

UNITS

UNIT	1 BED	2 BED	3 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	PARKING REQUIRED (PER UNIT)	PARKING SPACES PROVIDED
1			■	■	■		125.3sqm	19.6 / 38.7sqm	□	■	■		2	2
2		■		■	■		80.2sqm	11.2 / 10.7 / 4.2sqm	□	■	■		2	2
3		■		■	■		80.2sqm	11.2 / 10.7 / 4.2sqm	□	■	■		2	2
4	■			■		■	53.5sqm	20.6sqm	■	■	■		1 (ACC.)	1 (ACC.)
5	■			■		■	55.8sqm	10.1sqm	■	■	■		1 (ACC.)	1 (ACC.)
6		■		■	■		86.4sqm	19.2sqm	□	■	■		2	2

RETAIL

RETAIL SPACE	AREA	STORE
1	64.8sqm	11.0sqm
2	47.1sqm	11.9sqm
3	60.8sqm	3.9sqm
4	56.4sqm	5.6sqm
TOTAL	229.1sqm	[27.4% of GFA]

PARKING

	REQUIRED	PROVIDED
RESIDENTIAL	10 (2 ACC.)	10 (2 ACC.)
RETAIL	8 (230.0/30)	8 (2 ACC.)
VISITOR	2	2 (1 ACC.)
TOTAL		20 (5 ACC.)

DRAWINGS

A000	COVER
A001	LOCATION PLAN
A002	SITE ANALYSIS
A100	BASEMENT PLAN
A101	GROUND FLOOR PLAN
A102	LEVEL 1 PLAN
A103	LEVEL 2 PLAN
A104	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A210	MATERIAL AND FINISHES
A300	SECTIONS
A301	SECTIONS

Assessor # 20420		Certificate # 0005073143		Issued: 040820	
Thermal Performance Specifications					
<i>These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents</i>					
Windows	Product ID	Glass	Frame	U value	SHGC
Single glazed		Clear	Aluminium	6.70	0.70
Area M ² Detail As per plans					
Skylights	Product ID	Glass	Frame	U value	SHGC
Area M ² Detail As per plans					
<i>Window and skylight U and SHGC values, if specified, are according to ANAC 2005. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.</i>					
External walls	Construction	Insulation	Colour - solar abs.	Detail	
Brick veneer		Foil + R2.5	Medium	As per plans	
Cladding		Foil + R2.5	Medium	As per plans. Upper level	
Internal walls	Construction	Insulation	Detail		
Plasterboard		None	As per plans.		
Floors	Construction	Insulation	Covering	Detail	
Concrete		R2.0/None	Varies	As per plans. Insulation where car park below	
Ceilings	Construction	Insulation	Detail		
Plasterboard		R2.5/None	Upper level insulation/where adjoins exterior. No insulation elsewhere		
Roof	Construction	Insulation	Colour - solar abs.	Detail	
Metal		Foil + R1.3	Medium	As per plans	
Window cover	Internal (curtains)		External (awnings, shutters, etc)		
Holland blinds			Soffits		
Fixed shading	Eaves (width - inc. gutters, h't above windows)		Location		
Soffits/Louvres			As per plans		
Overshadowing	Overshadowing structures		Overshadowing trees		
NA					
Orientation, Exposure, Ventilation and Infiltration					
Orientation of nominal north:	0	Living area open to entry:	Y	Ventilated skylights:	N
Terrain category:	Suburban	Doors separate living areas:	N	Open fire, unflued gas heat:	N
Roof ventilation:	Unventilated	Stair open to heated areas:	N/Y	Vented downlights:	N
Cross ventilation:	Standard	Seals to windows and doors:	Y	Wall and ceiling vents:	N
Subfloor:	Grd/Enclosed	Exhaust fans without dampers:	N		



7.2

36.6 MJ/m²

www.nathers.gov.au

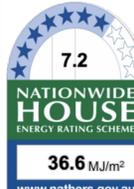
Certificate no.: 0005073143
 Assessor Name: Damian OToole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address:
 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au





A	20.08.12	DA ISSUE
ISSUE	DATE	AMENDMENTS

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au





ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.
 © CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD
 P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT
 SUMMIT BUILD P/L

PROJECT
 MIXED USE DEVELOPMENT

349 BARRENJOEY ROAD NEWPORT NSW 2106

TITLE
SITE PLAN



SCALE 1:500 @ A1 / 1:1000 @ A3
 APPROVED MN
 DRAWN TG
 CHECKED
 DATE JULY
 STATUS DA

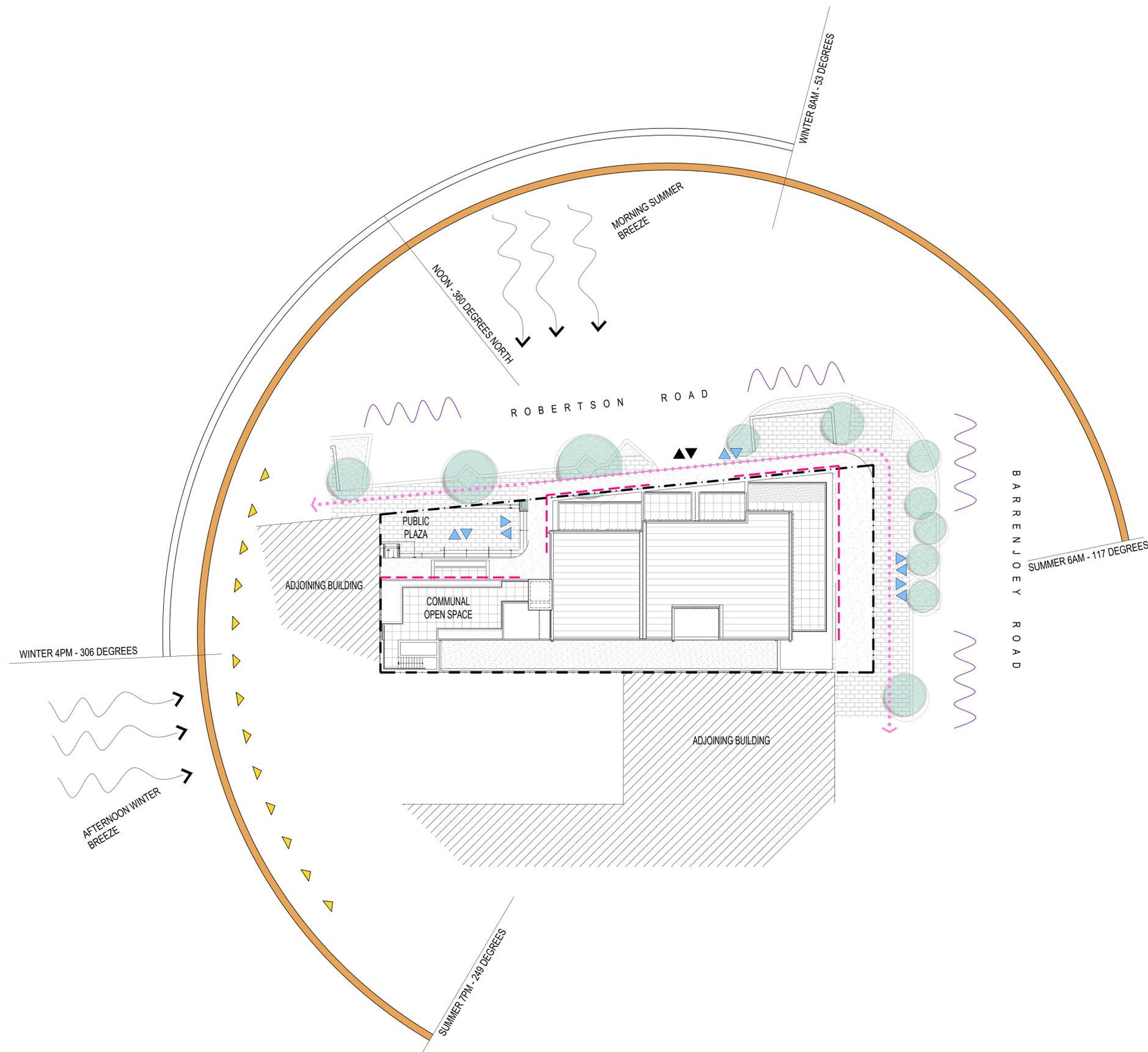
PROJECT NUMBER 19032
 DRAWING NUMBER

A001

ISSUE
 A **crawford**
 architects

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW 2106
 www.nathers.gov.au

Accreditation Period: 01/04/2020-31/03/2021
 Assessor Name: Damian O'Toole
 Assessor Number: 20420



LEGEND - SITE ANALYSIS

- PEDESTRIAN ACCESS
- VEHICLE ACCESS
- NOISE SOURCE
- SITE BOUNDARY
- GREATEST SOLAR HEAT
- BREEZE DIRECTION
- ACTIVE STREET FRONTAGE
- PEDESTRIAN TRAFFIC

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3/01, LEVEL 3/80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

A	ISSUE	DATE	DA ISSUE	AMENDMENTS
1	ISSUE	20.08.12	DA ISSUE	

CLIENT
SUMMIT BUILD P/L

PROJECT
MIXED USE DEVELOPMENT

TITLE
SITE ANALYSIS PLAN



SCALE 1:200 @ A1 / 1:400 @ A3
 APPROVED MN
 DRAWN TG
 CHECKED
 DATE JULY
 STATUS DA

PROJECT NUMBER 19032
DRAWING NUMBER

A002

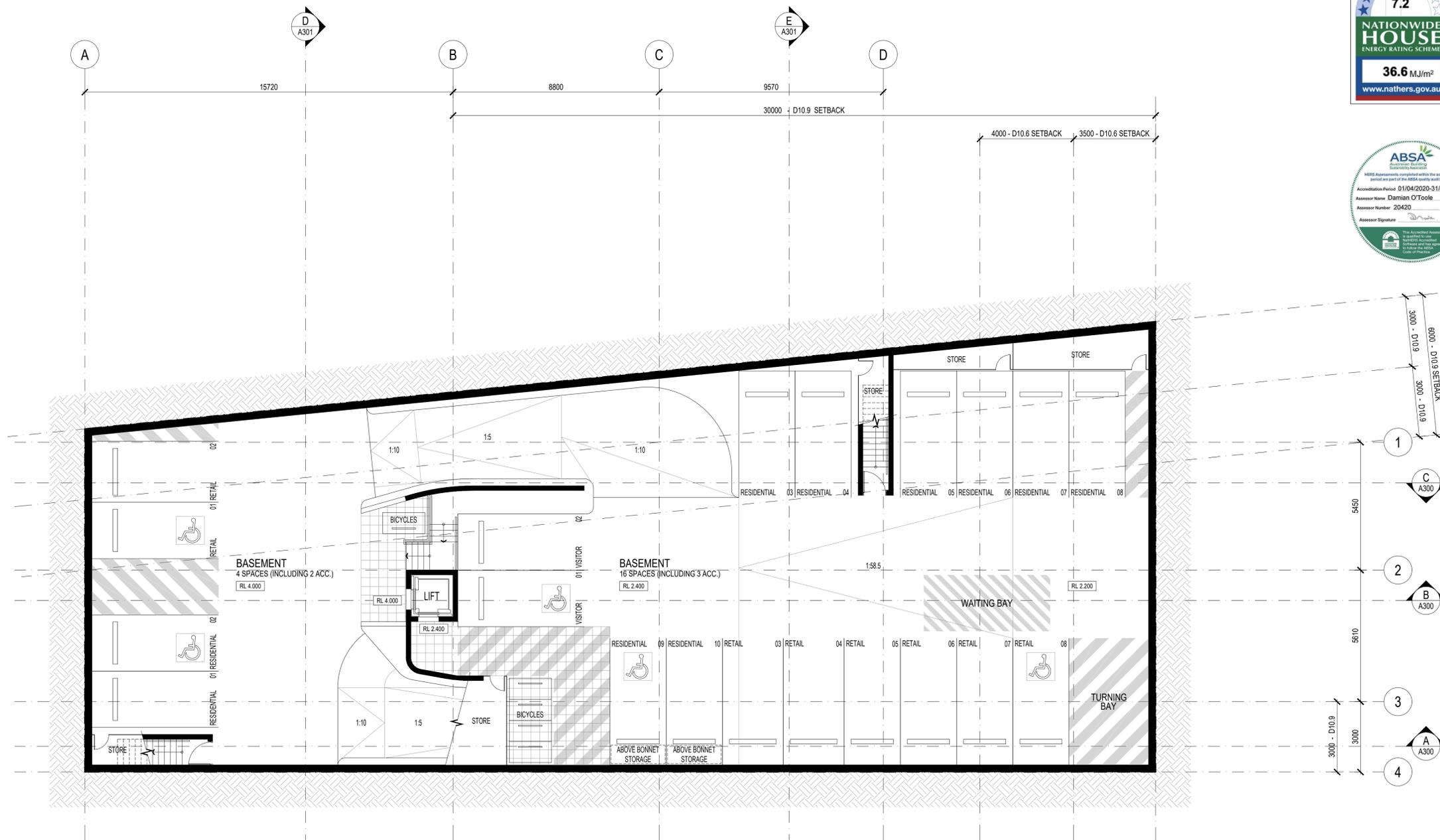
ISSUE



349 BARRENJOEY ROAD NEWPORT NSW 2106

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au

ABS Accredited Assessor
 Accreditation Period: 01/04/2020-31/03/2021
 Assessor Name: Damian O'Toole
 Assessor Number: 20420



ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT: SUMMIT BUILD P/L
 PROJECT: MIXED USE DEVELOPMENT

349 BARRENJOEY ROAD NEWPORT NSW 2106

TITLE: FLOOR PLAN BASEMENT



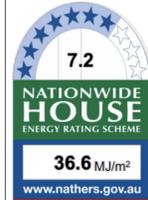
SCALE: 1:100 @ A1 / 1:200 @ A3
 APPROVED: MN
 DRAWN: TG
 CHECKED: TG
 DATE: JULY
 STATUS: DA

PROJECT NUMBER: 19032
 DRAWING NUMBER: A100

A100

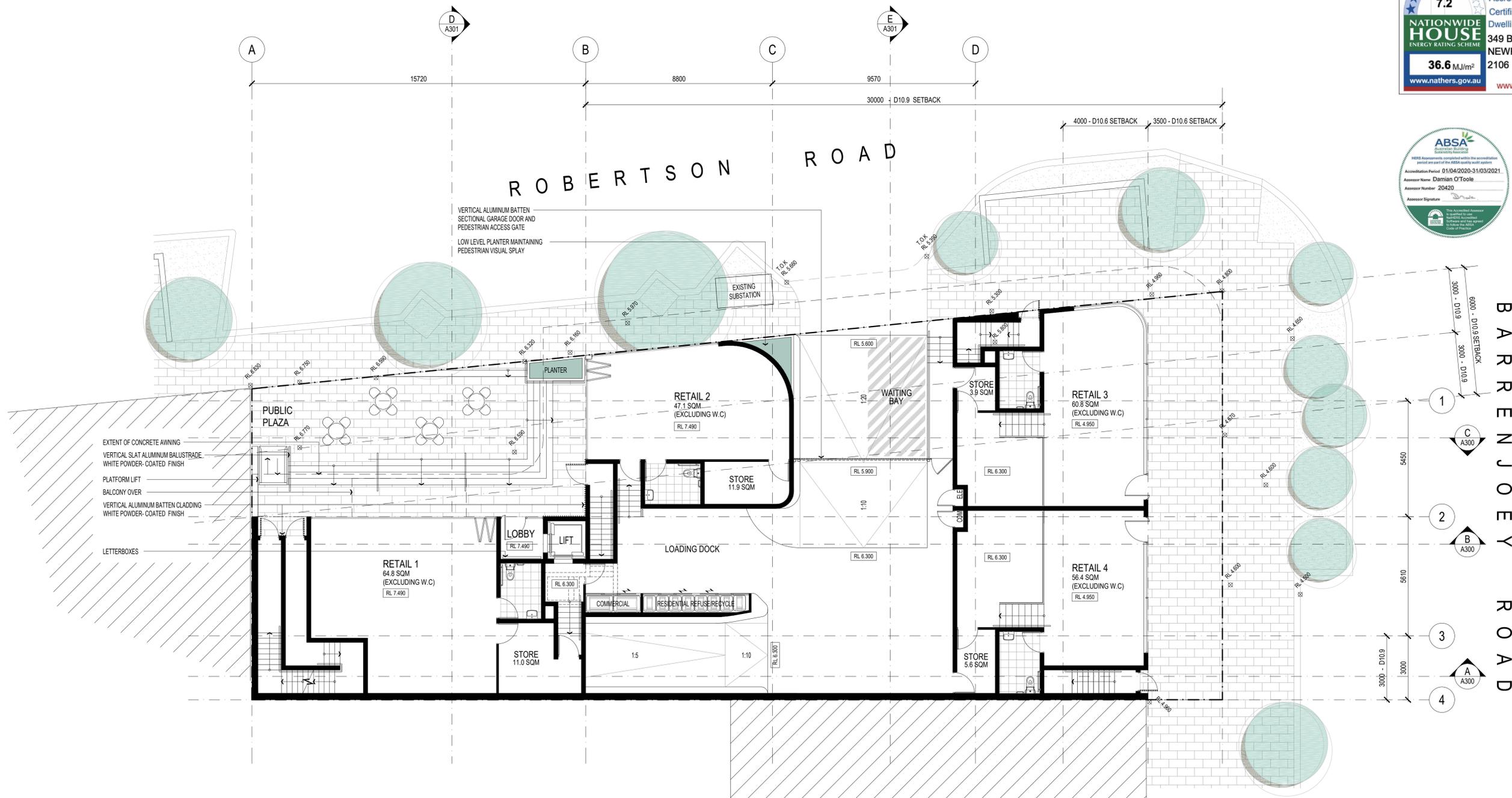
ISSUE: A
 crawford architects

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au





ABSASustainability
 ABSA Accredited Assessor
 Accreditation Period: 01/04/2020-31/03/2021
 Assessor Name: Damian O'Toole
 Assessor Number: 20420
 Assessor Signature: [Signature]



ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GOOSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	DA ISSUE	AMENDMENTS
A	20.08.12		

CLIENT: SUMMIT BUILD P/L
 PROJECT: MIXED USE DEVELOPMENT

TITLE: FLOOR PLAN GROUND



SCALE: 1:100 @ A1 / 1:200 @ A3
 APPROVED: MN
 DRAWN: TG
 CHECKED: [Blank]
 DATE: JULY
 STATUS: DA

PROJECT NUMBER: 19032
 DRAWING NUMBER: A101

A101

ISSUE: **A**
 crawford architects

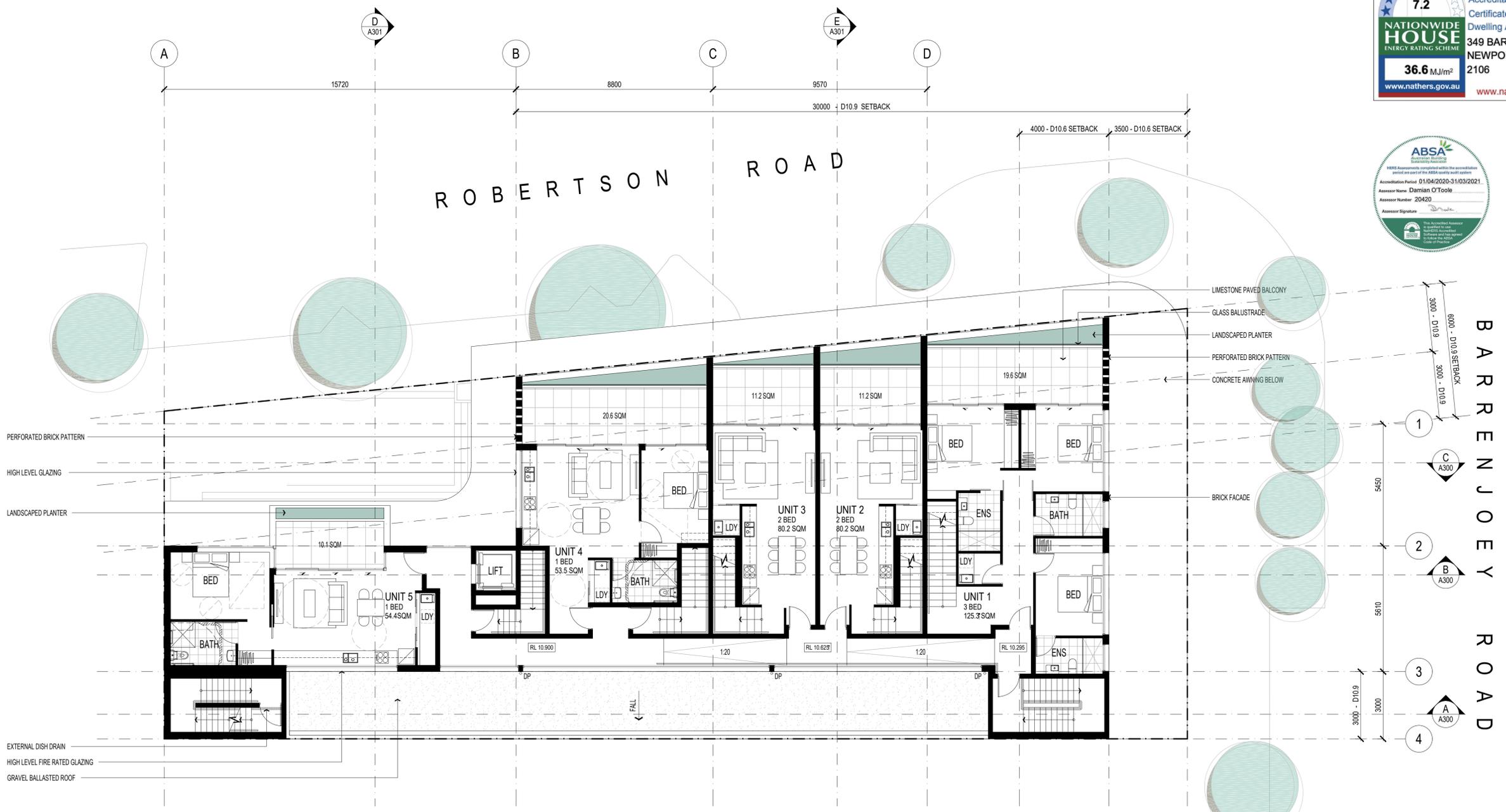
349 BARRENJOEY ROAD NEWPORT NSW 2106

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD NEWPORT, NSW 2106
 www.nathers.gov.au

7.2
NATIONWIDE HOUSE ENERGY RATING SCHEME
36.6 MJ/m²



ABSA
 Building Sustainability Association
 ABSA Accredited Assessor
 Accreditation Period: 01/04/2020-31/03/2021
 Assessor Name: Damian O'Toole
 Assessor Number: 20420

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	DA ISSUE	AMENDMENTS
A	20.08.12	DA ISSUE	

CLIENT: SUMMIT BUILD P/L
 PROJECT: MIXED USE DEVELOPMENT
 TITLE: FLOOR PLAN LEVEL 01

349 BARRENJOEY ROAD NEWPORT NSW 2106

SCALE: 1:100 @ A1 / 1:200 @ A3

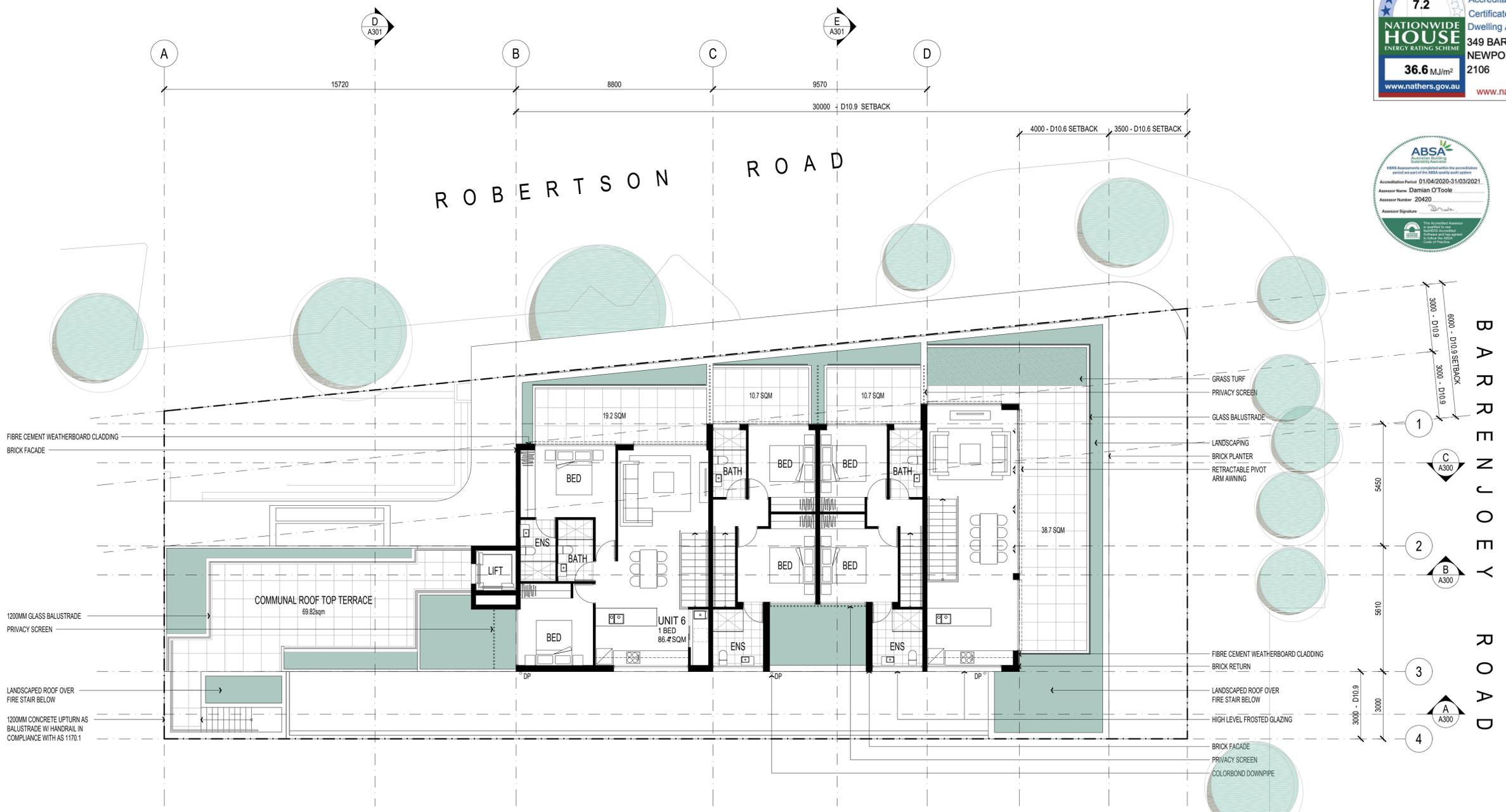
APPROVED: MN
 DRAWN: TG
 CHECKED: DA
 DATE: JULY
 STATUS: DA

PROJECT NUMBER: 19032
 DRAWING NUMBER: A102
 ISSUE: A



Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW 2106
 www.nathers.gov.au

ABSA Accredited Assessor
 Accreditation Period: 01/04/2020-31/03/2021
 Assessor Name: Damian O'Toole
 Assessor Number: 20420



ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY A DIRECTOR OF CRAWFORD ARCHITECTS PTY LTD

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT: SUMMIT BUILD P/L
 PROJECT: MIXED USE DEVELOPMENT
 TITLE: FLOOR PLAN LEVEL 02
 SCALE: 1:100 @ A1 / 1:200 @ A3
 PROJECT NUMBER: 19032
 DRAWING NUMBER: A103
 ISSUE: A

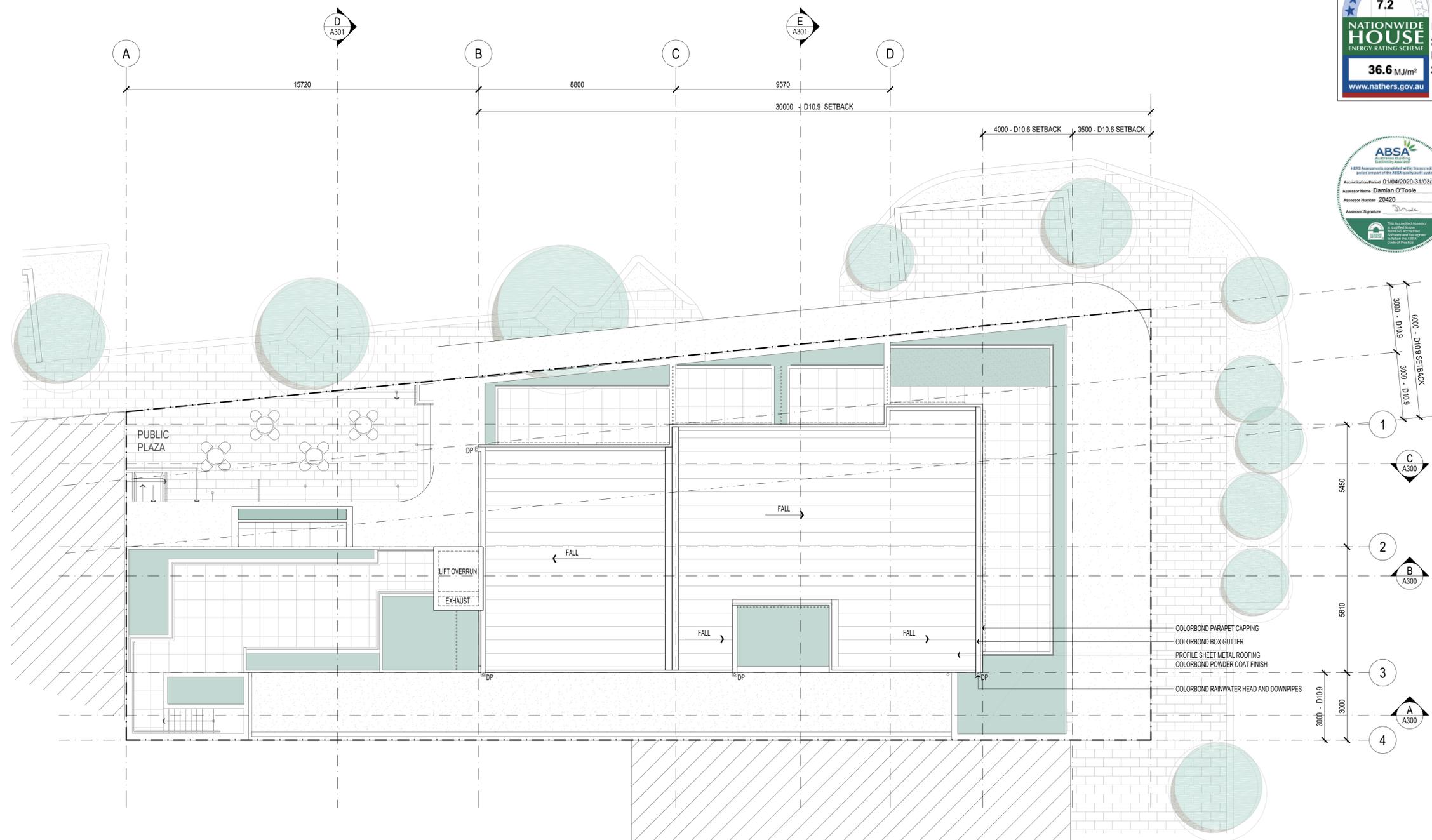
APPROVED: MN
 DRAWN: TG
 CHECKED: TG
 DATE: JULY
 STATUS: DA

19032 A103

349 BARRENJOEY ROAD NEWPORT NSW 2106

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au

ABSA Accredited Assessor
 This Assessor is qualified to assess buildings and has agreed to follow the AS/NZS Code of Practice
 Accreditation Period: 01/04/2020-31/03/2021
 Assessor Name: Damian O'Toole
 Assessor Number: 20420
 Assessor Signature: [Signature]



ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3/01, LEVEL 3/80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT: SUMMIT BUILD P/L
 PROJECT: MIXED USE DEVELOPMENT

349 BARRENJOEY ROAD NEWPORT NSW 2106

TITLE: ROOF PLAN



SCALE: 1:100 @ A1 / 1:200 @ A3

APPROVED: MN
 DRAWN: TG
 CHECKED: [Blank]
 DATE: JULY
 STATUS: DA

PROJECT NUMBER: 19032
 DRAWING NUMBER: A104

19032
A104

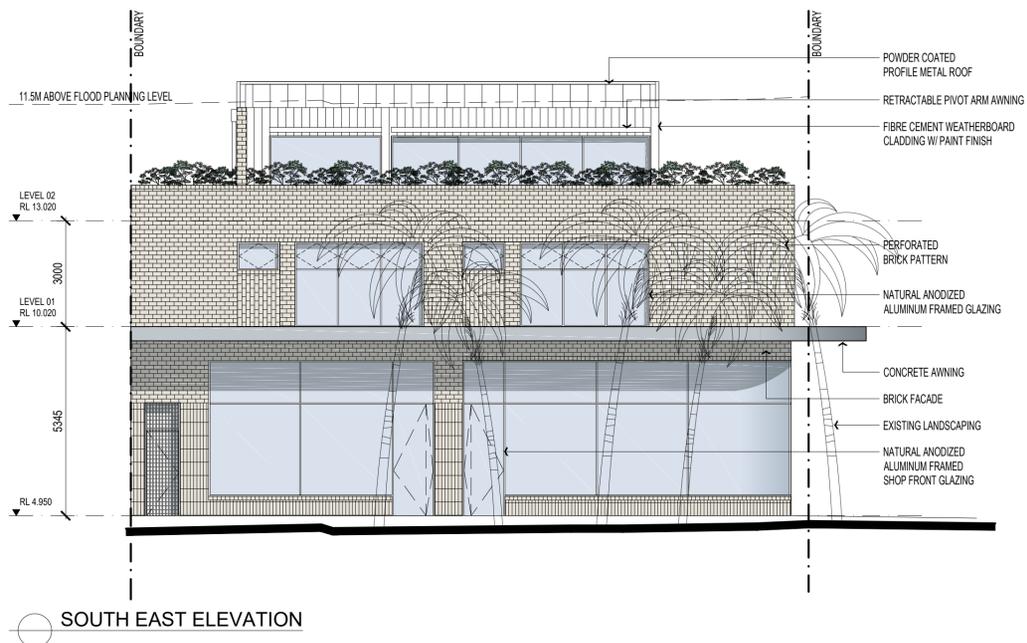
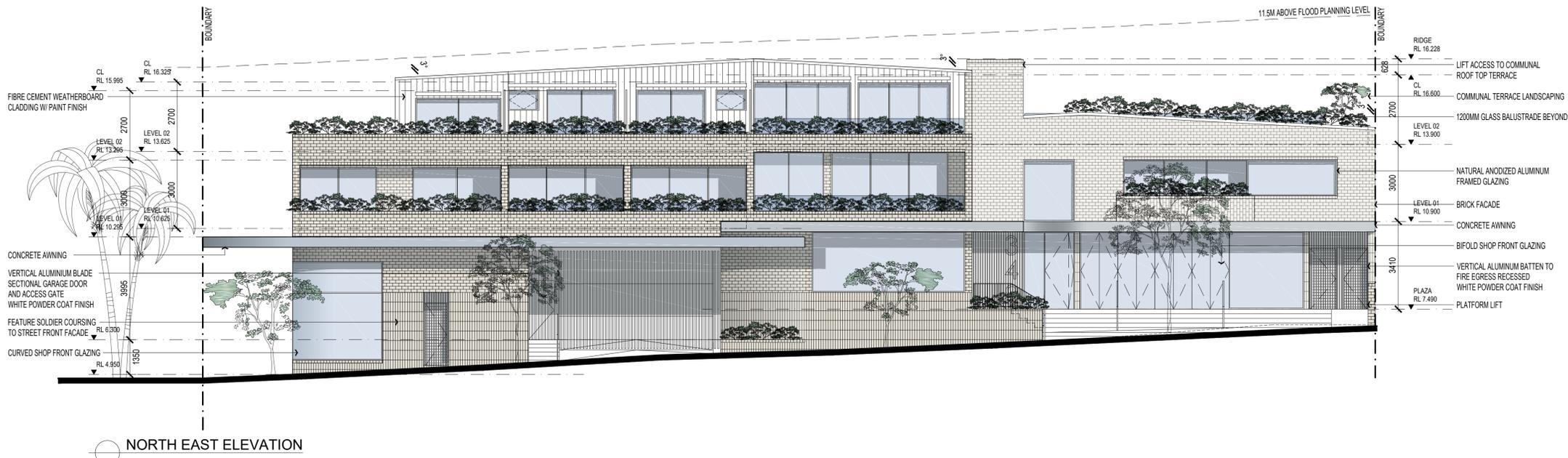
ISSUE



Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106

36.6 MJ/m²

www.nathers.gov.au

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT: SUMMIT BUILD P/L
 PROJECT: MIXED USE DEVELOPMENT

TITLE: ELEVATIONS



SCALE: 1:100 @ A1 / 1:200 @ A3

PROJECT NUMBER: 19032
 DRAWING NUMBER: A200

APPROVED: MN
 DRAWN: TG
 CHECKED: TG
 DATE: JULY
 STATUS: DA

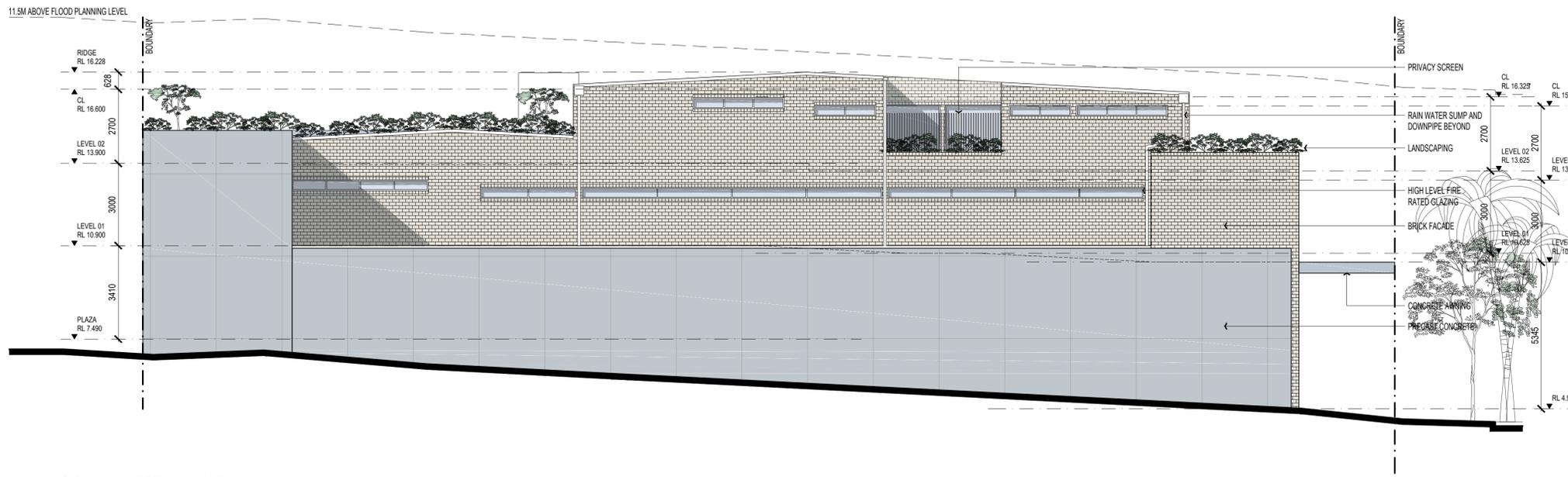
19032
A200

ISSUE: A
 crawford architects

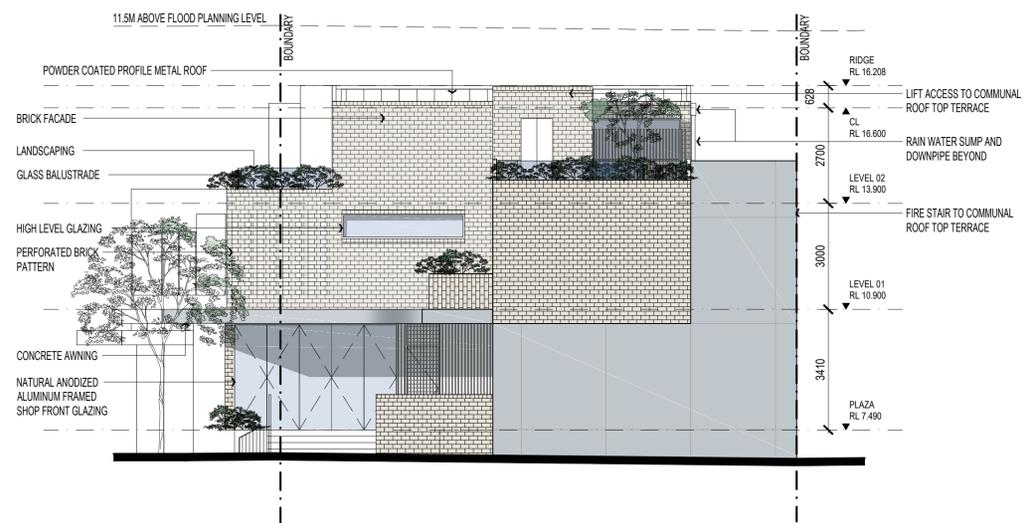
349 BARRENJOEY ROAD NEWPORT NSW 2106

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106

7.2
NATIONWIDE HOUSE
 ENERGY RATING SCHEME
36.6 MJ/m²
 www.nathers.gov.au

SOUTH WEST ELEVATION



NORTH WEST ELEVATION

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GOOSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT
 SUMMIT BUILD P/L

PROJECT
 MIXED USE DEVELOPMENT

TITLE
 ELEVATIONS

SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED
 DRAWN MN
 CHECKED TG
 DATE JULY
 STATUS DA

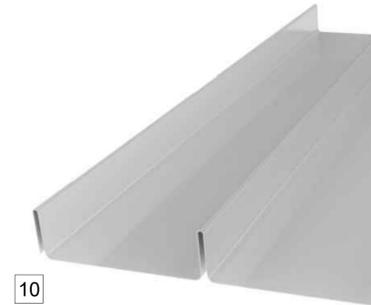
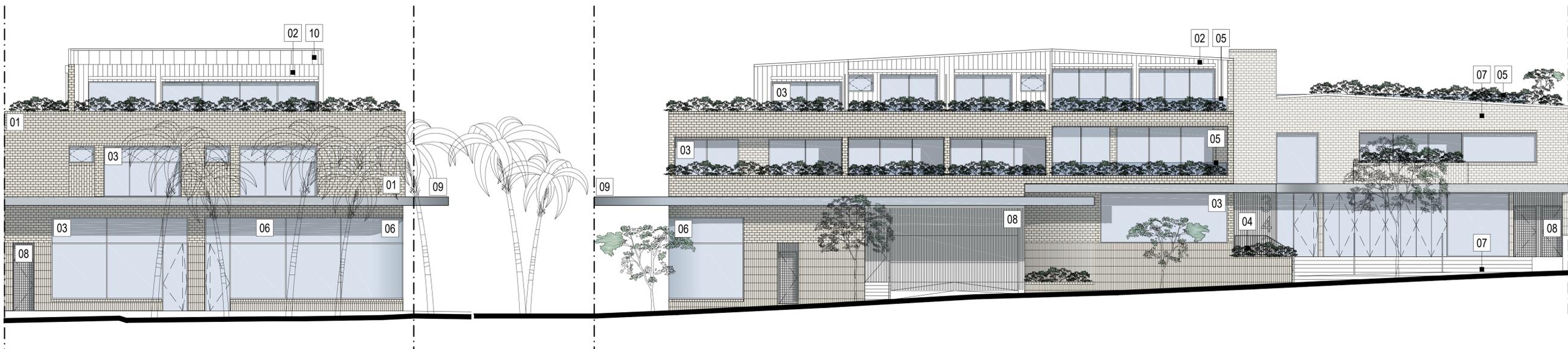
PROJECT NUMBER 19032
 DRAWING NUMBER

A201

ISSUE



349 BARRENJOEY ROAD NEWPORT NSW 2106



01. BRICK FACADE
 NUBRIK ARTISAN - AURORA
 FEATURE SOLDIER COURSING ALONG STREET FRONT FACADE /
 PERFORATED BRICK PATTERN PROVIDING FILTERED LIGHT TO LEVEL 01 BALCONIES

02. WEATHERBOARD CLADDING
 JAMES HARDIE AXON™ 133MM GRAINED
 IN DULUX CASPER WHITE QUARTER 11W

03. NATURAL ANODIZED ALUMINUM FRAMED GLAZING

05. GLASS BALUSTRADE

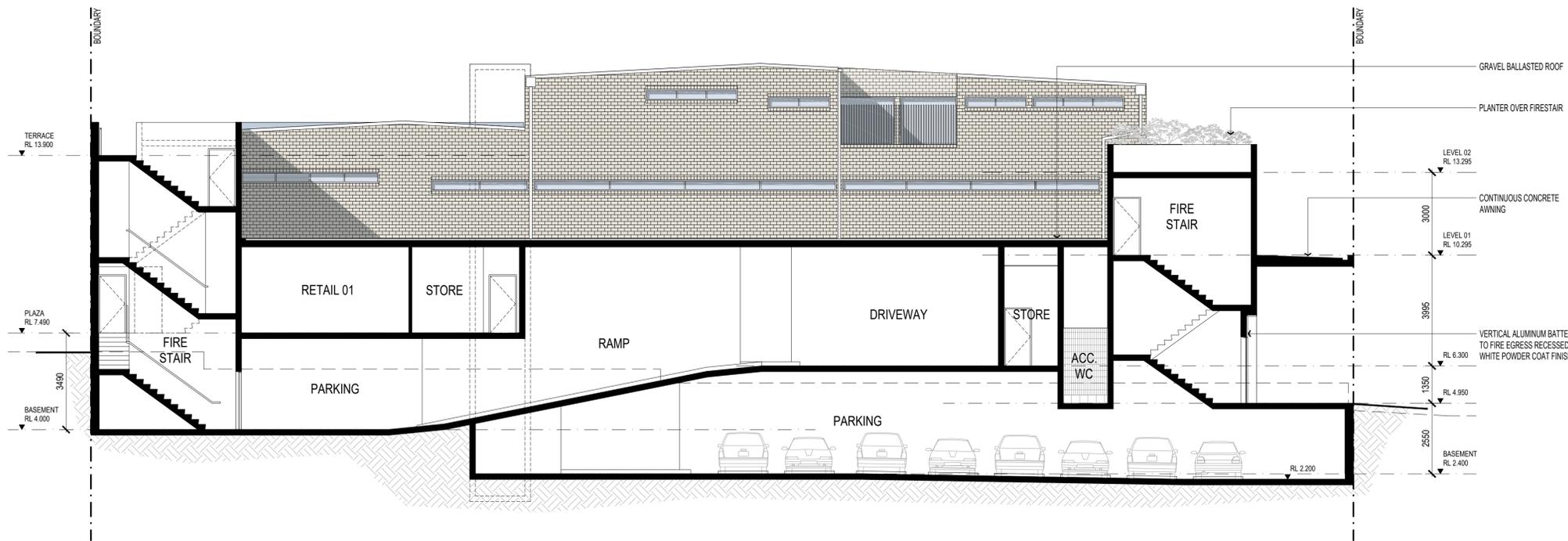
07. LIMESTONE TILES
 SURFACE GALLERY GOHERA RENAISSANCE

10. PROFILE METAL ROOFING
 LYSAGHT LONGLINE 305® IN
 COLORBOND SHALE GREY™

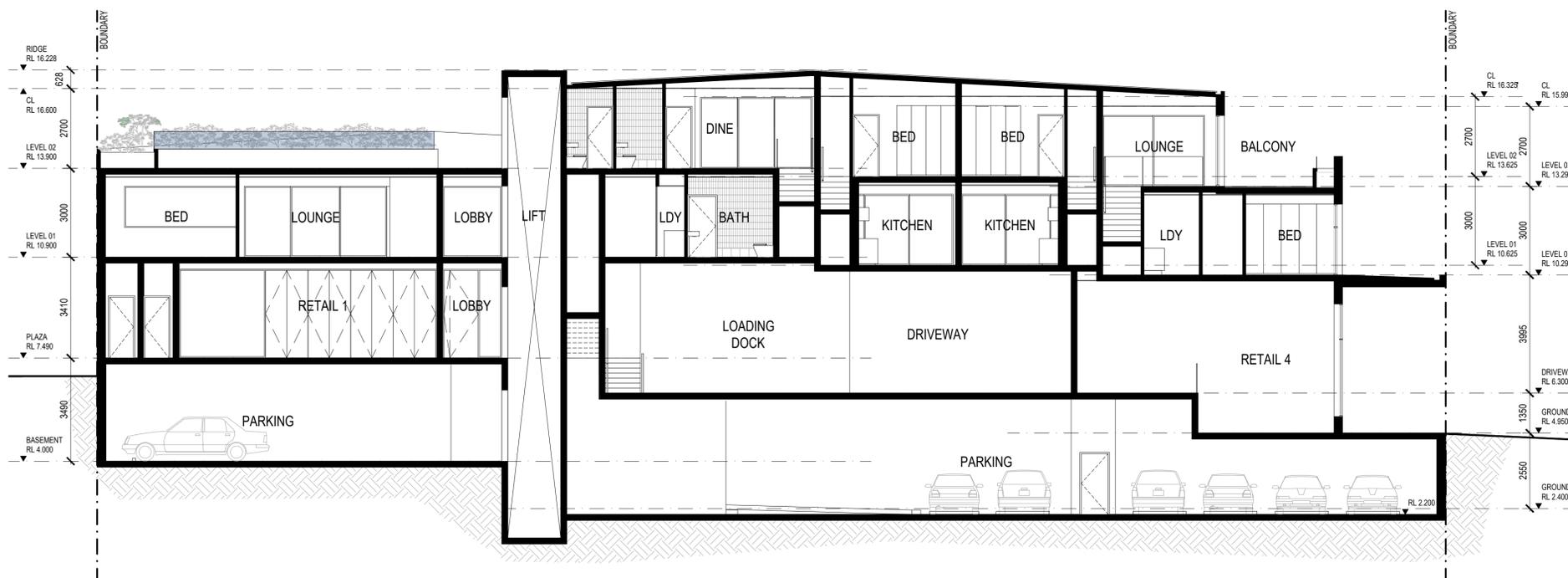
08. VERTICAL ALUMINUM BATTEN
 SECTIONAL GARAGE DOOR/ ACCESS
 GATE/ FIRE EGRESS DOORS
 SCUPTFORM 25 X 50 AND 50 X 50 ALUMINUM
 BATTEN IN DURATEC ZEUS WHITE

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au



SECTION AA



SECTION BB

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT
 SUMMIT BUILD P/L

PROJECT
 MIXED USE DEVELOPMENT

TITLE
 SECTIONS

SCALE 1:100 @ A1 / 1:200 @ A3
 APPROVED
 DRAWN MN
 CHECKED TG
 DATE JULY
 STATUS DA

PROJECT NUMBER 19032
 DRAWING NUMBER

A300

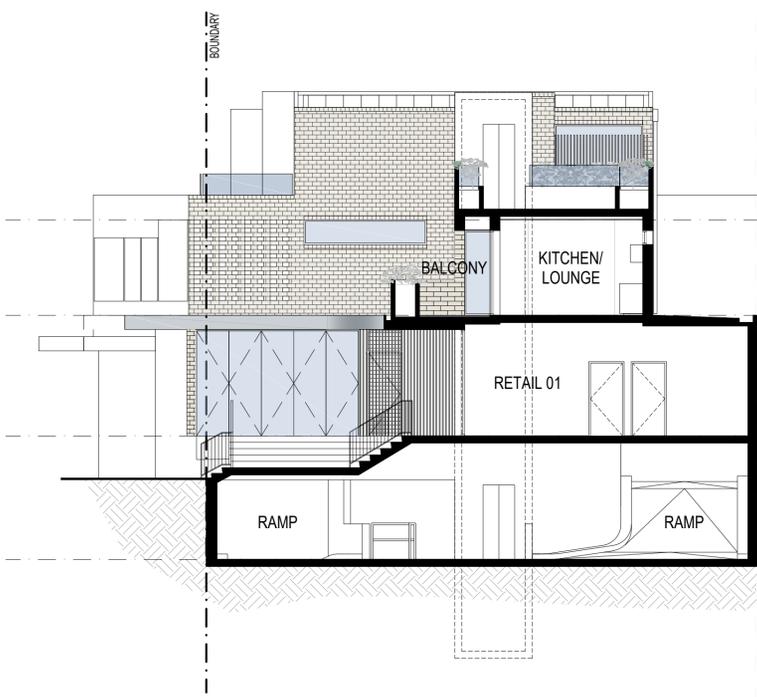
ISSUE
A crawford architects

349 BARRENJOEY ROAD NEWPORT NSW 2106

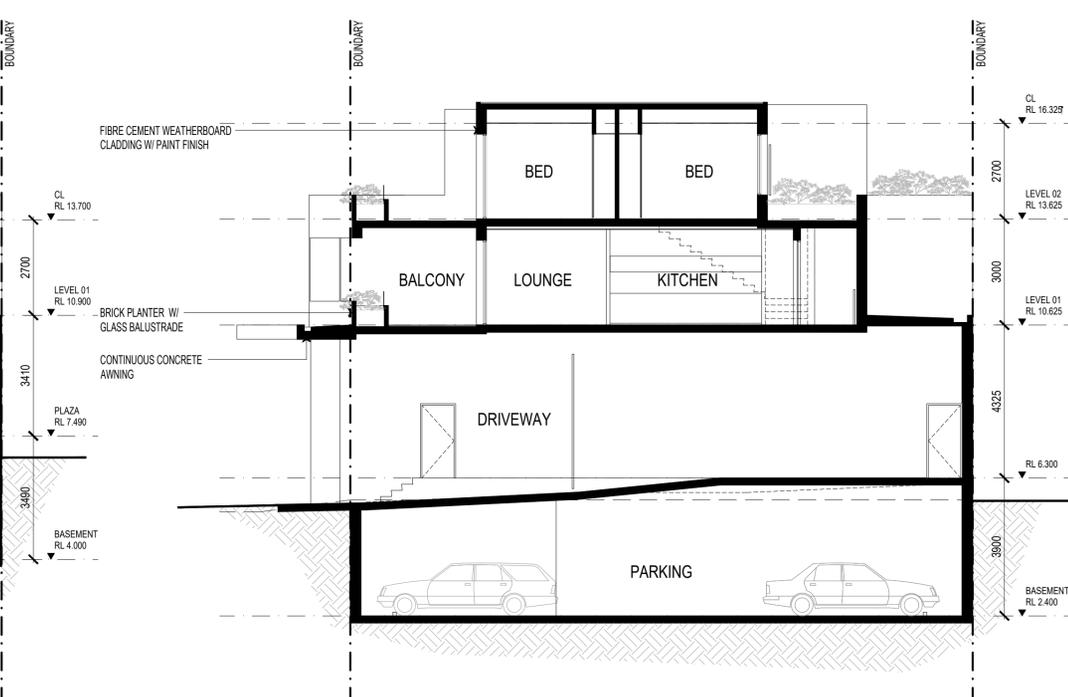
Certificate no.: 0005073143
 Assessor Name: Damian O'Toole
 Accreditation no.: 20420
 Certificate date: 04 Aug 2020
 Dwelling Address: 349 BARRENJOEY RD
 NEWPORT, NSW
 2106
 www.nathers.gov.au



SECTION CC



SECTION DD



SECTION EE

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY A DIRECTOR OF CRAWFORD ARCHITECTS PTY LTD

© CRAWFORD ARCHITECTS PTY LTD 2019
 SUITE 3.01, LEVEL 3.80 MOUNT STREET
 NORTH SYDNEY, NSW 2060 AUSTRALIA
 ABN 56 120 779 106
 NOMINATED ARCHITECTS:
 TONY GRAY 5303 & PAUL GODSELL 6726
 ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
 E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
A	20.08.12	DA ISSUE

CLIENT
 SUMMIT BUILD P/L

PROJECT
 MIXED USE DEVELOPMENT

TITLE
 SECTIONS

SCALE 1:100 @ A1 / 1:200 @ A3

PROJECT NUMBER 19032
 DRAWING NUMBER

A301

APPROVED
 DRAWN MN
 CHECKED TG
 DATE JULY
 STATUS DA



349 BARRENJOEY ROAD NEWPORT NSW 2106

349 Barrenjoey Rd, Newport

Landscape Development Application

Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan Ground	1:75
102	Landscape Plan Level 1	1:75
103	Landscape Plan Level 2	1:75
501	Landscape Details	As Shown

Symbol	Botanical Name	Common Name	Size	Pot Size	Spacing
Trees					
Aco	<i>Angophora costata</i>	Sydney Red Gum	25 x 10	100L	As show n
Ca	<i>cupaniopsis anacardioides</i>	Tuckeroo	15 x 10	100L	As show n
Wf	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	10 x 15	100L	As show n
Er	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	As Show n	100L	As show n
MLG	<i>Magnolia 'Little Gem'</i>	Magnolia	As Show n	100L	As show n
TL	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	As Show n	100L	As show n
Shrubs / Accents					
Aa	<i>Asplenium australasicum</i>	Birds Nest Fern	0.8 x 0.8	300mm	As show n
As	<i>Agave salminiana</i>	Agave	0.7 x 0.7	300mm	As show n
Ag	<i>Agave geminiflora</i>	Agave Blue Glow	0.7 x 0.7	300mm	As show n
BSL	<i>Blechnum 'Silver Lady'</i>	Dw arf Tree Fern	0.8 x 1.2	300mm	As show n
By	<i>Beschorneria yuccoides</i>	Mexican Lily	1 x 2	300mm	As show n
Cr	<i>Cycas revoluta</i>	Japanese Sago	1 x 1	300mm	As show n
PX	<i>Philodendron Xanadu</i>	Xanadu	0.8 x 1	300mm	5m ²
Ri	<i>Raphiolepis indica 'Oriental Pearl'</i>	Indian Haw thorne	0.8 x 1	300mm	As show n
Vo	<i>Viburnum odoratissimum</i>	Sw eet Viburnum	5 x 3.5	300mm	As show n
Groundcovers & Grasses					
CCI	<i>Casuarina glauca 'Cousin It'</i>	Cousin It	.15 x 1	150mm	5m ²
Cg	<i>Carpobrotus glaucescens</i>	Pig Face	0.1 x 1	150mm	5m ²
Dr	<i>Dichondra repens</i>	kidney wee	.1 x .4	150mm	5m ²
LJR	<i>Liriope muscari 'Just Right'</i>	Liriope	0.6 x 0.5	150mm	5m ²
Ss	<i>Senecio serpens 'Blue Chalksticks'</i>	Chalk Sticks	.4 x spreading	150mm	5m ²

NOT FOR CONSTRUCTION

© 2019 Site Image (NSW) Pty Ltd. ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020

LEGEND

Key Plan:



SITE IMAGE



Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Summit Built Pty Ltd

Project:
349 Barrenjoey Road
Newport, NSW 2016

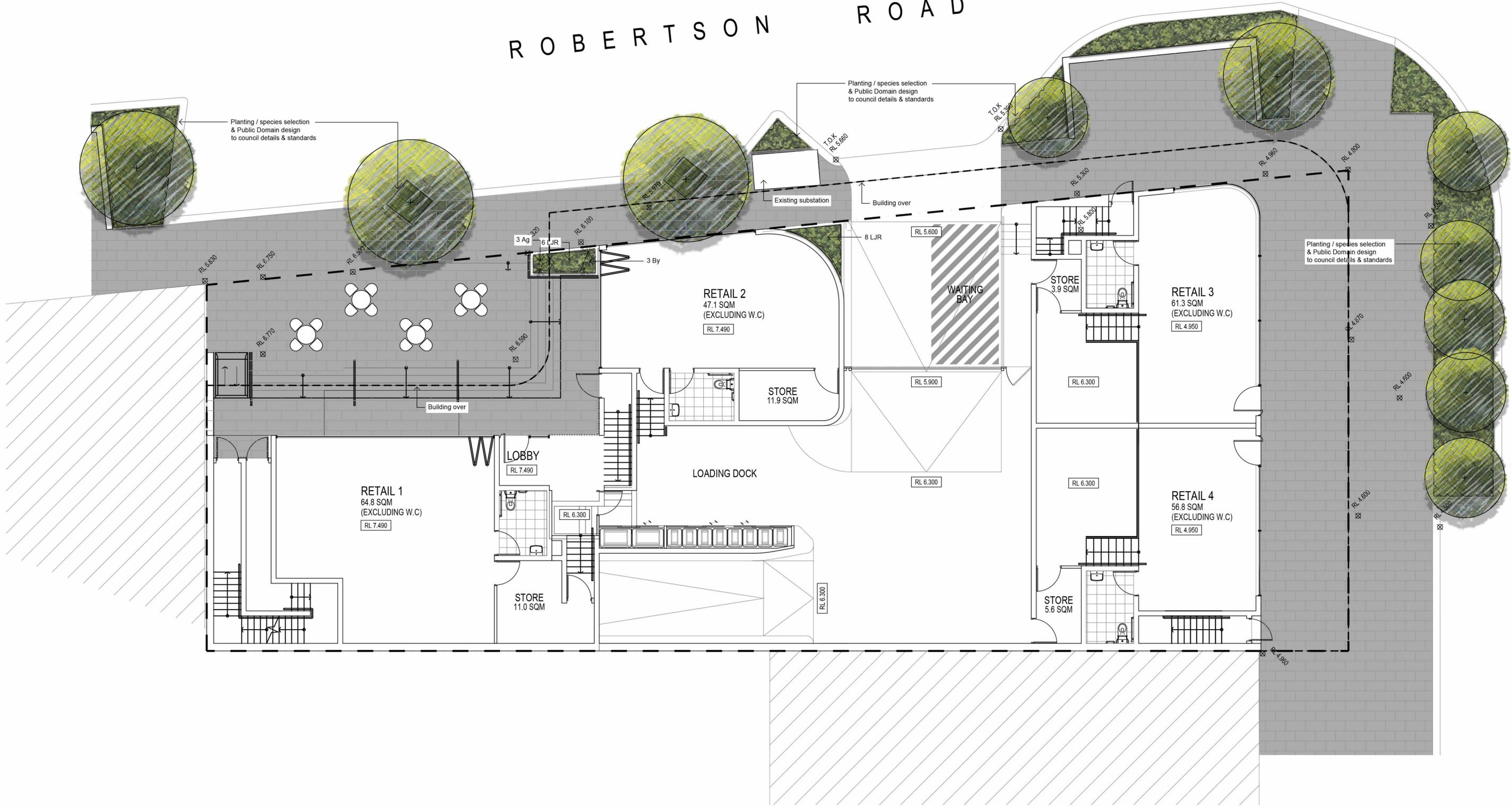
Drawing Name:
Coversheet

PRELIMINARY

Scale:
Job Number:
Drawing Number:
Issue:

SS20-4436 000 C

ROBERTSON ROAD



NOT FOR CONSTRUCTION

© 2019 Site Image (NSW) Pty Ltd. ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
D	For submission	LM	NM	04.08.2020
C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020

LEGEND

- Boundary
- Proposed Tree (Refer Plant Schedule & Detail)
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Grasses & Groundcovers (Refer Plant Schedule)
- Decking / Paving

Key Plan:



SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9668 2877
www.siteimage.com.au

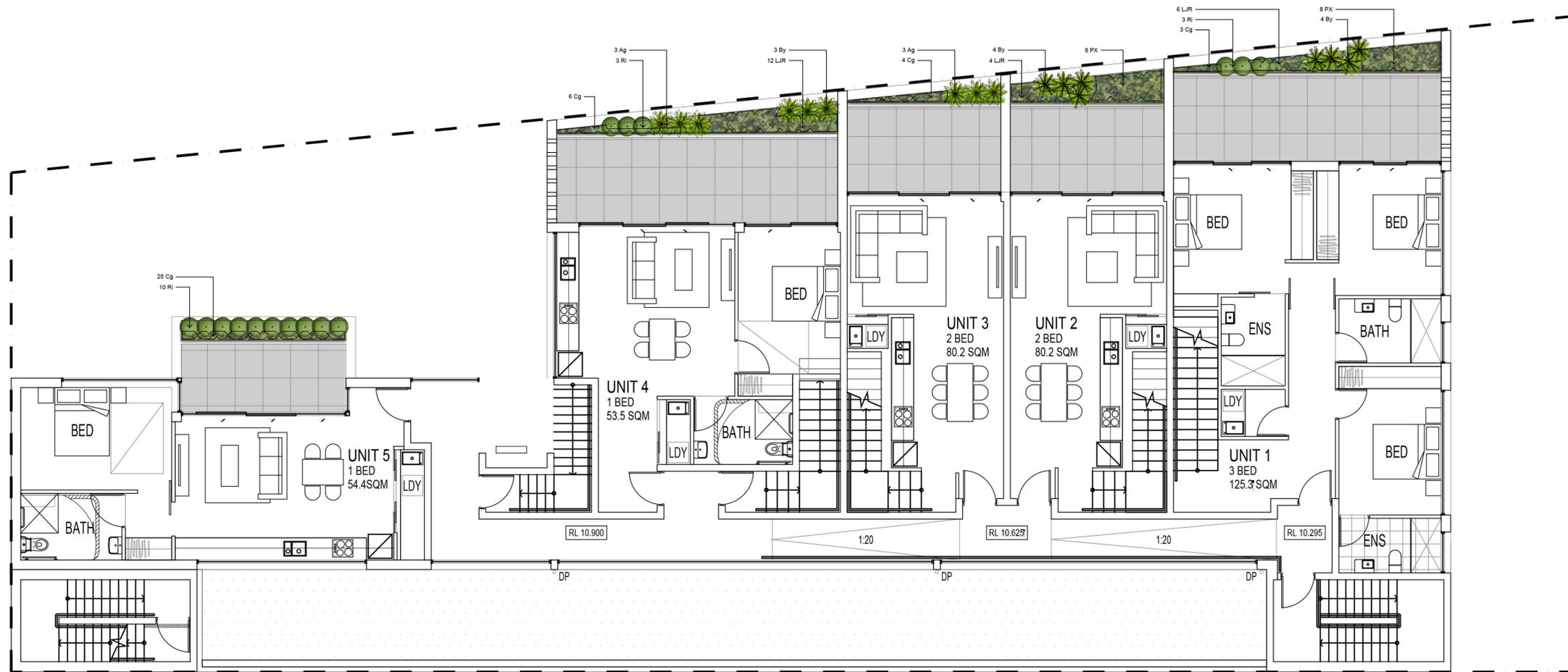
Client:
Summit Built Pty Ltd

Project:
**349 Barrenjoey Road
Newport, NSW 2016**

Drawing Name:
**Landscape Plan
Ground Floor**

PRELIMINARY

Scale: 1:75 @ A1
Job Number: SS20-4436
Drawing Number: 101 D



NOT FOR CONSTRUCTION

© 2019 Site Image (NSW) Pty Ltd. ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020

LEGEND

	Boundary
	Proposed Tree (Refer Plant Schedule & Detail)
	Shrubs & Accents (Refer Plant Schedule & Detail)

	Grasses & Groundcovers (Refer Plant Schedule)		Picnic benches
	Decking / Paving		
	Turf		

Key Plan:



SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9668 2877
www.siteimage.com.au

Client:
Summit Built Pty Ltd

Project:
**349 Barrenjoey Road
Newport, NSW 2016**

Drawing Name:
**Landscape Plan
Level 1**

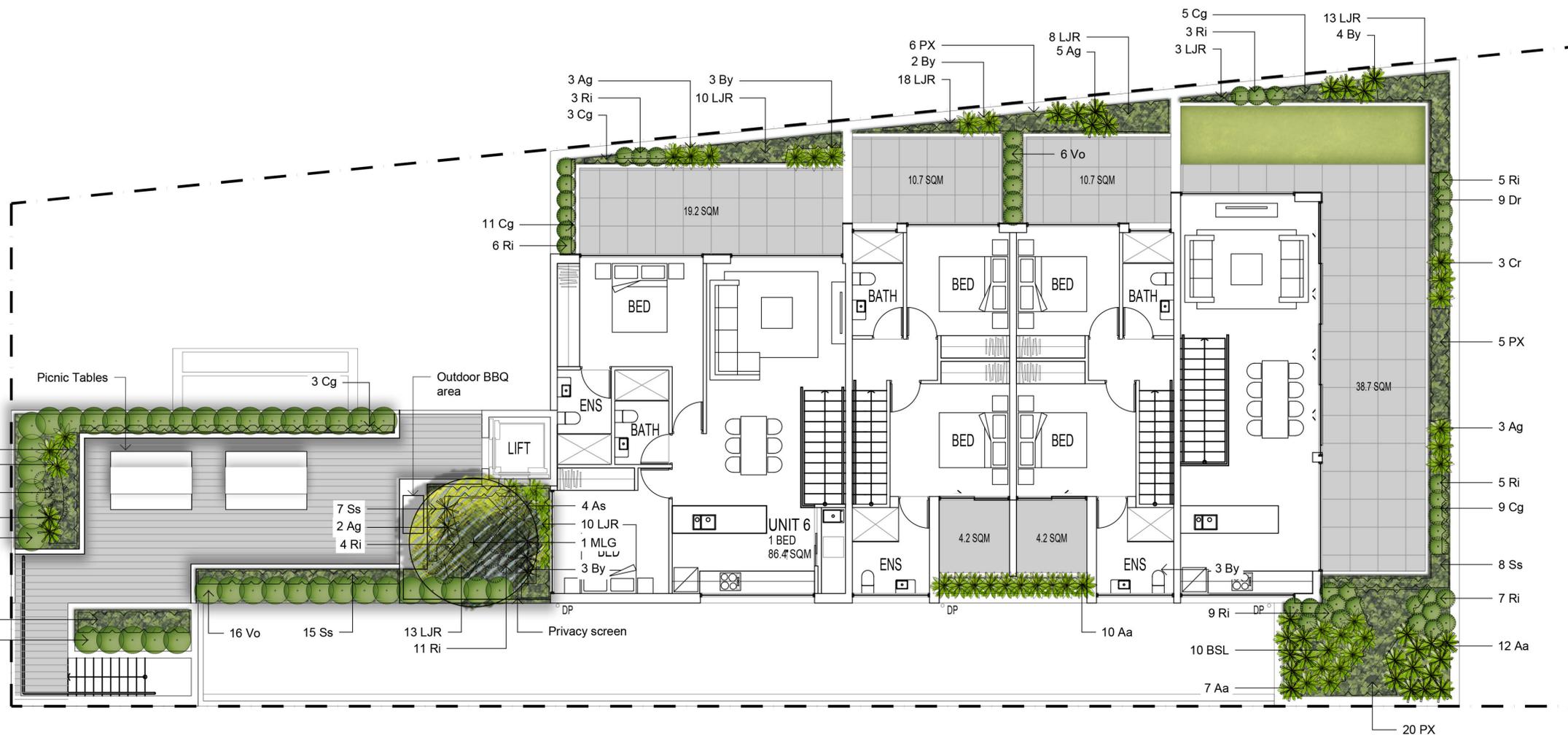
PRELIMINARY

Scale: 1:75 @ A1
Job Number:
SS20-4436

Drawing Number:

Issue:

102 C



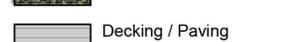
NOT FOR CONSTRUCTION

© 2019 Site Image (NSW) Pty Ltd. ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020

LEGEND

-  Boundary
-  Proposed Tree (Refer Plant Schedule & Detail)
-  Shrubs & Accents (Refer Plant Schedule & Detail)
-  Grasses & Groundcovers (Refer Plant Schedule)
-  Decking / Paving
-  Turf
-  Picnic benches

Key Plan:



SITE IMAGE
 Landscape Architects
 Level 1, 3-5 Baptist Street
 Redfern NSW 2016
 Australia
 Tel: (61 2) 8332 5600
 Fax: (61 2) 9668 2877
 www.siteimage.com.au

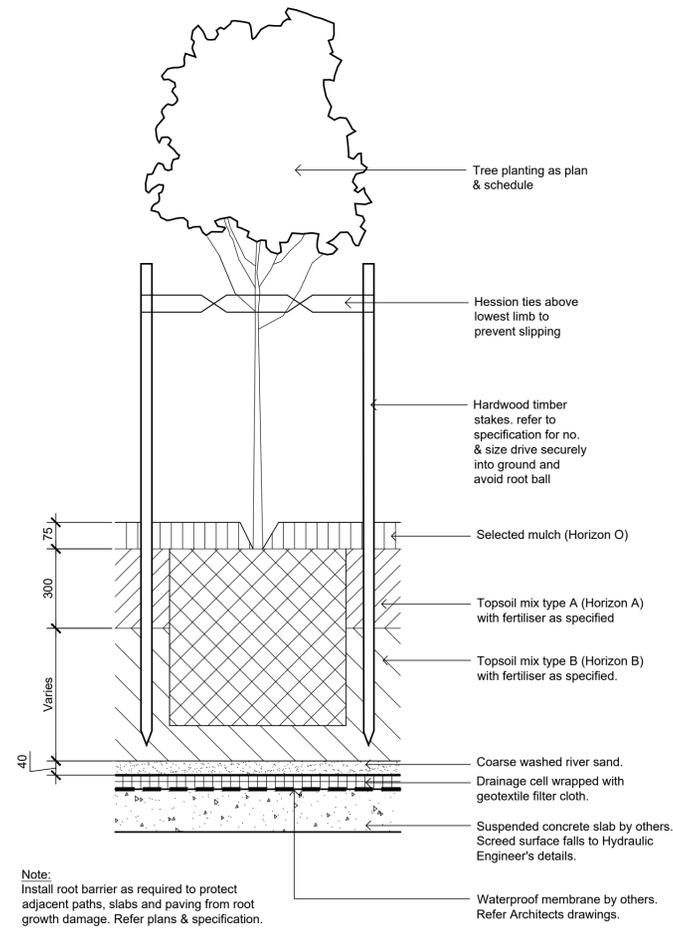
Client:
Summit Built Pty Ltd
 Project:
**349 Barrenjoey Road
 Newport, NSW 2016**

Drawing Name:
**Landscape Plan
 Level 2**

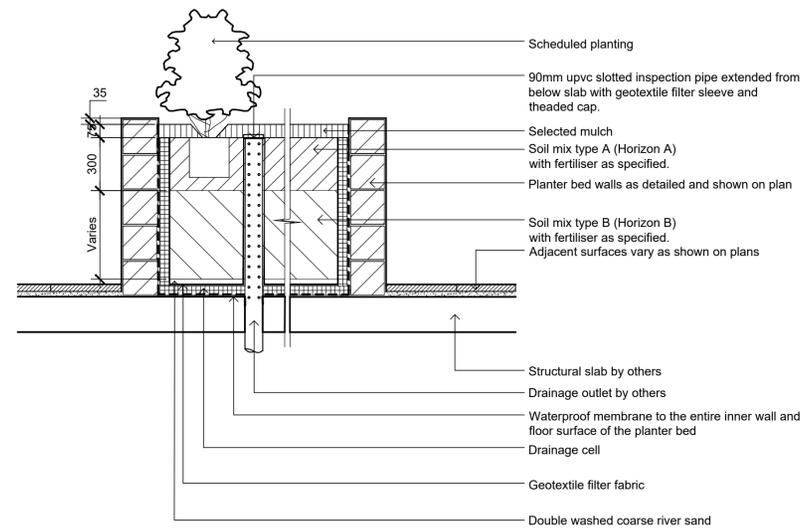
PRELIMINARY

Scale: 1:75 @ A1
 Job Number:
SS20-4436

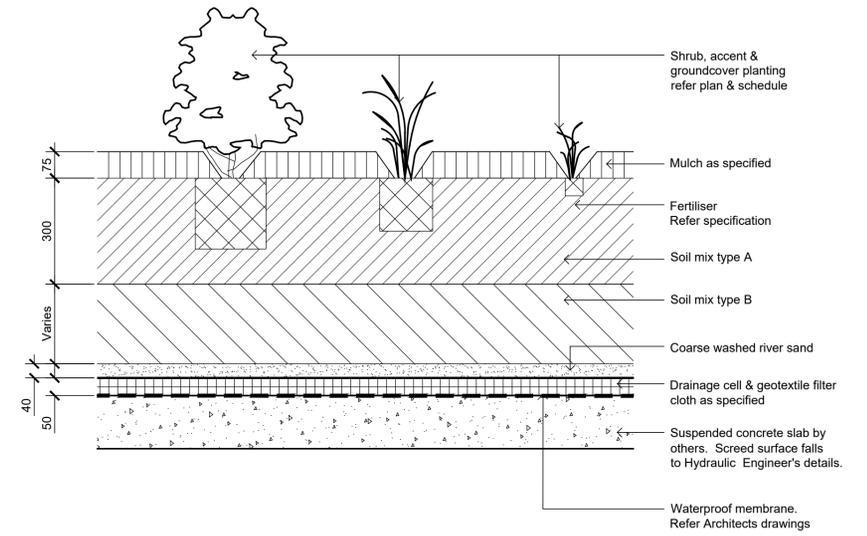
Drawing Number: Issue:



Detail 75-200L Tree Planting on Structure
1:10



Section - Typical Raised Planter Bed on Structure
1:20
Inspection riser pipe



Detail Shrub Accent & Groundcover Planting on Structure
1:10

NOT FOR CONSTRUCTION

© 2019 Site Image (NSW) Pty Ltd. ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020

LEGEND

Key Plan:



SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Summit Built Pty Ltd
Project:
**349 Barrenjoey Road
Newport, NSW 2016**

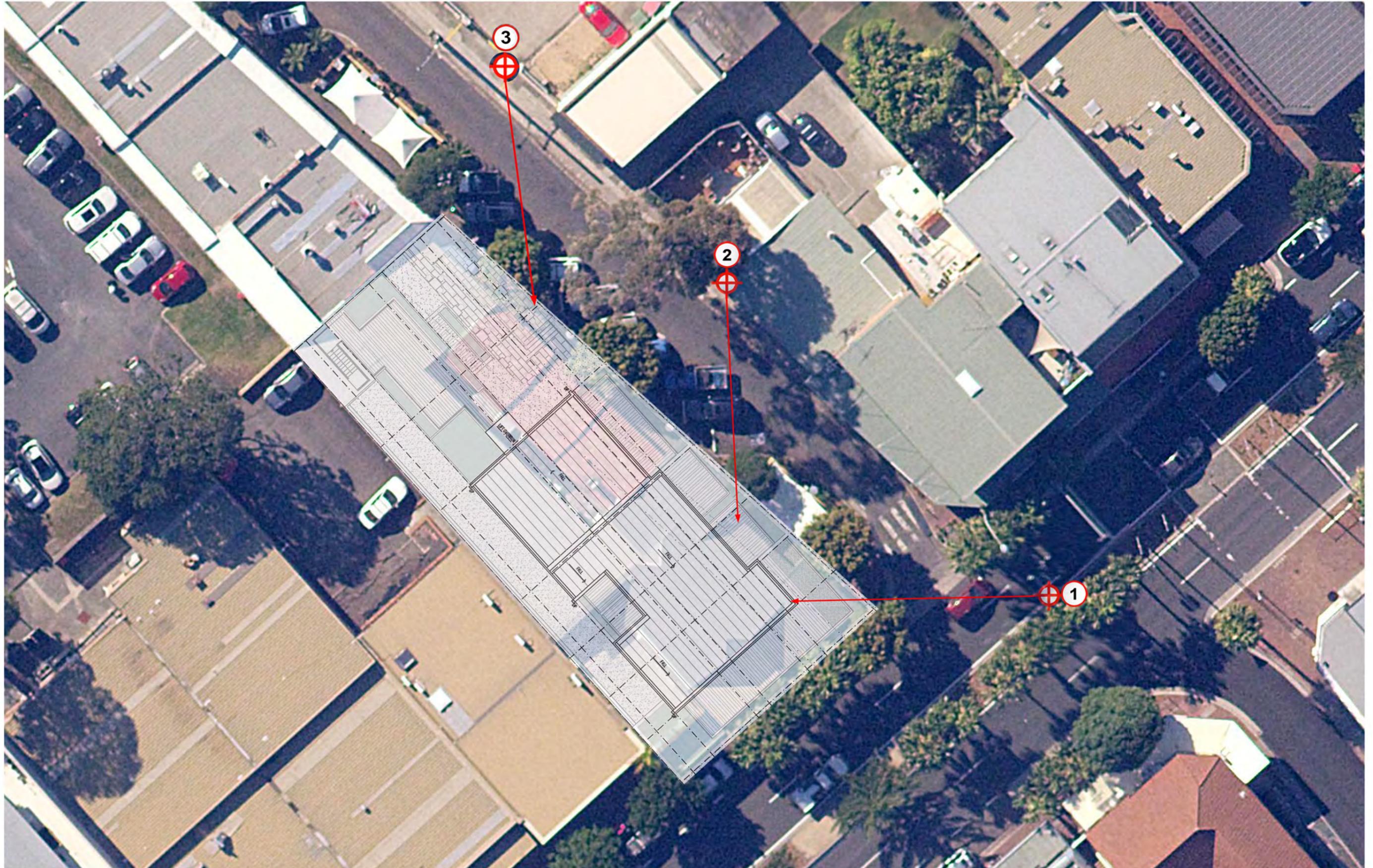
Drawing Name:
Landscape Plan

PRELIMINARY

Scale: 1:75 @ A1
Job Number:
SS20-4436

Drawing Number: Issue:

103 C







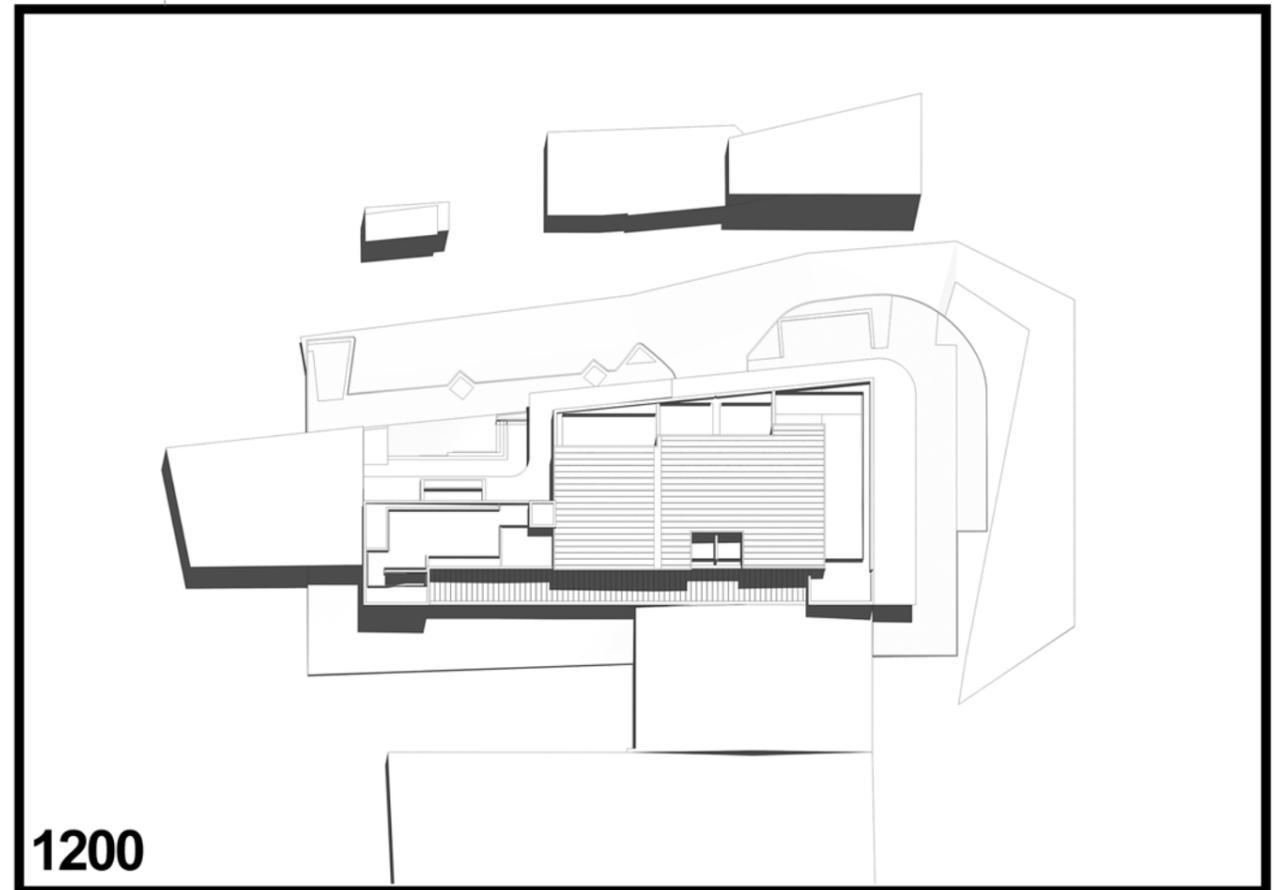
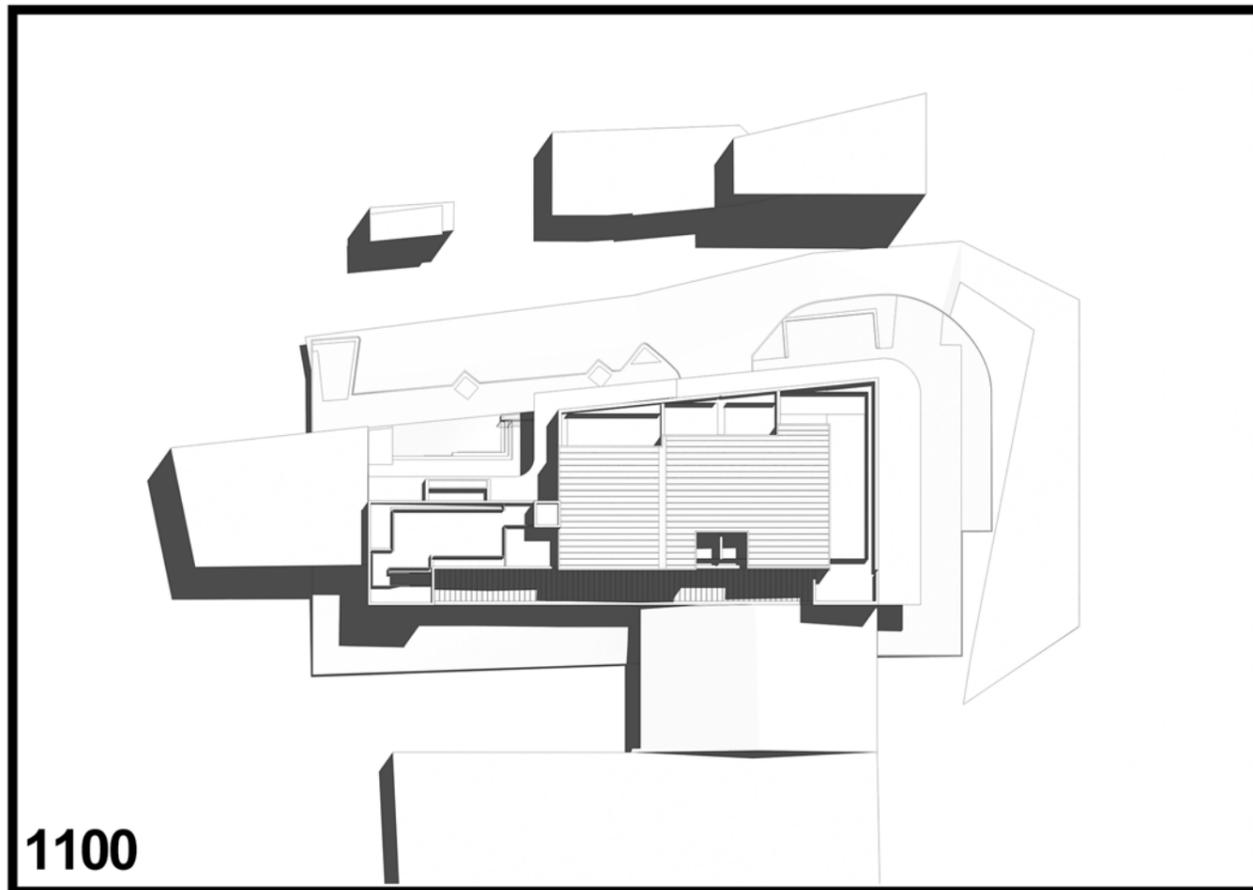
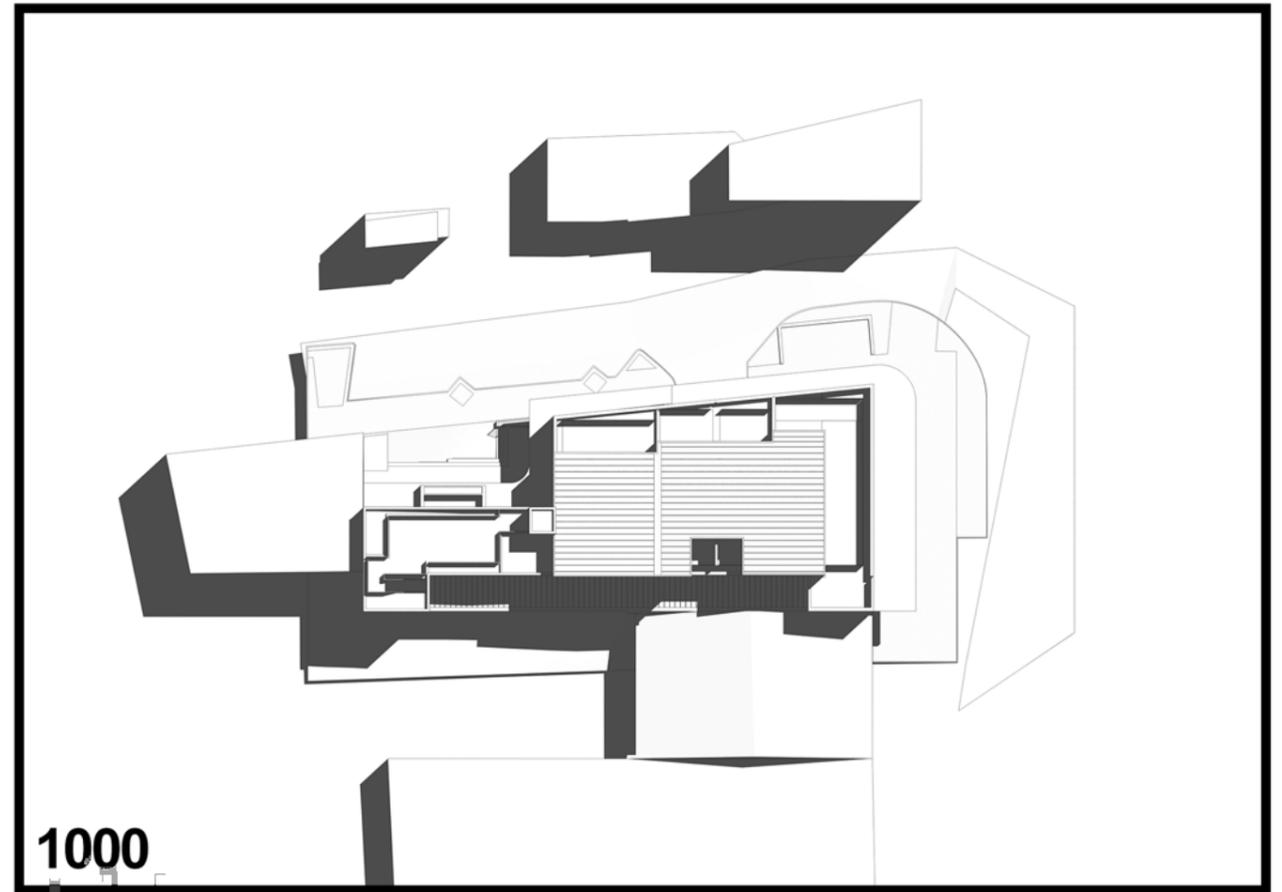
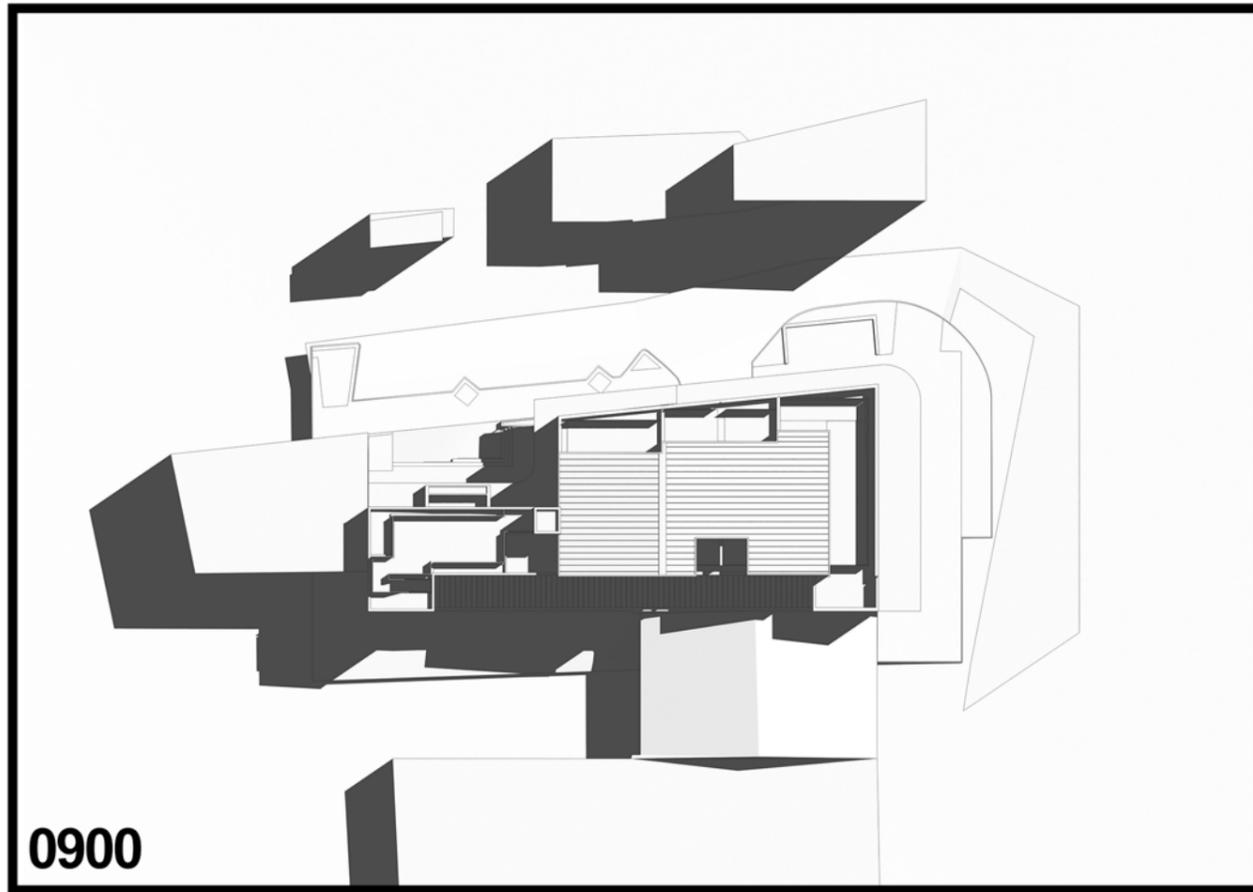
PROJECT: 349, Barrenjoey Road, Newport.
DRAWING: Photomontaged View - View 1 (with transparent foreground trees)

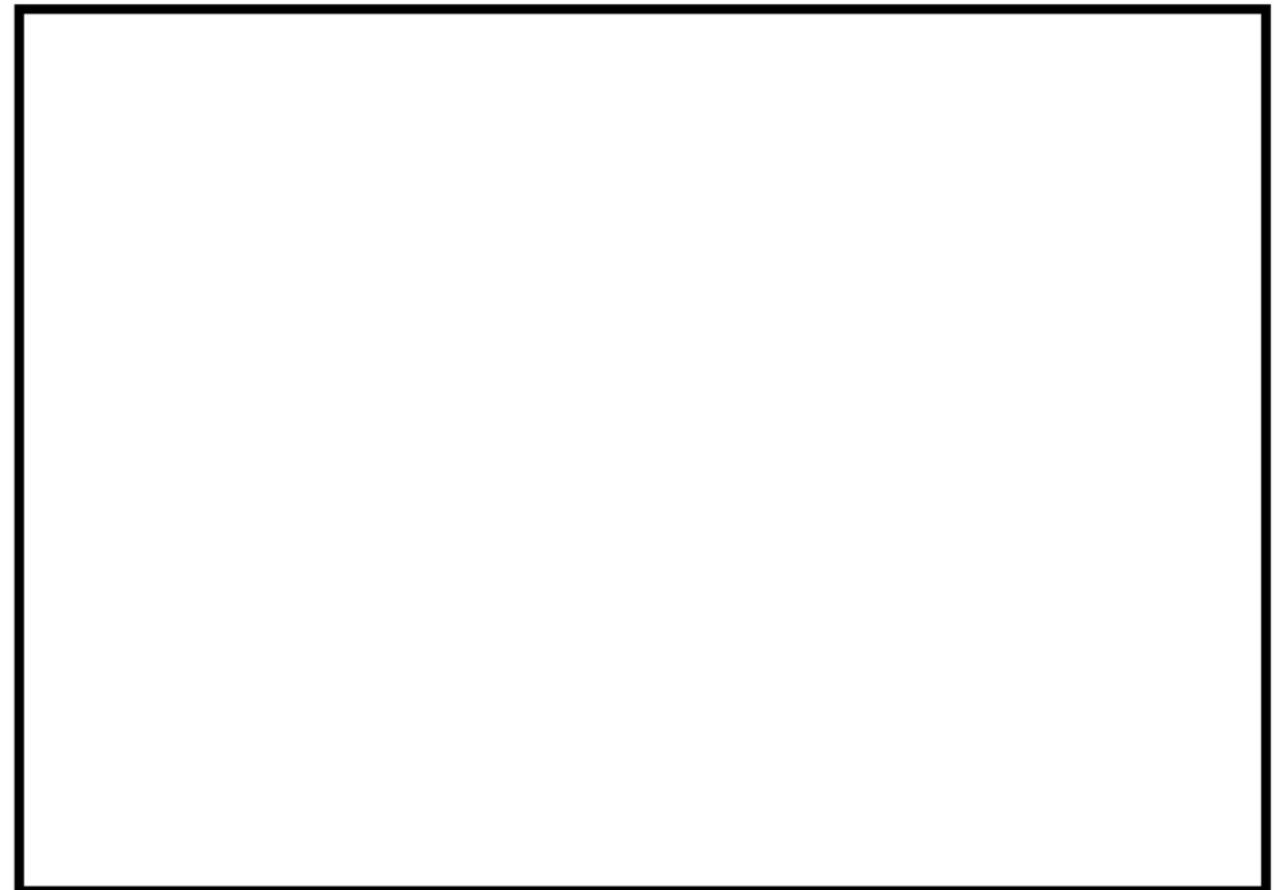
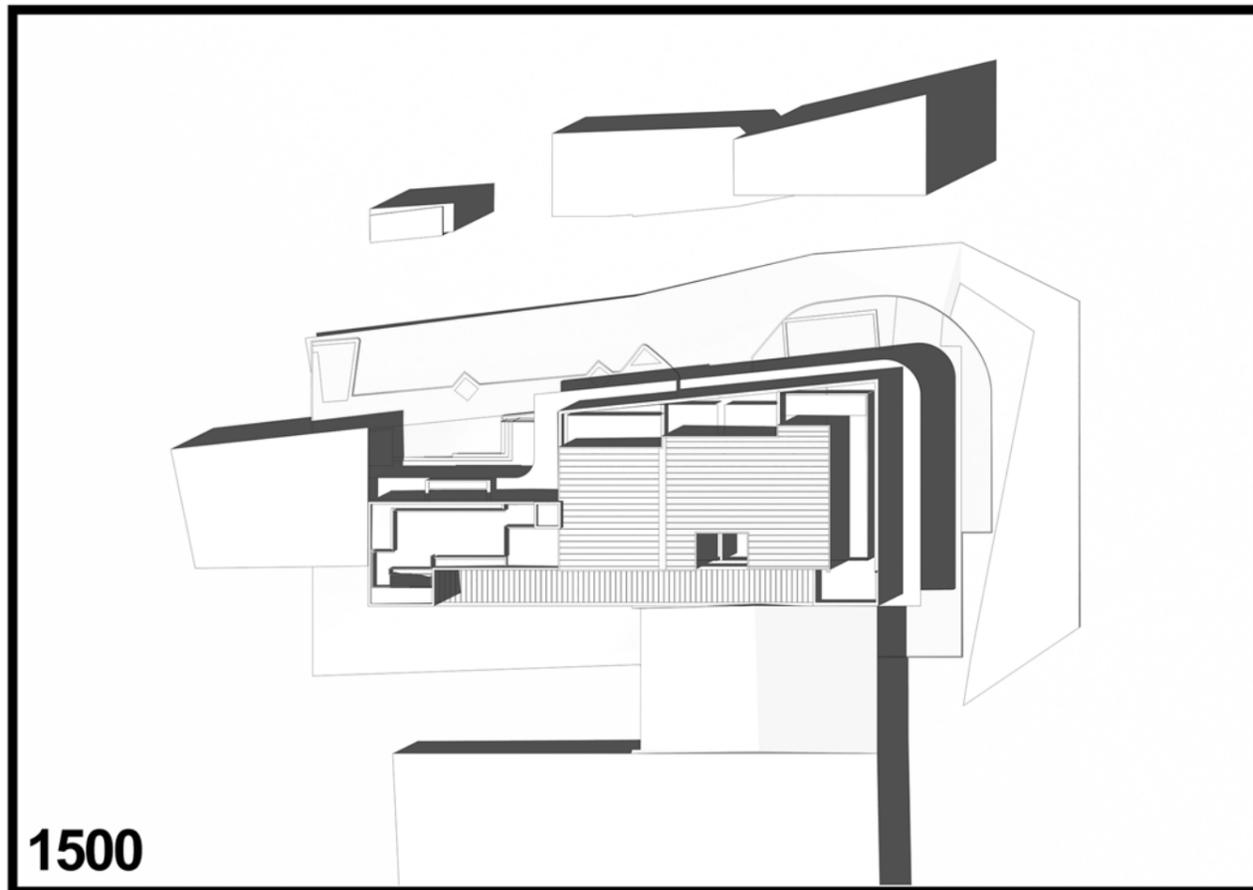
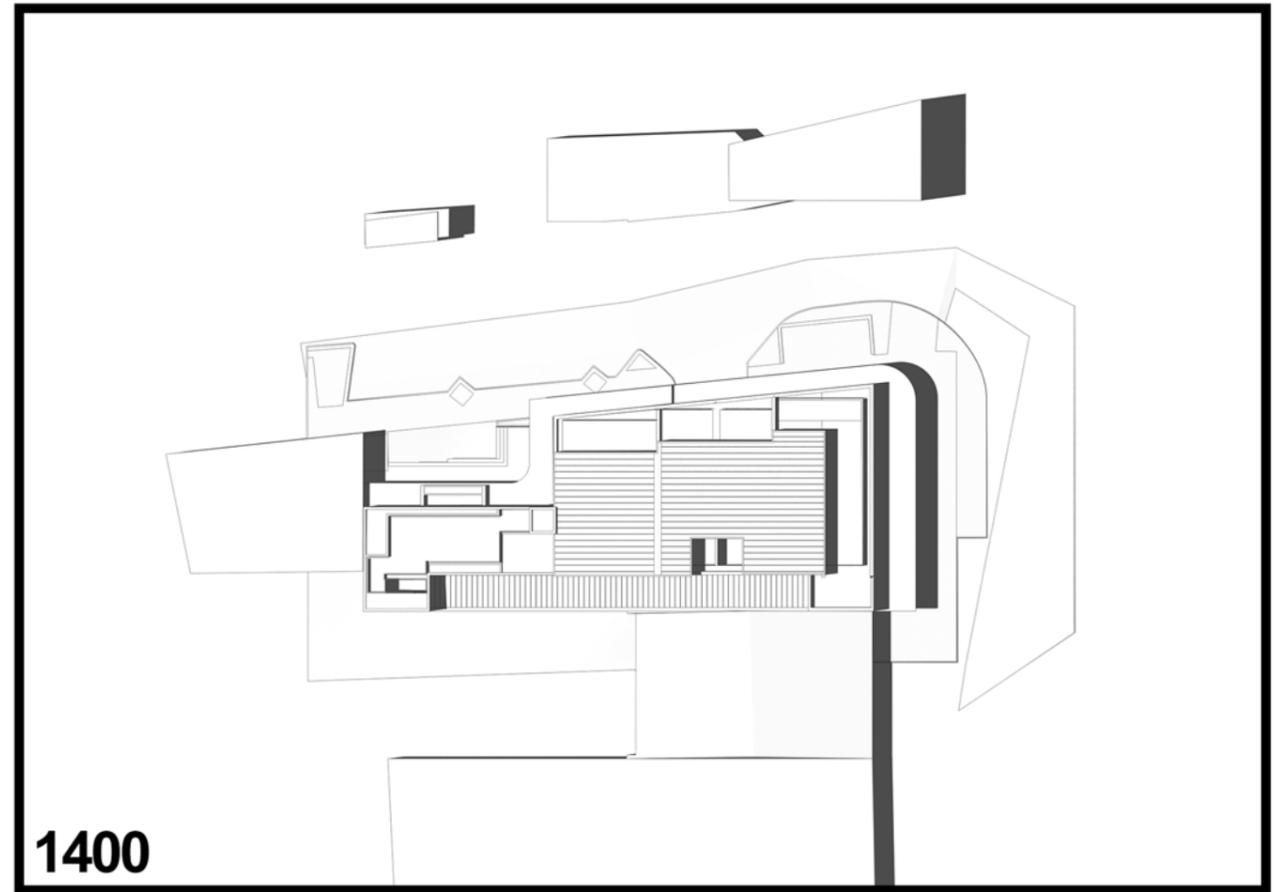
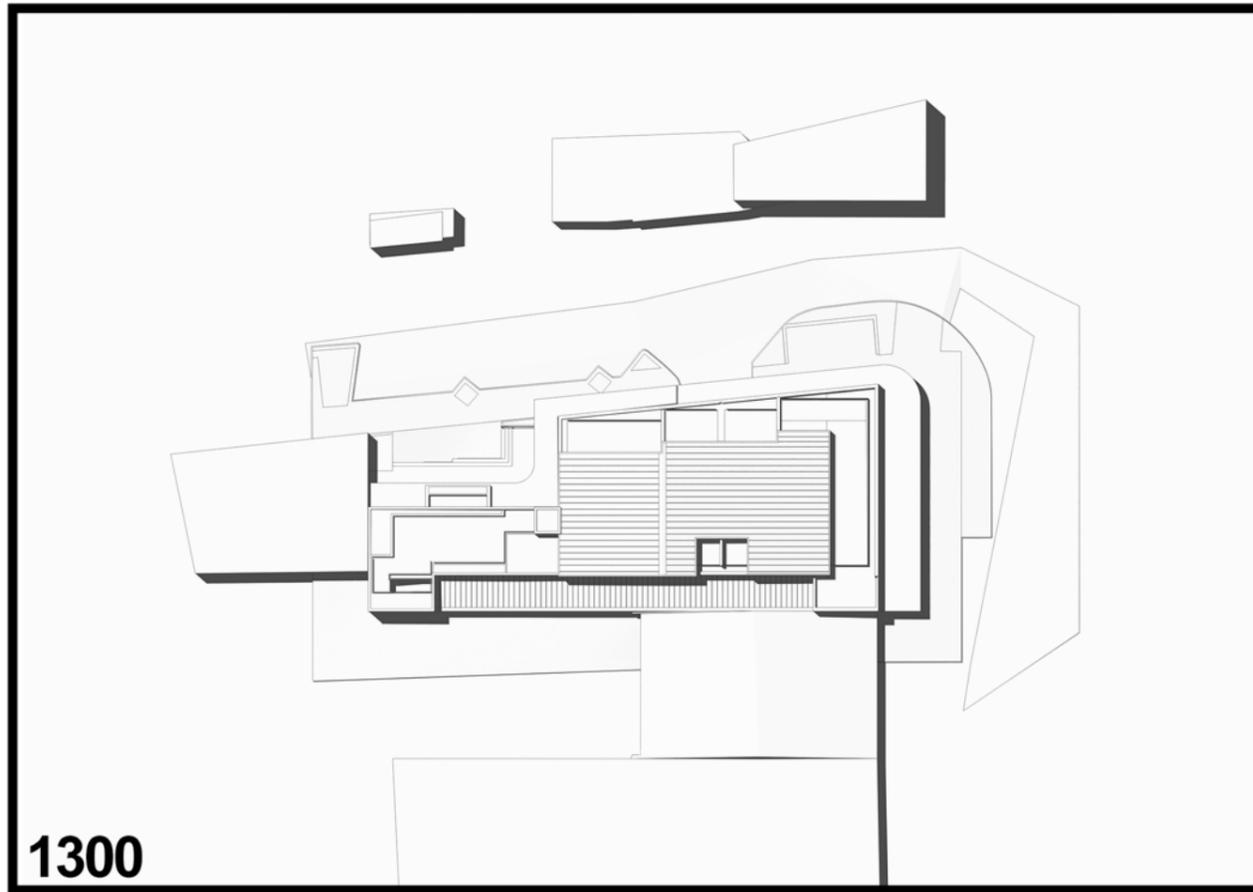
ISSUE:
DWG. NO.

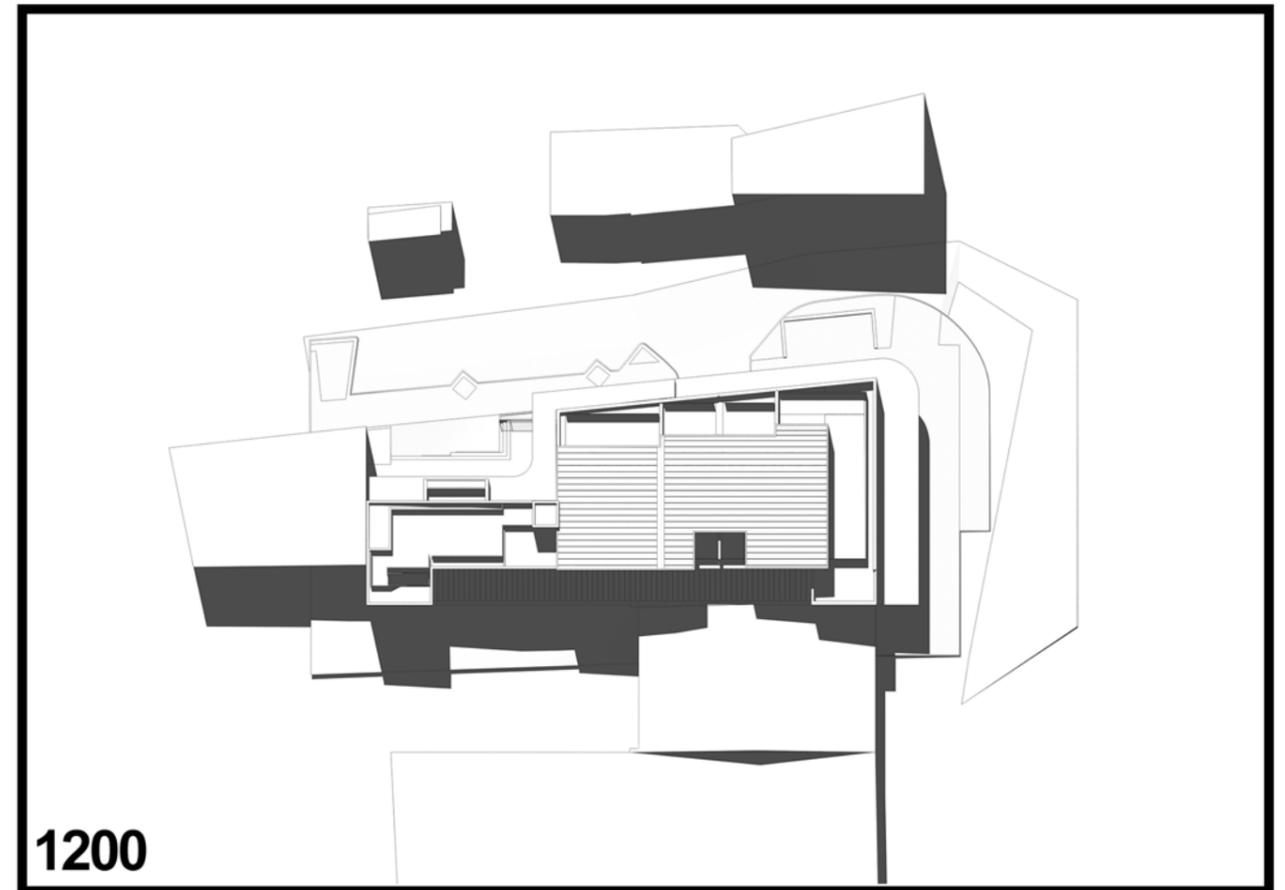
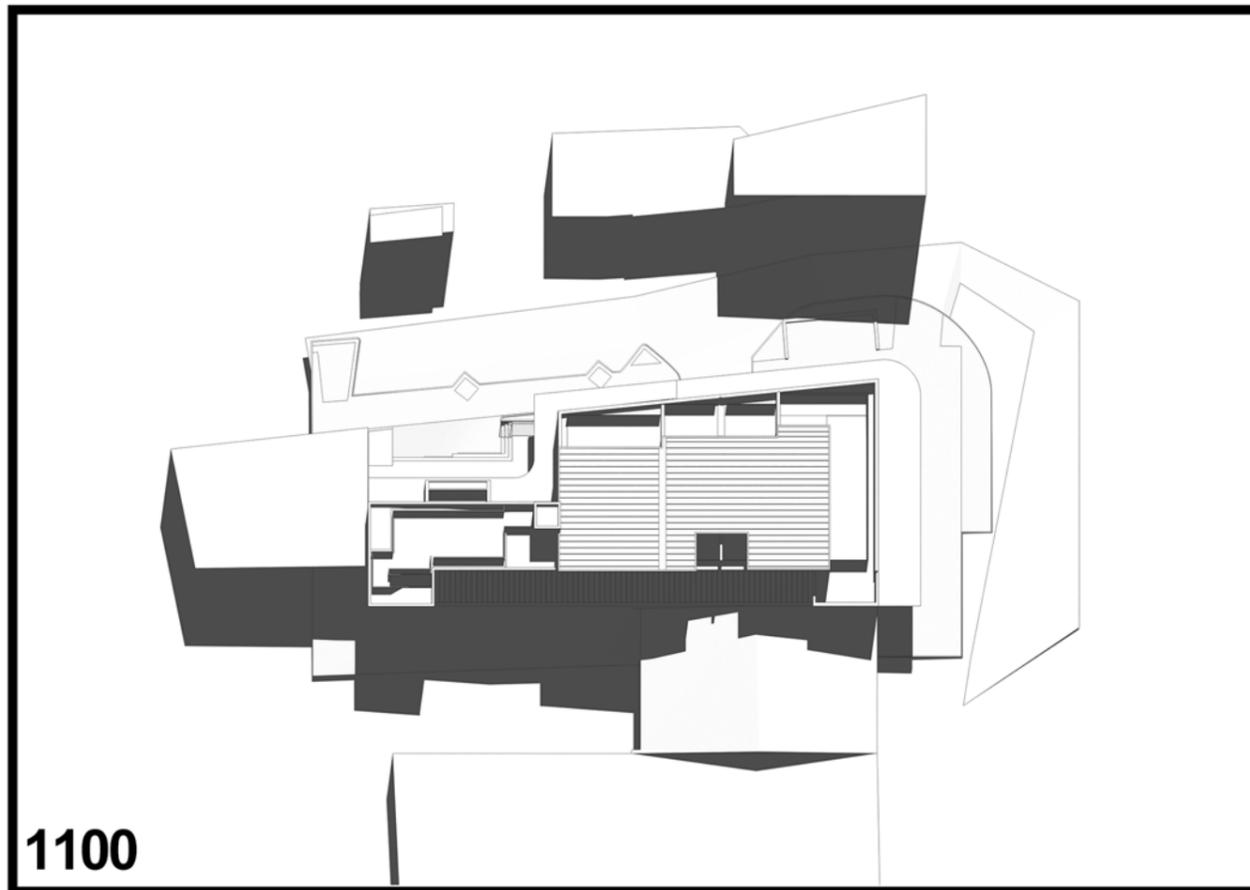
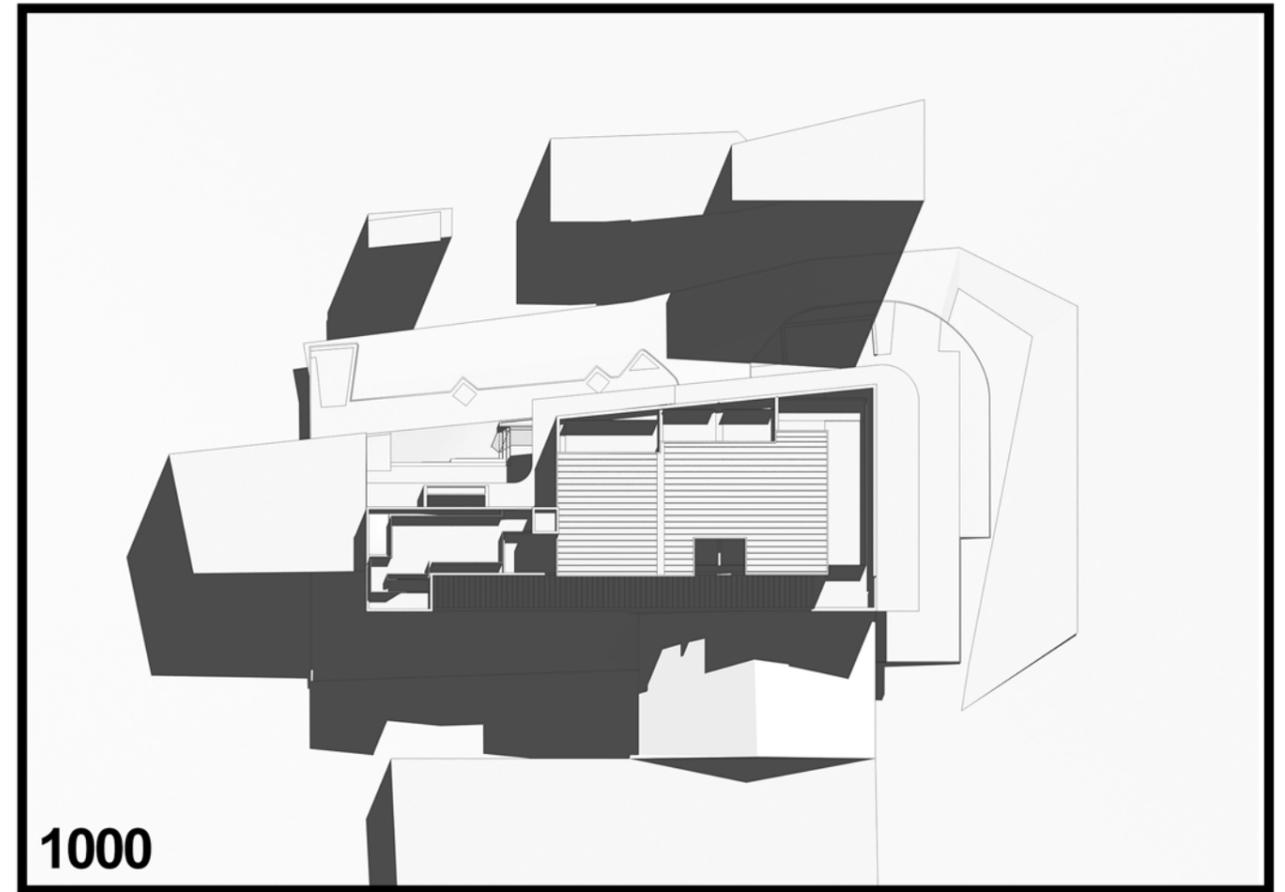
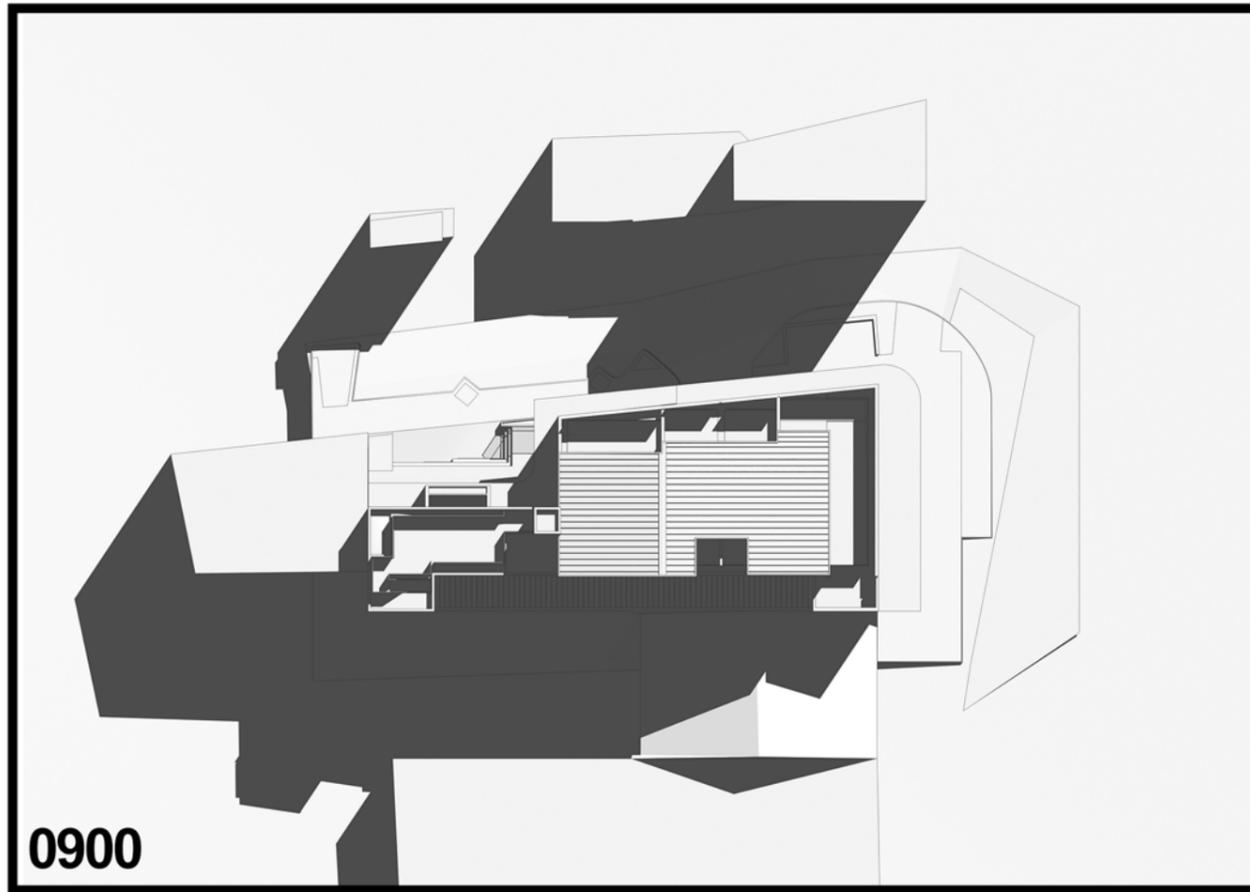
urbaine
ARCHITECTURE
urbaine pty ltd . 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770

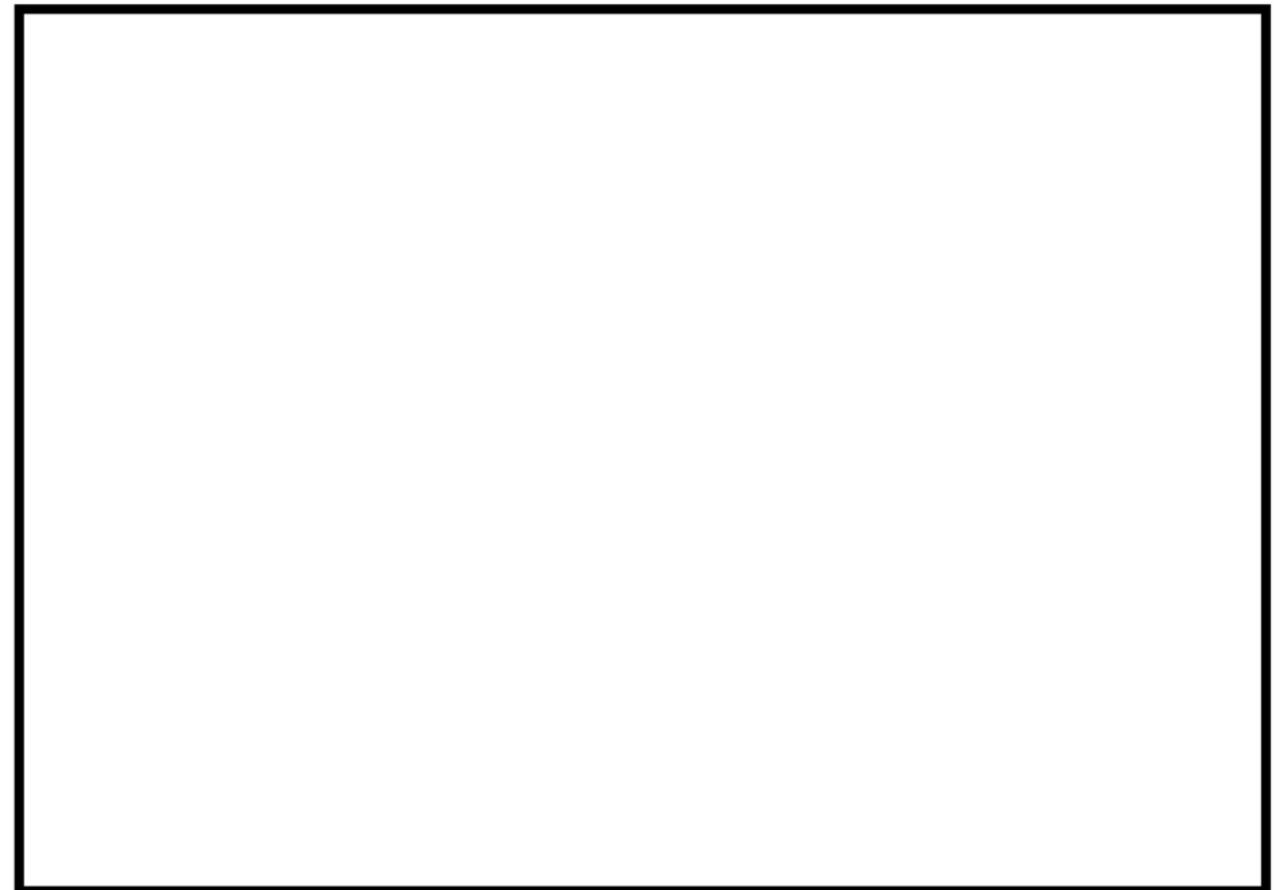
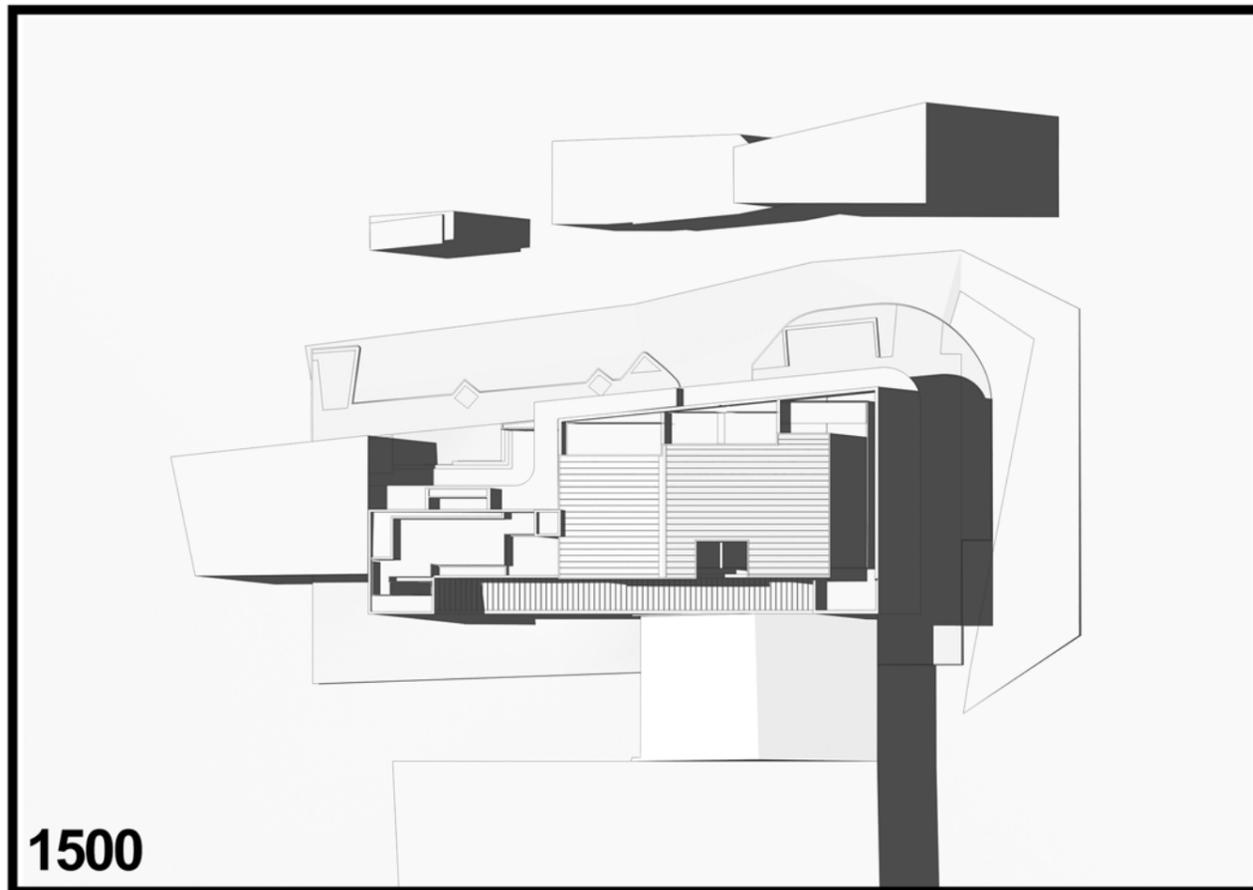
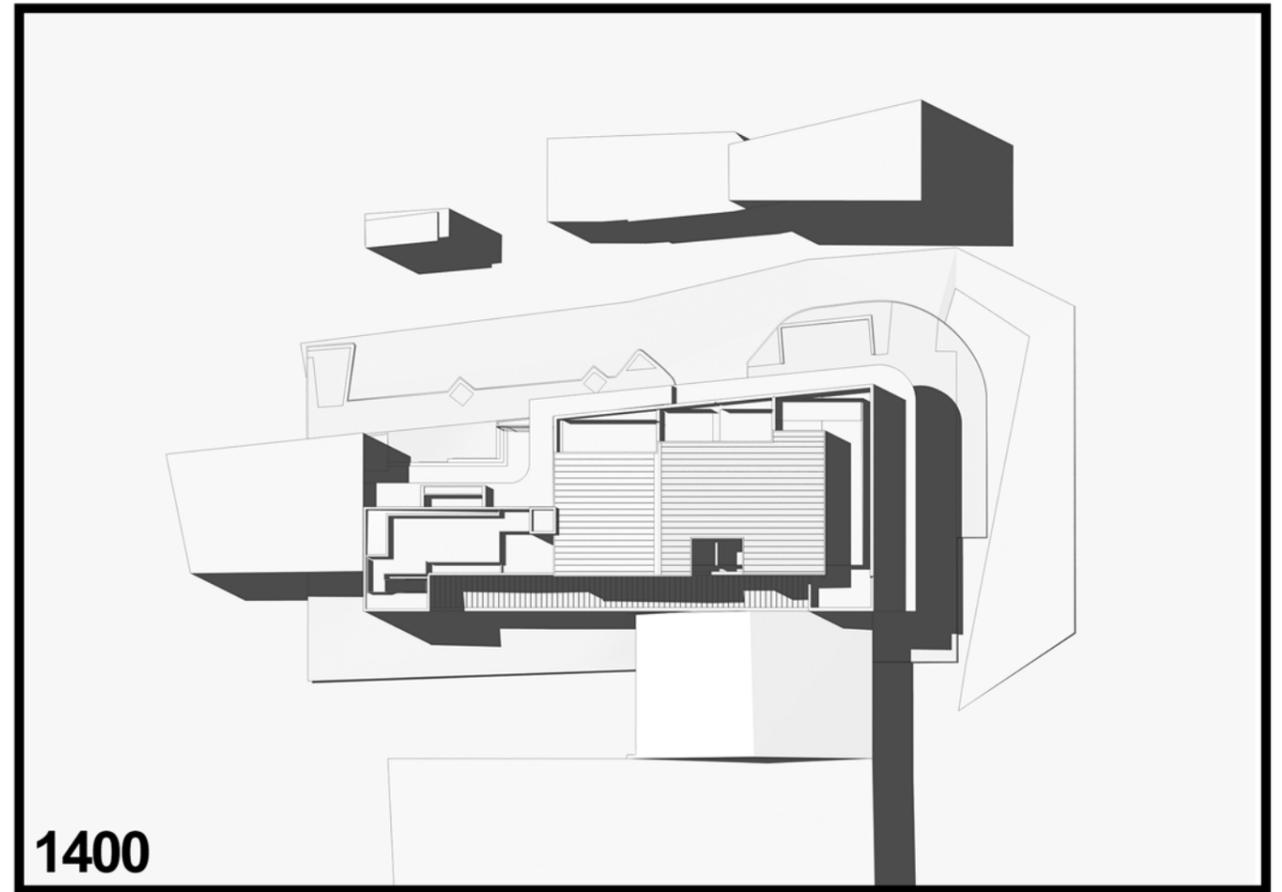
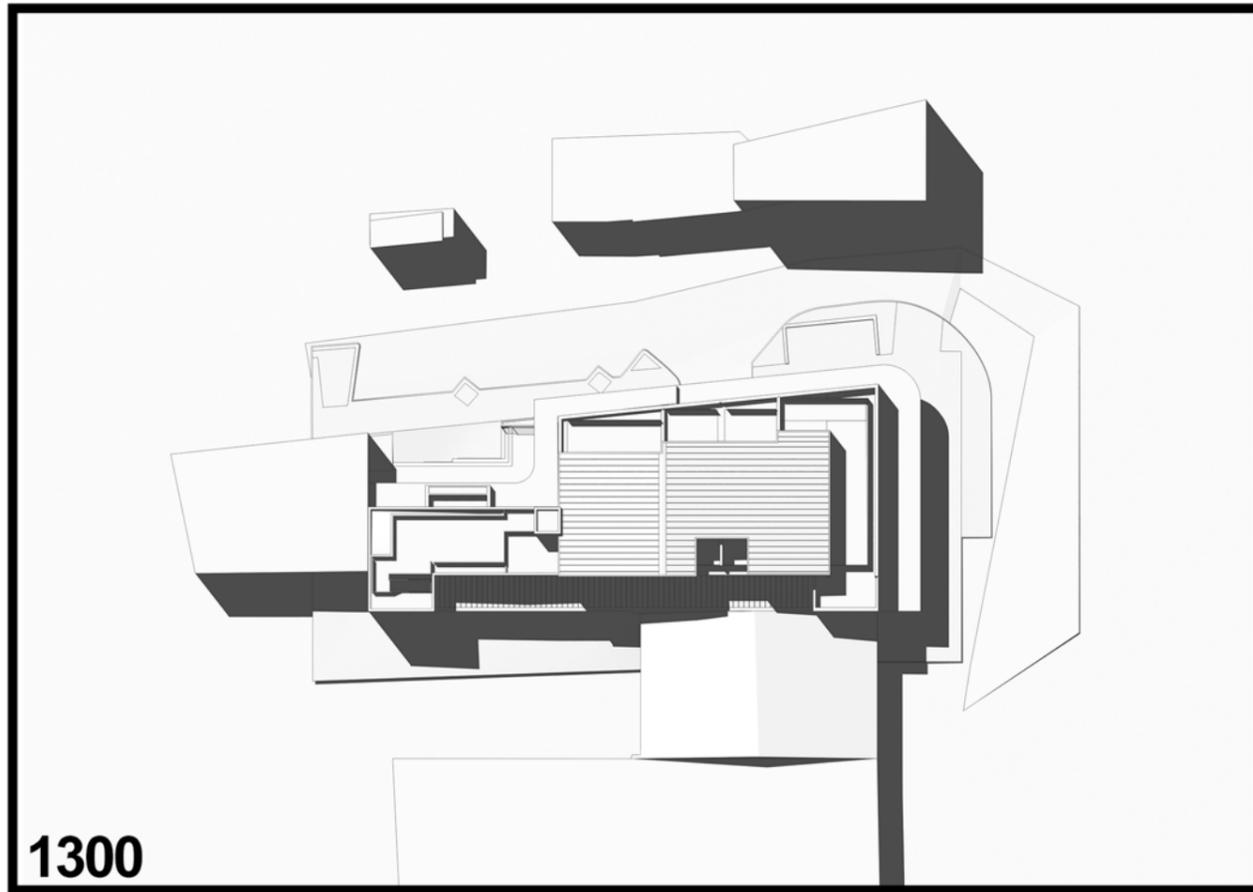


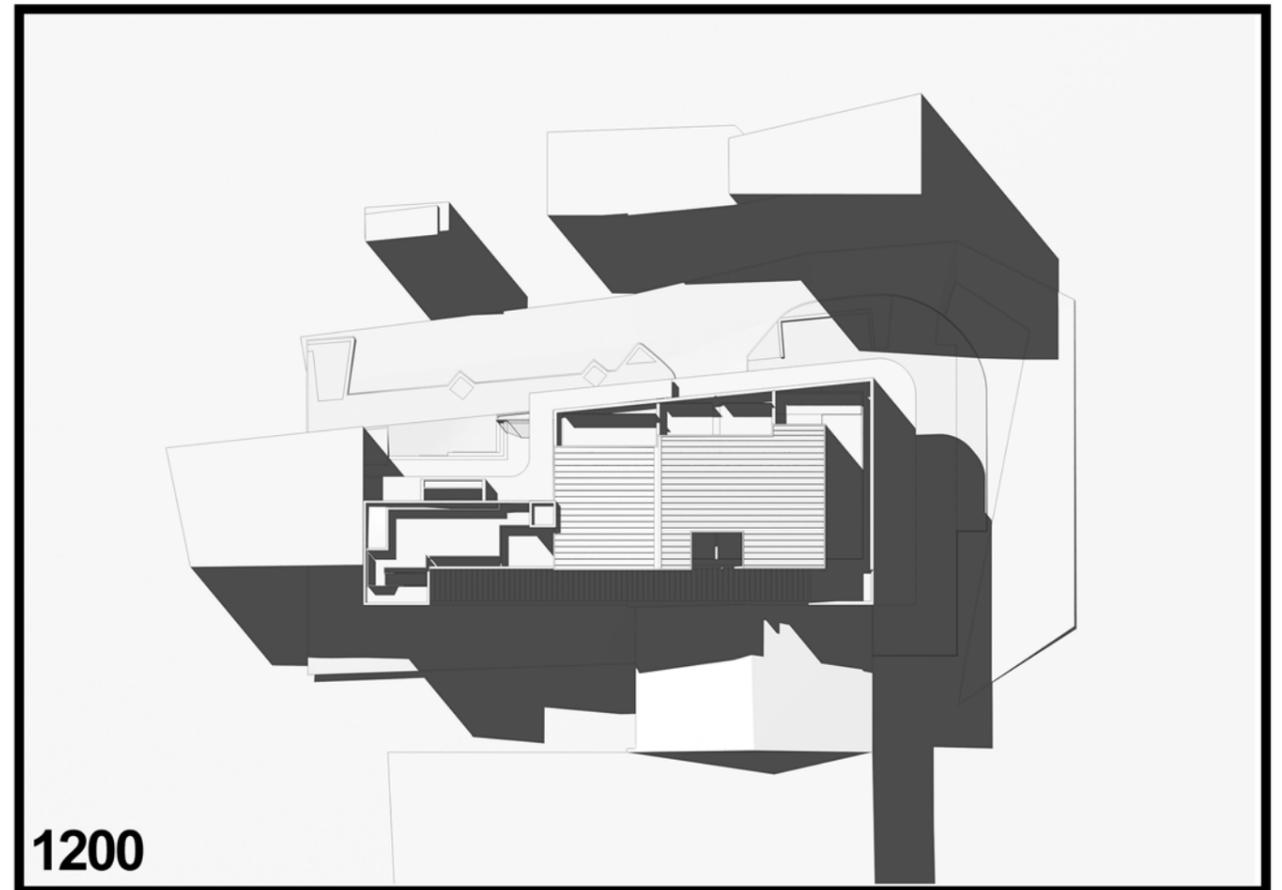
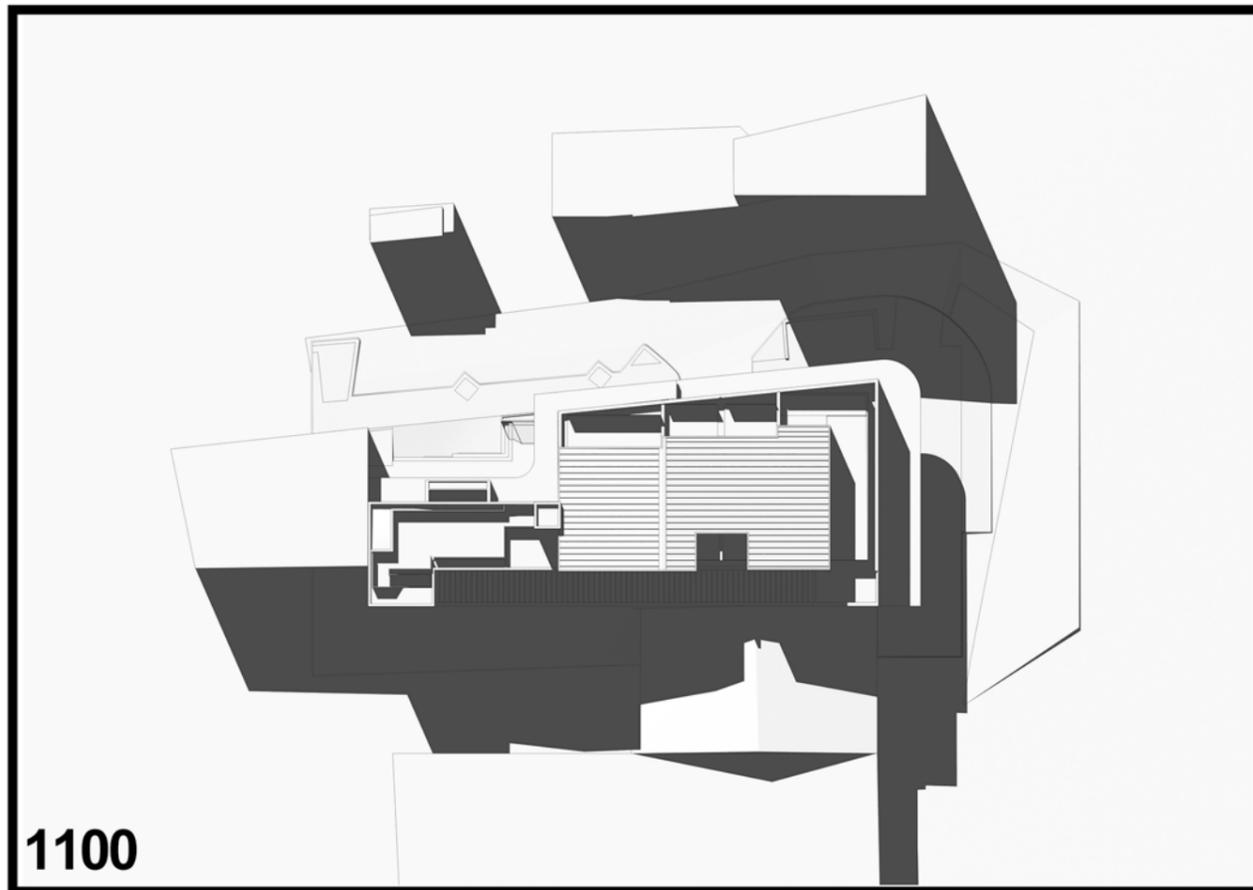
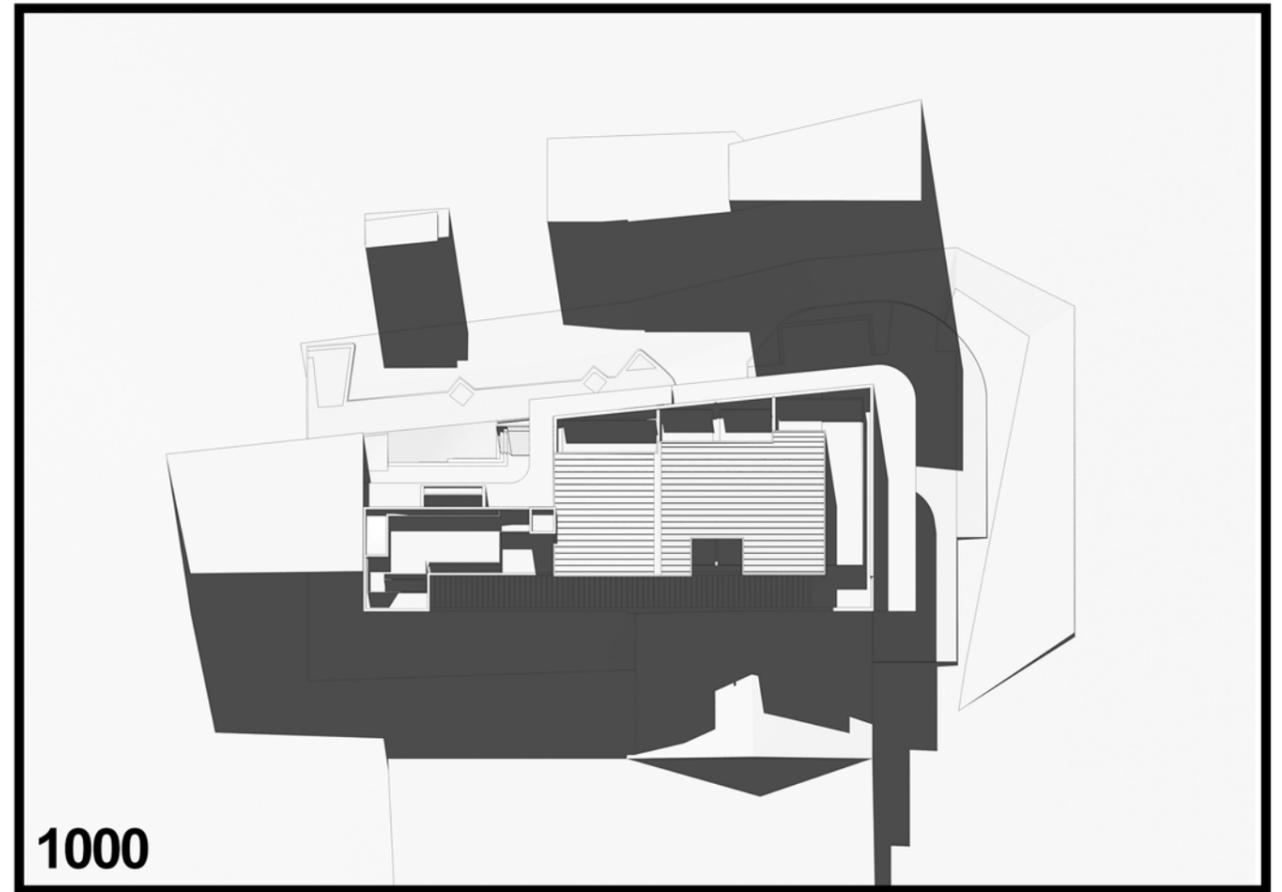
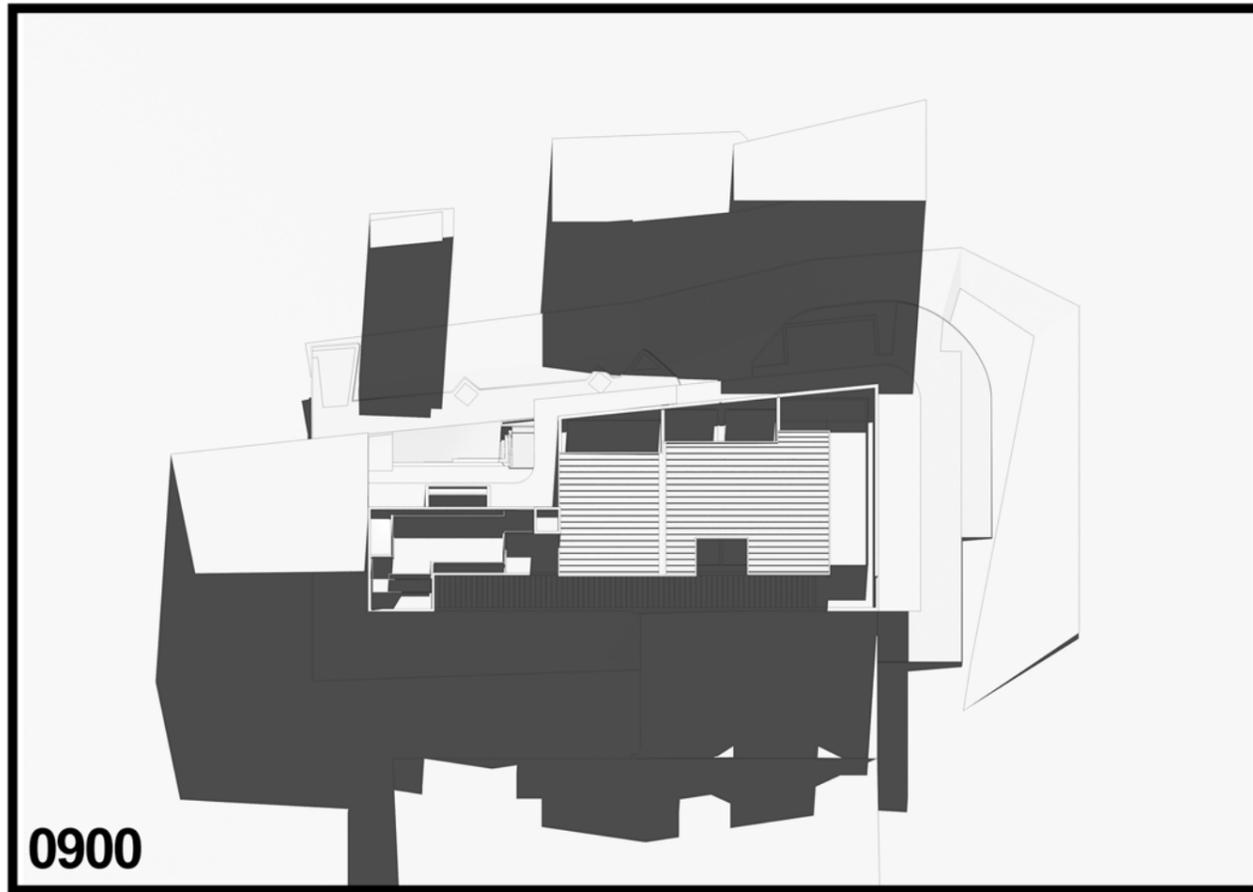


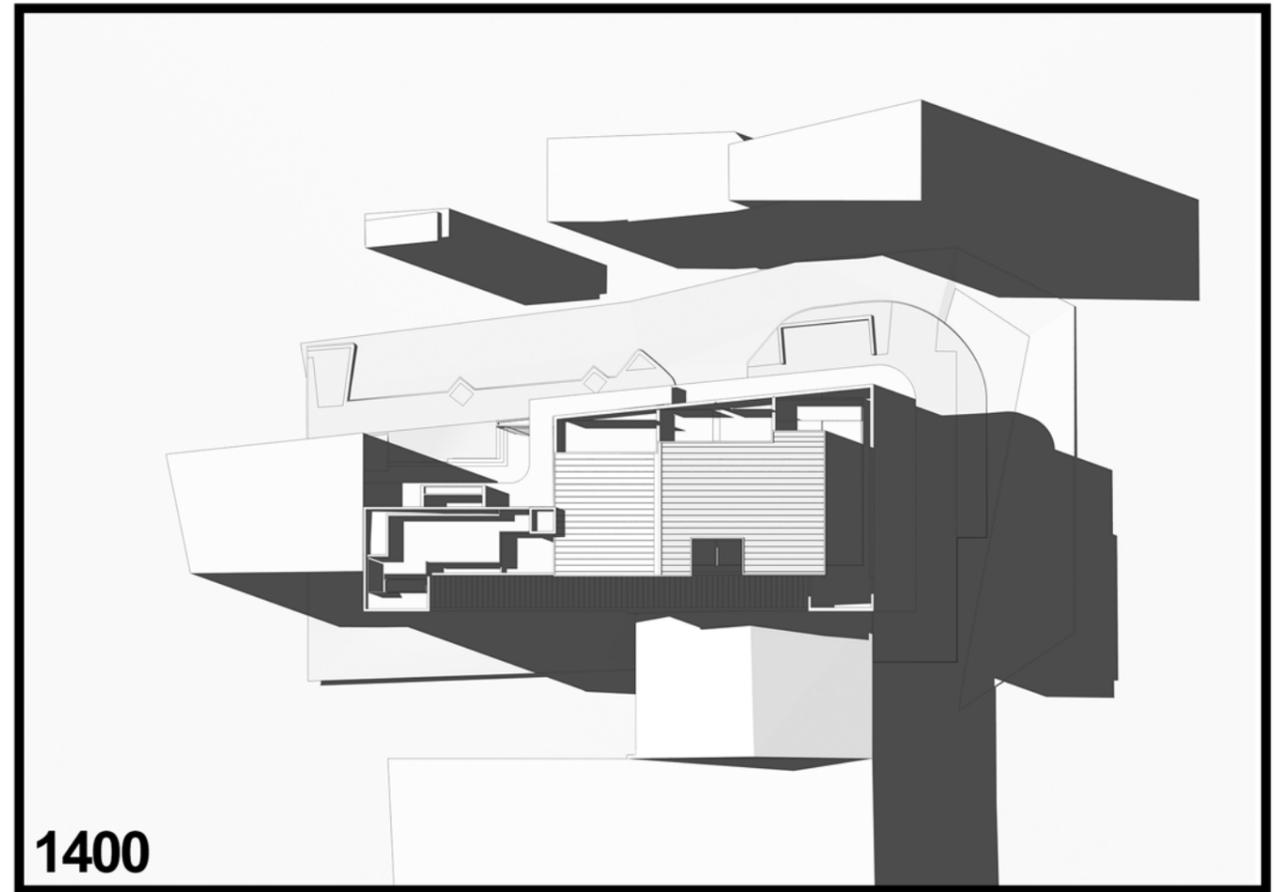
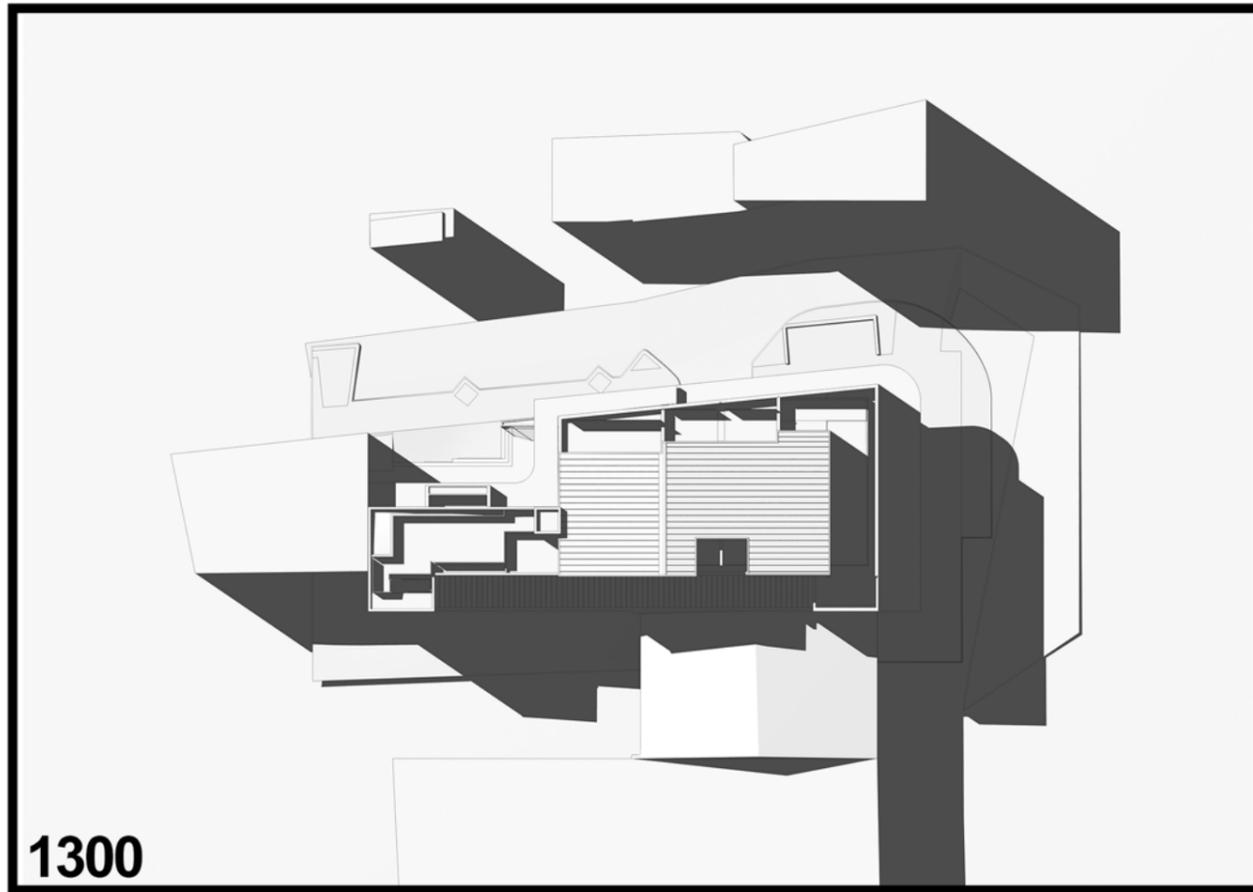


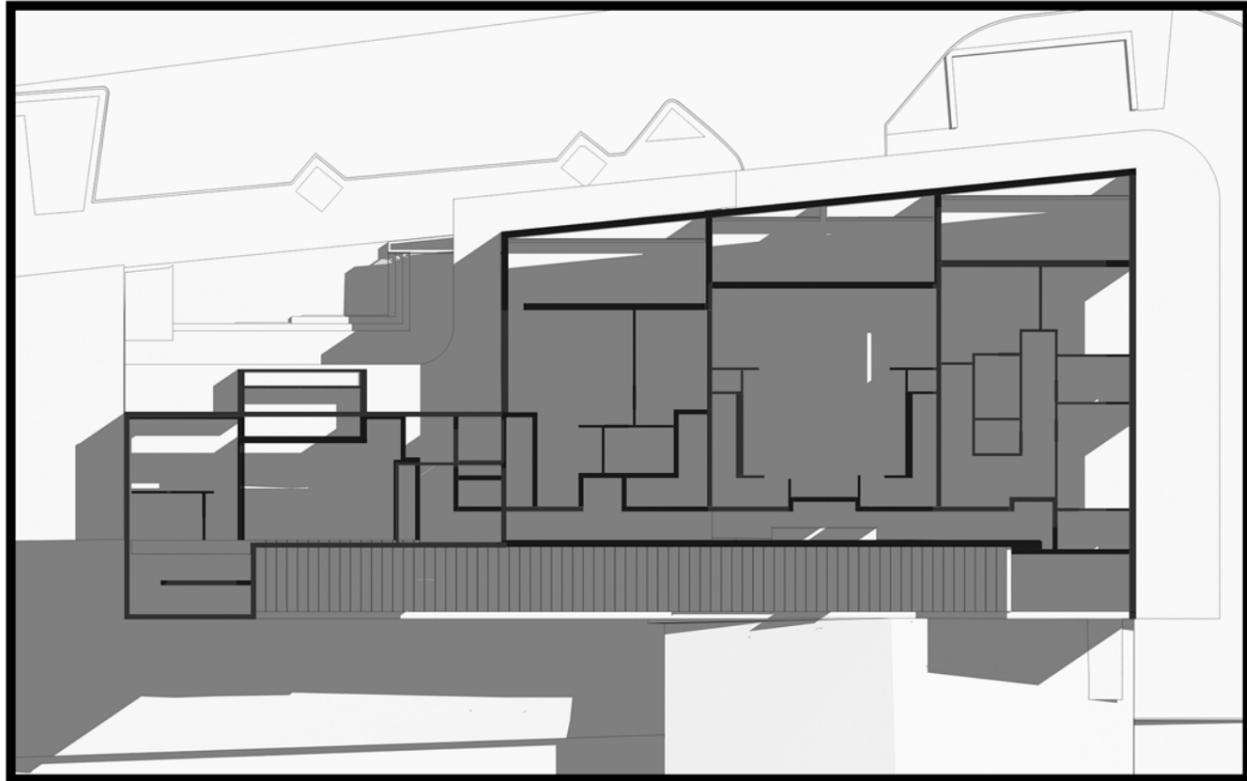




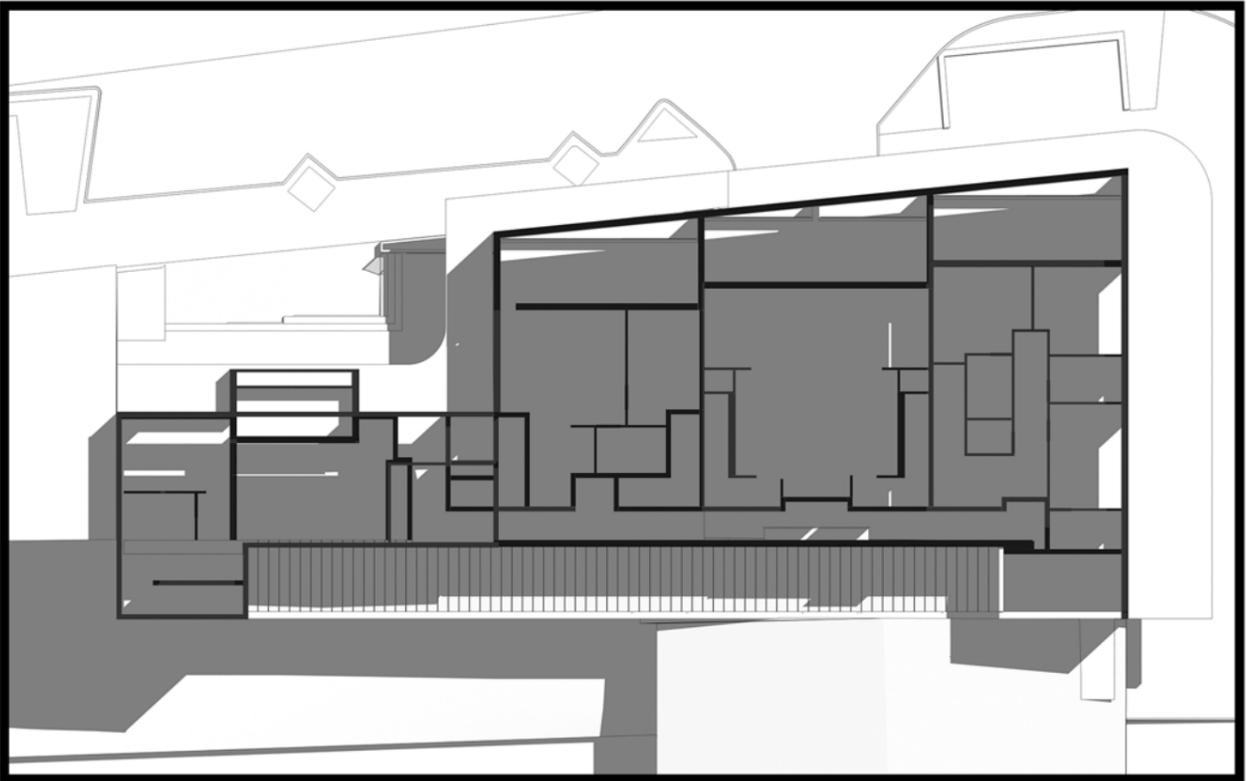




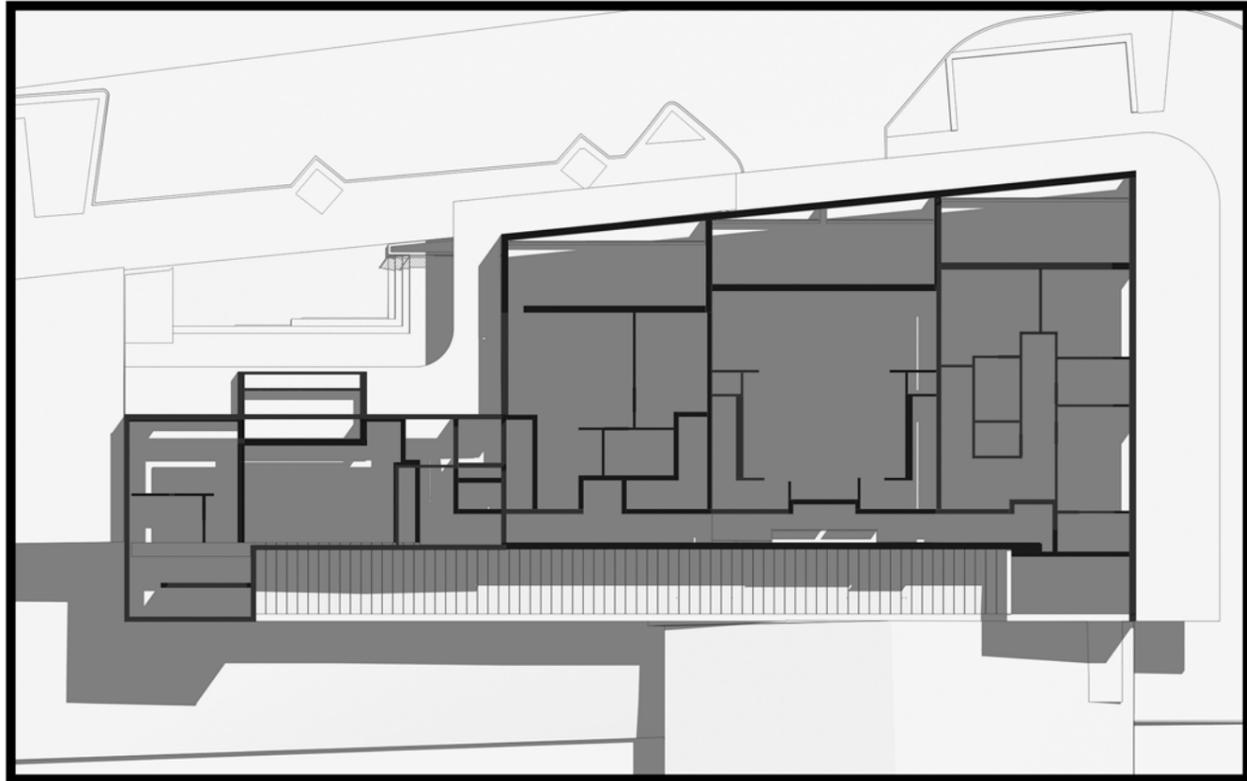




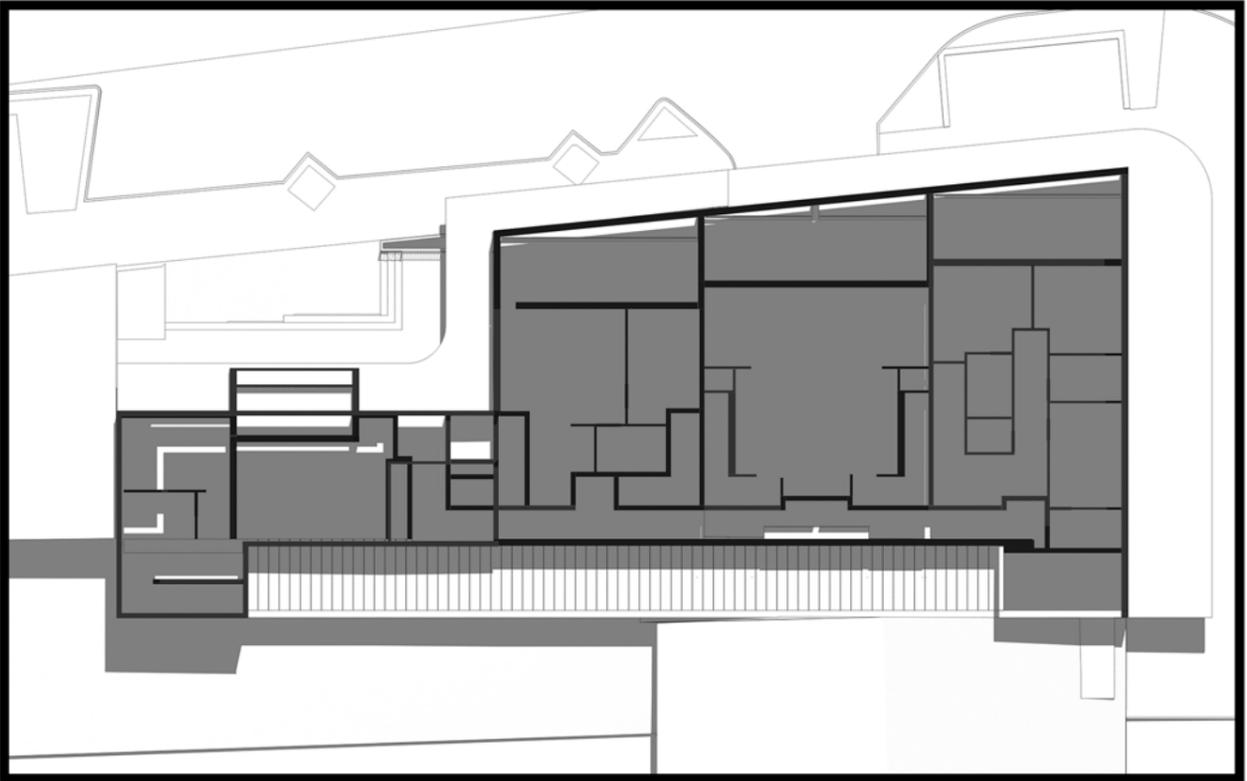
0900



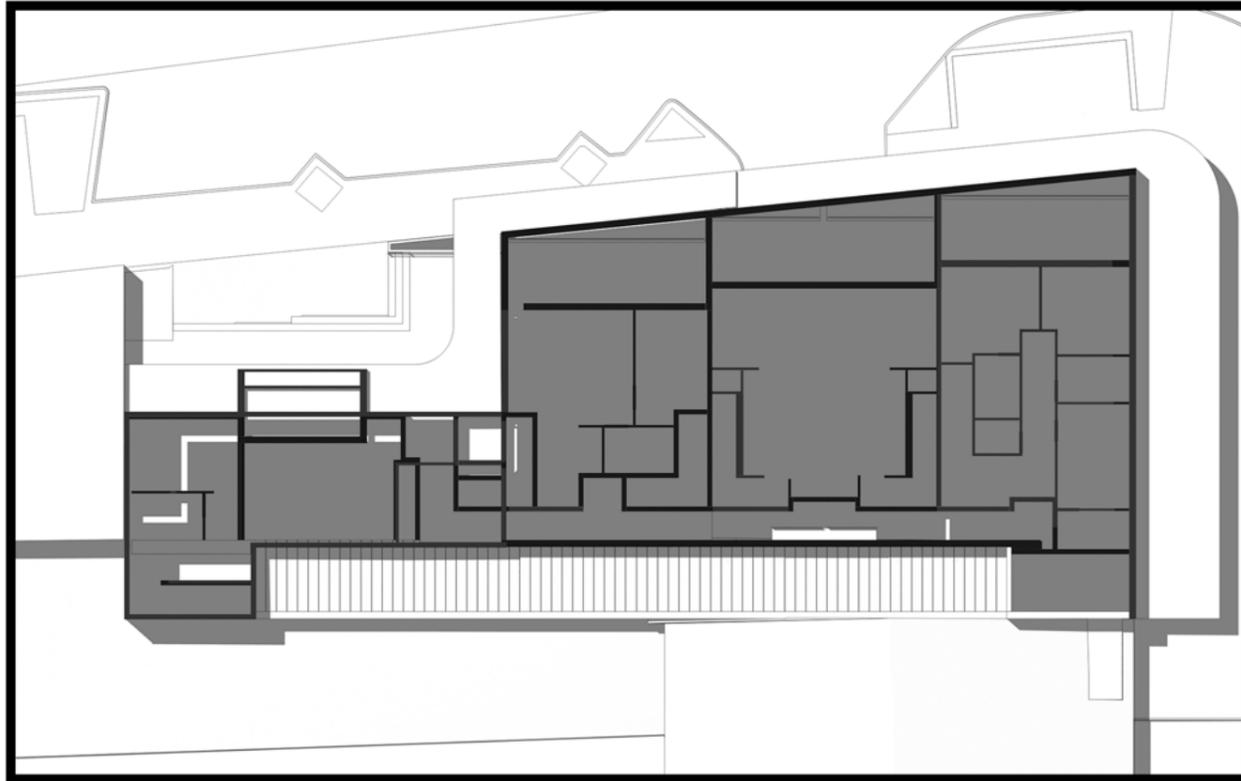
1000



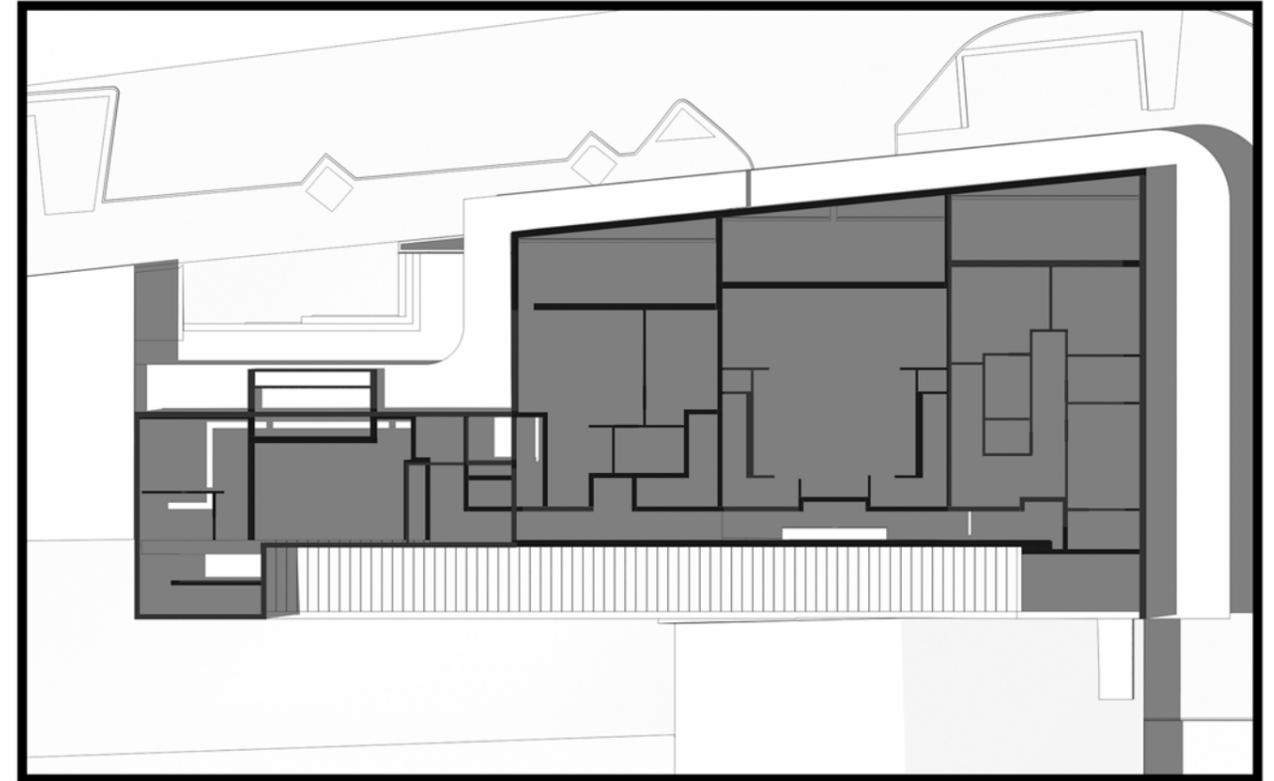
1100



1200



1300

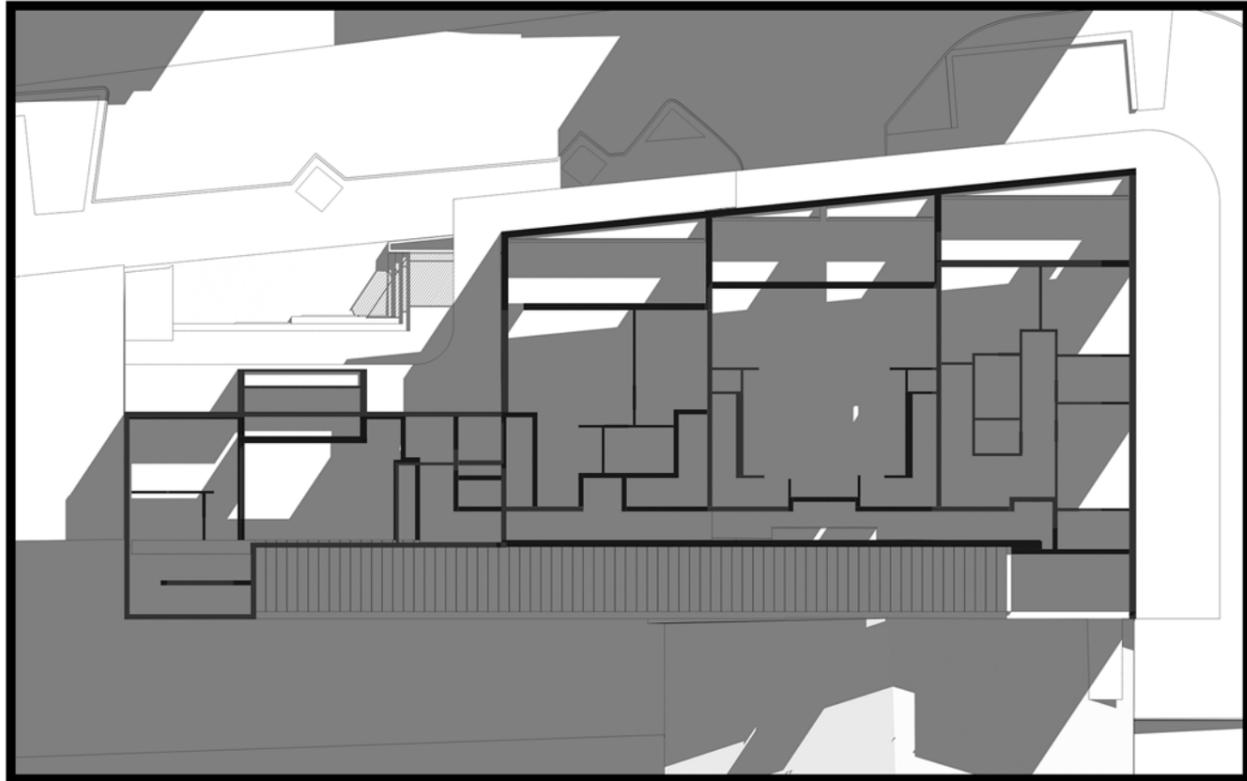


1400

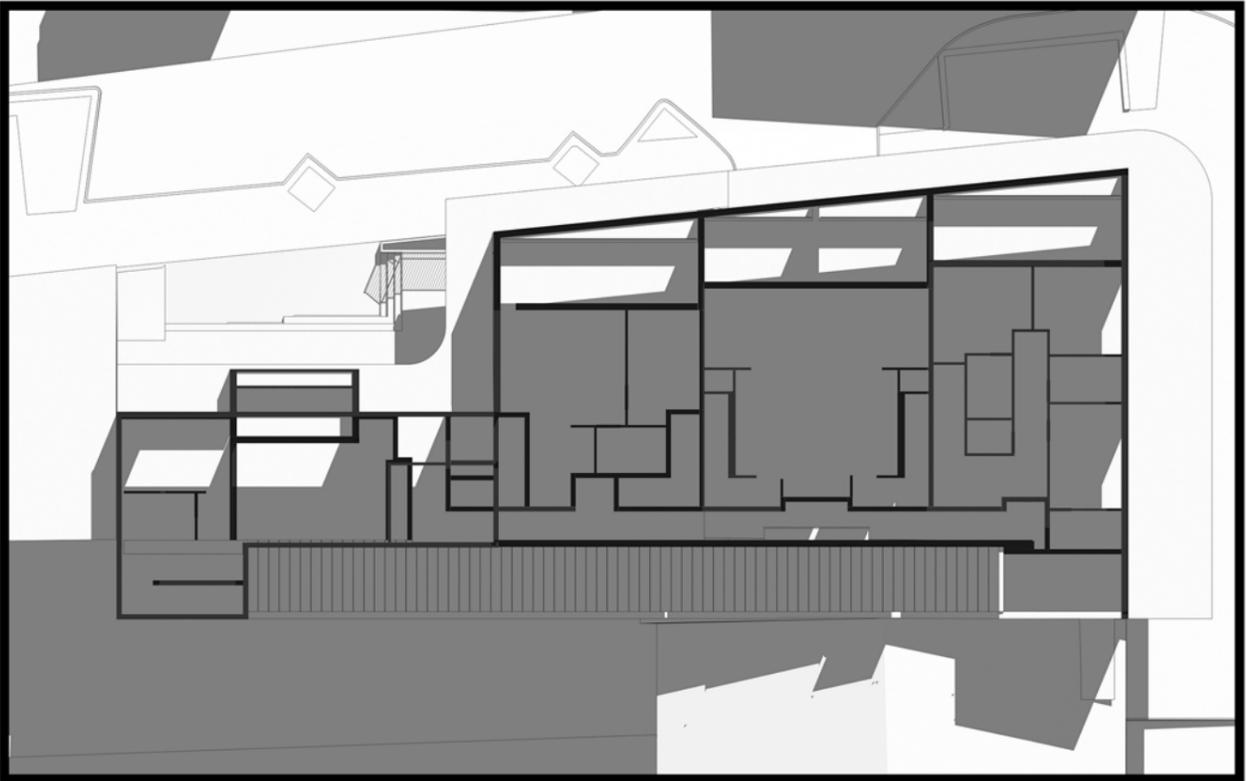


1500

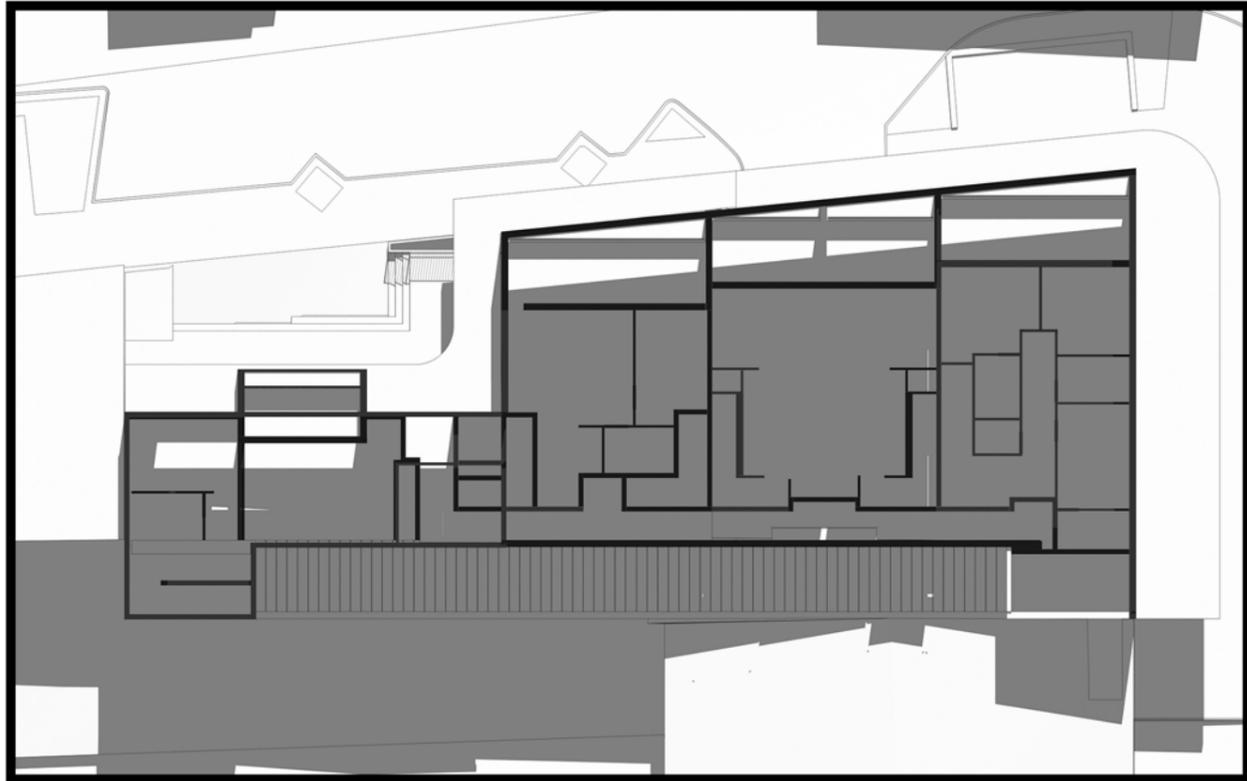




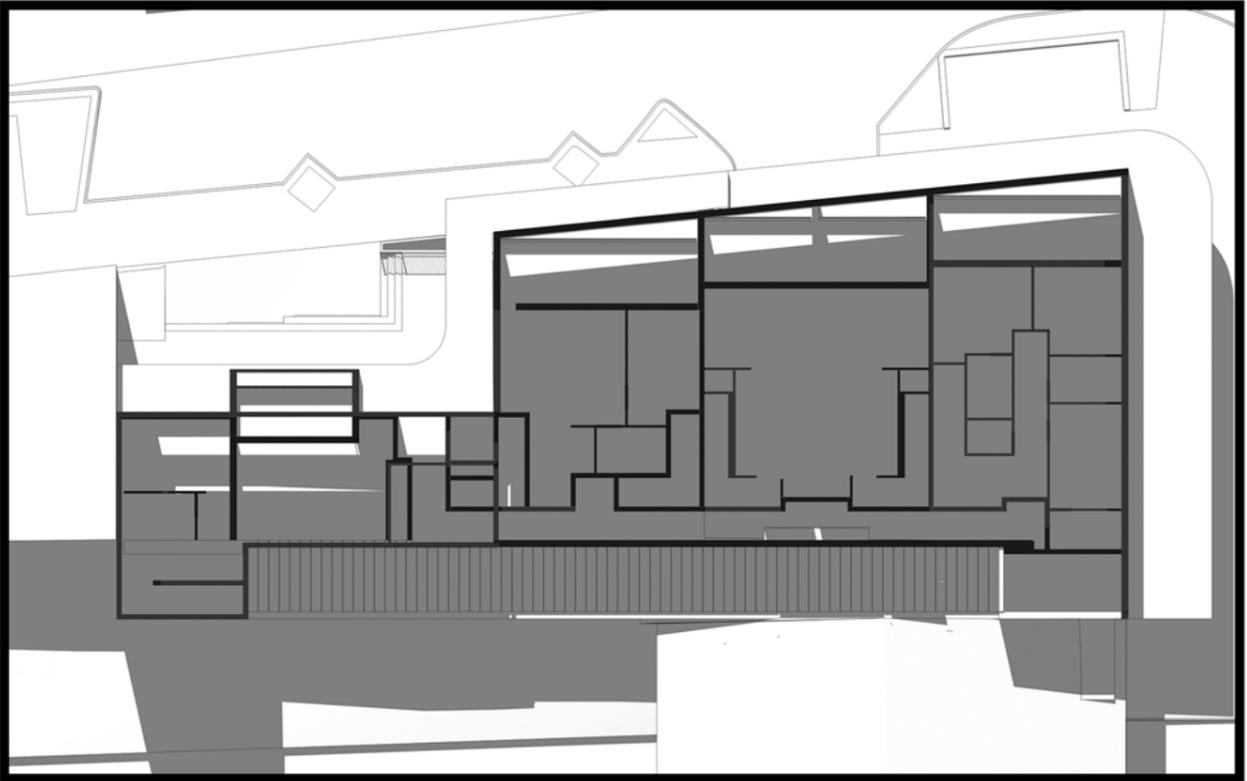
0900



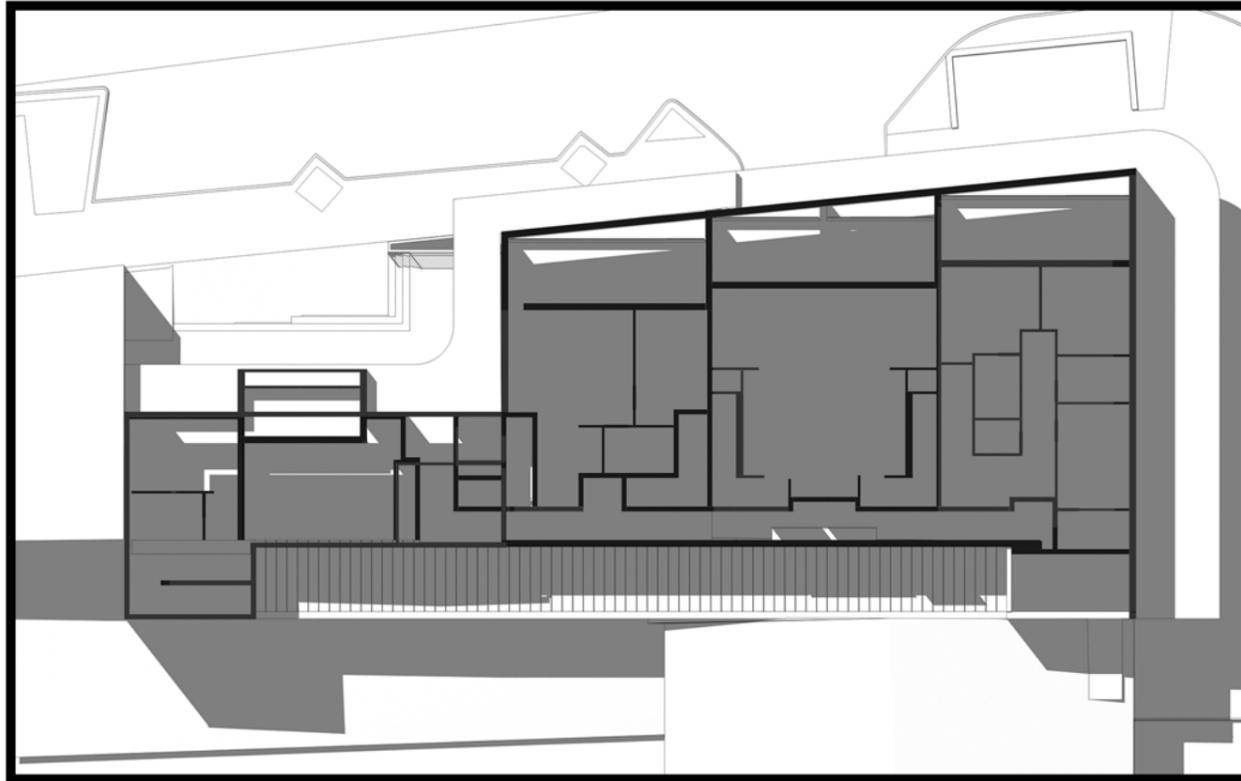
1000



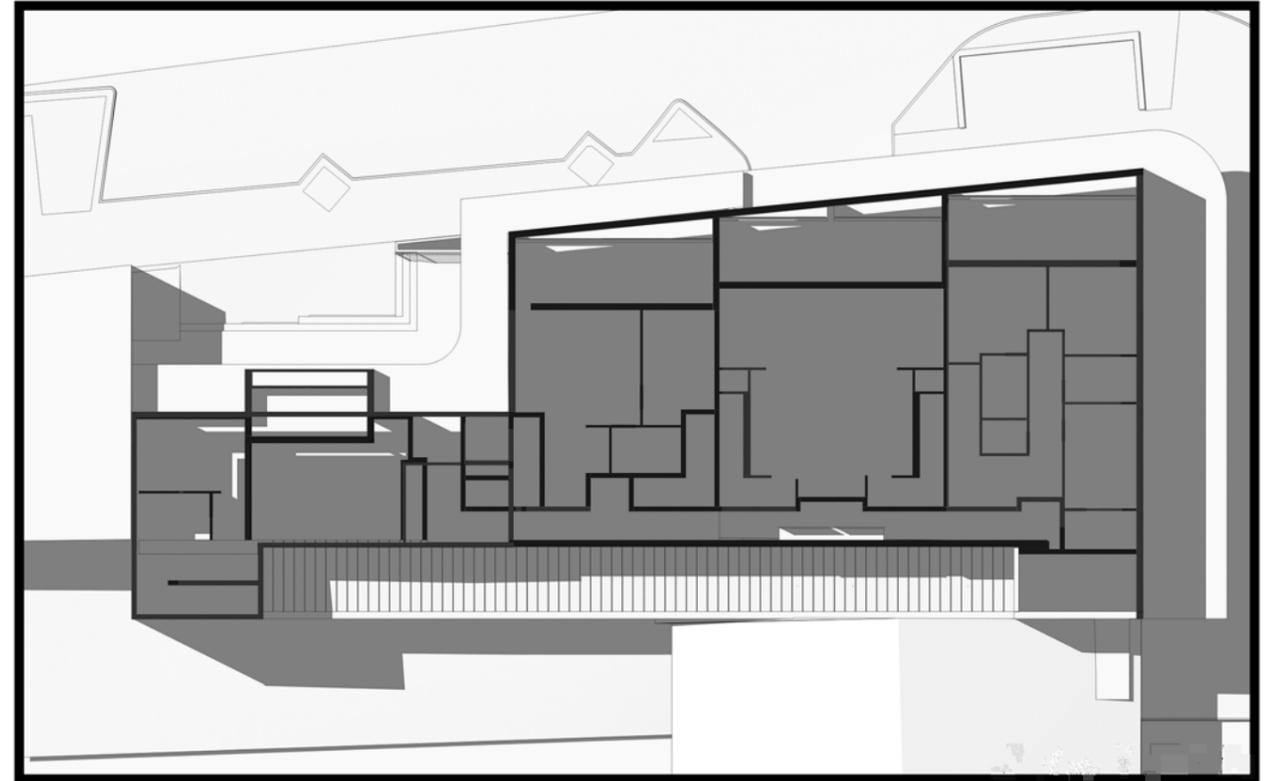
1100



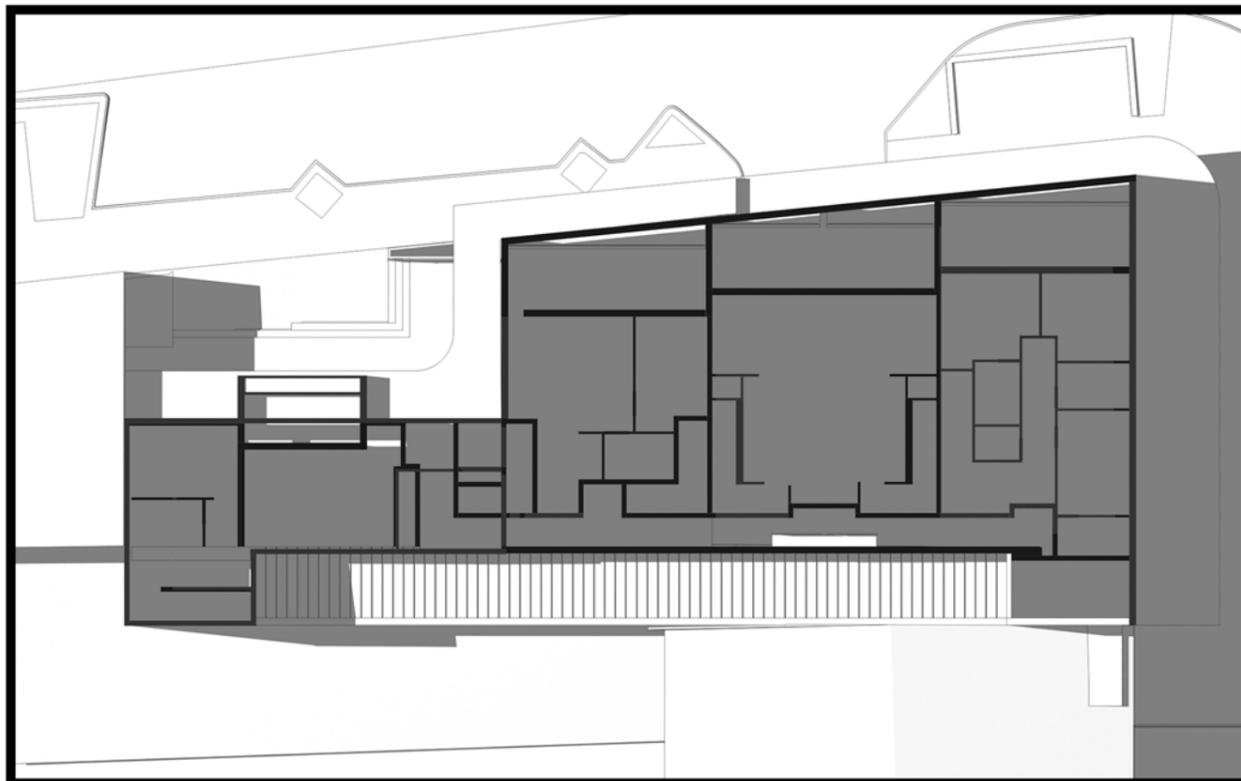
1200



1300



1400



1500

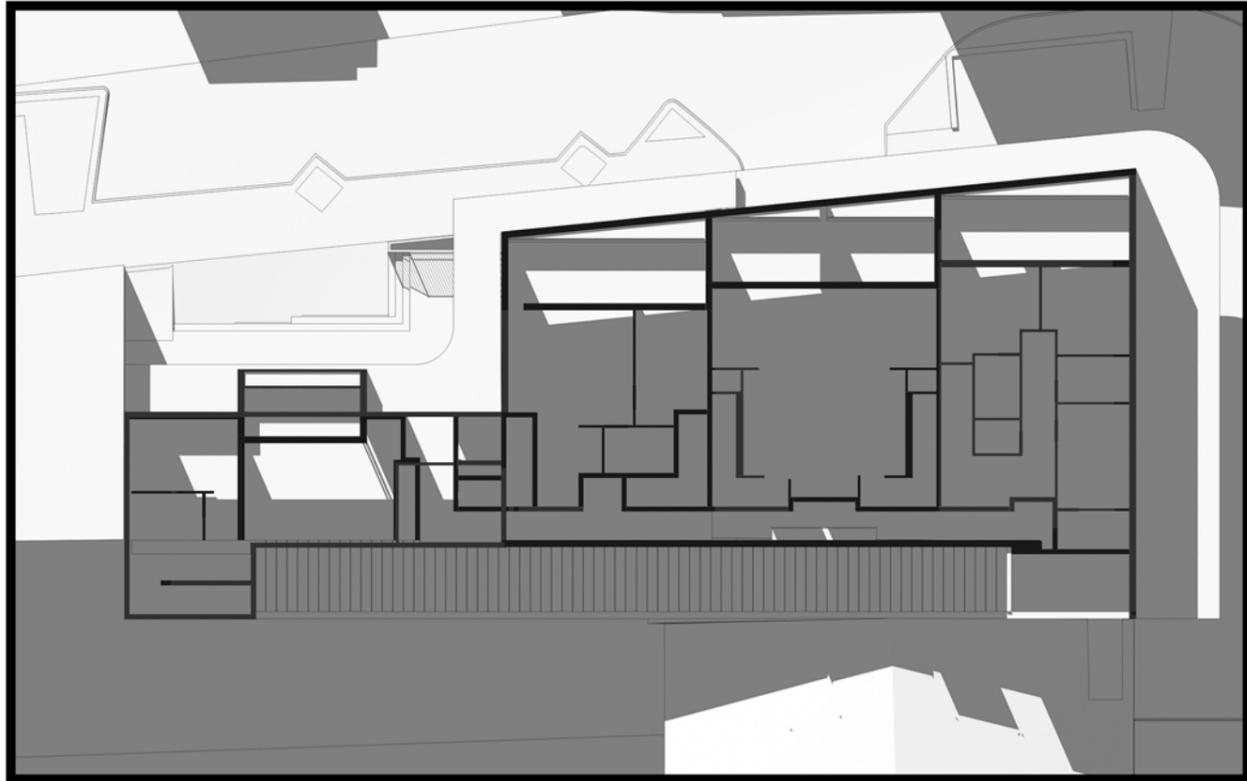




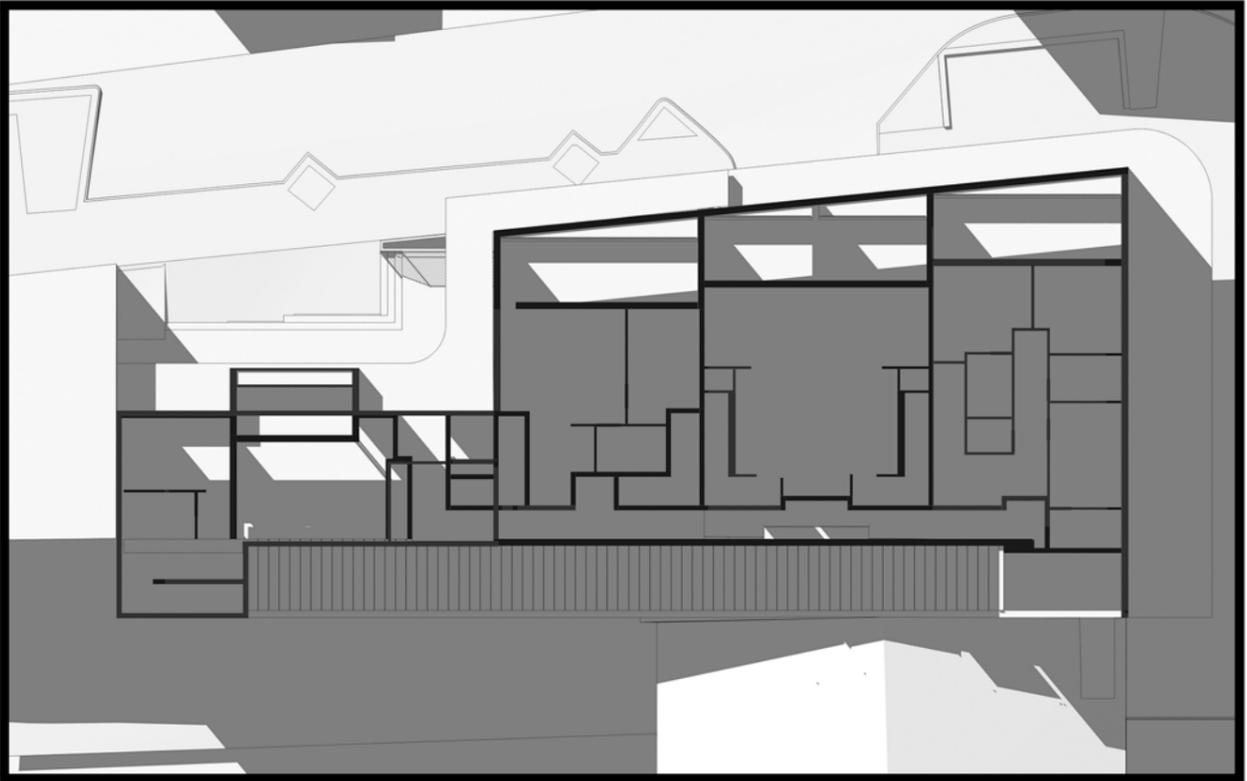
0900



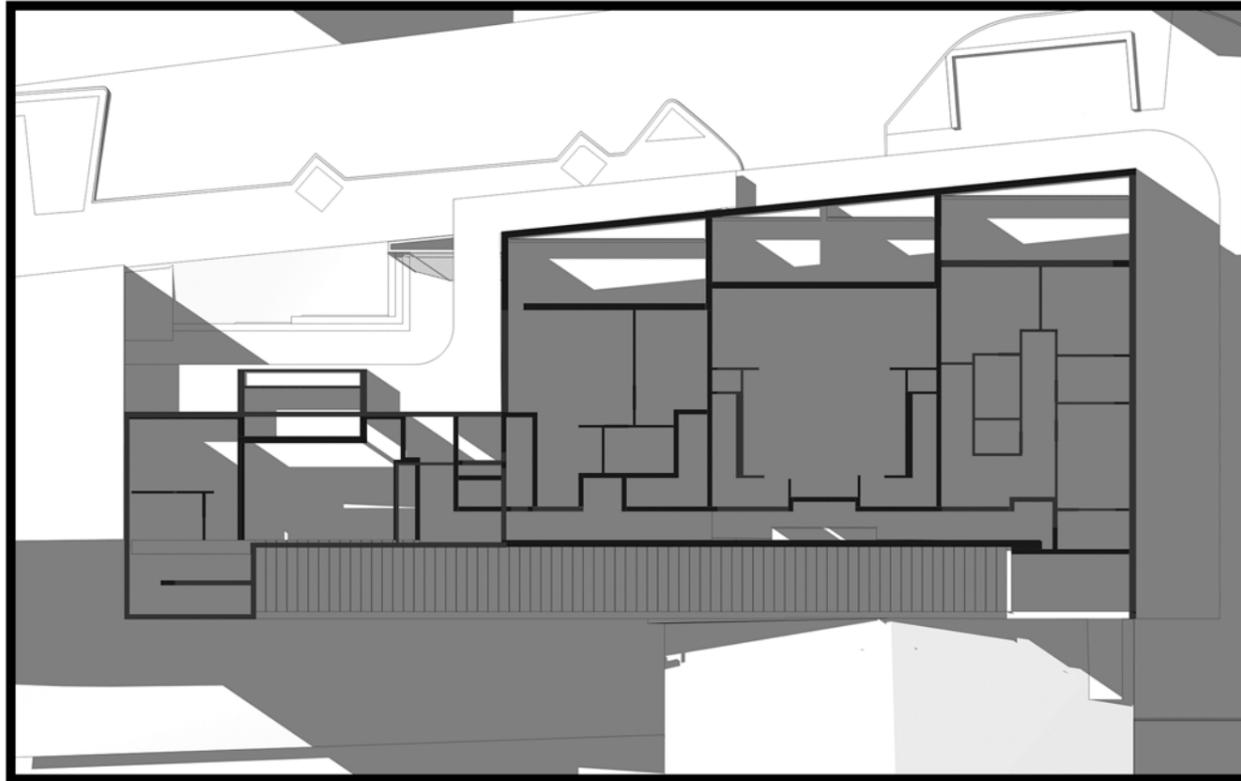
1000



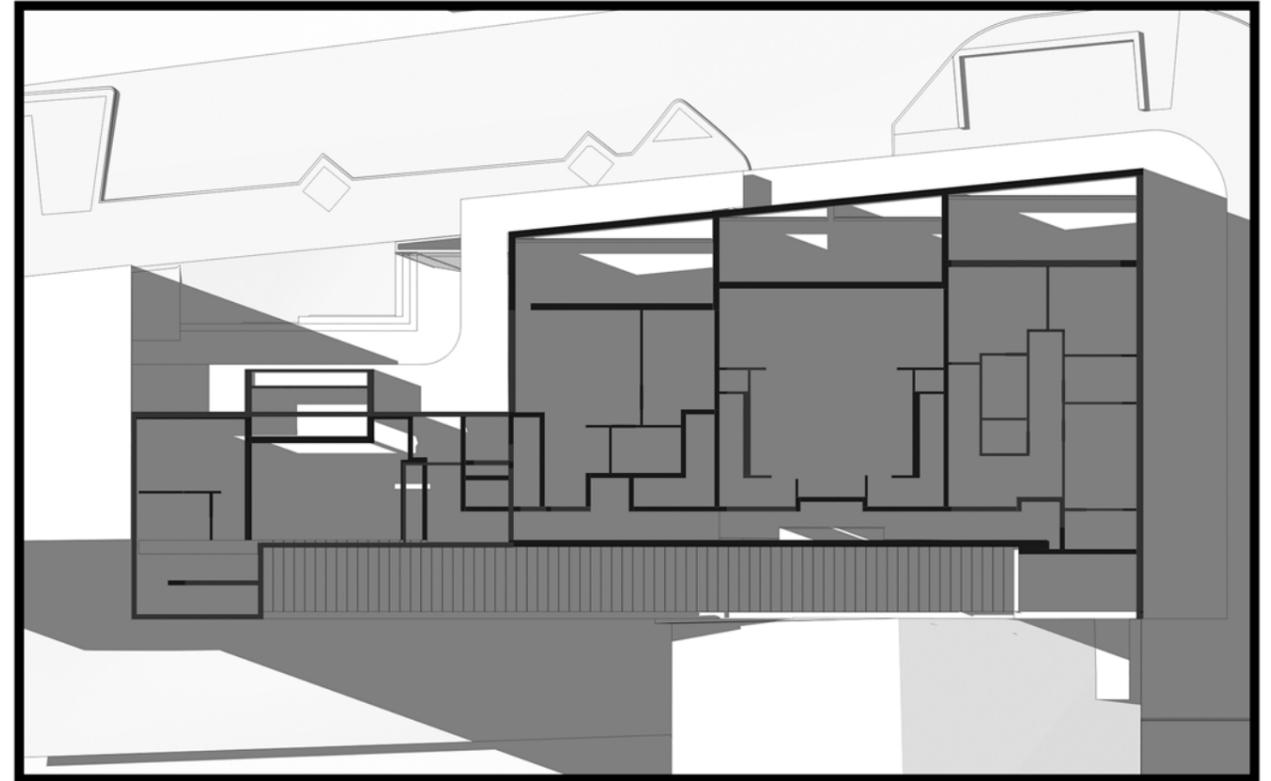
1100



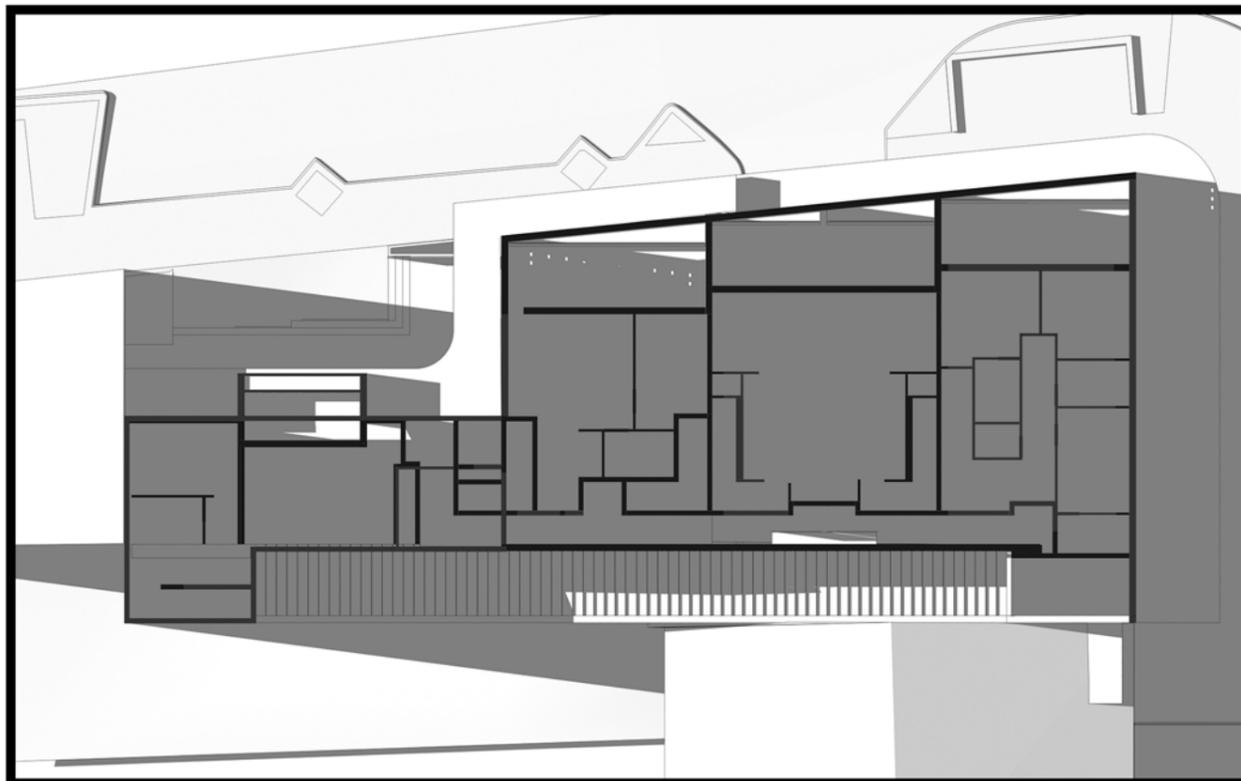
1200



1300

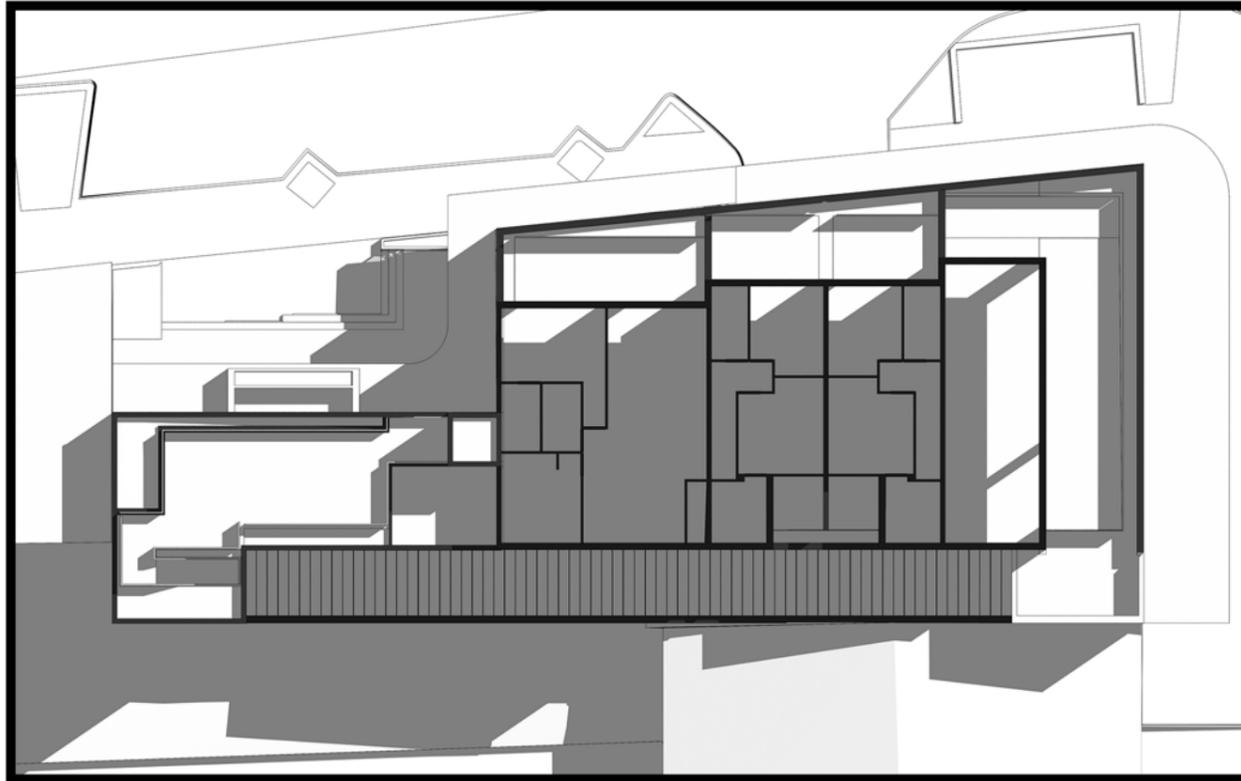


1400

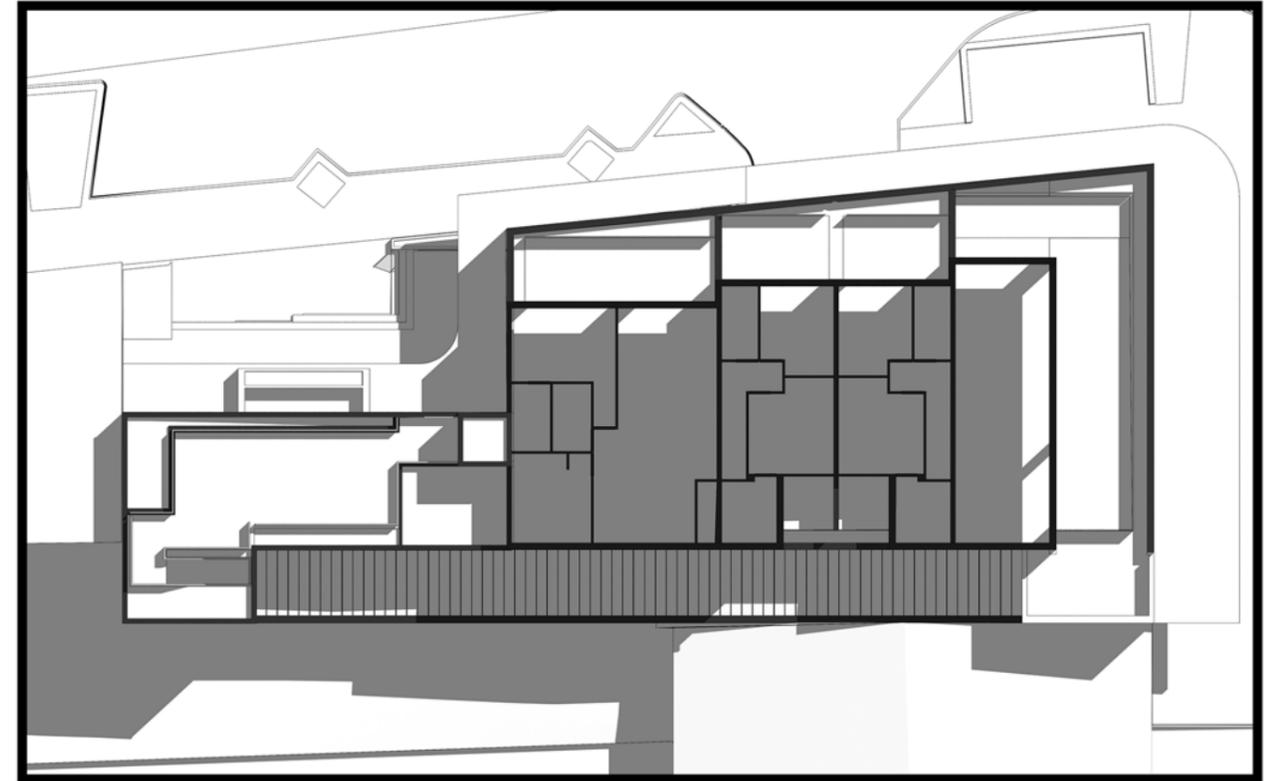


1500

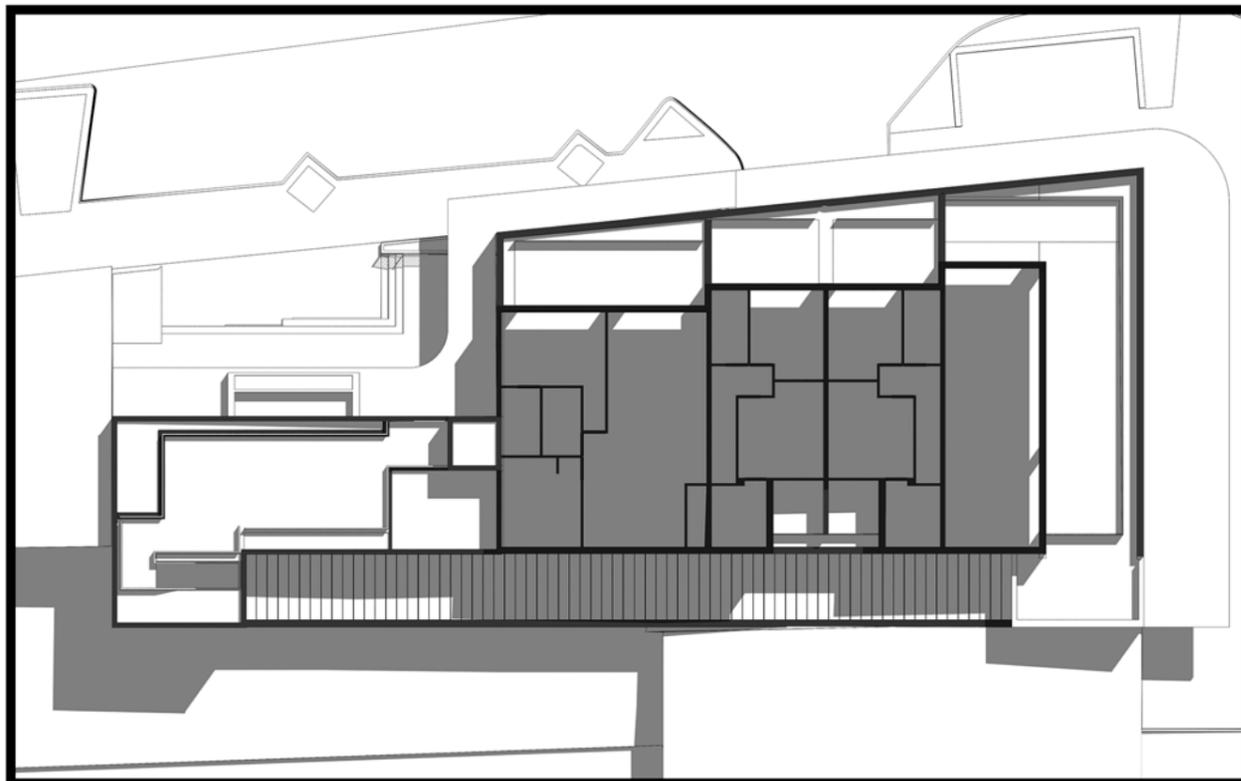




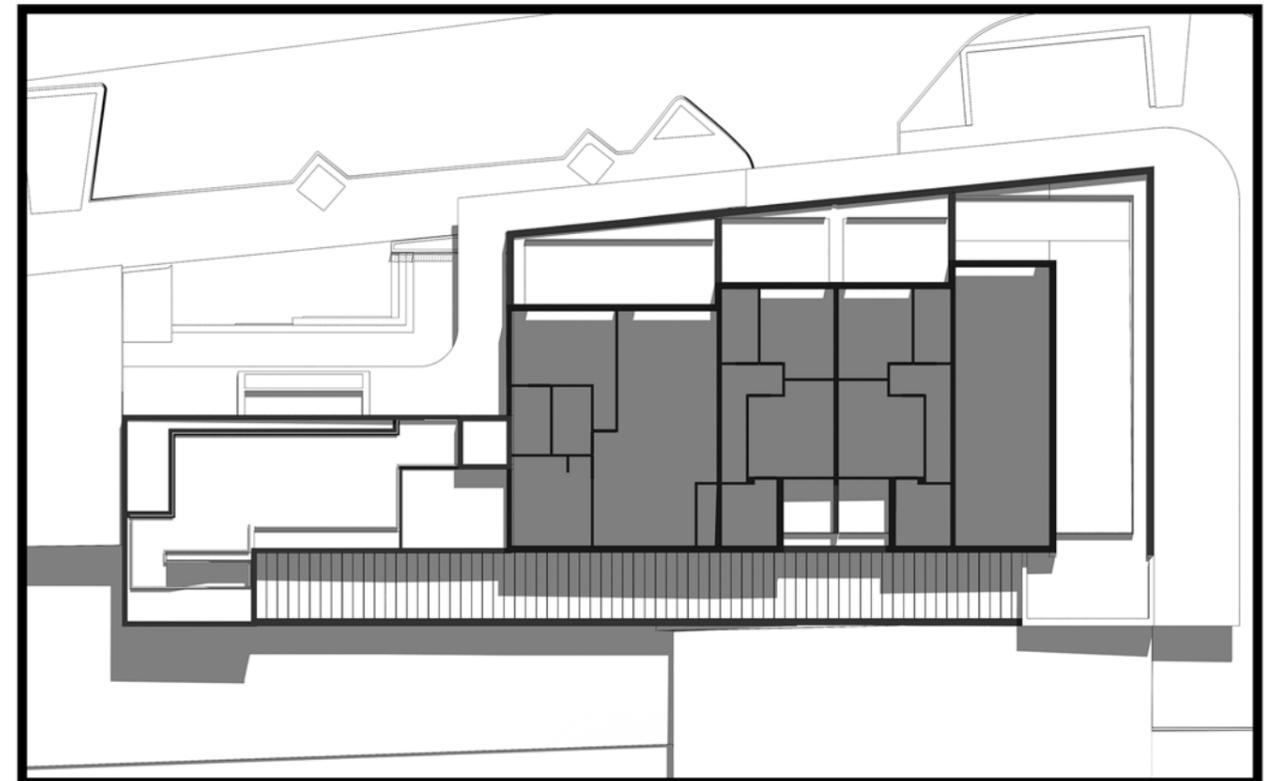
0900



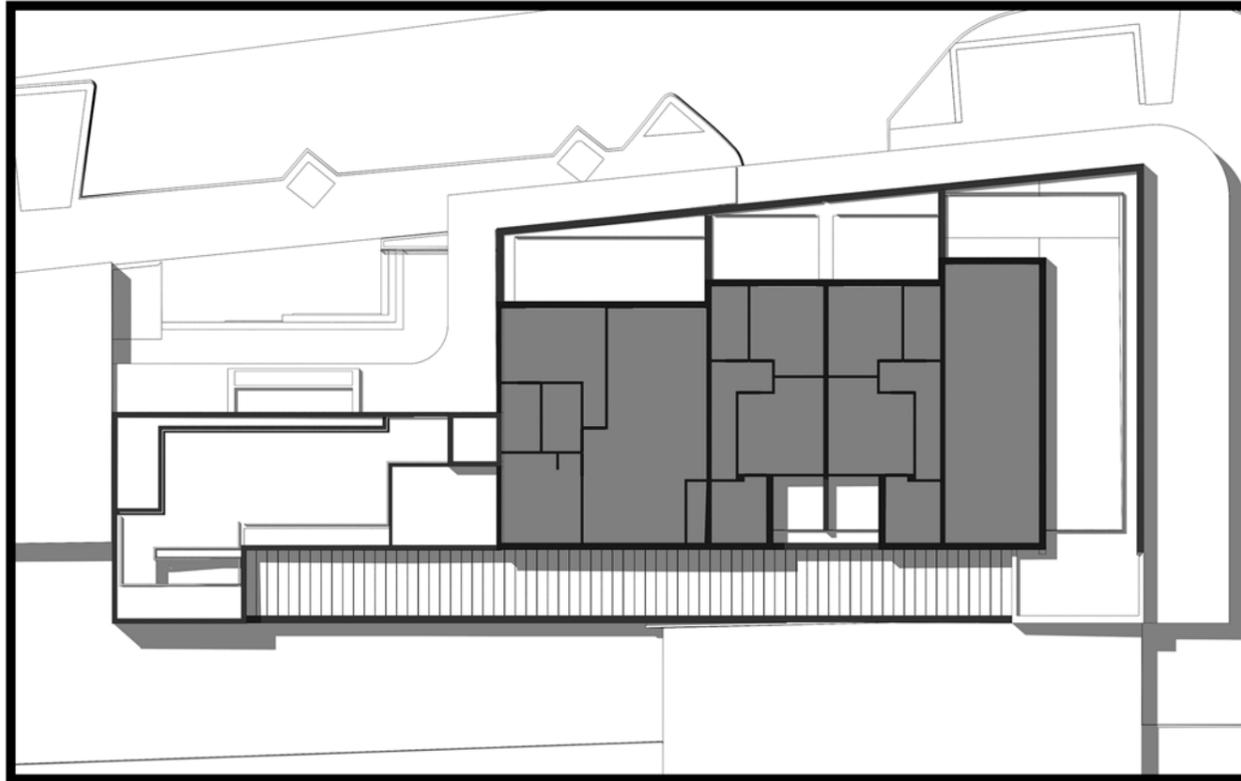
1000



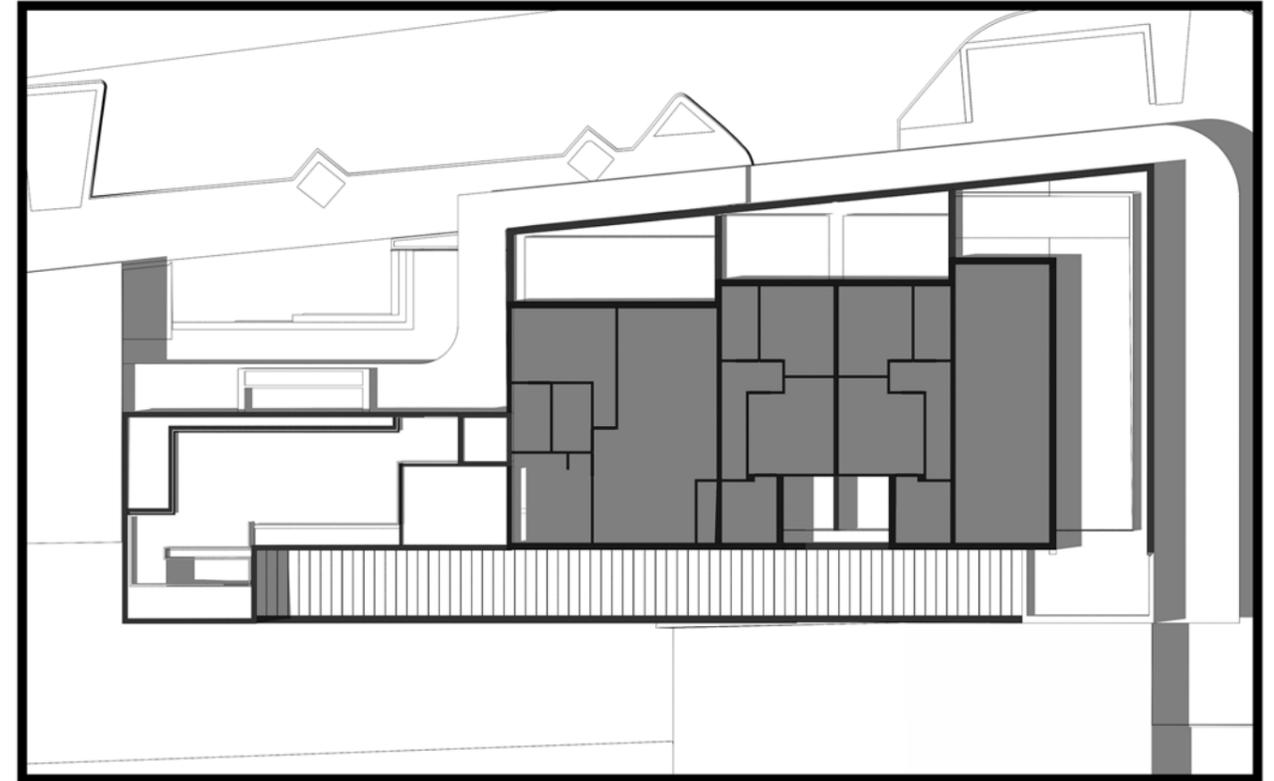
1100



1200



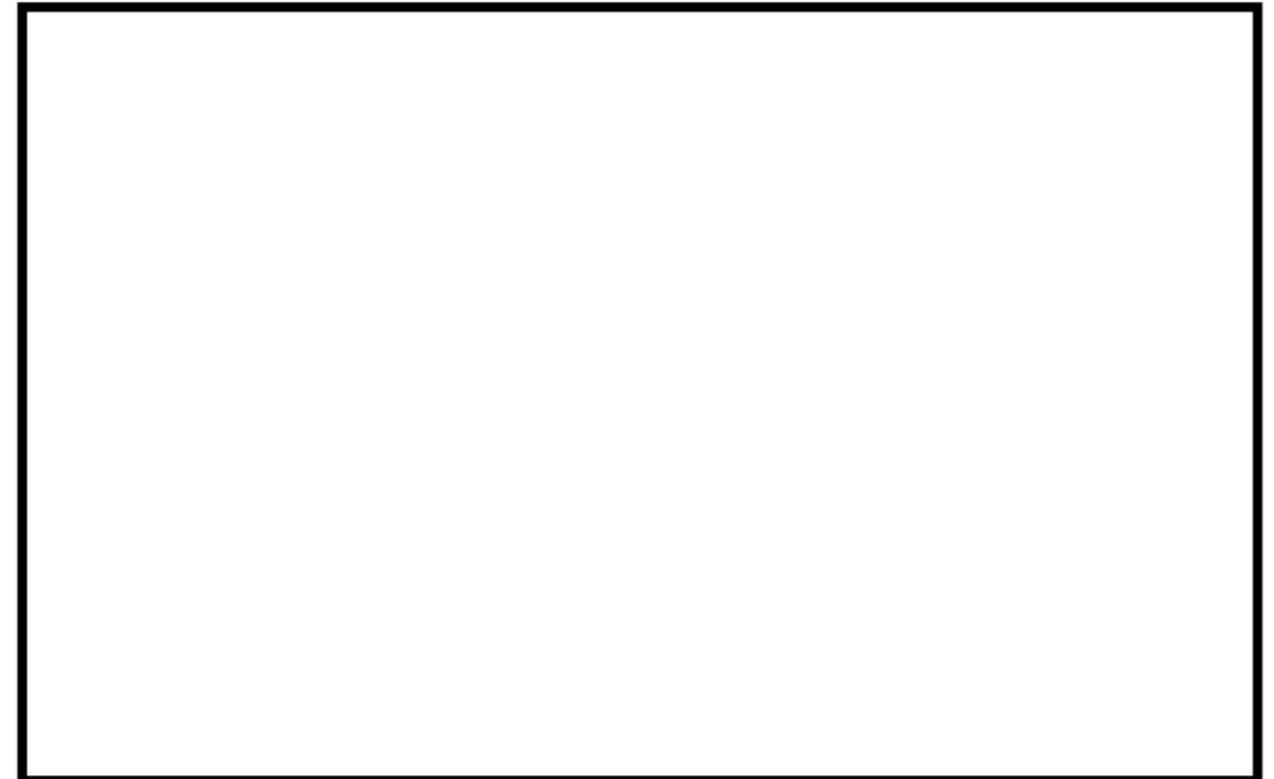
1300

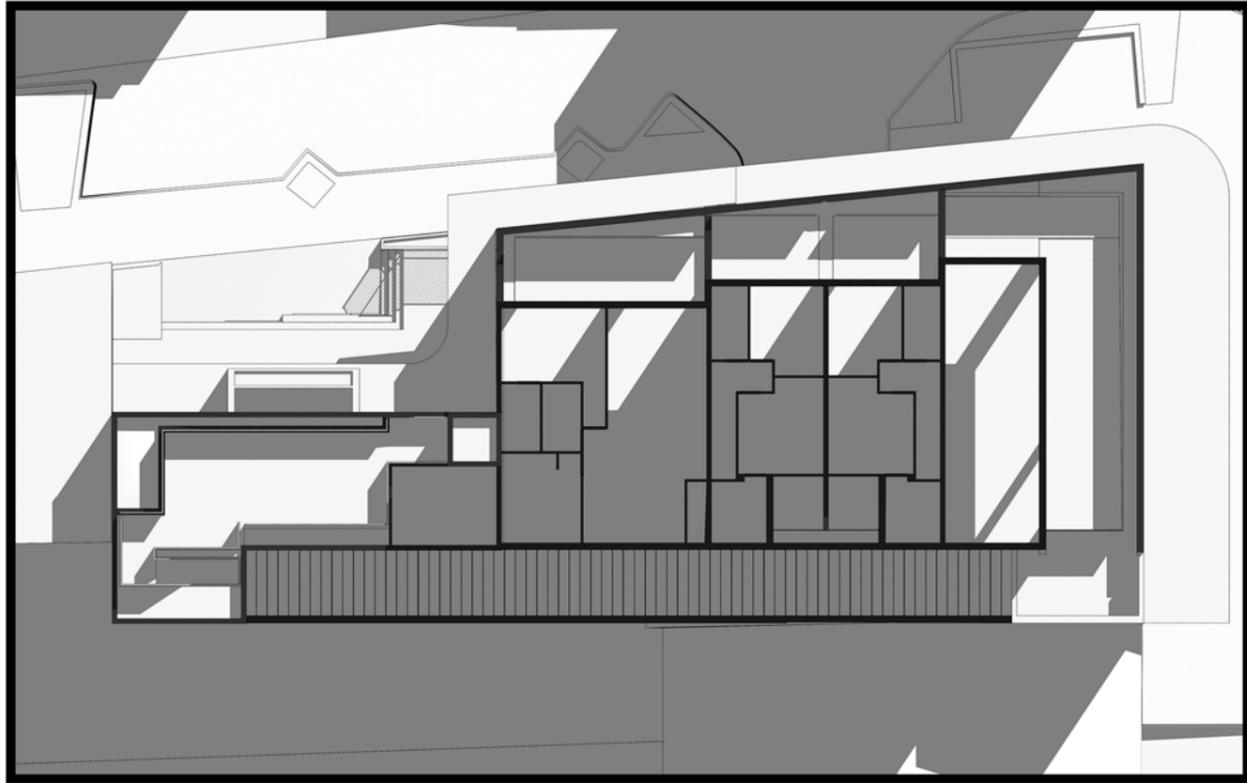


1400

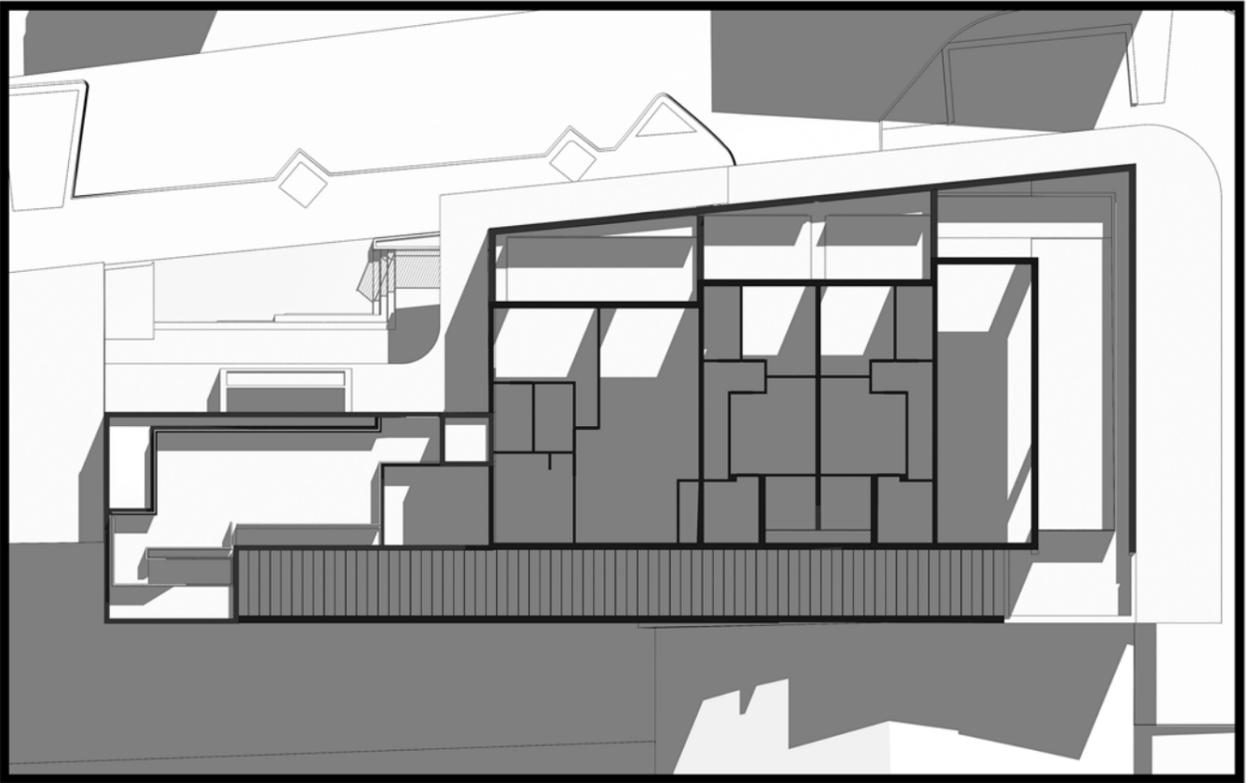


1500

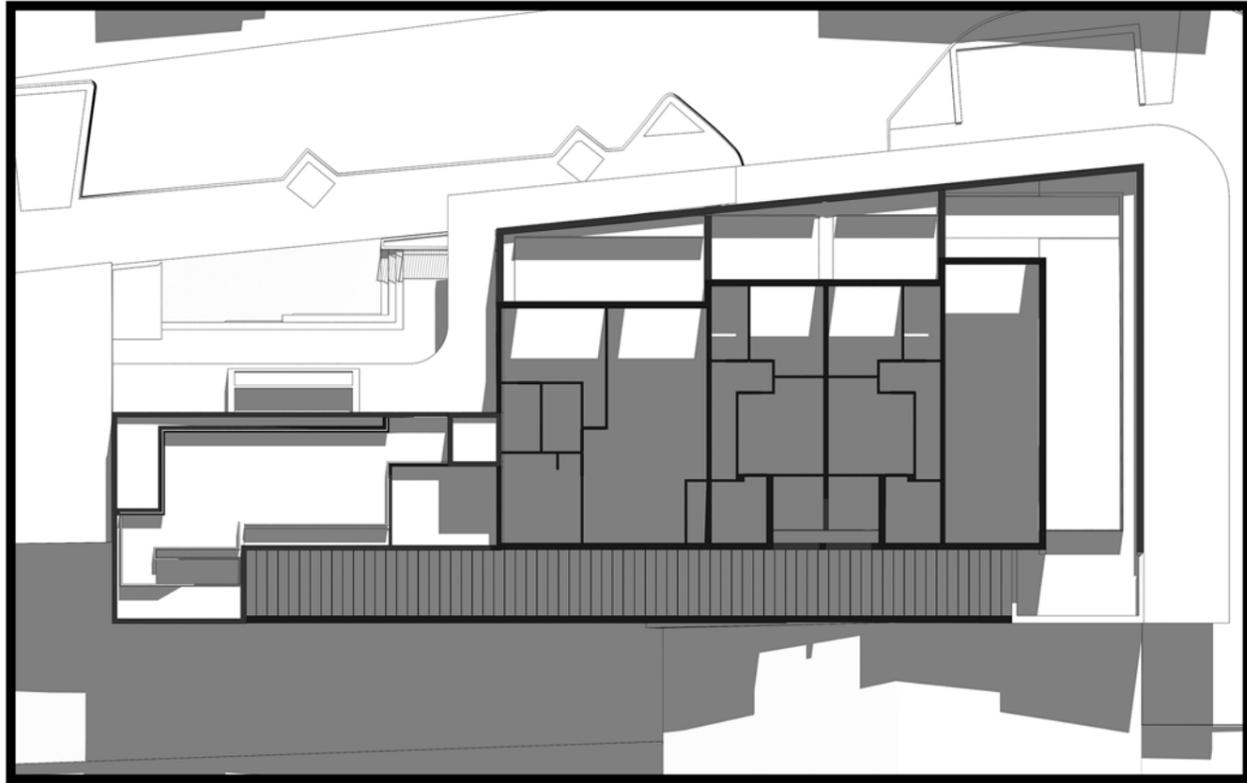




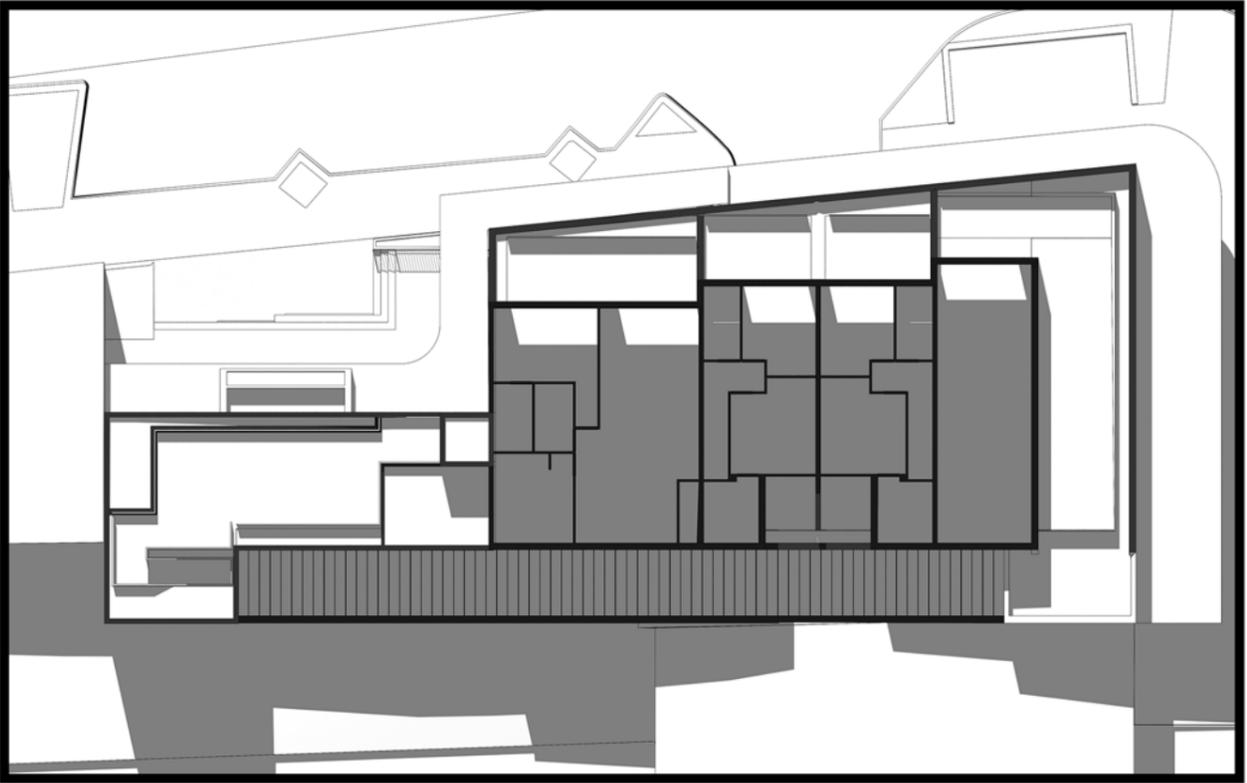
0900



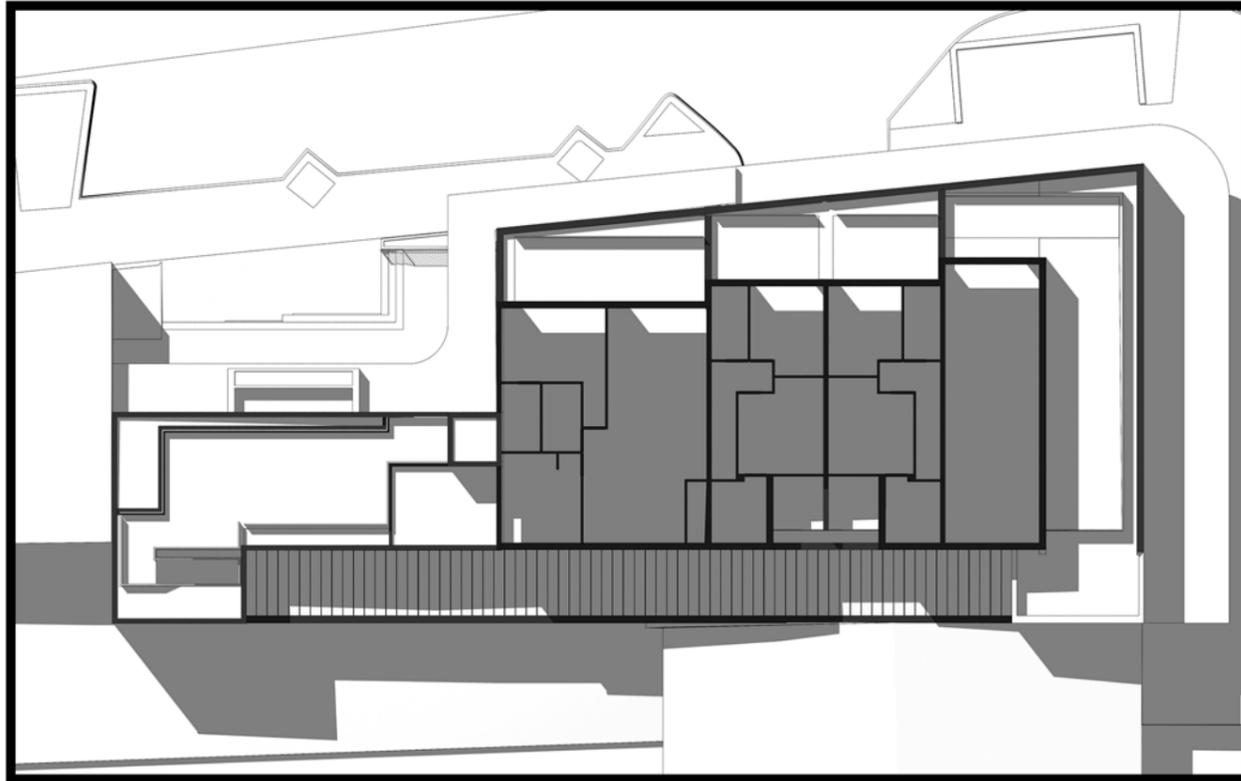
1000



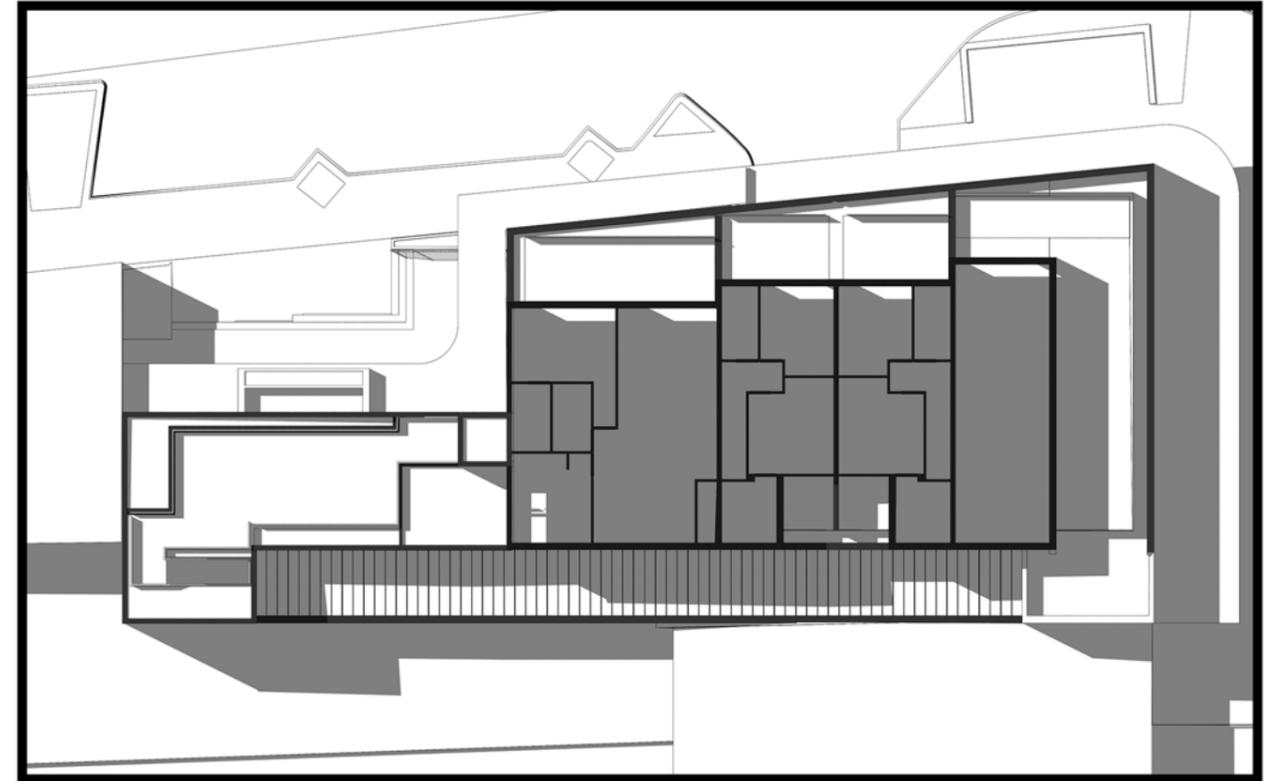
1100



1200



1300

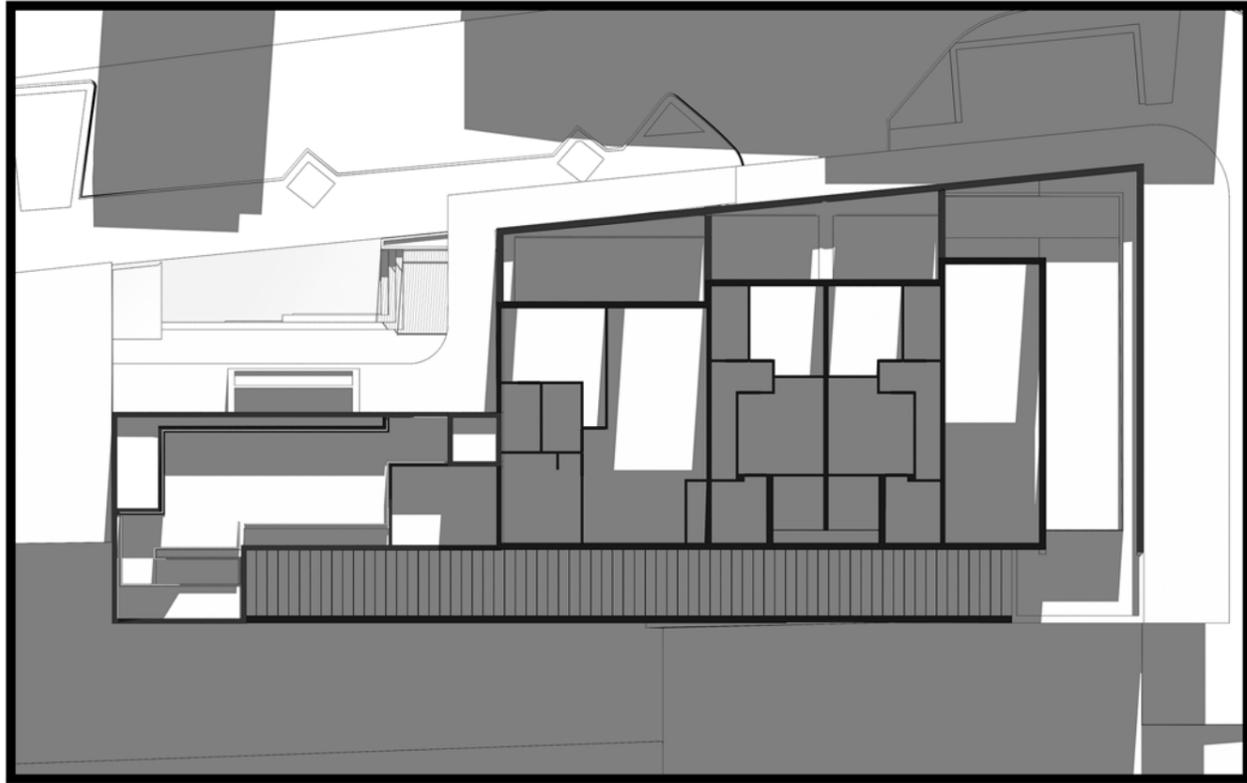


1400

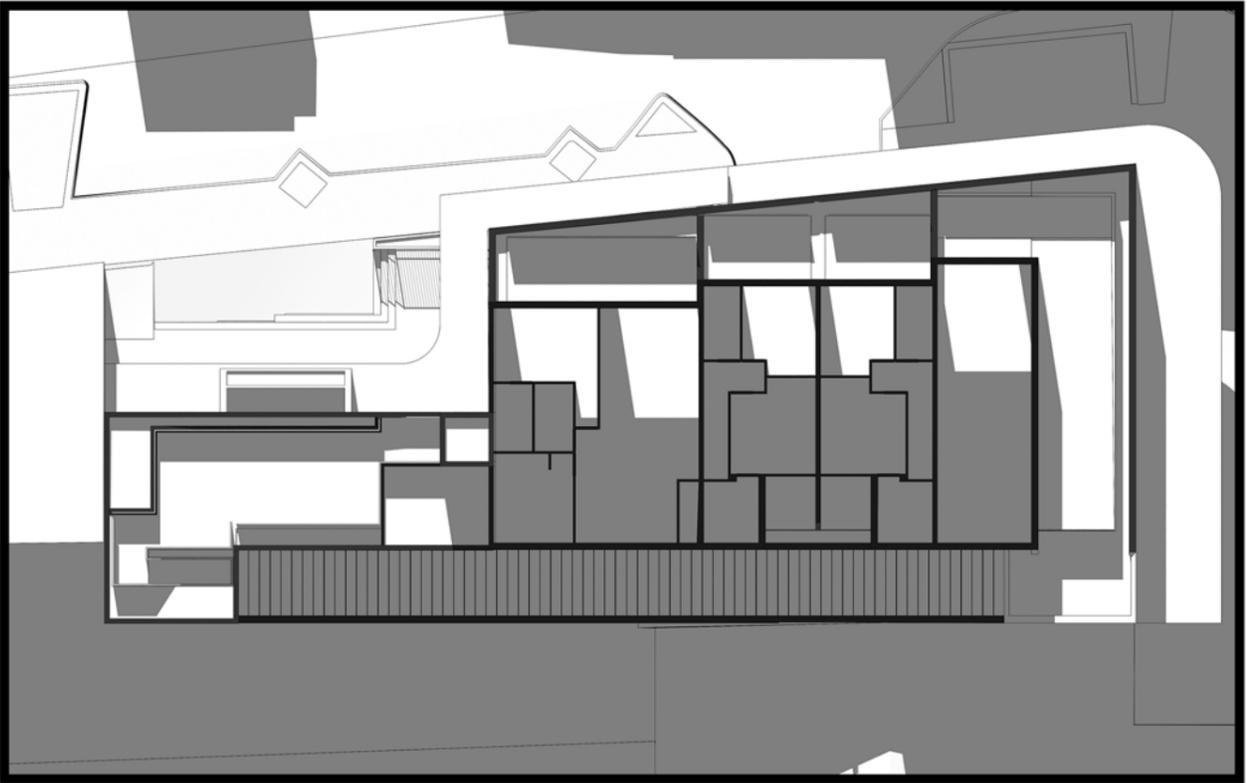


1500

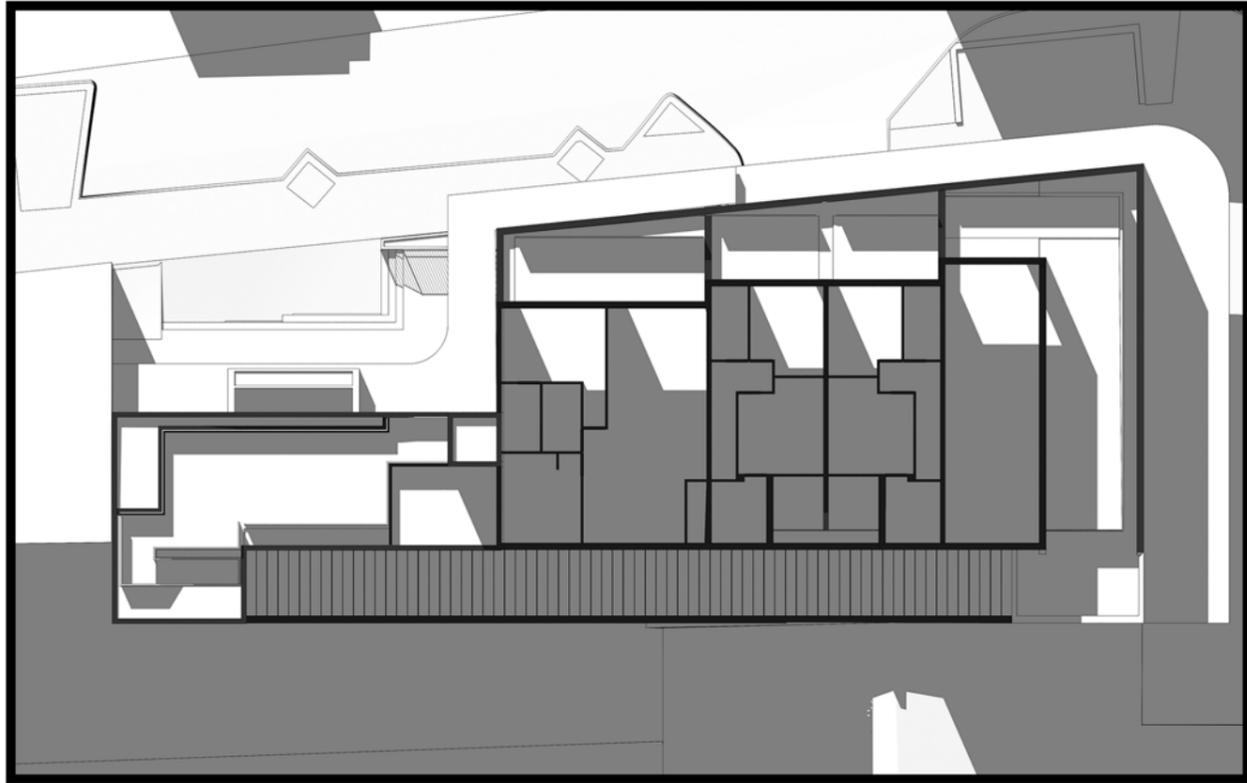




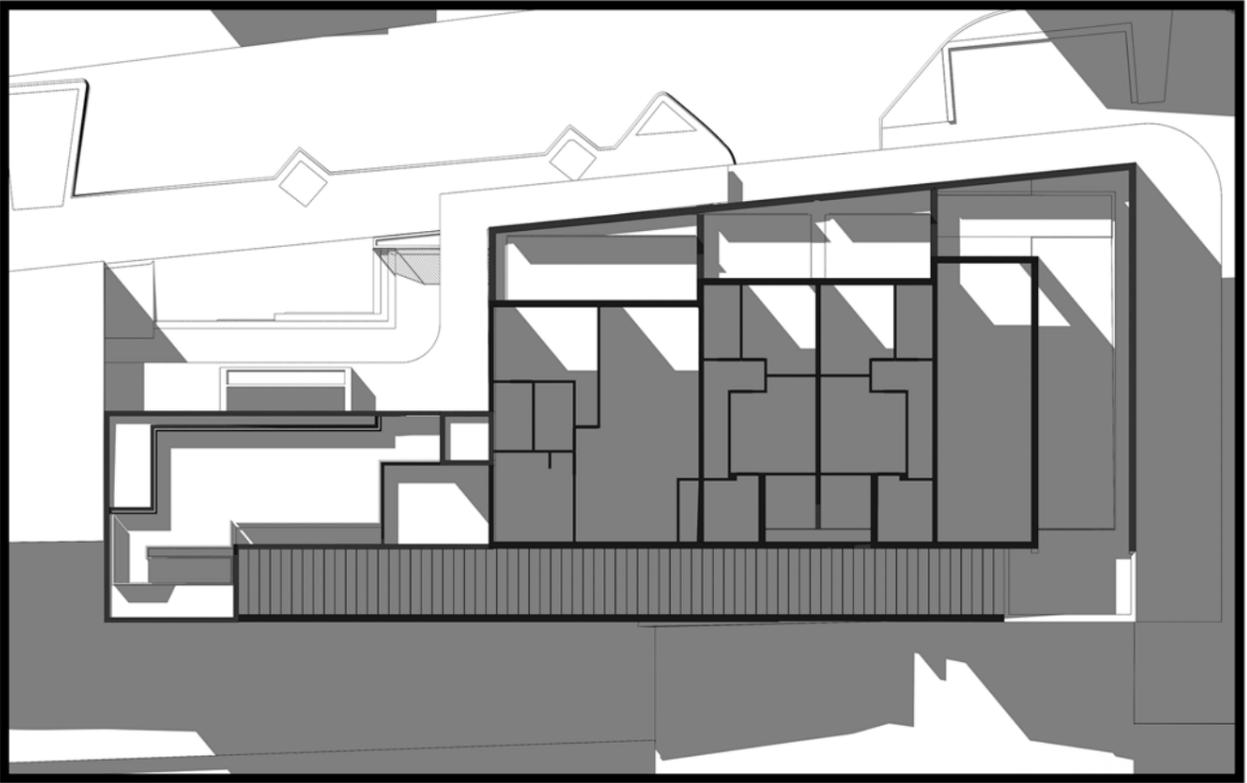
0900



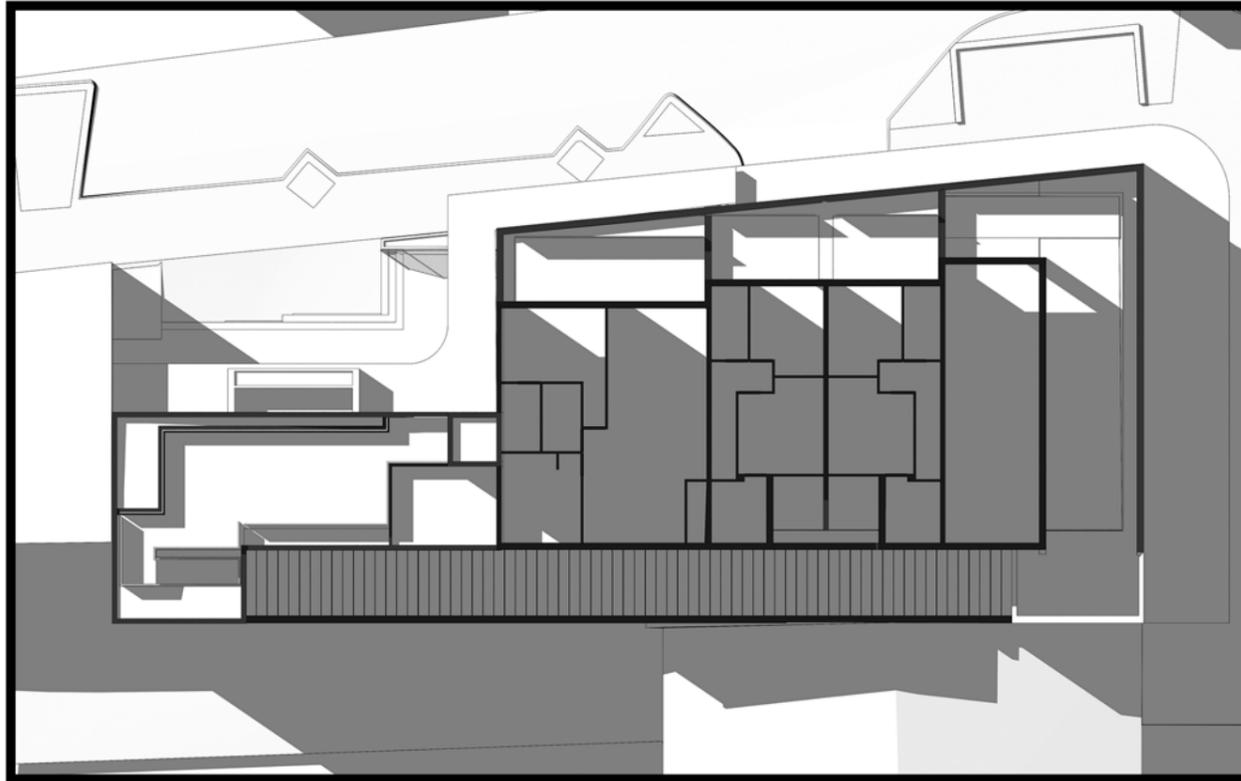
1000



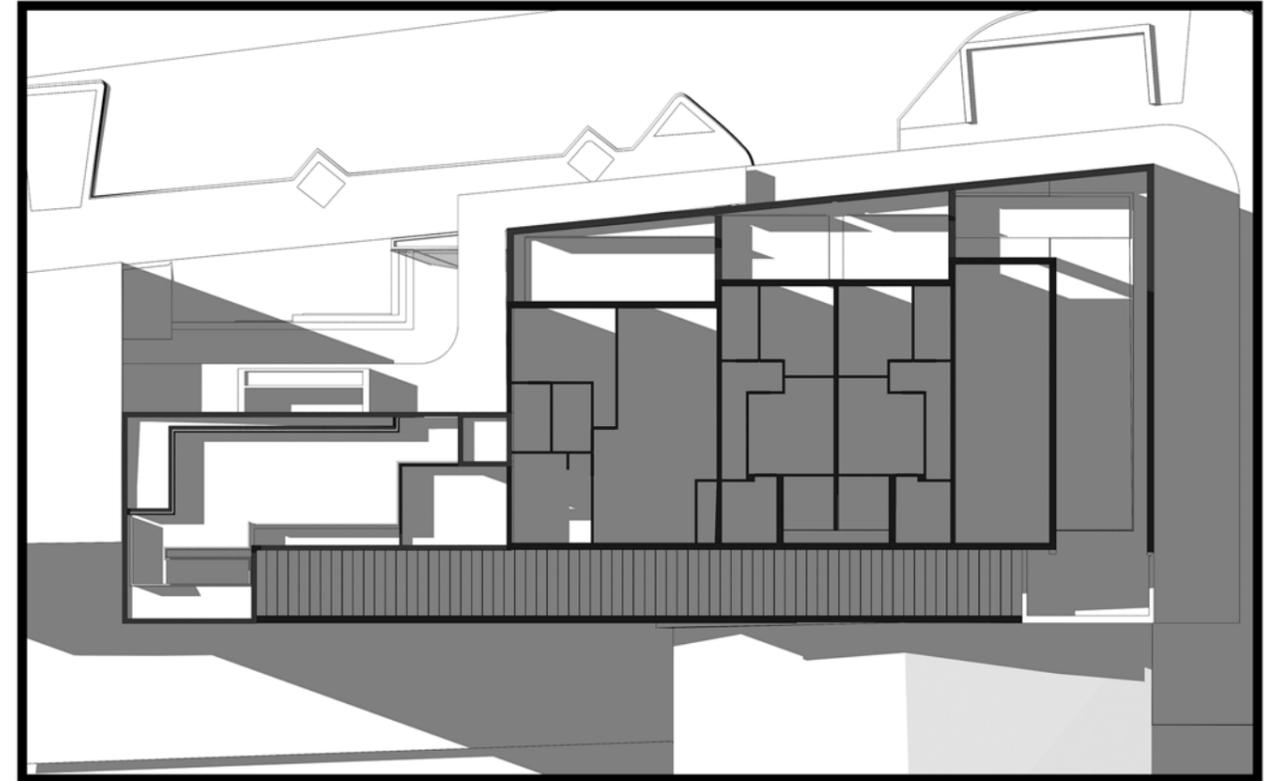
1100



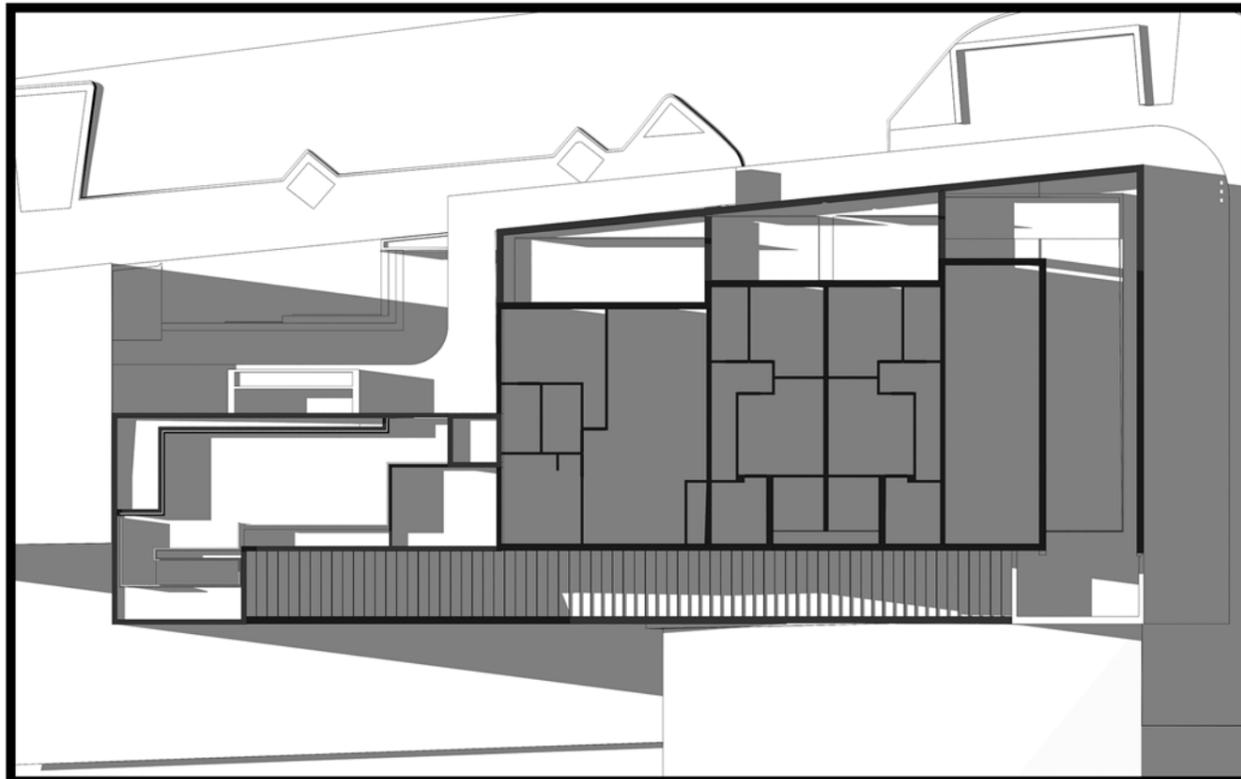
1200



1300



1400



1500

