			
DATE	EXAM	APPROV	SUPPORT
07.04.06	DA	MR	MS



ROBERT D'AMICO
LITTLEWATER RSL CLUB
10-82 MONA VALE ROAD

SHEET TITLE:
ROOF PLAN

JOB No.	STAGE	DRAWING No.	ISSUE DATE
			06.03.07



SHADING DENOTES EXISTING BUILDING TO REMAIN UNCHANGED

HATCH DENOTES AREA APPROVED FOR CONSTRUCTION

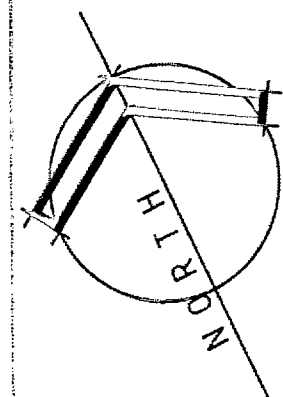
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AMENDMENTS	
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05.04.06	B PRELIMINARY ISSUE
07.04.06	C ISSUED FOR DEVELOPMENT APP
30.06.06	D ISSUED FOR DEVELOPMENT APP
15.08.06	E ISSUED FOR DEVELOPMENT APP
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20.09.06	X ISSUED FOR DEVELOPMENT APP
20.09.06	Y ISSUED FOR DEVELOPMENT APP
20.09.06	Z ISSUED FOR DEVELOPMENT APP

APPROXIMATE LINE OF
WIDENED FUTURE ROAD

MUINA VALL

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Helen L. House B20188
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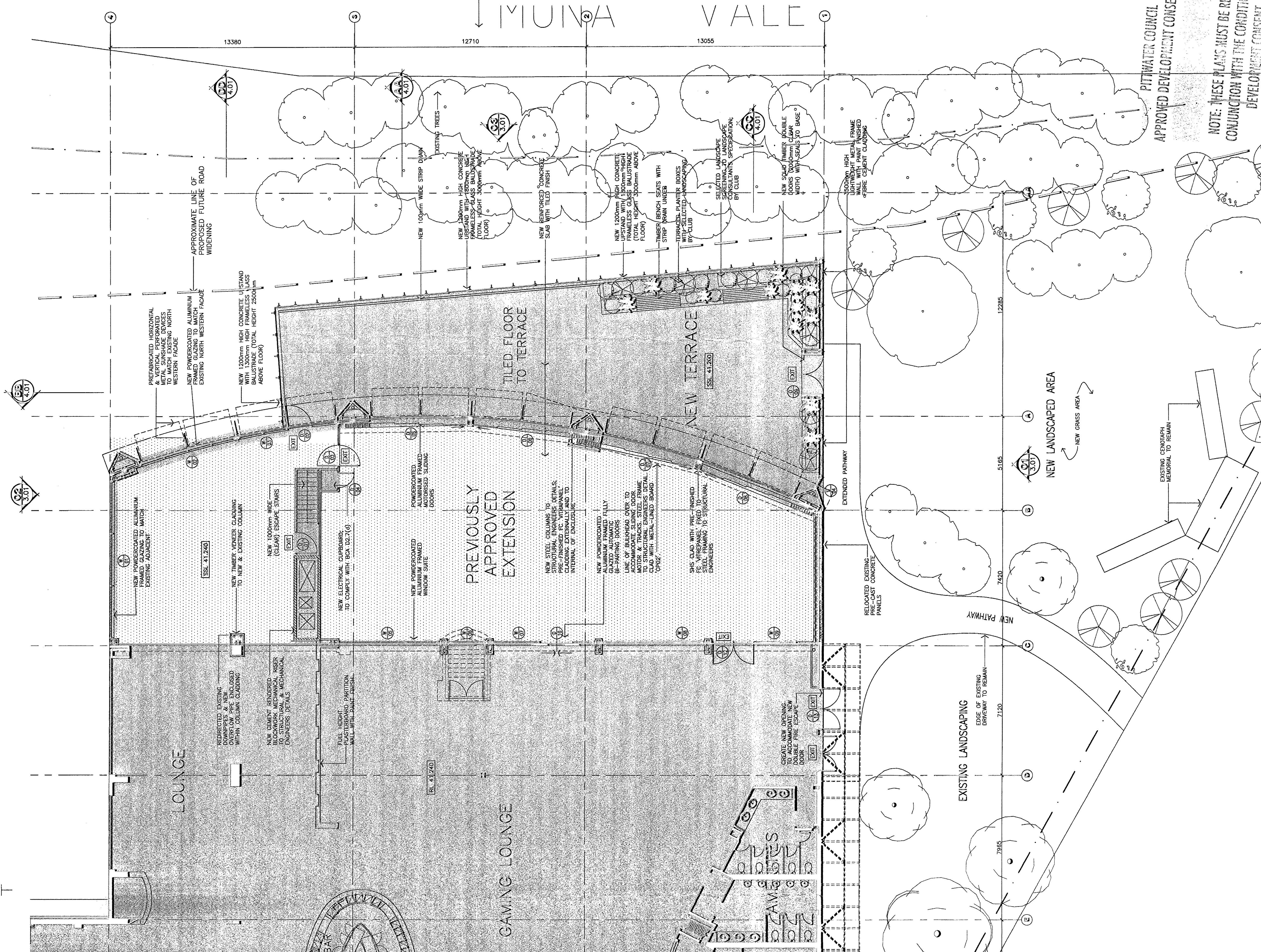
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PITWATER RSL CLUB
80-82 MONA VALE ROAD

BUILDING EXTENSION & NEW TERRACE

PART GROUND & FIRST FLOOR PLANS

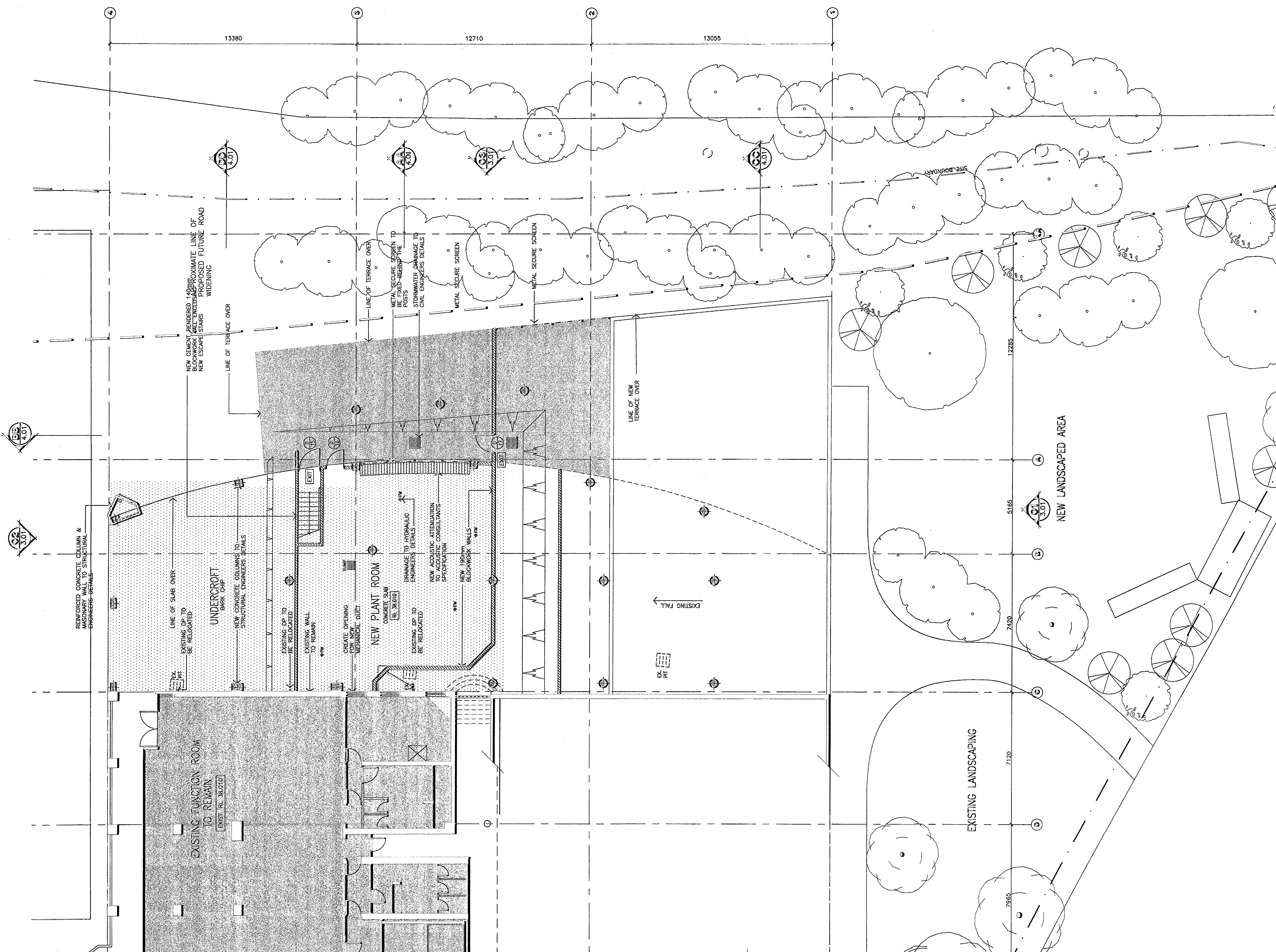
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04.14.06	1	[Name]	[Name]



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APPROVED DA PLANT ROOM:	63m²
APPROVED NEW PLANT ROOM:	113m²
APPROVED ADDITIONAL OF AREA:	0m²
FIRST FLOOR	
EXISTING FIRST FLOOR OF AREA:	3750m²
APPROVED DA ADDITIONAL OF AREA:	411m²
APPROVED NEW LOUNGE EXTENSION:	110m²
APPROVED NEW TERRACE AREA:	280m²
APPROVED ADDITIONAL OF AREA:	424m²
TOTALS:	
EXISTING GROUND FLOOR OF AREA:	1845m²
APPROVED DA ADDITIONAL OF AREA:	184m²
APPROVED DA PLANT ROOM:	63m²
APPROVED NEW PLANT ROOM:	113m²
APPROVED ADDITIONAL OF AREA:	0m²
EXISTING FIRST FLOOR OF AREA:	3750m²
APPROVED DA ADDITIONAL OF AREA:	411m²
APPROVED NEW LOUNGE EXTENSION:	110m²
APPROVED NEW TERRACE AREA:	280m²
APPROVED ADDITIONAL OF AREA:	424m²

SHADING DENOTES EXISTING BUILDING
TO REMAIN UNCHANGED
HATCH DENOTES AREA
APPROVED FOR CONSTRUCTION

PART FIRST FLOOR PLAN
1:200 Scale 1189 x 914



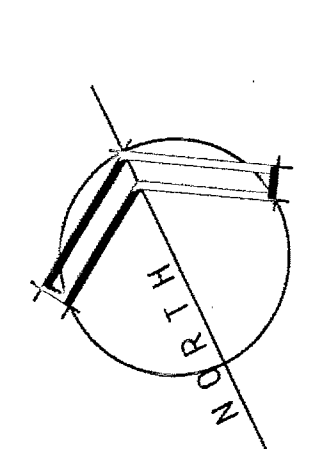
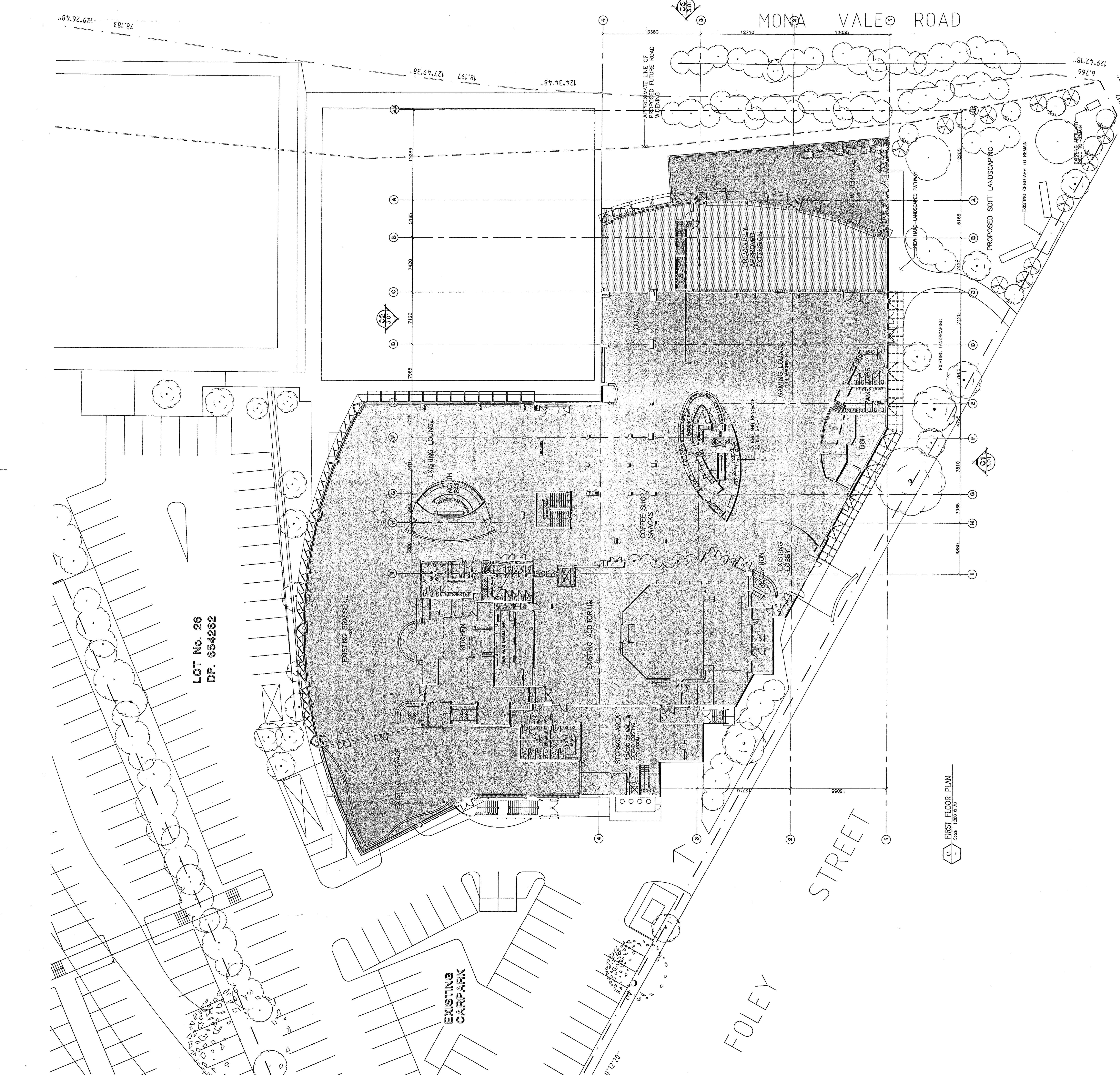
PART GROUND FLOOR PLAN
1:200 Scale 1189 x 914

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DRAWING AUTHOR: [Name]
CHECKED BY: [Name]
DATE: [Date]

DATE	REVISION	BY	REASON
07.04.06	DA	MR	MS
30.05.06	DA	MR	MS
18.06.06	DA	MR	MS

DATE	REVISION	BY	REASON
06.04.06	A	PRELIMINARY ISSUE	MS
06.04.06	B	PRELIMINARY ISSUE	MS
07.04.06	C	ISSUED FOR DEVELOPMENT APP	MR
30.05.06	D	ISSUED FOR DEVELOPMENT APP	MR
28.06.06	E	ISSUED FOR DEVELOPMENT APP	MR
28.06.06	F	ISSUED FOR DEVELOPMENT APP	MR
28.06.06	G	ISSUED FOR DEVELOPMENT APP	MR
06.03.07	H	ISSUED FOR SFR APPROVAL	PM
06.03.07	I	ISSUED FOR AMENDED DA	PM
04.05.07	J	APPROVAL	NS
04.05.07	K	AMEND LANDSCAPING	NS
08.05.07	K	AMEND LANDSCAPING	NS



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PROPOSED OUTDOOR TERRACES

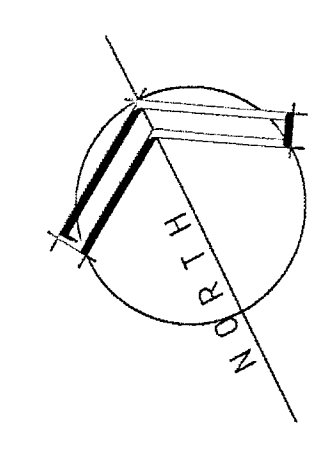
FIRST FLOOR PLAN

DATE	REVISION	BY	REASON
12.08.06	DA	MR	MS

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MR	
DRAWING REVIEW	
MS	

DRAWING REVIEW	
DATE	REVIEW
04.04.06	DA
07.04.06	DA
30.05.06	DA
18.08.06	DA

AMENDMENTS	
DATE	REVIEW
04.04.06	A
05.04.06	B
07.04.06	C
30.05.06	D
18.08.06	E
20.09.06	F
06.03.07	G
06.03.07	H
06.03.07	I
04.05.07	J
04.05.07	K



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PROPOSED OUTDOOR TERRACES

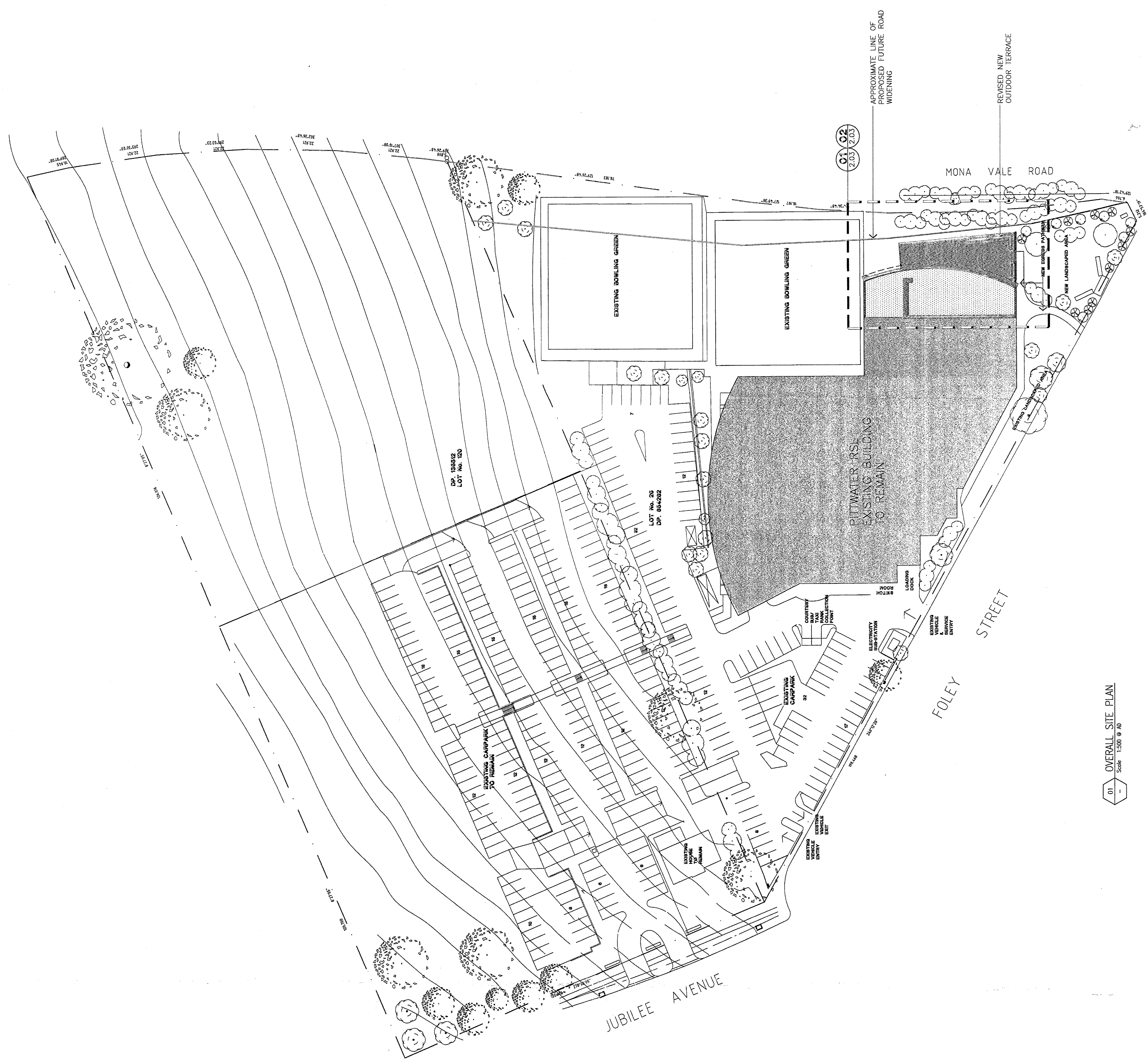
PROPOSED OVERALL SITE PLAN

STAMPED AND SIGNED
APPROVED
PITWATER RSL CLUB
24/5/06
PITWATER RSL CLUB
24/5/06

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

These Plans & Conditions
This document is a copy of the original
as part of the development consent
CP 270388-1
Hayden L. House
Architectural Officer

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



OVERALL SITE PLAN
Scale 1:500 @ A0

SHADING DENOTES EXISTING BUILDING TO REMAIN UNCHANGED
HATCH DENOTES AREA APPROVED FOR CONSTRUCTION
DENOTES AREA SUBJECT TO THIS AMENDED DA APPROVAL

