

EXISTING SITE AREA - 711.20 sqm

SITE COVER = 426 sqm
- includes pool area and water body

SOFT LANDSCAPED AREA = 285.20 sqm (40%)

TOTAL PRIVATE OPEN SPACE AREA - 163 sqm
- includes internal garden, pergola, covered outdoor area
and pool area and water body

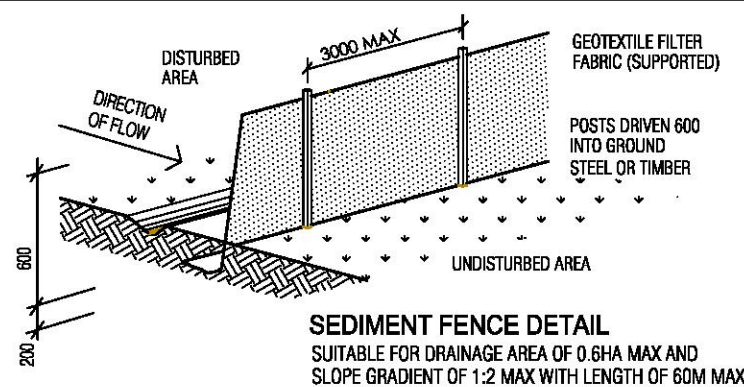
GROUND FLOOR GFA = 202 sqm
FIRST FLOOR GFA = 75 sqm

TOTAL GFA	= 277 sqm
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INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED. TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHICH EVER AREAS OF THE SITE ARE EXPOSED TO EROSION. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.

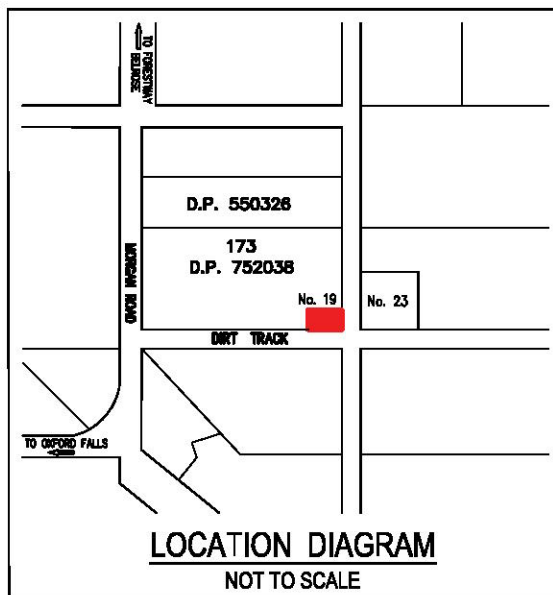
REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



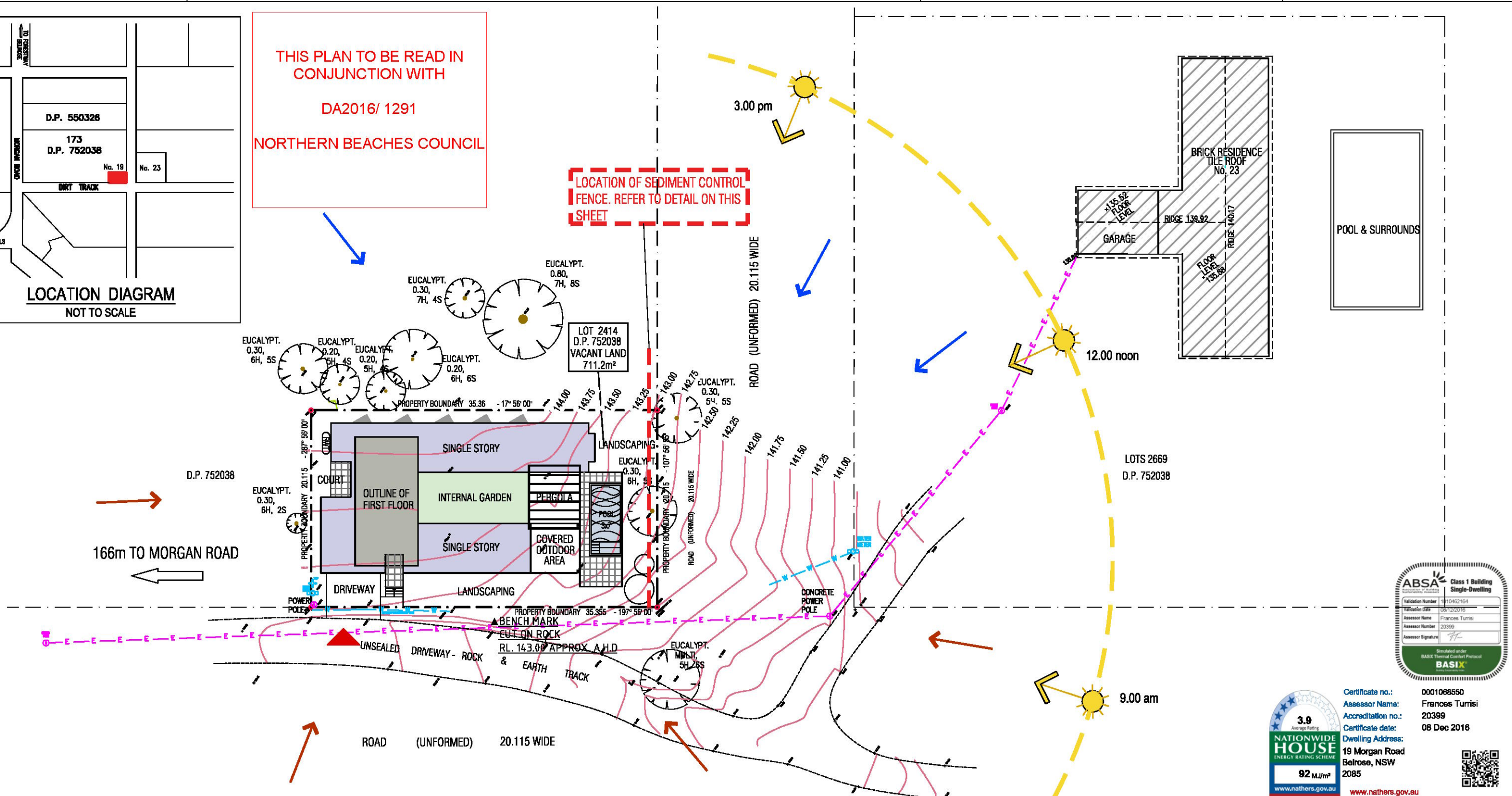
1. STORMWATER DRAINAGE DESIGN NOT SHOWN. RAINWATER COLLECTION TANKS TO RE-USE FOR GARDEN AND AS PER BASIX REPORT
2. FOR MORE DETAILED SITE INFORMATION REFER TO GROUND FLOOR PLANS
3. REFER TO SEPERATE BASIX REPORT FOR ENERGY REQUIREMENTS
4. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR PLANTING STRATEGY
5. REFER TO ENVIROTECH REPORT FOR WASTEWATER TREATMENT DETAILS
6. REFER TO BUSHFIRE REPORT FOR FLAME ZONE CONDITIONS
7. REFER TO STATEMENT OF ENVIRONMENTAL EFFECTS FOR DEVELOPMENT DETAILS AND PLANNING CONSIDERATIONS

	SUN DIRECTION - 21st JUNE
	SITE ENTRY
	PREVAILING SUMMER WINDS
	PREVAILING WINTER WINDS
	EXISTING GROUND LEVEL
	PROPOSED NEW LEVEL
	EXISTING TREES TO REMAIN



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LOCATION OF SEDIMENT CONTROL
FENCE. REFER TO DETAIL ON THIS
SHEET



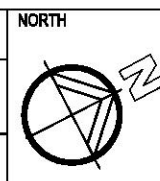
Certificate no.: 0001068550
Assessor Name: Frances Turrisi
Accreditation no.: 20399
Certificate date: 08 Dec 2016
Dwelling Address:
 19 Morgan Road
 Belrose, NSW
 2085

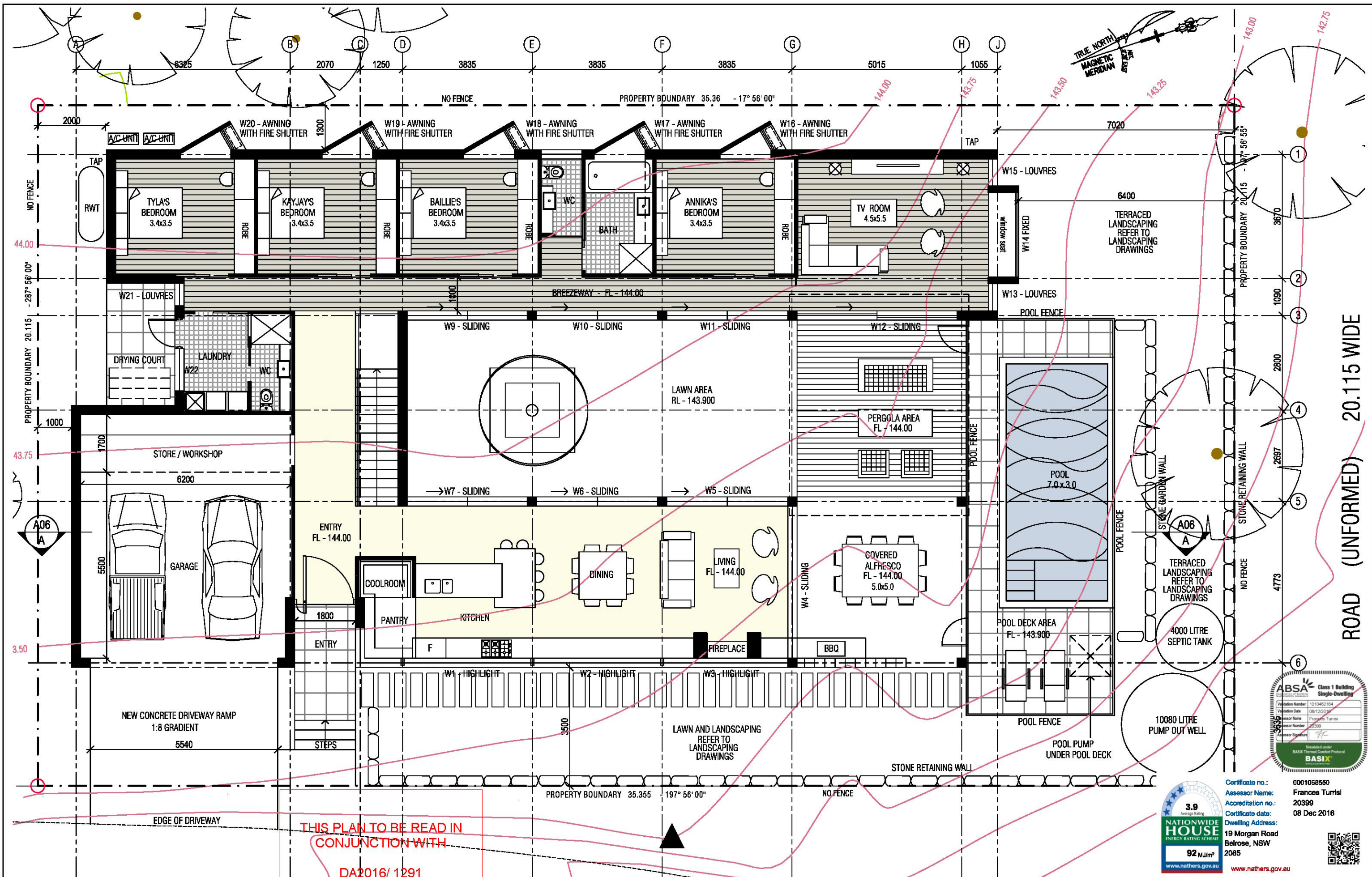


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01	08.12.16	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION





01 GROUND FLOOR PLAN
1:100 @ A3

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No	DATE	REVISION
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		ISSUED

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CLIENT KELLIE EARL & GRANT VELLELEY

PROJECT PROPOSED NEW RESIDENCE
19 MORGAN ROAD, BELROSE

TITLE PROPOSED GROUND FLOOR PLAN

NORTH

DRAWN SL	DATE Dec. 2016	SCALE 1:100 @ A3
CHECKED	DATE	ISSUE
JOB No. 1601	DRAWING No. A02	REV. 01

ABSA Class 1 Building Single-Dwelling

Validation Number 1010402164

Validation Date 08/12/2016

Assessor Name Frances Turrisi

Assessor Number 20399

Assessor Signature

Simulated under BASIX Thermal Comfort Protocol

BASIX

3.9 Average Rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

92 MJ/m²

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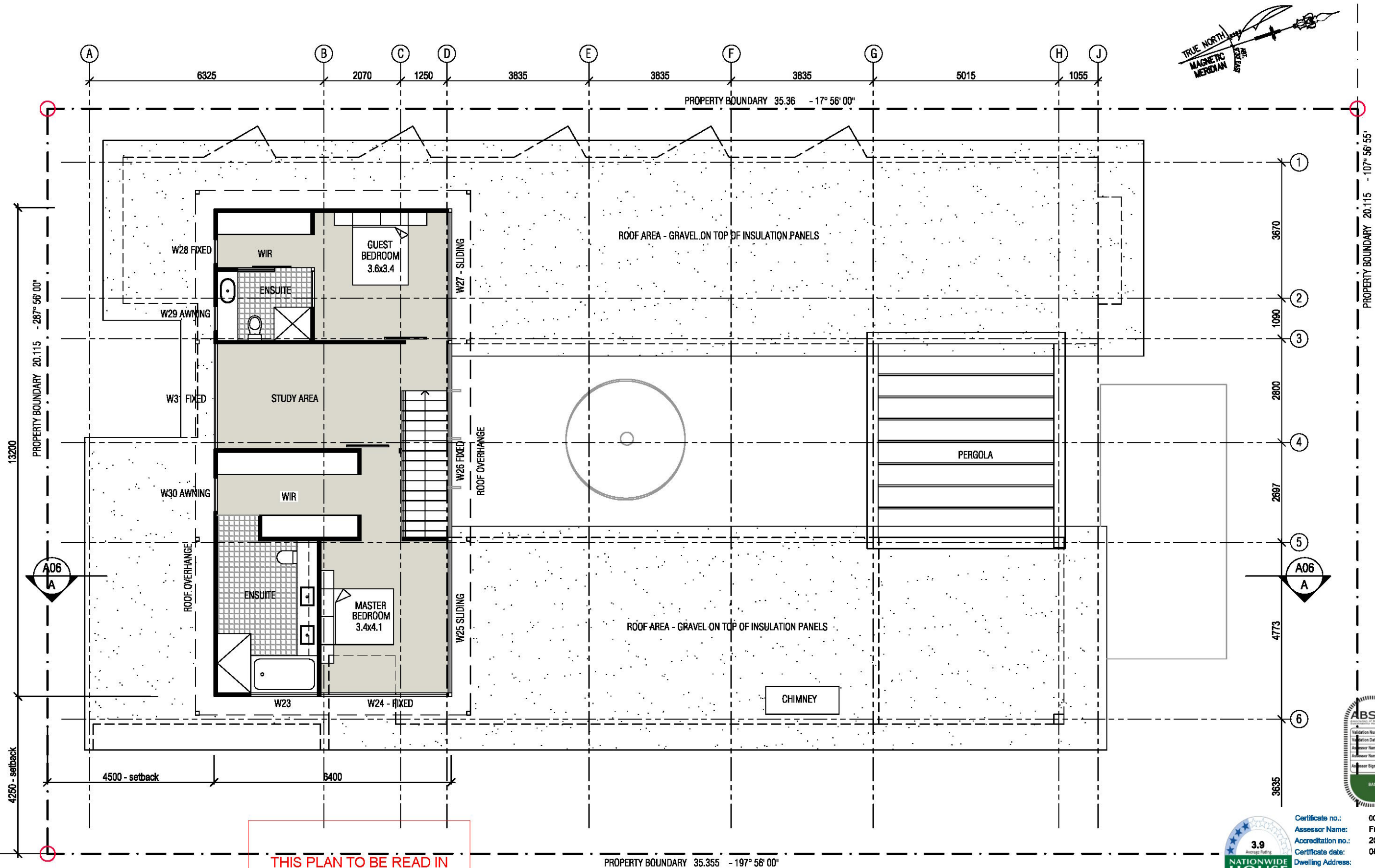
Assessor Name: Frances Turrisi

Accreditation no.: 20399

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01 FIRST FLOOR PLAN
1:100 @ A3

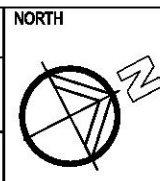
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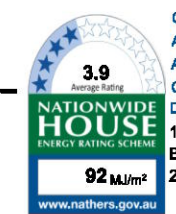
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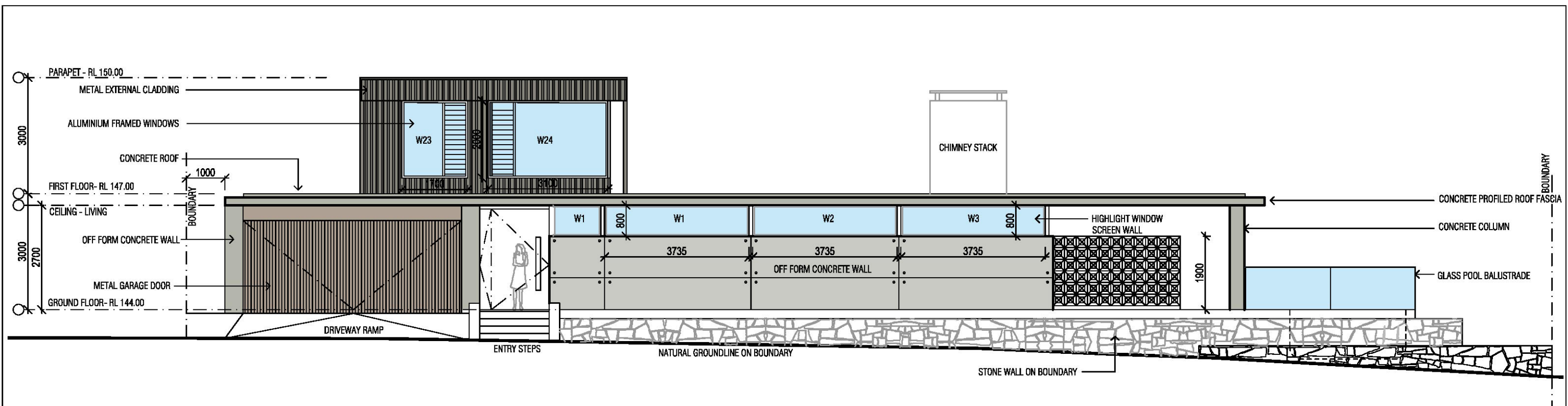


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CHECKED		DATE		ISSUE	
JOB No.	1601	DRAWING No.	A03	REV.	01

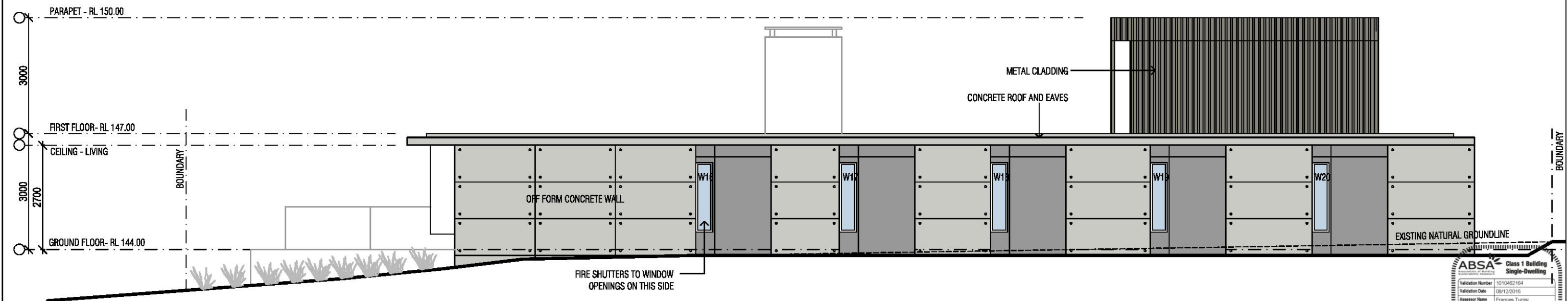


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Dwelling Address: 19 Morgan Road
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01 EAST ELEVATION
1:100 @ A3

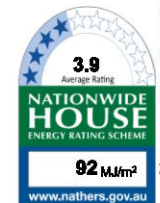


02 WEST ELEVATION
1:100 @ A3

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Accreditation no.: 20399
Certificate date: 08 Dec 2016
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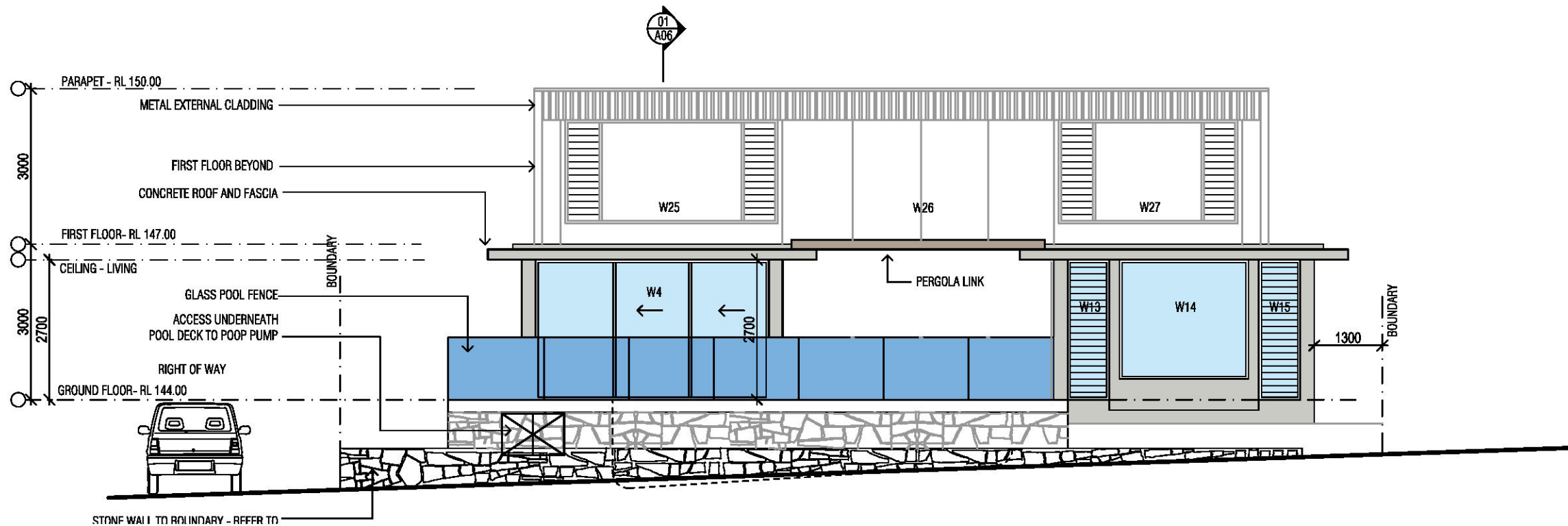


No	DATE	REVISION
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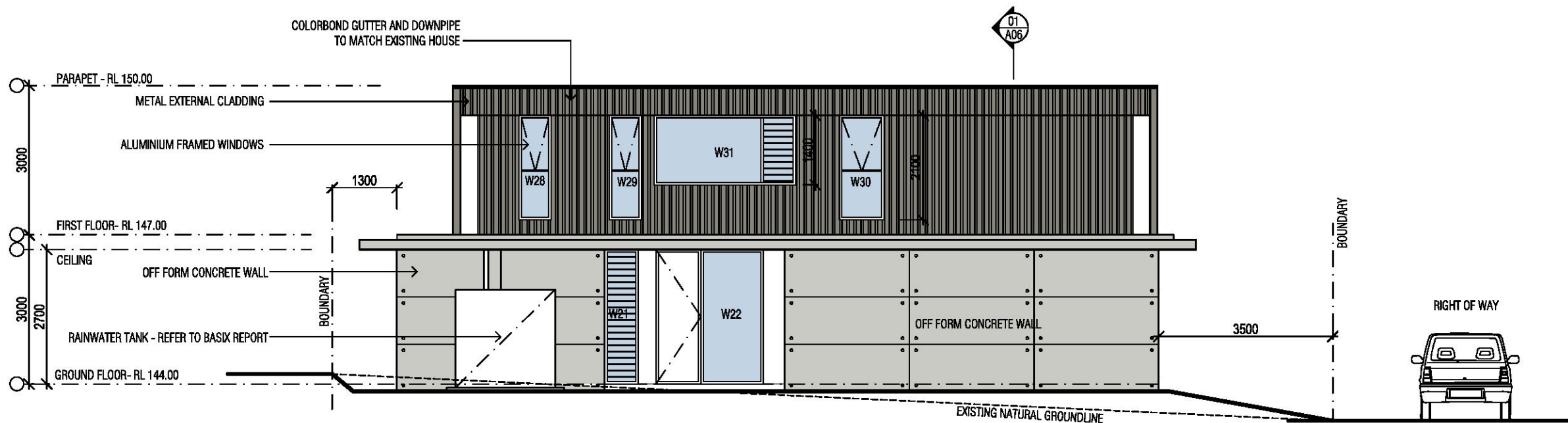
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19 MORGAN ROAD, BELROSE
TITLE PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE Dec. 2016	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No. 1601	DRAWING No. A04	REV. 01	



01 NORTH ELEVATION
1:100 @ A3



02 SOUTH ELEVATION
1:100 @ A3

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Assessor Name: Frances Turrisi
Accreditation no.: 20399
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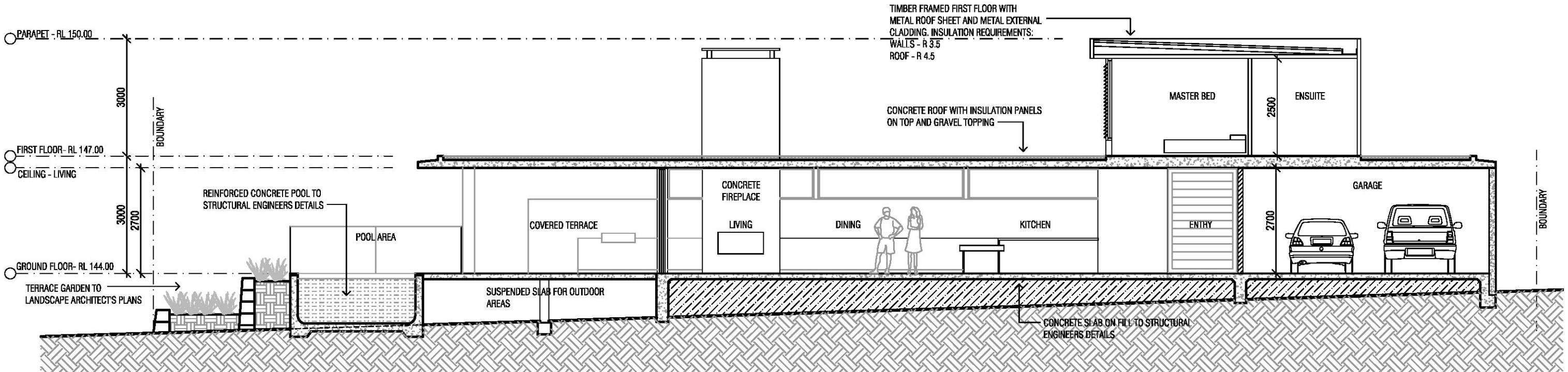


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19 MORGAN ROAD, BELROSE
TITLE PROPOSED ELEVATIONS

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CHECKED	DATE	ISSUE
JOB No. 1601	DRAWING No. A05	REV. 01



01 SECTION

1:100 @ A3

The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a reassessment may be required.

Windows	Product ID	Glass	Frame	U value	SHGC	Area m²	Detail
Default		Single low-e glazing	Aluminium	5.40	0.49	-	W16, W17, W18, W10, W20, W22(door)
Default		Single low-e glazing	Aluminium	5.40	0.58	-	W1, W2, W3, W9, W10, W11, W12, W22(fixed panel)
Default		Double glazing	Composite	3.90	0.27	-	W13, W15, W21, W27(louvre), W23(louvre), W25(louvre)
Default		Double glazing	Aluminium	3.00	0.26	-	W26
Default		Double glazing	Aluminium	2.90	0.44	-	W4, W14, W25, W26, W27(fixed)
Default		Double glazing	Aluminium	2.91	0.44	-	W28, W29, W30
Default		Double glazing	Aluminium	2.90	0.51	-	W5, W6, W7, W31, W23(fixed), W24

W5, W6, W7, W9, W10 and W11 will also need to be fitted with external blinds.
Window and skylight U and SHGC values, if specified, are according to NFRC 100. Alternate products or specifications may be used if the U value is lesser than the value specified or the SHGC is within +/- 10% of the value stated. Windows have been assessed as complying with AS2047.

External walls	Construction	Insulation	Colour - solar abs.	Detail
150mm off form concrete	R3.5	Medium	SA 0.475-0.7	As per stamped plans
Metal cladding	R2.5	Medium	SA 0.475-0.7	As per stamped plans

Internal walls	Construction	Insulation	Detail
Plasterboard on studs	-	To all internal walls	

Floors	Construction	Insulation	Covering	Detail
200mm concrete	See detail	Carpet/tiles	R1.0 to the portion of the master bedroom which cantilevers over outdoor air.	

Ceilings	Construction	Insulation	Detail
Plasterboard	See detail	R4.0 to all ceilings below a roof space.	

Roof	Construction	Insulation	Colour - solar abs.	Detail
200mm concrete	Nil	Dark	SA >0.7	To all roofs

Lighting
Default value of 4 downlights/10sqm has been included. All downlights are to be sealed.

Exhaust fans
Exhaust fans have been included to all laundries, bathrooms and kitchens, and assessed as sealed.

Hot Water System
Solar (electric boosted) hot water system with a performance rating of 21 - 25 RECs has been included.

Rainwater Tank
1,500 litre (minimum) rainwater tank is required connected to garden/lawn and laundry.



Certificate no.: 0001068550
Assessor Name: Frances Turmel
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BASIX NOTES (to be read in conjunction with approved basix certificate)

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 3700 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES
- MIN 40% OF NEW OR ALTERED LIGHT FITTINGS TO BE FLUORESCENT, COMPACT FLUORESCENT OR LED LAMPS.
- ALL NEW OR ALTERED SHOWER HEADS TO HAVE A MAX FLOW RATE OF 9 LITRES PER MINUTE, OR TO HAVE A 3 STAR WATER RATING.
- ALL NEW OR ALTERED TOILETS TO HAVE A MAX FLOW RATE OF 4 LITRES PER FLUSH, OR TO HAVE A 3 STAR WATER RATING.
- ALL NEW OR ALTERED TAPS TO HAVE A MAX FLOW RATE OF 9 LITRES PER MINUTE, OR TO HAVE A 3 STAR WATER RATING.
- FOR PROJECTIONS DESCRIBED IN MILLIMETERS, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500mm ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400mm ABOVE THE SILL.
- FOR PROJECTIONS DESCRIBED AS A RATIO, THE RATIO OF THE PROJECTION FROM THE WALL TO THE HEIGHT ABOVE THE WINDOW OF GLAZED DOOR SILL MUST BE AT LEAST THAT SHOWN IN THE TABLE IN THE BASIX REPORT.
- OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT AND DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOOR, AS SPECIFIED IN THE OVERSHADOWING COLUMN ON THE TABLE IN THE BASIX REPORT.

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TITLE	PROPOSED SECTION		JOB No.	1601	DRAWING No.	A06	REV.	01

