

Reference: 260906 DA211/04 DMS:RS
Enquiries: Environmental Services

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MANLY NSW 2095

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ABN 43 662 868 065

Dear Sir/Madam,

**Notice of Determination under Section 81(1)(a) of the
Environmental Planning and Assessment Act, 1979
Development Application No. 211/04**

**Proposed Development: Demolition of existing building and erection
Of Residential Flat Building with basement
Level carparking**

Land to be developed: 5 Commonwealth Parade, Manly

Pursuant to the Building Code of Australia, the building is a Class 2 and 7 building.

Council determined this application and has granted consent subject to the conditions described below:

1. This approval relates to plans/drawings Nos. 110.09/DD-01 to 22 Issues D (drawing 10, C (drawings 2, 3, 7, 13, 14, 16, 20 – 22), B (drawings 4-6, 8-12, 15) all dated 16 December, 2004 and received by Council 23 December 2004, as amended by drawings/plans Nos.110.09/S96-01, S96-02 to 16 issue F dated 8 September 2006 received by Council 11 September 2006.
2. Deleted.
3. Deleted.
4. Deleted.
5. The existing concrete median on Commonwealth Parade at West Esplanade shall be extended 25m south/west along Commonwealth Parade to restrict vehicular access from the development to left-in and left-out. The planning and implementation of the extended concrete median shall be in accordance with the following:
 - All associated costs including design shall be borne by the developer.
 - The median island shall be constructed prior to commencement of construction work on the site.
6. The northern walls of Bedrooms 2 and 3 at Level 1 are to have a maximum average height of 3.2m, including the roof structure. In this regard the modifications of the flat roof sections on the level 2 plan to a pitched or curved roof form is satisfactory.

7. The remaining stone kerb is to be protected from damage during construction. Details of the method of protection of the kerb are to be submitted to the Council/Accredited Certifier **prior to the issue of the Construction Certificate**. Photographs of the kerb are to be submitted to Council prior to the commencement of any building work.
8. Where driveway construction necessitates the removal of any part of the existing Stone kerb, the redundant stone kerb blocks are to be carefully removed, without damage, in whole blocks. These kerb blocks are to be delivered to Council's depot in Balgowlah. To arrange access to the depot and a suitable time for delivery contact Council's Works Superintendent on 0418 608 494 between 8.00am and 4.00pm Mon to Fri. The removal and delivery of the stone kerb blocks is to be undertaken at the expense of the owner/applicant.
9. The stonewall not required to be removed for the driveway crossing is to be retained and protected from damage during demolition and construction. Details of the method of protection of the wall are to be **submitted to Council for approval prior to the issue of the Construction Certificate**. Photographs of the wall are to be submitted to Council prior to the commencement of any work.
10. The sandstone on the existing building is to be reused in the base of the front of the new building. The stone is to be carefully removed and stored for reuse.
11. An archival quality record in accordance with the NSW Heritage Office Guidelines shall be made of the house (interior and exterior), garden, garage and streetscape setting and submitted to Council prior to issue of the construction certificate. The archive material shall include floor plans, elevations and measured drawings; black and white photographs, their negatives and colour photographs. The record is to be made in consultation with a heritage consultant. Two copies of the record (A4 size) will be lodged with the Manly Library Local Studies Section when received. A copy of the Heritage Report by Graham Brooks Pty Ltd is to be included with the archival record.
12. If during the course of excavation archaeological relics are found, works are to stop and an excavation permit must be obtained from the NSW Heritage Council, in accordance with the relics provisions of the Heritage Act, 1977. A copy of this permit and archaeologists report is to be submitted to Council.
13. Any external colours and finishes are to be sympathetic to the significance of the adjoining heritage item.
14. The design and material of any new fencing shall be sympathetic to the character of the heritage items in the vicinity and reference to the original fencing on the site is recommended.

15. The name "Nailsworth" in terrazzo at the front entry pedestrian entrance and front sandstone staircase access on Commonwealth Parade are to be retained in situ and protected during construction. If required to be removed, these elements are to be carefully removed and stored for reinstatement at the end of the demolition and construction works. Details of which are to be submitted to the Principal Certifying Authority for approval.
16. The reuse of the name Nailsworth on the new building is to be accompanied with the date/year of construction (ie. Nailsworth 2005) and can be located on the building, and is not to replace the reinstated original 'Nailsworth' name in terrazzo at the front entry.
17. Other than the reuse of the existing sandstone on the new building, recycling of other architectural elements of the existing building (such as fireplace surrounds, timber windows and the like) is to be undertaken, either on site or to an appropriate recycler of similar materials.
18. The landscaping plans' planting schedule is to be modified to replace the Melia sp proposed at the rear of the site with an alternate species such as Robinia due to the potential for caterpillar plague.
19. Additional planter beds and supplementary plantings are required on the ground level terrace to satisfy Council's landscape openspace objectives in the Residential DCP. In this regard an amended Landscape Plan is to be prepared and submitted to the Council/Accredited Certifier **prior to issue of Construction Certificate.**
20. The applicant is to demonstrate proposed measures the relocations of existing residents referred to in the applications under statutory declaratory to assist in finding alternative accommodation, refunding existing bonds and provision of 'top up' for any new bond required and provision of removal costs for each leasehold. Details are to be lodged with the Construction Certificate to the satisfaction of the Council/Accredited Certifier.
21. A detailed stormwater management plan and calculations shall be prepared to fully comply with Council's "Specification for on-site Stormwater Management 2003" and shall be submitted with the Construction Certificate application. The stormwater management plan shall be prepared and certified by an experienced Chartered Civil Engineer. The Principal Certifying Authority shall ensure that the design complies with the above said specification **prior to the issue of the Construction Certificate.**
22. Construction of the kerb layback and the vehicular crossing is required. The design and construction shall be in accordance with Council's "Specification for Construction of Vehicular Crossings". The work shall be done with plain concrete. It is the responsibility of the owner, developer and builder that they understand the above specification and strictly comply with the specification. The work shall be inspected and approved by Council officers. All works shall be carried out **prior to issue of the Occupation Certificate.**

23. The existing vehicular crossing and kerb layback at The Crescent shall be removed. The kerb and the road reserve shall be constructed as per Council's requirements.
24. Pursuant to Section 97 of the Local Government Act, 1993, Council requires, **prior to issue of the Construction Certificate, or commencement of any excavation and demolition works**, payment of a Trust Fund Deposit of \$20,000. The Deposit is required as security of compliance with Conditions of Consent, and as security against damage to Council property during works on the site.

Note: Should Council property adjoining the site be defective eg, cracked footpath, broken kerb etc., this shall be reported in writing to Council, **at least 7 days prior to the commencement of any work on site.**
25. The applicant is to notify Council at least 48 hours before commencement of works on any Council road so as to enable Council to supervise the carrying out of the works.
26. Any adjustment to the public utility service is to be carried out in compliance with their standards and the cost is to be borne by the applicant.
27. Details of the builder's name and licence number contracted to undertake the works shall be provided to Council **prior to issue of the Construction Certificate.**
28. Insurance must be undertaken with the contracted builder in accordance with the Home Building Act, 1997. Evidence of Insurance together with the contracted builders name and licence number must be submitted to Council **prior to issue of the Construction Certificate.**
29. Toilet facilities are to be provided at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 person or part of 20 persons employed at the site, by effecting either a permanent or temporary connection to the Sydney Water's sewerage system or by approved closets.
30. Retaining walls being constructed in conjunction with excavations with such work being in accordance with structural engineer's details. Certification of compliance with the structural detail during construction shall be submitted to the Principal Certifying Authority.
31. A sign must be erected on the subject site in a prominent position stating that unauthorised entry is prohibited and giving details of the name of the builder or the person responsible for the site and 24 hour contact details. The sign is to have dimensions of approximately 500mm x 400mm.

Note: The sign is not required if the building on the site is to remain occupied during the course of the building works.

32. All construction works shall be strictly in accordance with the Reduced Levels (RLs) as shown on the approved plans with certification being submitted to the Principal Certifying Authority during construction from a registered surveyor certifying ground and finished ridge levels.
33. Consent given to build in close proximity to the allotment boundary is in no way to be construed as permission to build on or encroach over the allotment boundary. Your attention is directed to the provisions of the Dividing Fences Act which gives certain rights to adjoining owners, including use of the common boundary. In the absence of the structure standing well clear of the common boundary, it is recommended that you make yourself aware of your legal position which may involve a survey to identify the allotment boundary.
34. Four (4) certified copies of the Structural Engineer's details in respect of all reinforced concrete, structural steel support construction and any proposed retaining walls shall be submitted to the Council/Accredited Certifier **prior to the issue of the Construction Certificate.**
35. Where any excavation extends below the level of the base of the footing of a building on an adjoining allotment of land, the person causing the excavation shall support the neighbouring building in accordance with the requirements of the Building Code of Australia.
36. The floor surfaces of bathrooms, shower rooms, laundries and WC compartments are to be of an approved impervious material properly graded and drained and waterproofed in accordance with AS3740. Certification is to be provided to the Principal Certifying Authority from a licenced applicator prior to the fixing of any wall or floor tiles.
37. A suitable sub-surface drainage system being provided adjacent to all excavated areas and such drains being connected to an approved disposal system.
38. The implementation of adequate care during demolition/ excavation/ building/ construction to ensure that no damage is caused to any adjoining properties.
39. Prior to excavation applicants should contact the various utility providers to determine the position of any underground services.
40. An adequate security fence, is to be erected around the perimeter of the site prior to commencement of any excavation or construction works, and this fence is to be maintained in a state of good repair and condition until completion of the building project.

41. On completion of the building structure a Registered Surveyor's report is to be submitted to the Principal Certifying Authority confirming that the building has been completed in accordance with the levels as shown on the approved plan.
42. A Registered Surveyor's certificate identifying the location of the building on the site is to be submitted to the Principal Certifying Authority immediately upon completion of the foundations and prior to work proceeding above dampcourse level.
43. Four (4) copies of Architectural Drawings consistent with the development consent associated specifications are to be submitted to Council/Accredited Certifier **prior to the issue of the Construction Certificate.**
44. A system of onsite stormwater detention shall be provided within the property in accordance with Council's "Specification for on-site stormwater management 2003". The design and details shall be submitted with the Construction Certificate Application and be approved by the Council/Accredited Certifier **prior to the issue of the Construction Certificate.**

The specification can be downloaded from Council's web site www.manly.nsw.gov.au free of charge or a hardcopy can be purchased from Council.

45. A positive covenant in respect of the installation and maintenance of onsite detention works is required to be imposed over the area of the site affected by onsite detention and/or pump system prior to the issue of the Occupation Certificate for the building and **prior to the release of the trust fund deposit.**
46. A positive covenant is an encumbrance to be registered on the title of your land. It imposes an obligation upon you and subsequent owners to comply with the obligations imposed by the covenant. Where onsite detention works and/or pump system are to be installed pursuant to a development or building condition, Council will require a specifically worded covenant to be registered on the relevant title. The standard wording of the positive covenant can be obtained in sections A8 and A9 of the "Specification for on-site stormwater management 2003".

The document can be downloaded from Council's web site www.manly.nsw.gov.au free of charge or a hardcopy can be purchased from Council.

47. All demolition is to be carried out in accordance with AS2601-1991.
48. Asbestos cement sheeting must be removed in accordance with the requirements of the WorkCover Authority.

49. A Fire Safety Schedule specifying the fire safety measures (both current and proposed) that should be implemented in the building premises shall be submitted with the Construction Certificate application, in accordance with Part 9 Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

50. The building being erected in Type A construction for a Class 2 & 7 building in accordance with the Fire Resistance Provisions of the Building Code of Australia.
51. All building work must be carried out in accordance with the provisions of the Building Code of Australia.
52. All sound producing plant and equipment being installed and operated in such a manner so as not to create a noise nuisance.
53. The following notice must be displayed in a conspicuous position at the landing on each storey of a fire isolated stairway.

NOTICE: "OFFENCES RELATING TO FIRE EXITS"

By virtue of Clause 183 of the Environmental Planning and Assessment Regulation 2000, it is an offence to:-

- a) Place anything in this exit which may impede the free passage of persons.
- b) Interfere with or cause obstruction or impediment to the normal operation of the doors providing access to this exit; or
- c) Remove, damage or otherwise interfere with this Notice.

NOTE: the words "OFFENCES RELATING TO FIRE EXITS" should be in letters and figures of a height of 8mm or more. The remaining words in the notice should be in letters and figures of a height of 2.5mm or more.

54. A sign with the words -

"FIRE DOOR - DO NOT OBSTRUCT"

in letters not less than 25mm high and in a colour contrasting with that of the door, must be fixed to -

- a. a required fire door providing direct access to a fire isolated exit, except a door providing direct access from a sole-occupancy unit in a Class 2 or 3 building or Class 4 part or a required smoke door, on the side of the door that faces a person seeking egress; and
- b. a fire door forming part of a horizontal exit and a smoke door that swings in both directions, on both sides of the door; and
- c. a door leading from a fire isolated exit to an open space, on both sides of the door.

55. **Prior to the commencement of any works** on the land including demolition and site preparation, provision of silt control fences shall be provided. A Sediment/Erosion Control detail shall be submitted to the Council/Accredited Certifier **prior to the issue of the Construction Certificate.**
56. A Construction Certificate Application is required to be submitted to and issued by the Council/Accredited Certifier **prior to any building works being carried out on site.**
57. The works require the following inspection/certification during the course of construction:-
- Silt control fences
 - Footing inspection - trench and steel
 - Reinforced concrete slab x 5
 - Framework inspection
 - Wet area moisture barrier x 5
 - Drainage inspection
 - Driveway crossing/kerb layback x 3
 - Landscaping inspection
 - Final inspection

The cost of these inspections by Council is \$70.00 per inspection and \$113.00 for Final inspection inclusive of GST. **Should you require Council to undertake the inspection/certification, then payment is required prior to the first inspection. Inspection appointments can be made by contacting the Environmental Services Division on 9976 1573 or 9976 1587.**

At least 24 hours notice should be given for a request for an inspection and submission of the relevant inspection card. Any additional inspection required as a result of incomplete works will incur a fee of \$80.00.

58. De-watering from the excavation or construction site must comply with the Protection of the Environment Operations Act 1997 and the following:
- a) Ground water or other water to be pumped from the site into council's stormwater system must be sampled and analysed by a NATA certified laboratory or Manly council for compliance with ANZECC Water Quality Guidelines
 - b) If tested by NATA certified laboratory, the certificate of analysis issued by the laboratory must be forwarded to Manly Council as the appropriate regulatory authority under the Protection of the Environment Operations Act 1997, prior to the commencement of de-watering activities.
 - c) Council will grant approval to commence site de-watering to the stormwater based on the water quality results received.
 - d) It is the responsibility of the applicant to ensure that during de-watering activities, the capacity of the stormwater system is not

exceeded, that there are no issues associated with erosion or scouring due to the volume of water pumped.

- e) Turbidity readings must not at any time exceed the ANZECC recommended 50ppm (parts per million) for receiving waters.
 - f) Also the developer must contact the Department of Infrastructure, Planning and Natural Resources and comply with any of their requirements.
59. Roof and framing including provision for tie downs, bracing and fixings are to be designed by a practising Structural Engineer. The Engineer is to specify appropriate wind category relating to the site terrain, house design and height of the structure, with details being submitted to the Principal Certifying Authority **prior to the commencement of framework.**
60. The capacity and effectiveness of erosion and sediment control devices must be maintained to Council's satisfaction at all times.
61. Building operations such as brickcutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
62. The applicant and/or builder must prior to the commencement of work, install at the periphery of the site, measures to control sedimentation and the possible erosion of the land.

The measures must include:-

- (i) siltation fencing;
 - (ii) protection of the public stormwater system; and
 - (iii) site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place.
63. Building or construction work must be confined to the hours between 7.00am to 6.00pm, Monday to Friday and 7.00am to 1.00pm, Saturday, with a total exclusion of such work on Public Holidays and Sundays. Non-offensive works where power operated plant is not used and including setting out, surveying, plumbing, electrical installation, tiling, internal timber or fibrous plaster fixing, glazing, cleaning down brickwork, painting, building or site cleaning by hand shovel and site landscaping, is permitted between the hours of 1.00pm to 4.00pm Saturdays.

Note: That the Protection of the Environment Operations Act 1997 may preclude the operation of some equipment on site during these permitted working hours.

64. The public footways and roadways adjacent to the site shall be maintained at all times during the course of the work in a safe condition.

65. Payment of contributions in accordance with Section 94 of the Environmental Planning and Assessment Act, 1979, is required for the development. The amount being in accordance with Council's Section 94 Policy applicable at the time of payment **prior to the issue of the Construction Certificate.**
66. A dilapidation report in regard to adjoining properties and Council land is to be submitted to Council with the Trust Fund **Deposit prior to the issue of the Construction Certificate.**
67. This approval shall expire if the development hereby permitted is not commenced within 2 years of the date hereof or any extension of such period which Council may allow in writing on an application made before such an expiry.

The reason for the imposition of the conditions is to ensure that the development generally conforms with section 79C of the Environmental Planning and Assessment Act, 1979, Building Code of Australia and Council's Development Control Plan and Policies.

In accordance with Clause 284 of the Environmental Planning and Assessment Regulation 2000, **non compliance** with the above **conditions** may result in Council issuing a **Penalty Notice of \$600.00.**

Notes:

1. If you are dissatisfied with this decision, section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 12 months after the date on which you receive this notice.
2. If you are dissatisfied with this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right of review by Council within twelve months of the date of determination.
3. Details in regard to Notice of Commencement of Building/Subdivision Work and appointment of the Principal Certifying Authority are to be submitted to Council following issue of the Construction Certificate and two (2) working days prior to commencement of building works.

It is necessary for payment of a Long Service Levy for works costing \$25,000 or more at a rate of 0.35% of the cost and insurance pursuant to the Building and Construction Industry Long Service Payments Act 1986 **prior to issue of a Construction Certificate.**

It is advised that your plans must be submitted to Sydney Water for approval at least fourteen days before commencement of works. Please phone Sydney Water on 13 20 92 for information regarding an office closest to you. Further, you are advised to consult with Sydney Electricity with respect to electrical installations, telephone installers with respect to any telecommunication lines and Australia Post should the proposal involve the provision of a letterbox.

The erection of a building in accordance with this development consent must not be commenced until:

- (a) detailed plans and specifications of the building have been endorsed with a Construction Certificate by:
 - (i) the Consent Authority, or
 - (ii) an Accredited Certifier, and
- (b) the person having the benefit of the development consent:
 - (i) has appointed a Principal Certifying Authority, and
 - (ii) has notified the Consent Authority and the Council (if the Council is not the consent authority) of the appointment, and
- (c) the person having the benefit of the development consent has given at least two days' notice to the Council of the person's intention to commence the erection of the building.

Should you have any questions in relations to the matter, please contact Council's Environmental Services, on (02) 9976 1414, during business hours.

Signed below on behalf of the consent authority.

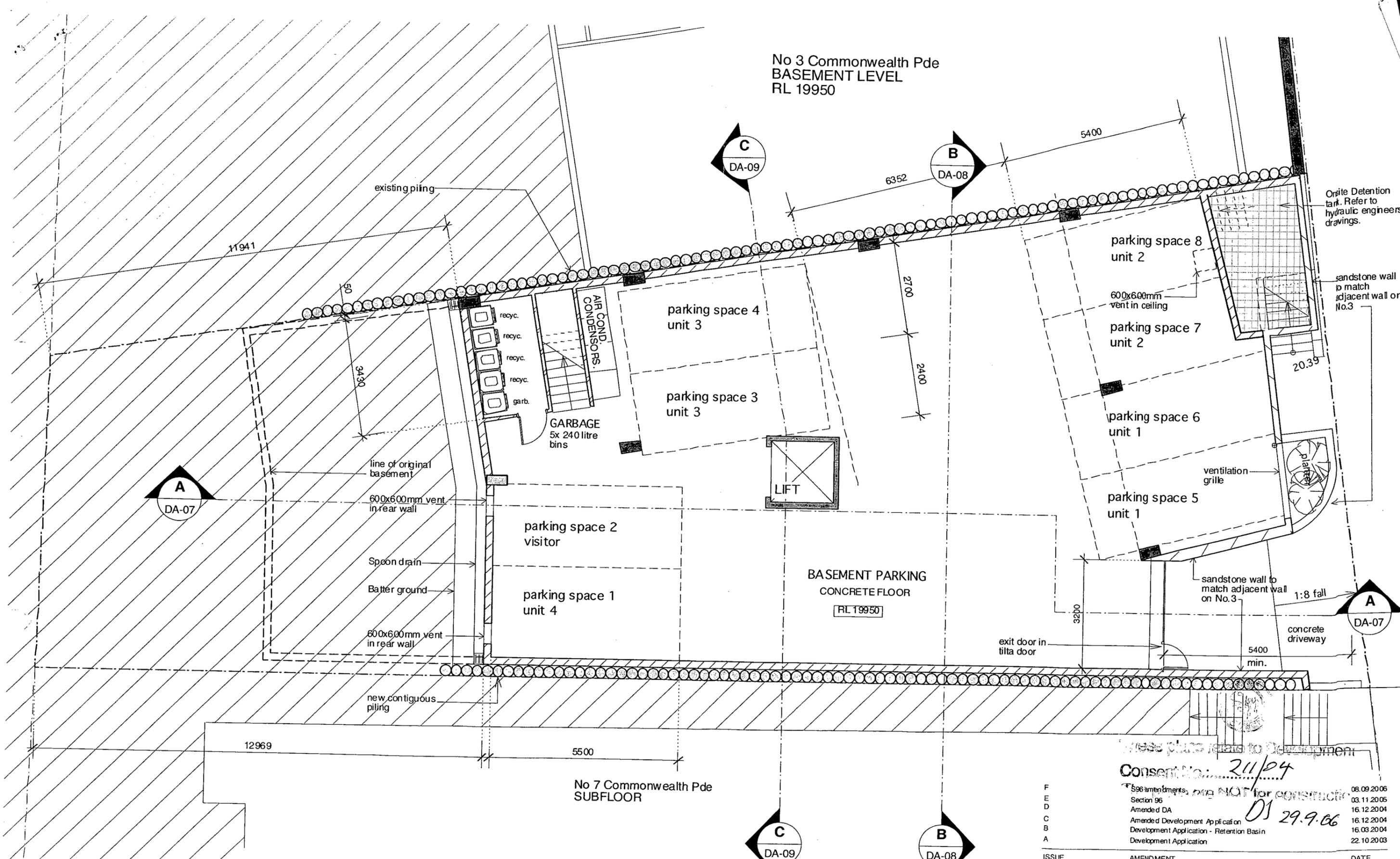
Yours faithfully,

Date: 29.9.06

DS


V. Hudson
Public Officer

No 3 Commonwealth Pde
BASEMENT LEVEL
 RL 19950



Onsite Detention tank. Refer to hydraulic engineers drawings.

sandstone wall to match adjacent wall on No.3

sandstone wall to match adjacent wall on No.3

1:8 fall

concrete driveway

These plans relate to Development

Consent No: 211/04

ISSUE	AMENDMENT	DATE
F	Amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Development Application - Retention Basin	16.03.2004
A	Development Application	22.10.2003

Drawing **BASEMENT PLAN**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

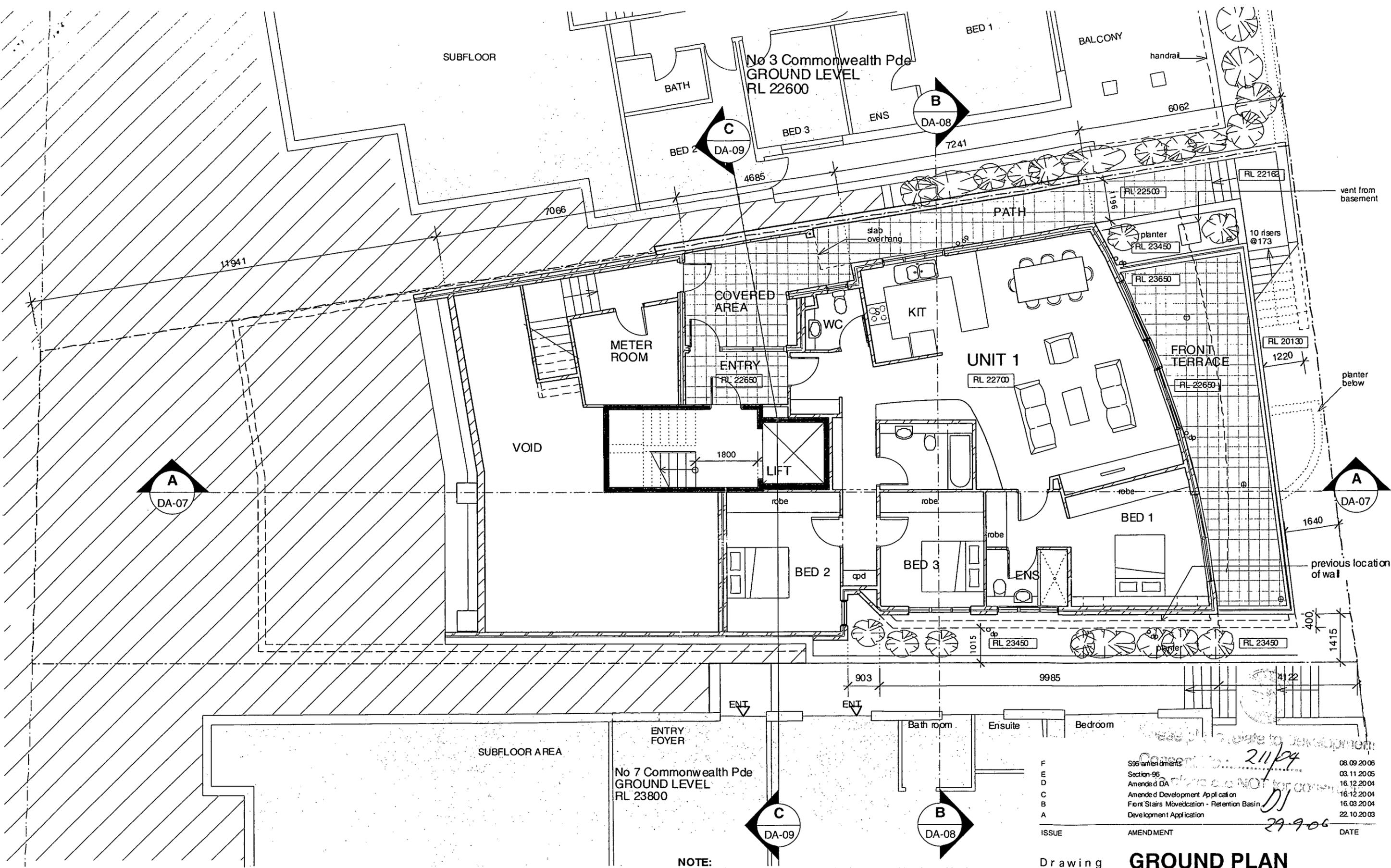
NOTE:
 1) To obtain AHD levels subtract 8.585 from quoted levels on this plan (assumed datum).
 2) Windows within 3m of boundary to fire engineers detail: - either fixed and drenched with mechanical ventilation to room, and/or fire mesh to openable window, and/or blade wall protecting opening.

BAXTER & JACOBSON Architects Pty Ltd
 ABN 95 088 328 769
 NSW ARB Reg No 4259

37-39 The Corso Manly NSW 2095 t: 02 9977 7648 f: 02 9977 0295 e: info@bja.net.au

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ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2005
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Front Stairs Moved/Retained - Retention Basin	16.03.2004
A	Development Application	22.10.2003

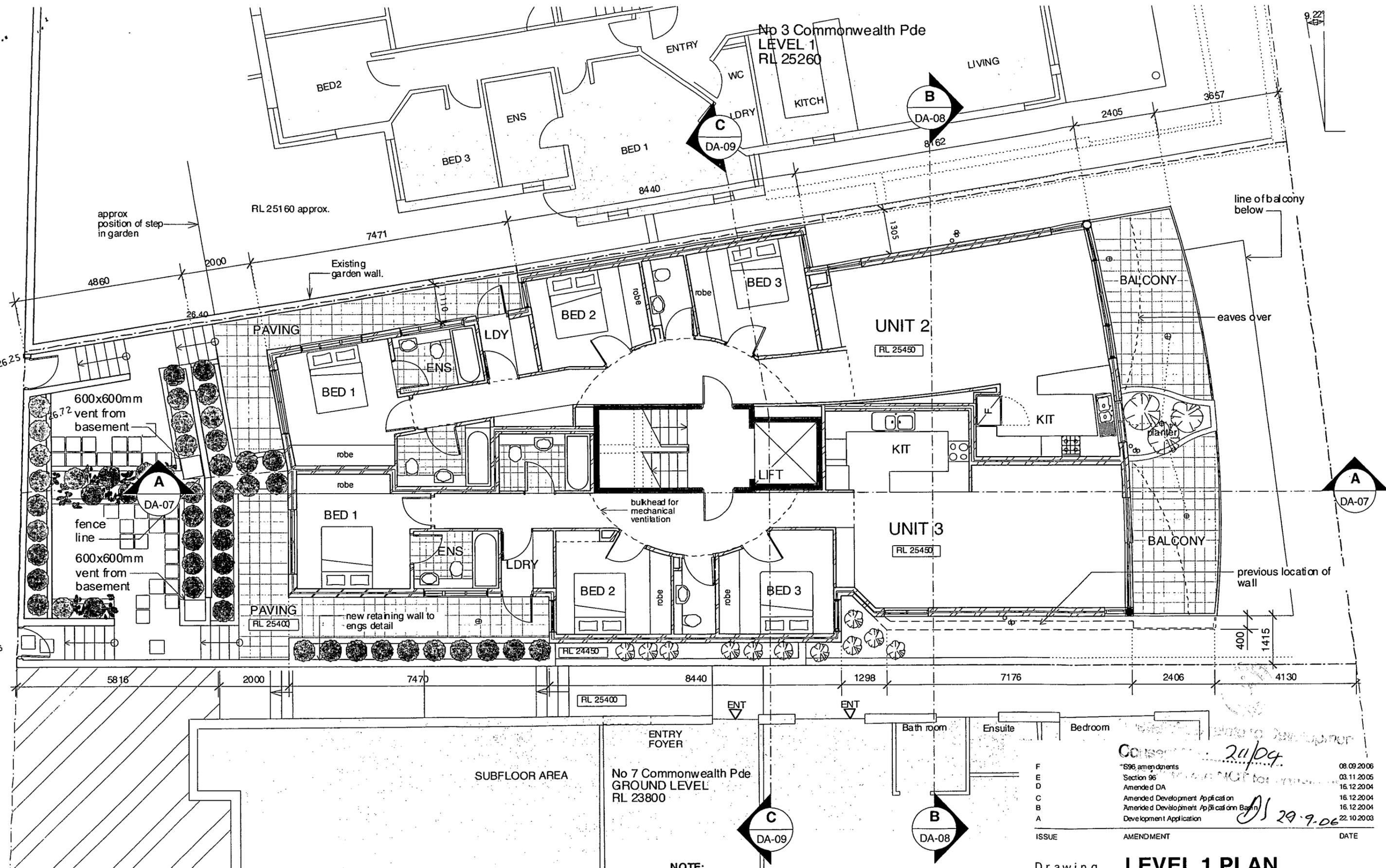
21/04
 29-9-06

Drawing **GROUND PLAN**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

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ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

Drawing **LEVEL 1 PLAN**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

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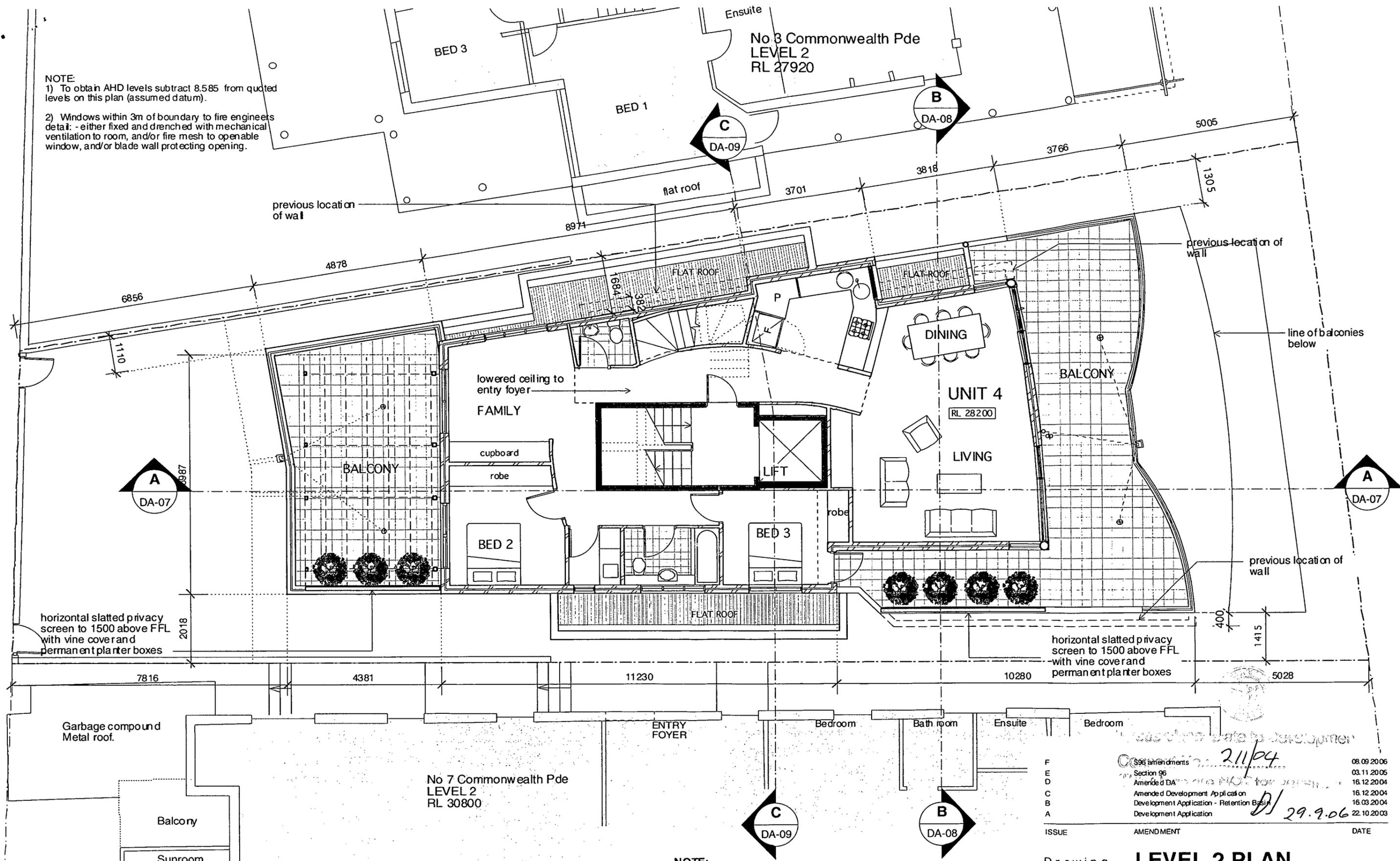
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Dwg No 110.09/S96-04F

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E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Development Application - Retention Basin	16.03.2004
A	Development Application	22.10.2003

Drawing **LEVEL 2 PLAN**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

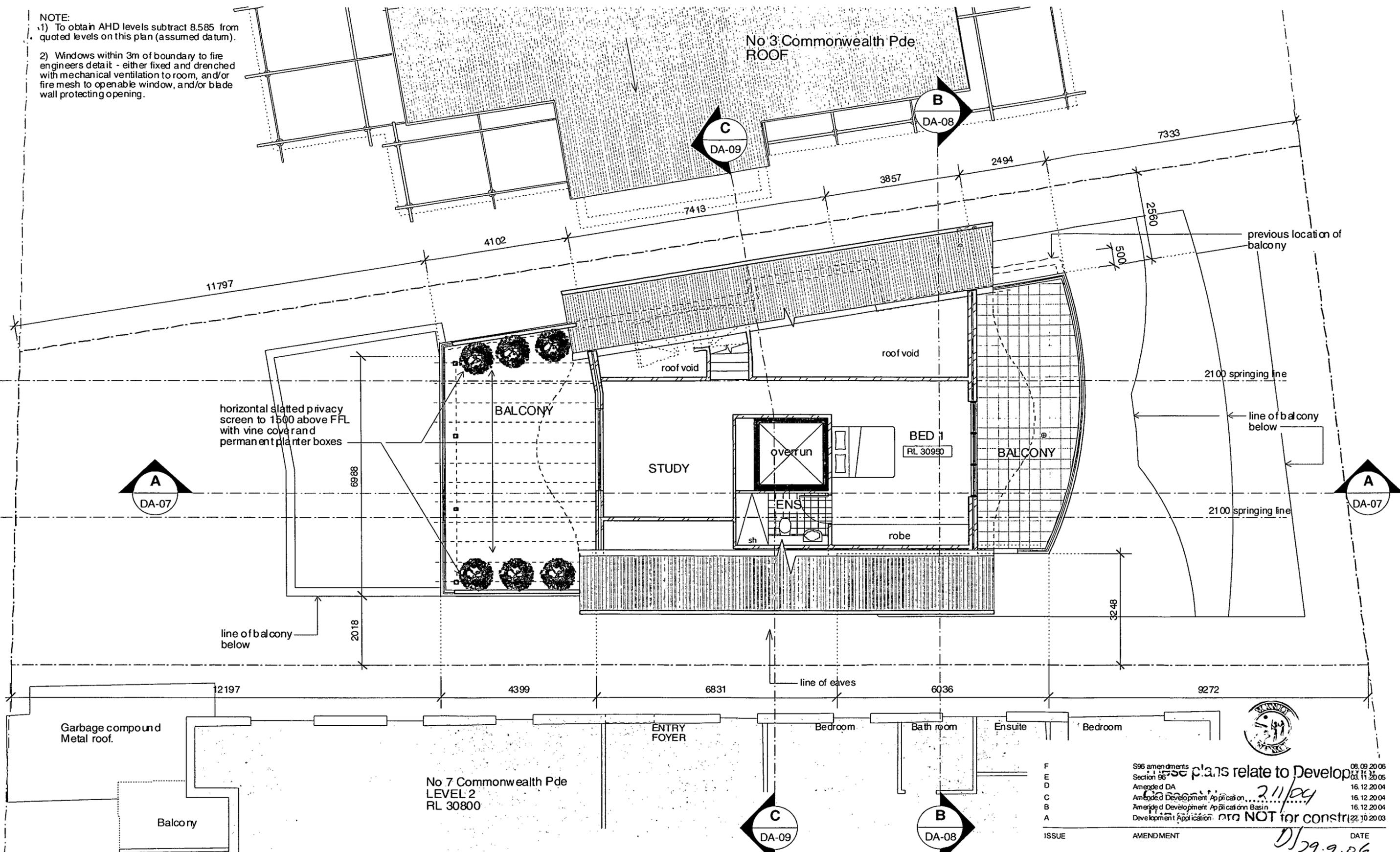
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A
DA-07

A
DA-07

C
DA-09

B
DA-08

NOTE:
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F	S96 amendments	08.09.2006
E	Section 95	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

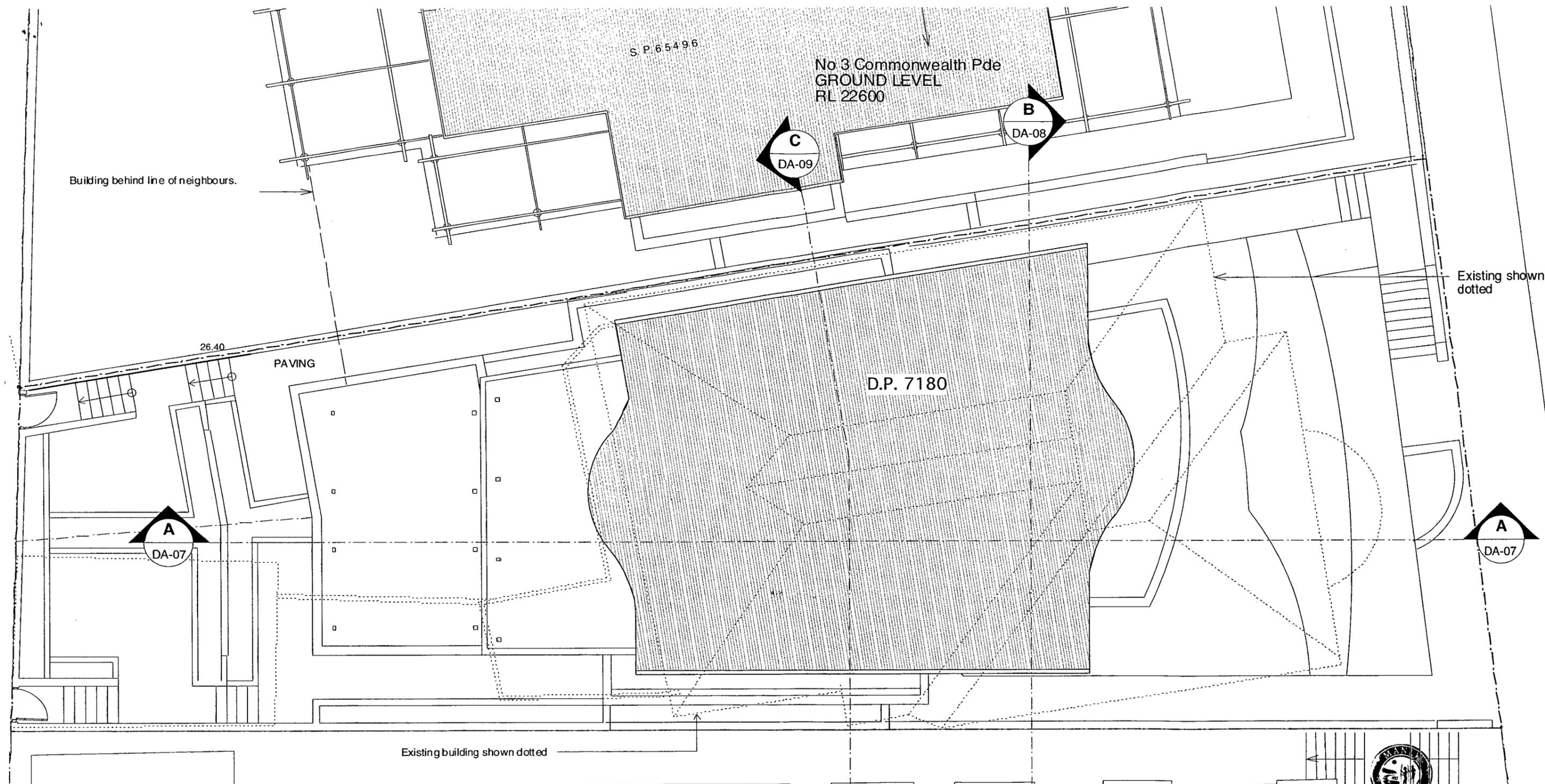
ISSUE AMENDMENT DATE
 Drawing LEVEL 3 PLAN
 Project Unit Development
 Client Mr C Koutsos

Scale 1:100 @ A3 Drawn: JE Dwg No 110.09/S96-06F

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Garbage compound
Metal roof.

ENTRY
FOYER
No 7 Commonwealth Pde
GROUND LEVEL
RL 23800

BED ROOM

BATH ROOM ENSUITE BED ROOM

These plans relate to Development
Consent No.: 211/04
This plan is NOT for construction
S96 amendments 08.09.2006
Section 96 03.11.2005
Amended DA 16.12.2004
Amended Development Application 16.12.2004
Front Stairs Moved - Retention Basin 16.03.2004
Development Application 22.10.2003

F
E
D
B
B
A

ISSUE

AMENDMENT

DATE

Drawing

Project

Client

ROOF PLAN

Unit Development
5 Commonwealth Parade, Manly

Mr C Koutsos

29.9.06

NOTE:
1) To obtain AHD levels subtract 8.585 from quoted levels on this plan (assumed datum).
2) Windows within 3m of boundary to fire engineers detail: - either fixed and drenched with mechanical ventilation to room, and/or fire mesh to openable window, and/or blade wall protecting opening.

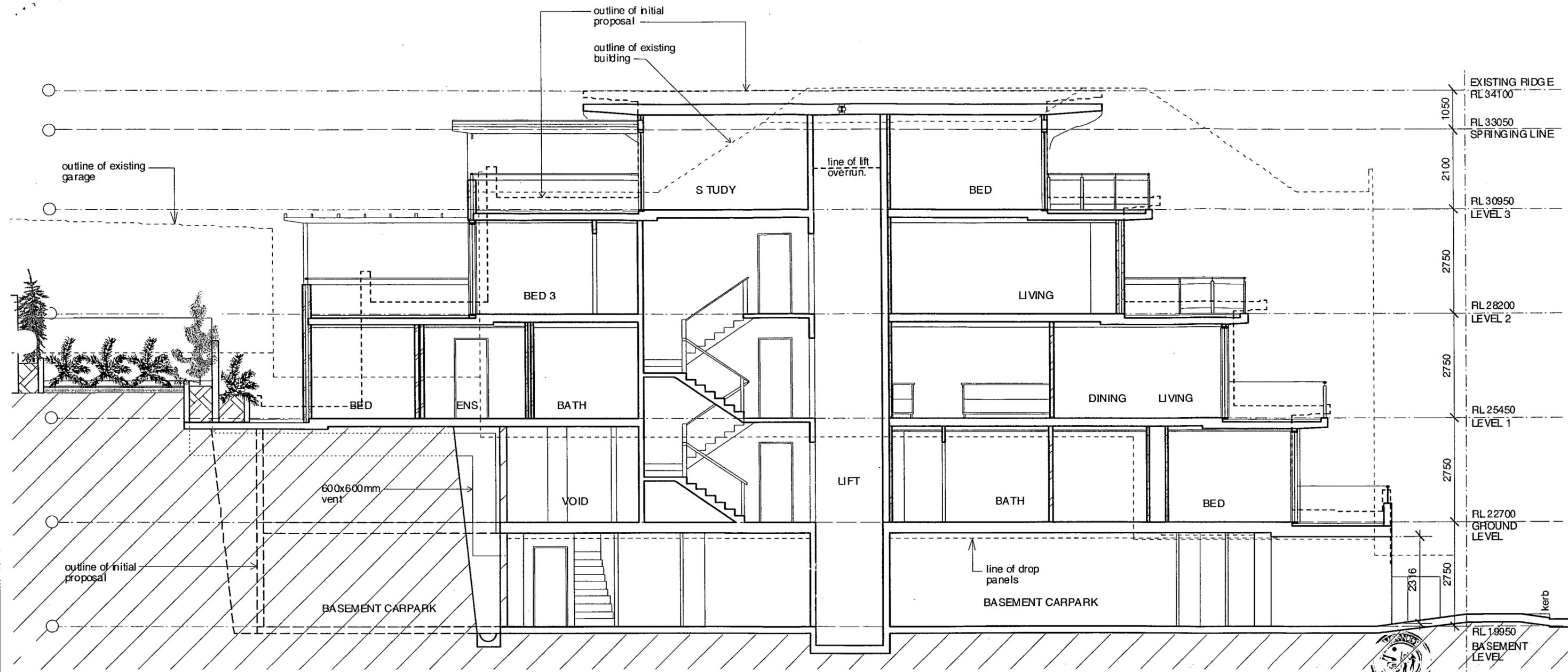


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Scale 1:100 @ A3 Drawn: JE

Dwg No 110.09/S96-07F



These plans relate to Development Consent No. 21104.
 The plans are NOT for construction.
 DJ 29.9.06

ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

NOTE:
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 2) Windows within 3m of boundary to fire engineers detail: - either fixed and drenched with mechanical ventilation to room, and/or fire mesh to openable window, and/or blade wall protecting opening.

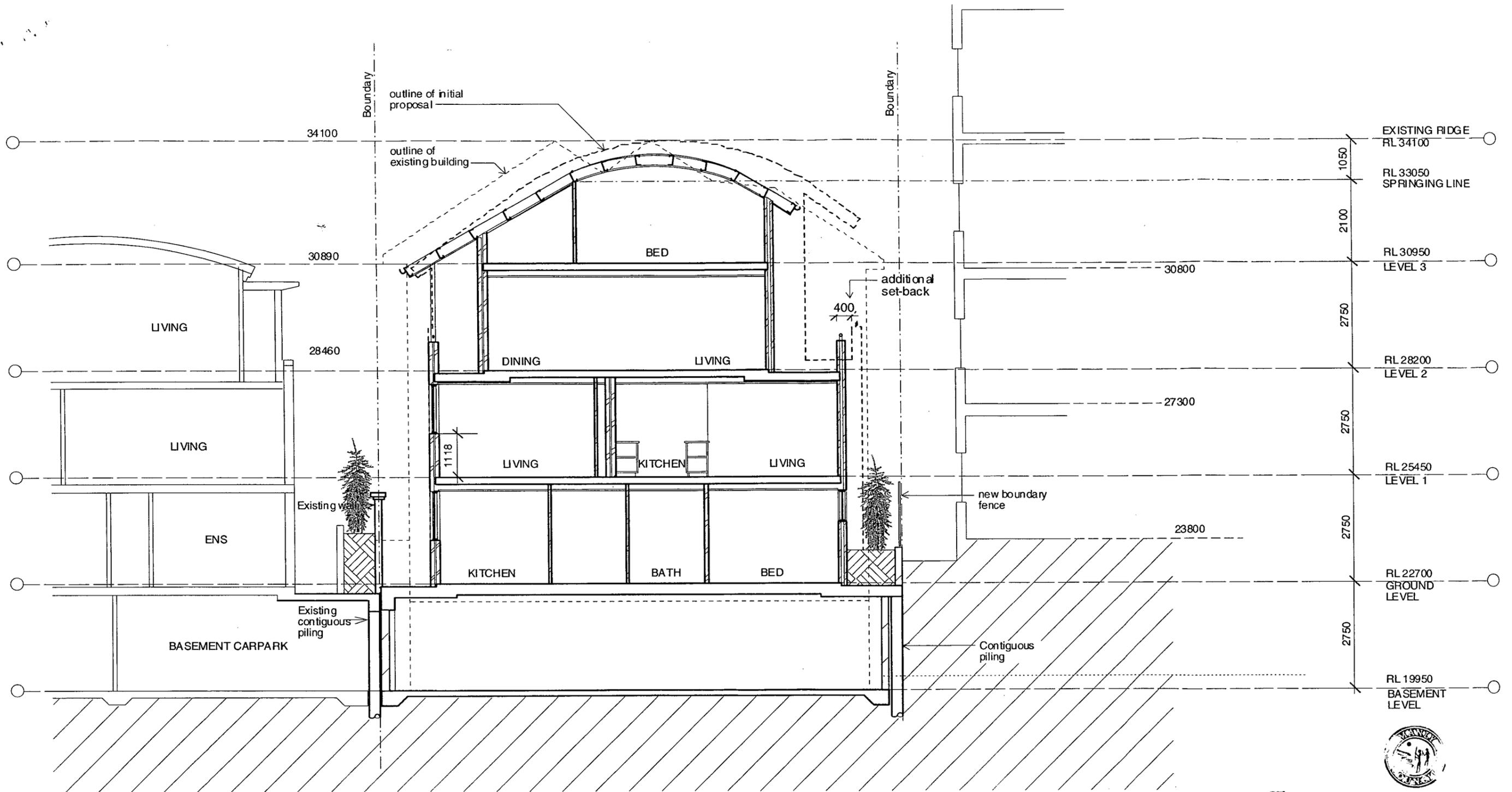
Drawing **SECTION A-A**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**



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These plans relate to Development Consent No. 211/04
 The plans are NOT for construction

ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

Drawing **SECTION B-B**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

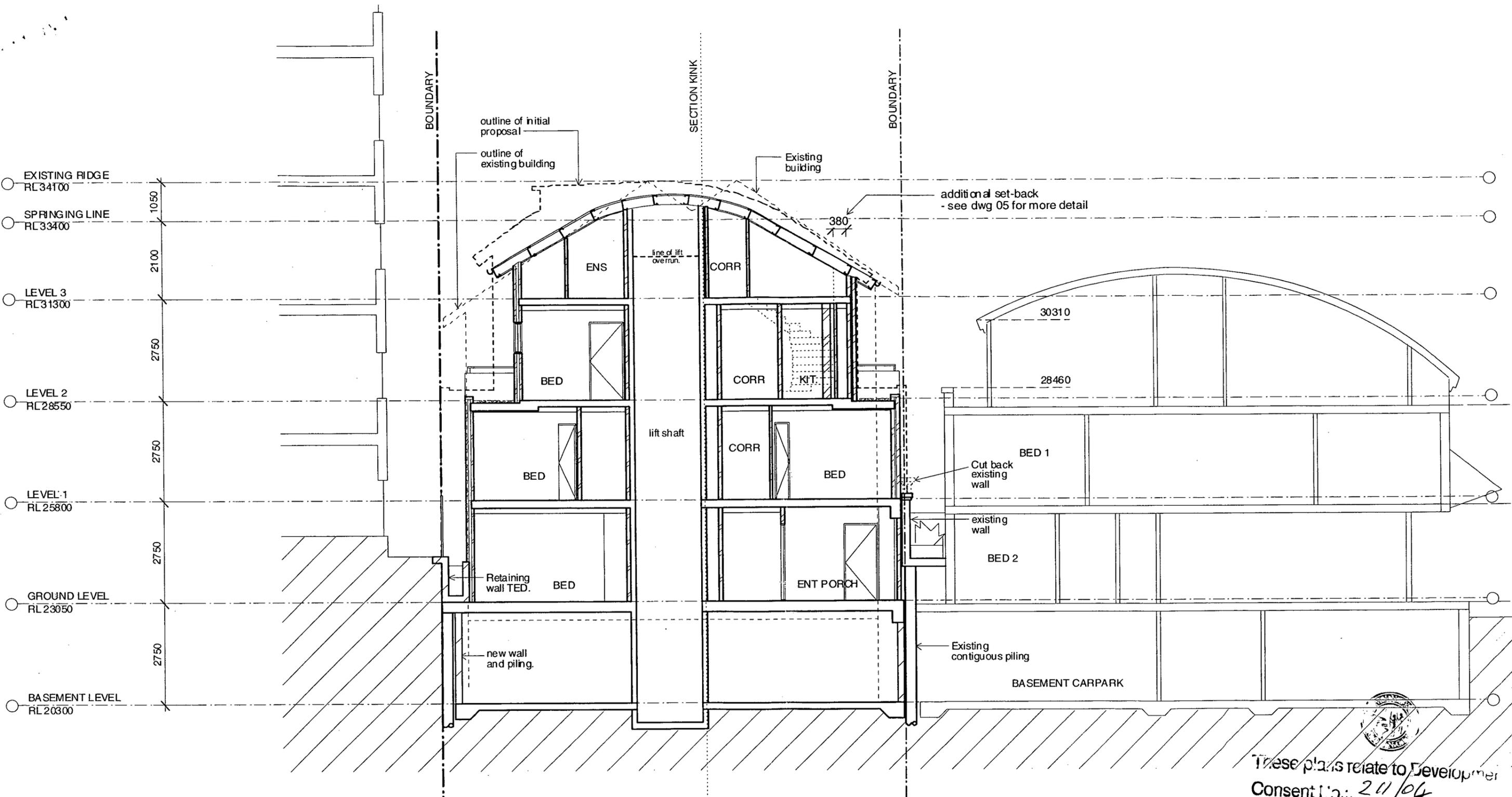
NOTE:
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 2) Windows within 3m of boundary to fire engineers detail: - either fixed and drenched with mechanical ventilation to room, and/or fire mesh to openable window, and/or blade wall protecting opening.



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These plans relate to Development Consent No. 211/04
 The plans are NOT for construction

ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

NOTE:
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Drawing **SECTION C-C**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

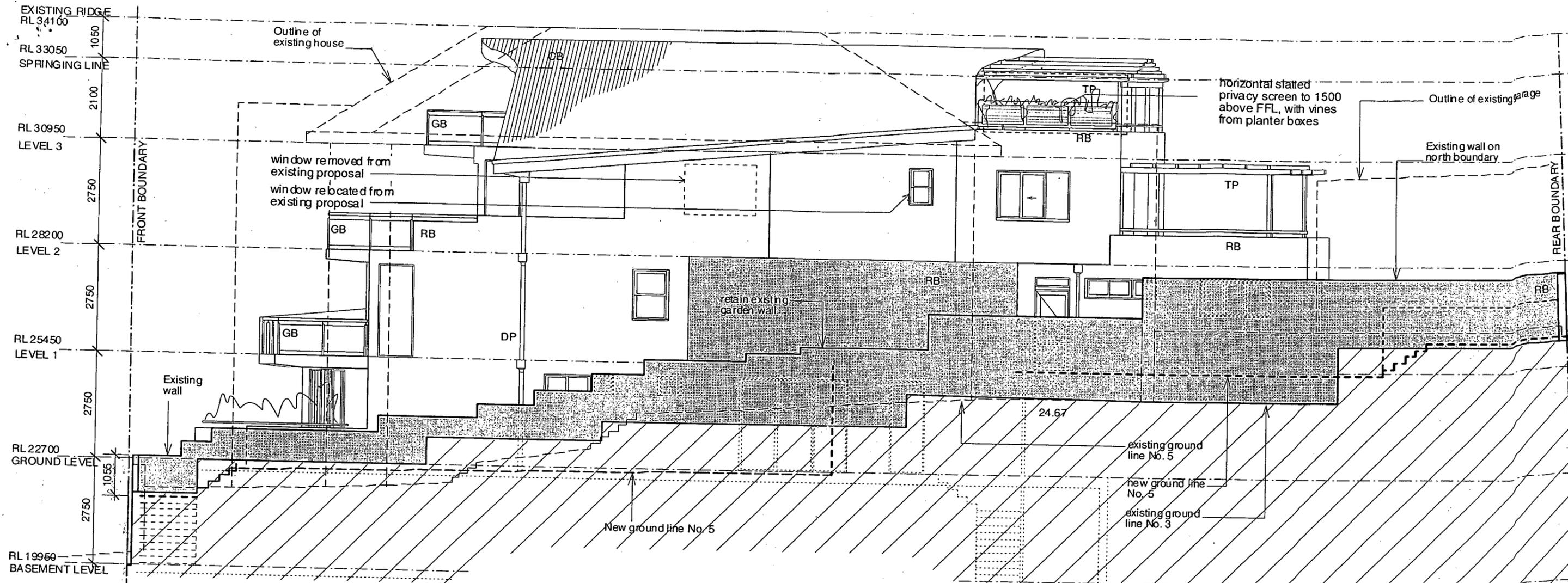


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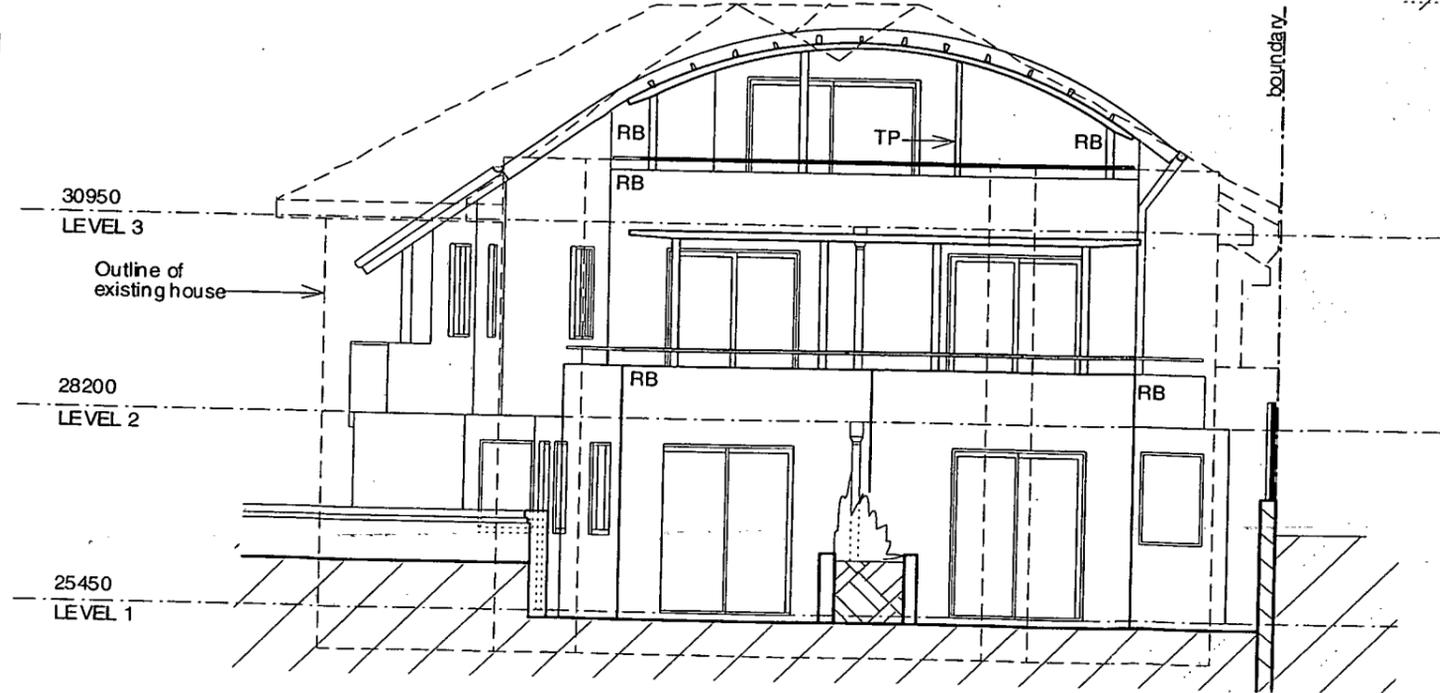
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Scale 1:100 @ A3 Drawn: JE Dwg No 110.09/S96-10F

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NORTH ELEVATION



WEST ELEVATION

LEGEND

CB	colorbond custom orb	SW	sandstone wall
RB	rendered brick	TP	timber & steel pergola
GB	glass balustrade	DP	downpipe
TD	tilta door - open mesh	VG	ventilation grille
TF	timber fence		

These plans relate to Development Consent No. 211/04
 The plans are NOT for construction

F	S96 amendments	03.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

ISSUE AMENDMENT DATE

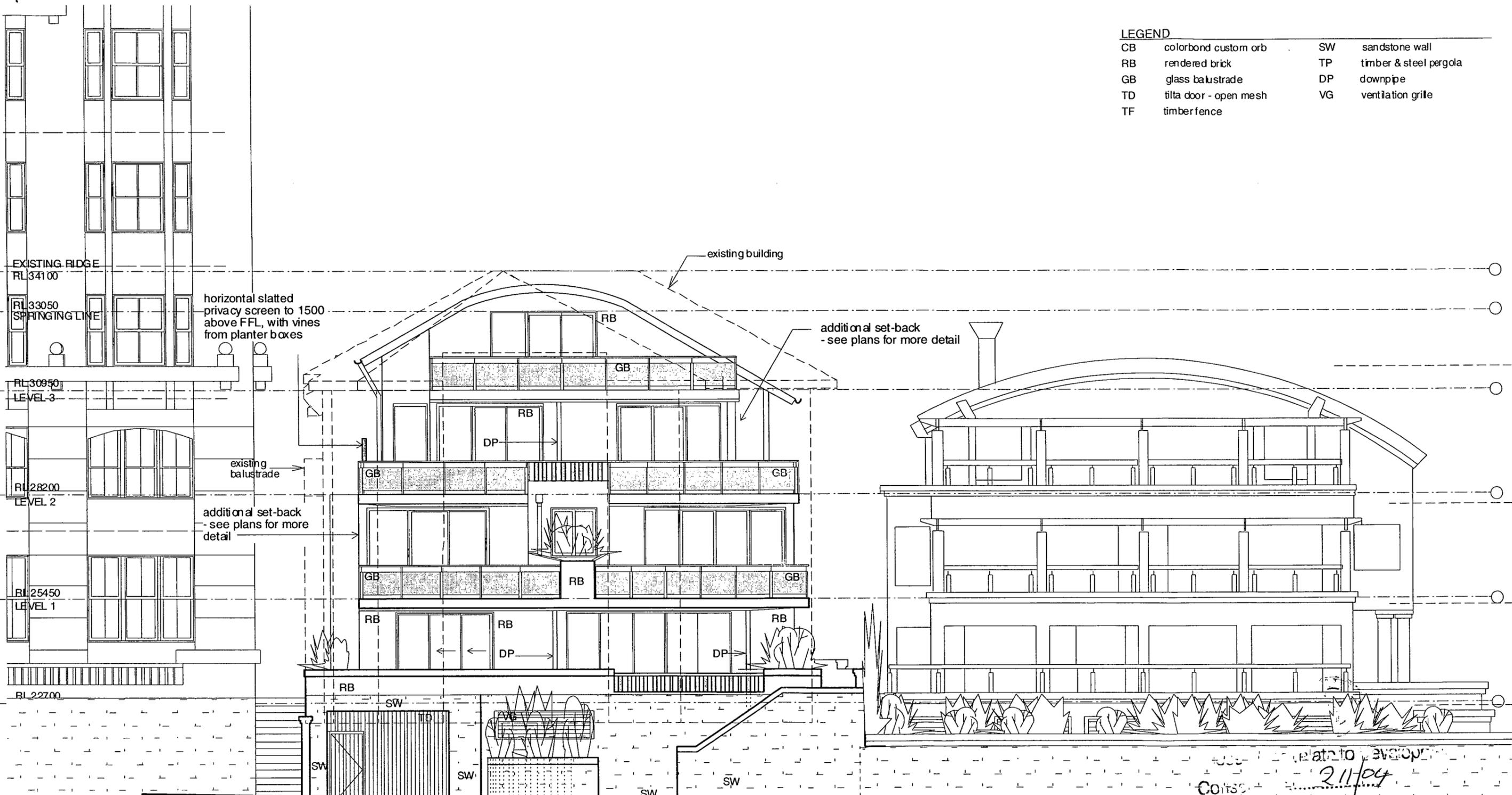
Drawing **NORTH AND WEST ELEVATIONS**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**

NOTE:
 1) To obtain AHD levels subtract 8.585 from quoted levels on this plan (assumed datum).
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LEGEND

CB	colorbond custom orb	SW	sandstone wall
RB	rendered brick	TP	timber & steel pergola
GB	glass balustrade	DP	downpipe
TD	tilla door - open mesh	VG	ventilation grille
TF	timber fence		

EXISTING RIDGE
RL 34100

RL 33050
SPRINGING LINE

horizontal slatted privacy screen to 1500 above FFL, with vines from planter boxes

RL 30950
LEVEL 3

existing balustrade

RL 28200
LEVEL 2

additional set-back - see plans for more detail

RL 25450
LEVEL 1

RL 22700

RL 19950
BASEMENT LEVEL

additional set-back - see plans for more detail

existing building

21/04
29-9-06

ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2010
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.03.2004
B	Front Stairs Moved - Retention Basin	16.12.2004
A	Development Application	22.10.2003

NOTE:
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Drawing **EAST ELEVATION**
 Project **Unit Development**
 5 Commonwealth Parade, Manly
 Client **Mr C Koutsos**



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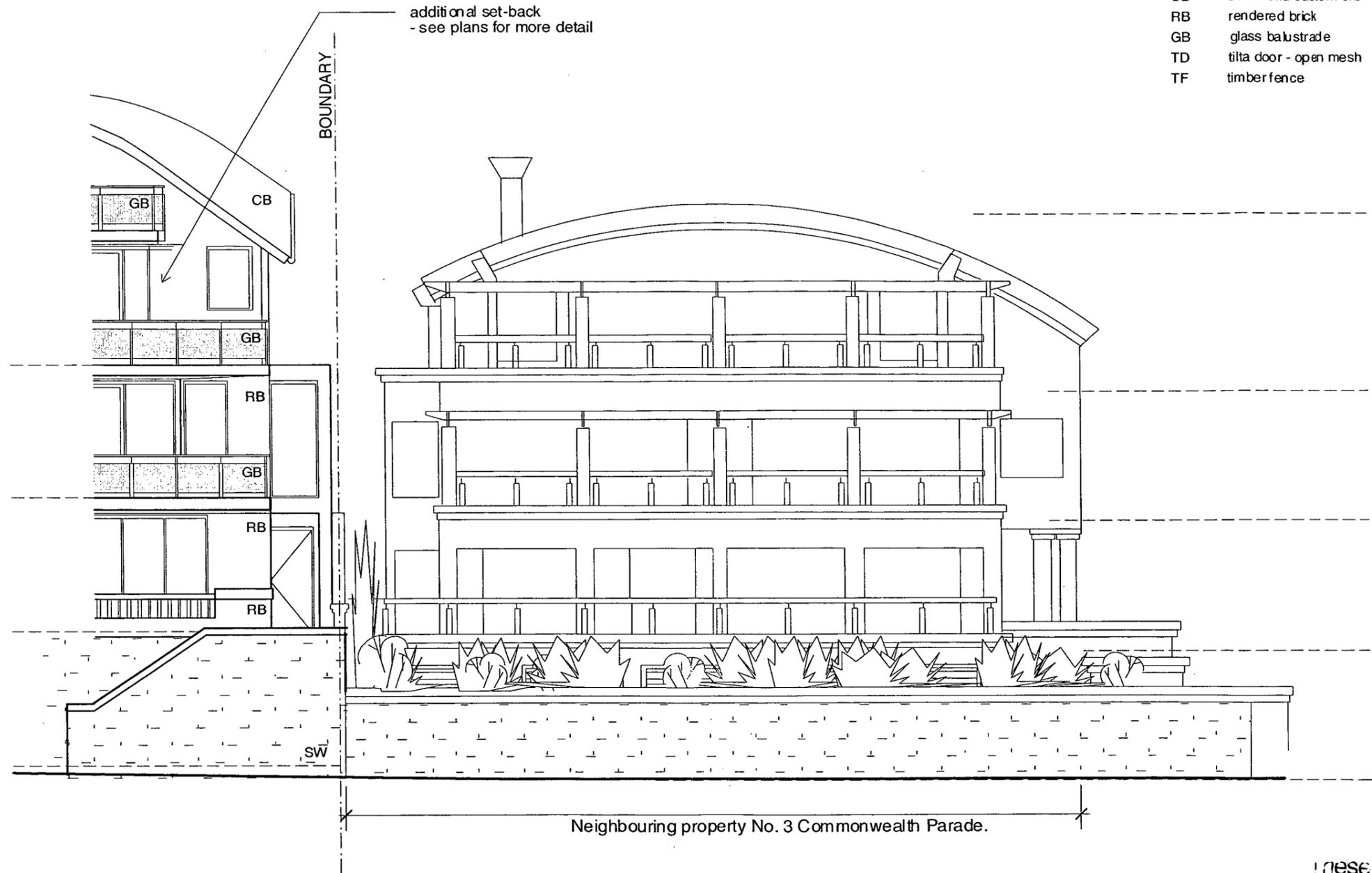
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LEGEND

CB	colorbond custom orb	SW	sandstone wall
RB	rendered brick	TP	timber & steel pergola
GB	glass balustrade	DP	downpipe
TD	tilla door - open mesh	VG	ventilation grille
TF	timber fence		



These plans relate to Development
 Consent No. 211/04
 They are NOT for construction
 DJ 29.9.06

F	S96 amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.03.2004
B	Front Stairs Modification - Retention Basin	16.12.2004
A	Development Application	22.10.2003

ISSUE	AMENDMENT	DATE
Drawing	EAST ELEVATION	
Project	Relation With Direct Elevation to No. 3	
Client	Unit Development	
	5 Commonwealth Parade, Manly	
	Mr C Koutsos	

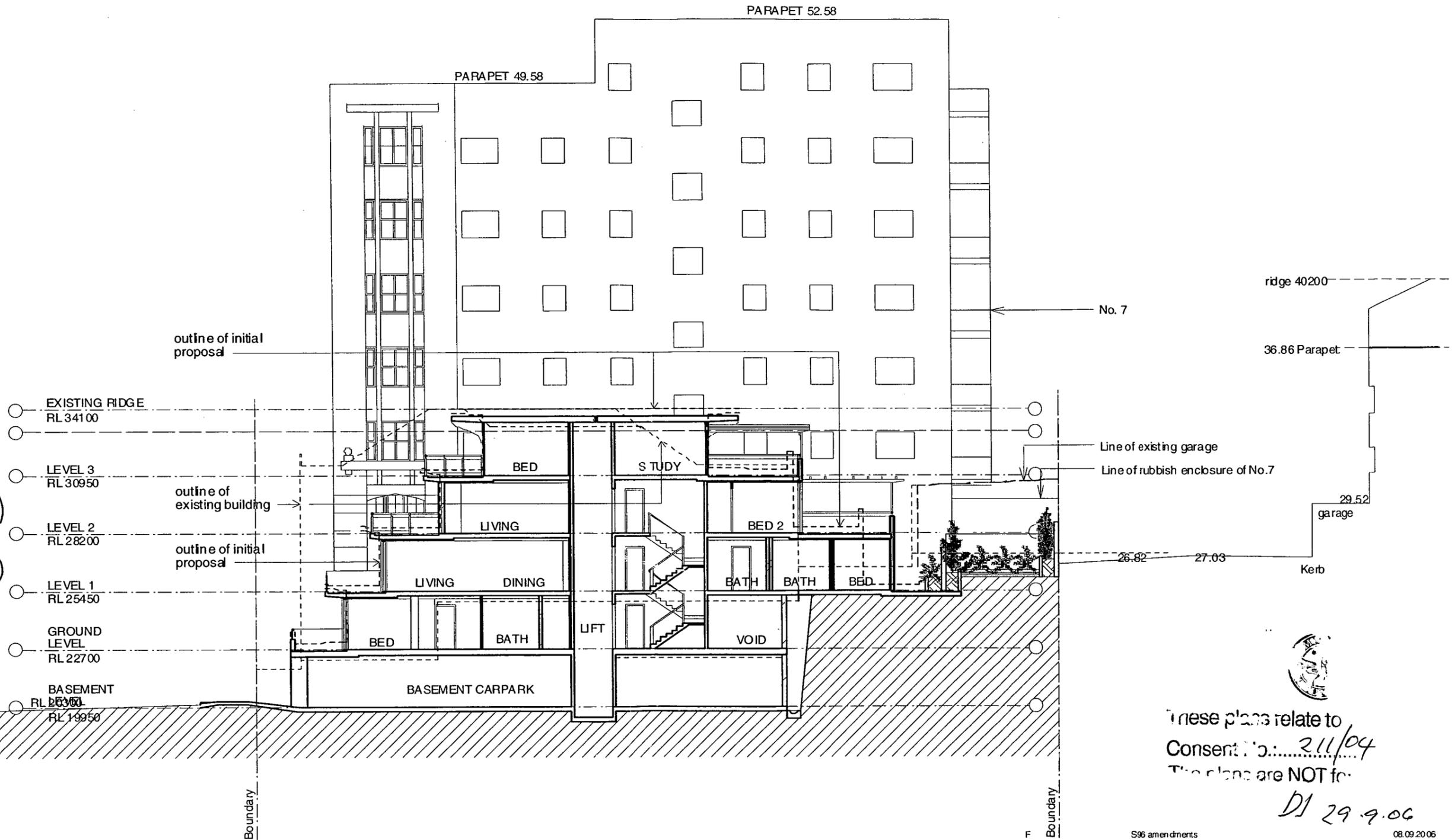
NOTE:

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ISSUE	AMENDMENT	DATE
F	S96 amendments	08.09.2006
E	Section 96	03.11.2005
D	Amended DA	16.12.2004
C	Amended Development Application	16.12.2004
B	Amended Development Application Basin	16.12.2004
A	Development Application	22.10.2003

ISSUE	AMENDMENT	DATE
Drawing	SECTION A-A with context	
Project	Unit Development 5 Commonwealth Parade, Manly	
Client	Mr C Koutsos	

NOTE:
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