

DRAWING LIST	
00	LOT 2 - COVER SHEET
01	LOT 2 - BASIX NOTES
02	LOT 2 - LOCATION PLAN
03	LOT 2 - SITE ANALYSIS
04	LOT 2 - SITE PLAN
05	LOT 2 - CUT AND FILL PLAN
06	LOT 2 - GROUND FLOOR PLAN
07	LOT 2 - FIRST FLOOR PLAN
08	LOT 2 - SECOND FLOOR PLAN
09	LOT 2 ROOF PLAN
10	LOT 2 - SECTION A
11	LOT 2 - SECTION B
12	LOT 2 - SOUTH & WEST ELEVATIONS
13	LOT 2 - NORTH & EAST ELEVATIONS
14	LOT 2 - WASTE MANAGEMNET PLAN
15	LOT 2 - PERSPECTIVE
16	LOT 2 - EXTERNAL FINISHES
17	LOT 2 - SHADOW DIAGRAMS
18	LOT 2 - AREA CALCULATIONS
19	LOT 2 - WINDOWS SCHEDULE 1/3
20	LOT 2 - WINDOWS SCHEDULE 2/3
21	LOT 2 - WINDOWS SCHEDULE 3/3
22	LOT 2 - NOTIFICATION PLAN



LOT 2 - 6 ORCHARD ROAD, WARRIEWOOD
WARRIEWOOD HOUSING

P563

DEVELOPMENT APPLICATION

September, 2022

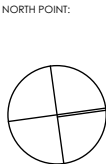
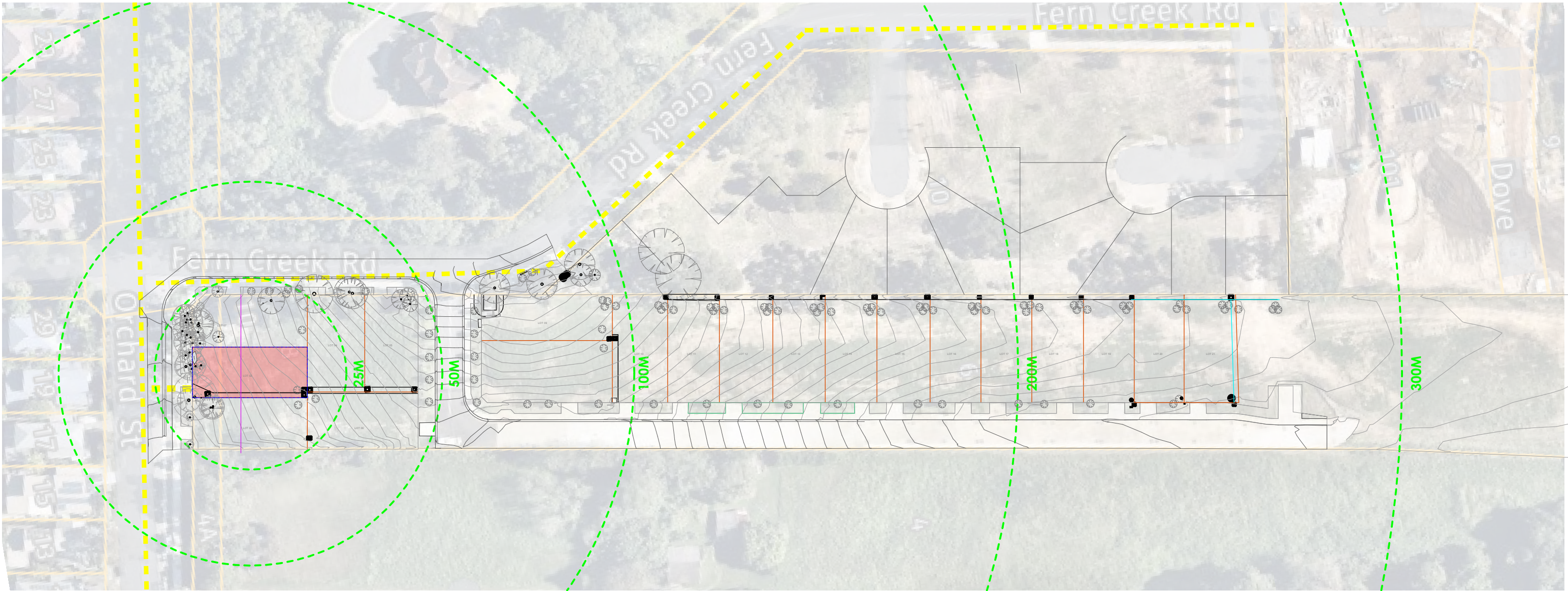
PREPARED FOR

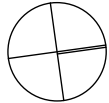
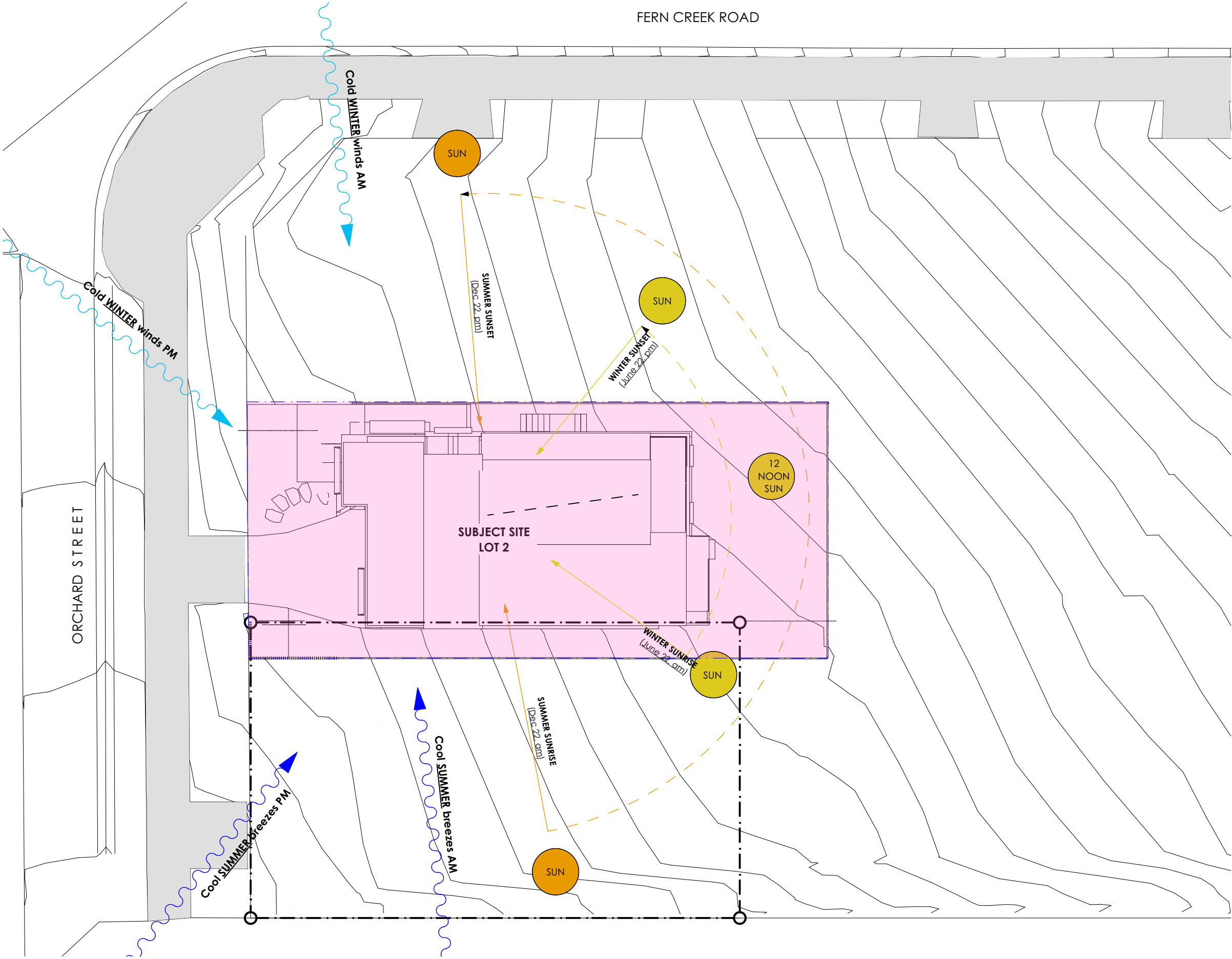
SKYCORN AUSTRALIA

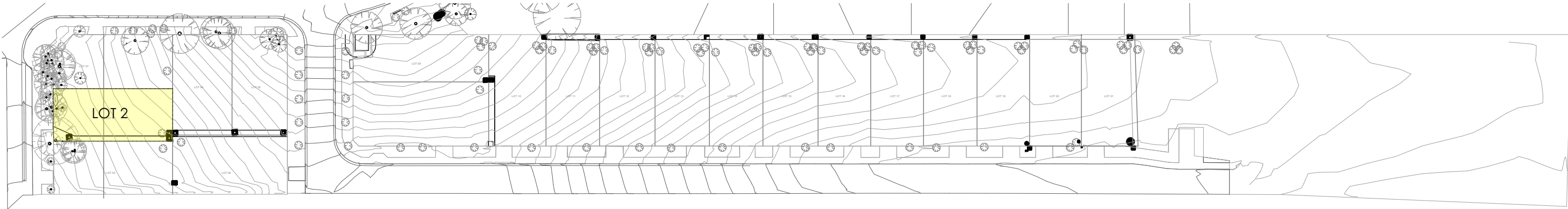
BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
WATER		No hot water reticulation required		
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star(>4.5 But<=6L/Min)	4 star	5 star	5 star
Alternate water source				
Rain Water Tank	Type	Size	Roof area connected	Connections
	Individual RWT	3000L	100 m2	Outdoor tap only
Swimming pool		...		
	Volume	Heated	Cover	Shaded
...	...	...	...	...
ENERGY				
Hot water	Type		Rating	
	Individual, gas instantaneous		5 star	
Mech. Ventilation	System		Operation Control	
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Cooling System	Type		Living areas	Bed rooms
	1 Phase Air conditioning: Day / Night Zoned		3 star (average zone)	3 star (average zone)
Heating System	Type		Living areas	Bed rooms
	1 Phase Air conditioning: Day / Night Zoned		3 star (average zone)	3 star (average zone)
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
	No. of Bed rms & study	No. of Living	Each Kitchen, Bath / Toilet	L'dry & Hallway
	All	All	Yes	Yes
Others	Indoor private Cloth Line		Not Required	
	Outdoor or sheltered Cloth Line		Yes	
	Well ventilated Fridge space		No	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
THERMAL				
	External Wall Insulation: R2.06 (BV Walls); R2.0 (framed walls)			
	Ceiling Insulation: R3.45			
	Roof type / colour :Metal roof flat ceiling / pitched roof, raked ceiling / pitced or skillion roof, Medium Colour (SA 0.475 - 0.7) + SS Foil (R1.3)			
	ALM-002-01 A: Aluminium B SG Clear U=6.7 SHGC =0.70			
	Skylight: Aluminimum, moulded plastic single clear SG Clear U=6.7 SHGC =0.70			
	All External doors & windows to be weather sealed			
	Eaves / shading as per drawings			



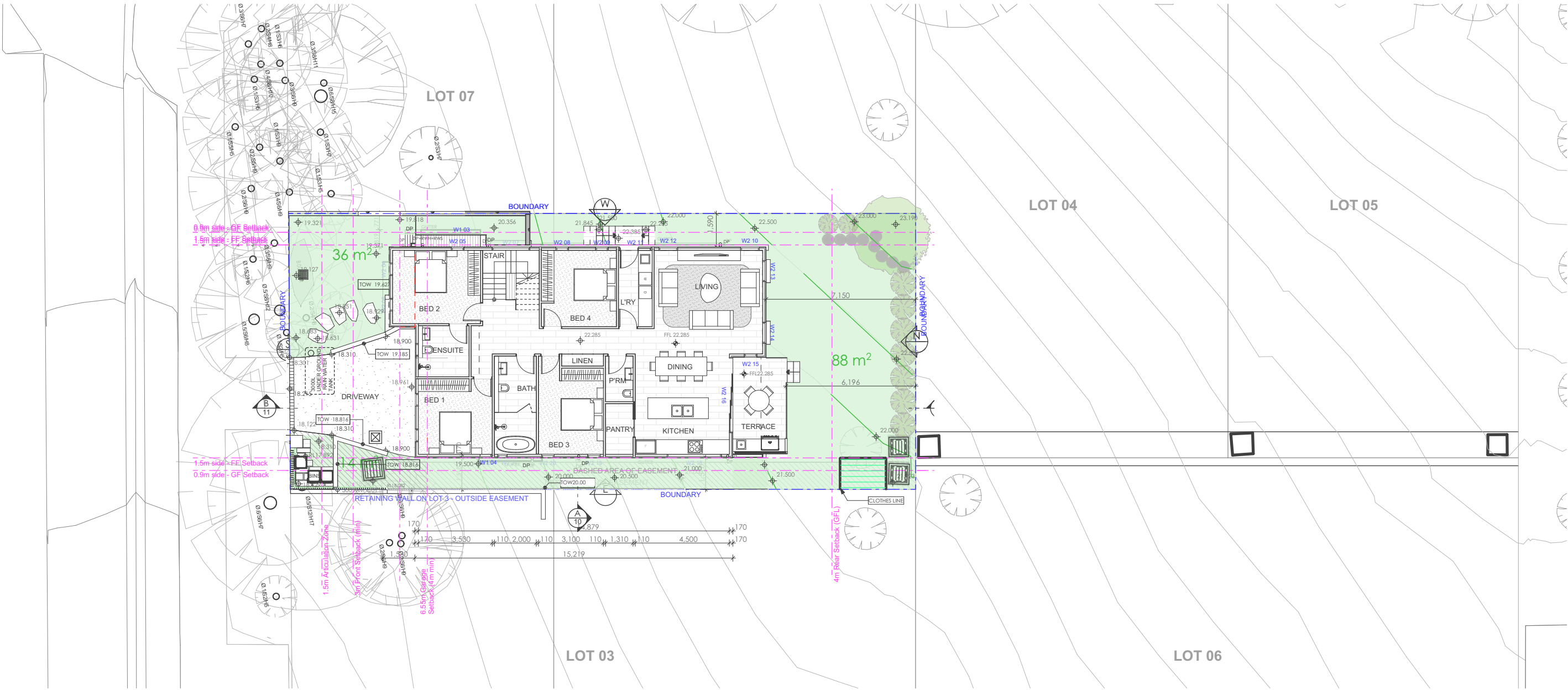
BASIX COMMITMENTS



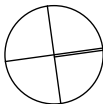


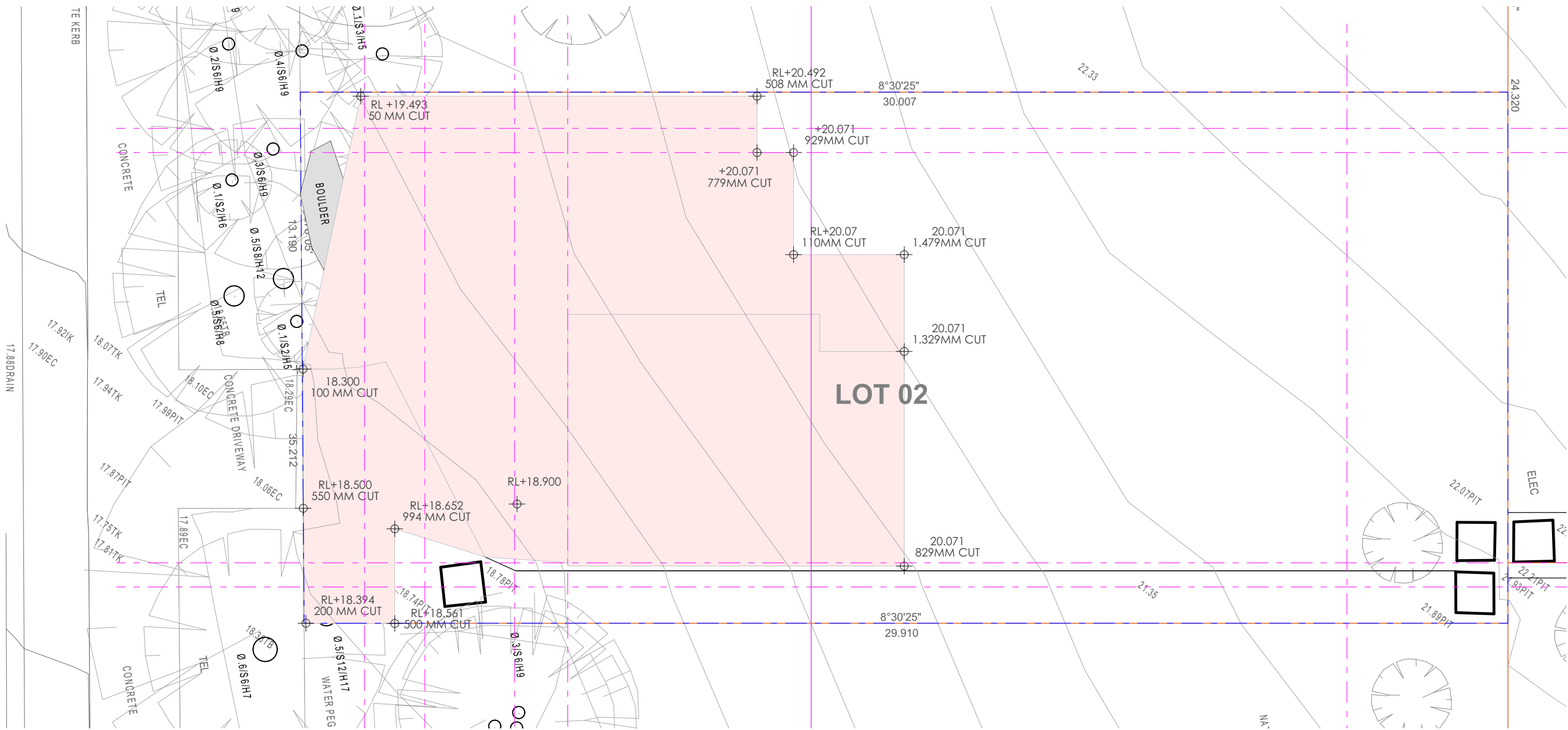


1 KEY MAP
1:1000



2 SITE PLAN
1:200



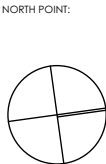


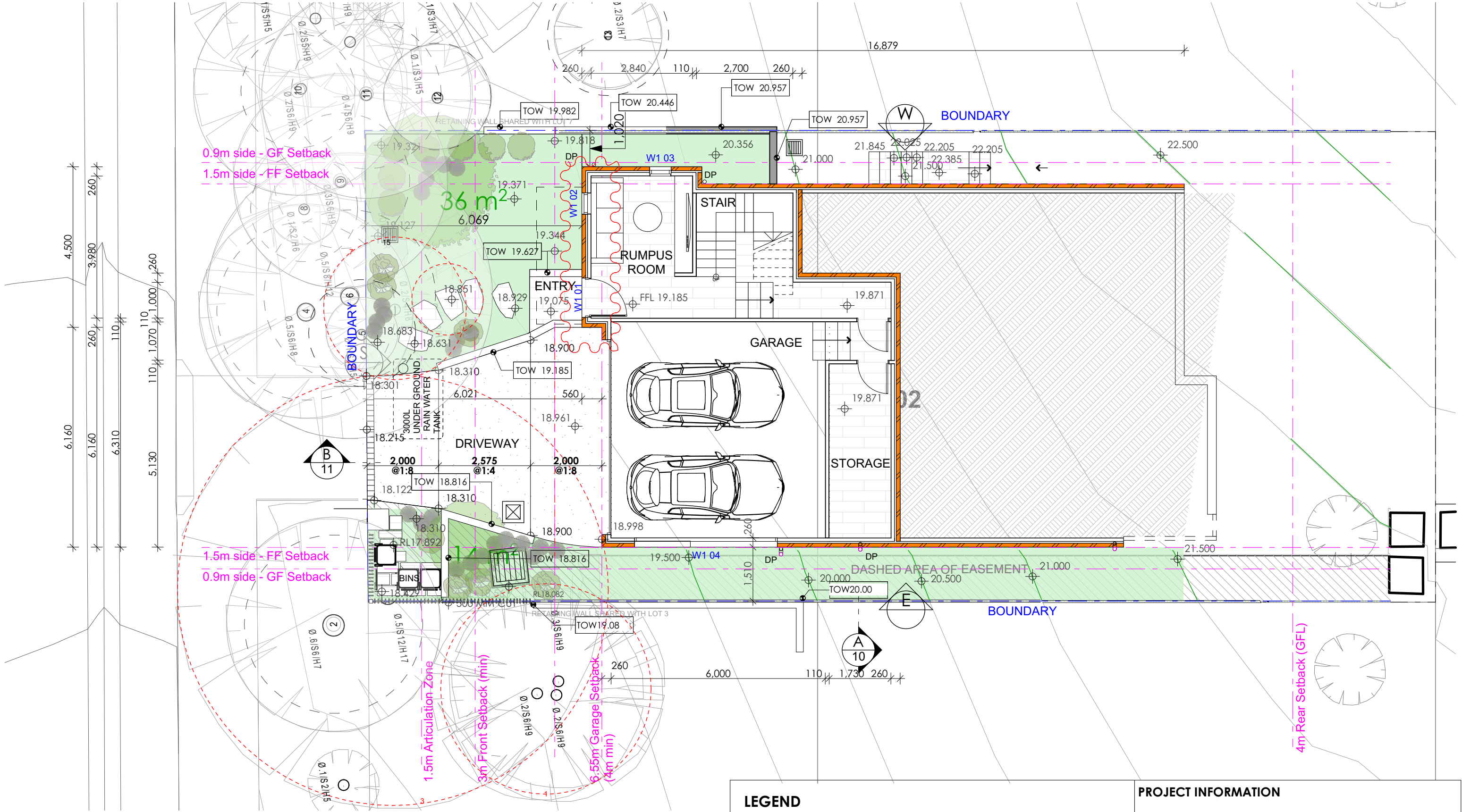
1 CUT AND FILL PLAN
1:100

LEGEND

CUT

FILL





1 GROUND FLOOR
1:100

LEGEND

- EXISTING TREES
- STRUCTURAL ROOT ZONE
- RELOCATED TREES
- TREES TO BE REMOVED

PROJECT INFORMATION

SITE AREA (LOT 02)	= 395M2
MAX FLOOR AREA	= N/A
LANDSCAPE AREA 35% OF SITE	= 138.25M2
PROPOSED LANDSCAPE AREA	= 138M2

REV	DESCRIPTION
P5	DRAFT ISSUE
P6	DRAFT ISSUE
P7	ISSUE FOR DA
P8	LANDSCAPE AND SETBACK REVISION

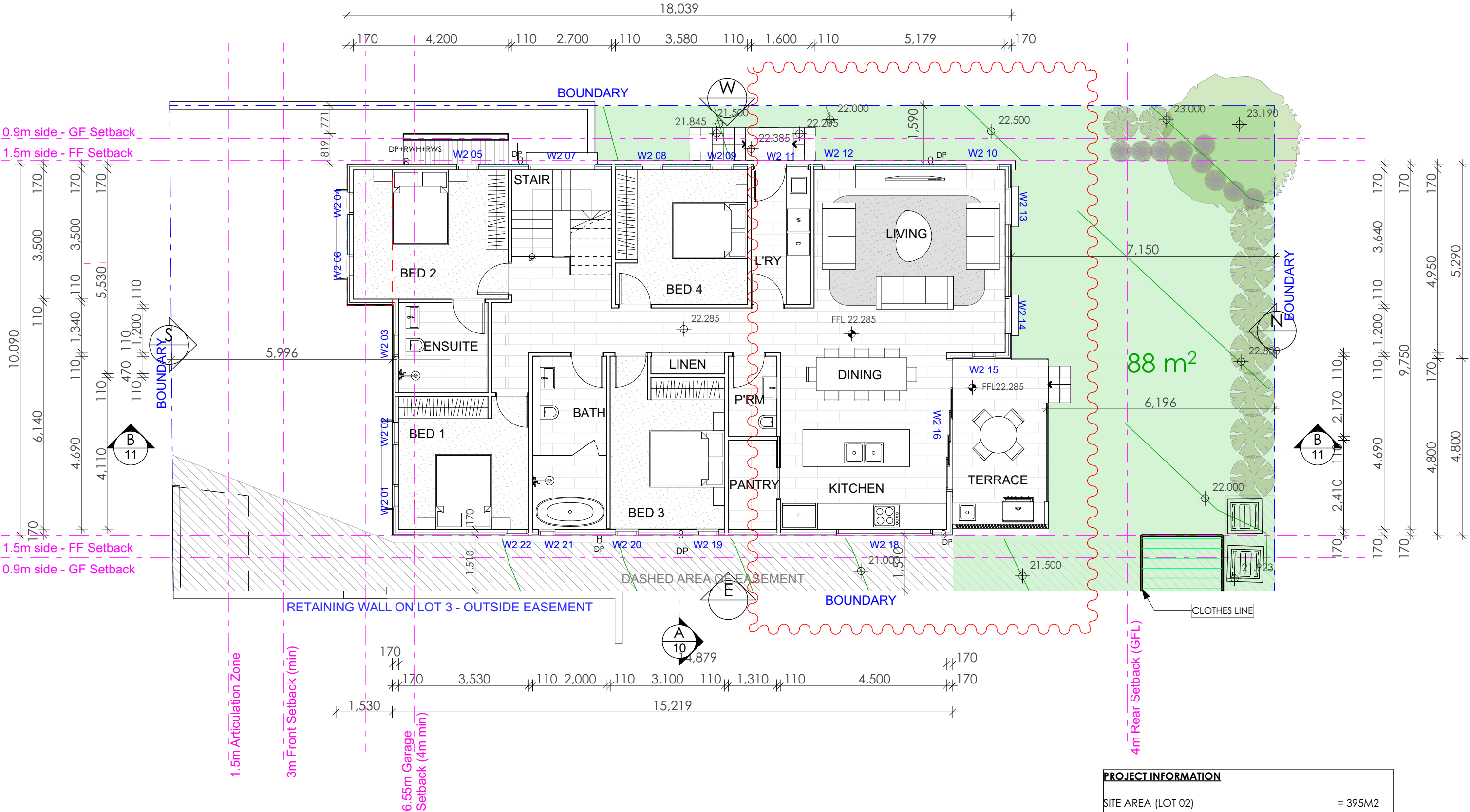
BY	DATE
GF	15.09.22
GF	15.09.26
TC	15.09.30
GF	08.06.23

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 2 - GROUND FLOOR PLAN

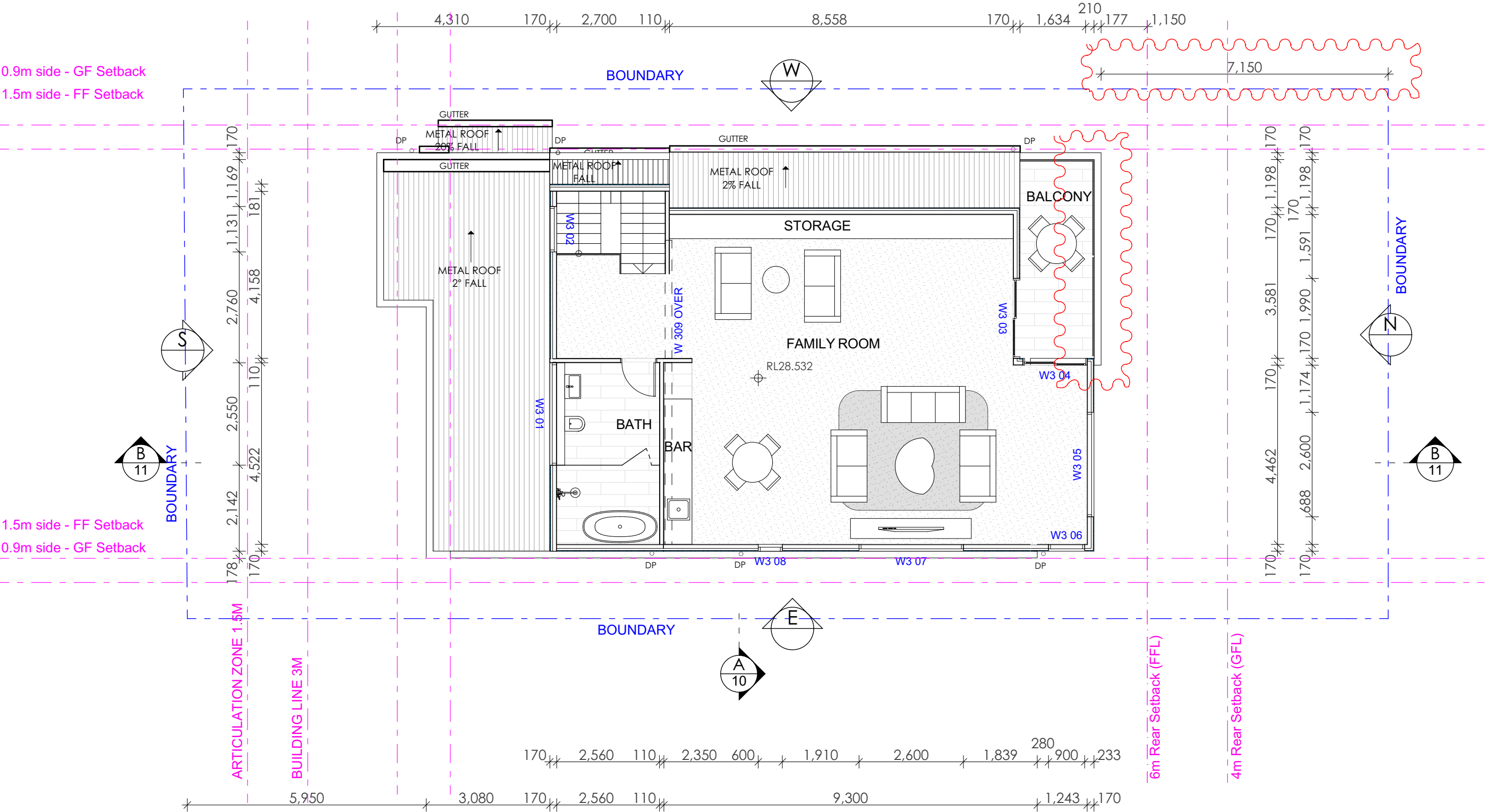
NORTH POINT:	DRAWN BY: CR	
	CHECKED BY: PI	
	SCALE:	
	PROJECT No: P563	
		
DA	06	P8
stage.	dwg no.	revision



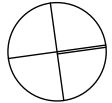
1 FIRST FLOOR
1:100

PROJECT INFORMATION	
SITE AREA (LOT 02)	= 395M2
MAX FLOOR AREA	= N/A
LANDSCAPE AREA 35% OF SITE	= 138.25M2
PROPOSED LANDSCAPE AREA	= 138M2





PROJECT INFORMATION	
SITE AREA (LOT 02)	= 395M2
MAX FLOOR AREA	= N/A
LANDSCAPE AREA 35% OF SITE	= 138.25M2
PROPOSED LANDSCAPE AREA	= 138M2



0.9m side - GF Setback
1.5m side - FF Setback

1.5m side - FF Setback
0.9m side - GF Setback

BOUNDARY

BOUNDARY

BOUNDARY

BOUNDARY

ARTICULATION ZONE 1.5M

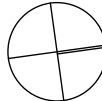
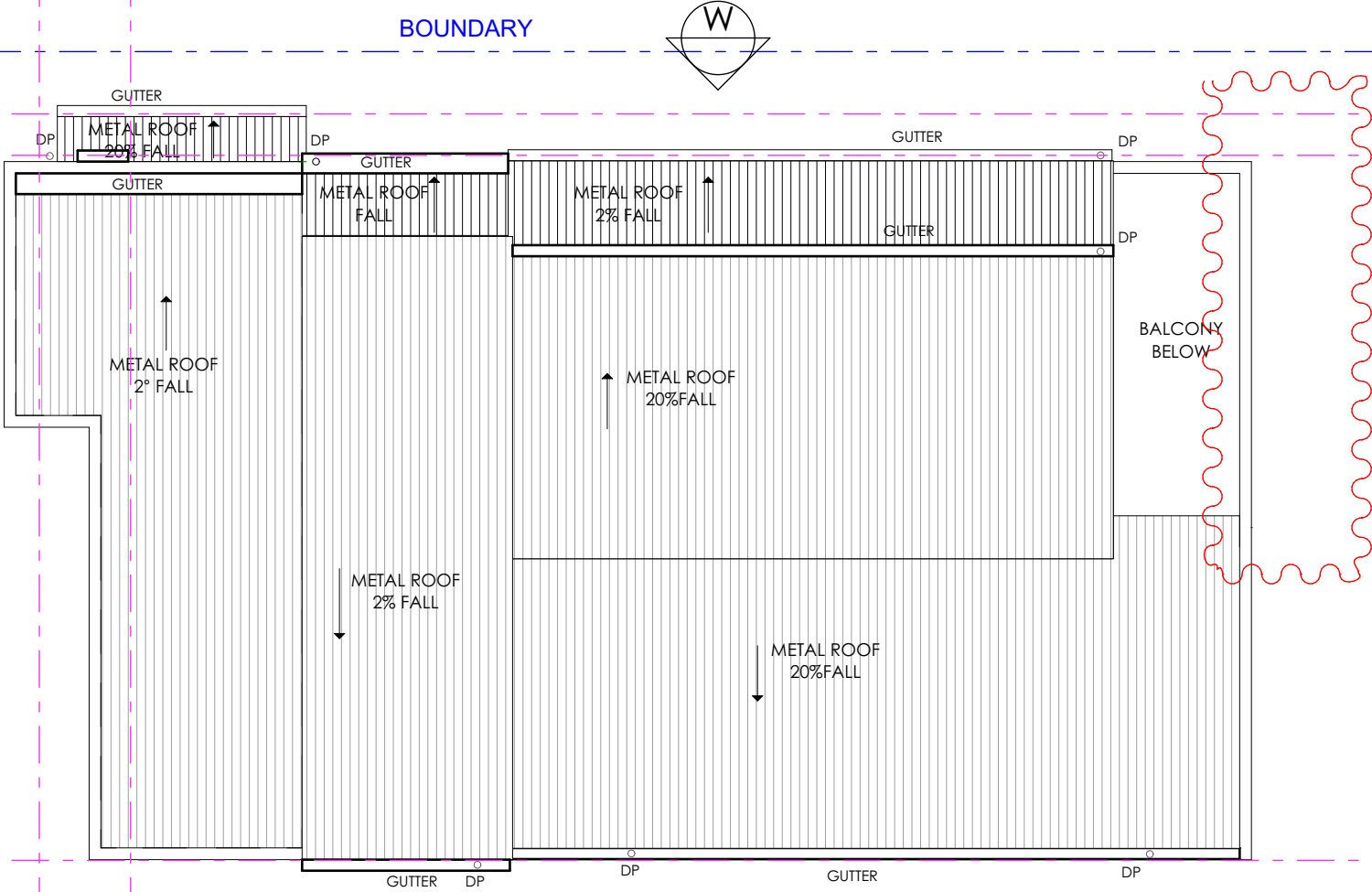
BUILDING LINE 3M

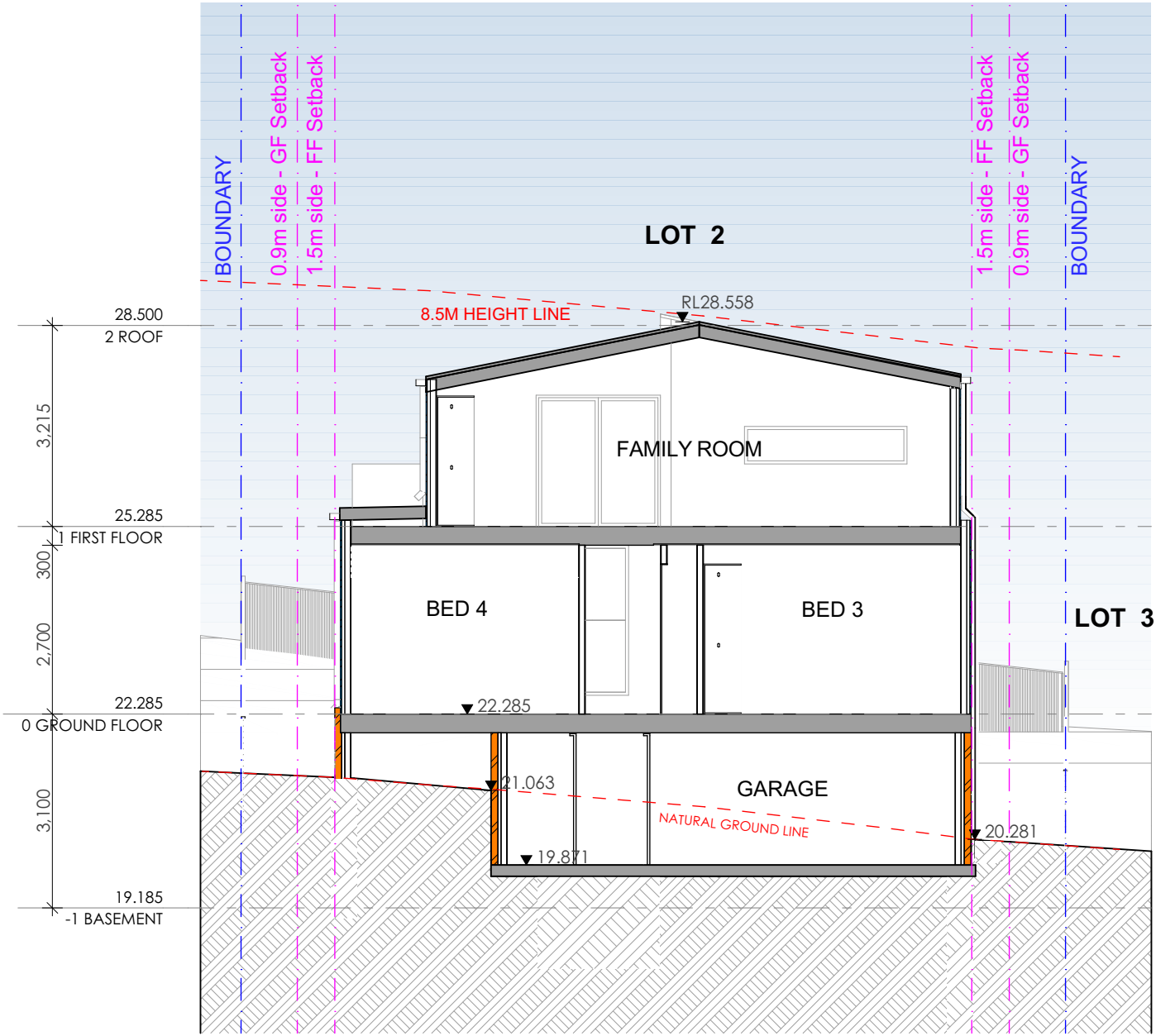
GARAGE 4M

6m Rear Setback (FFL)

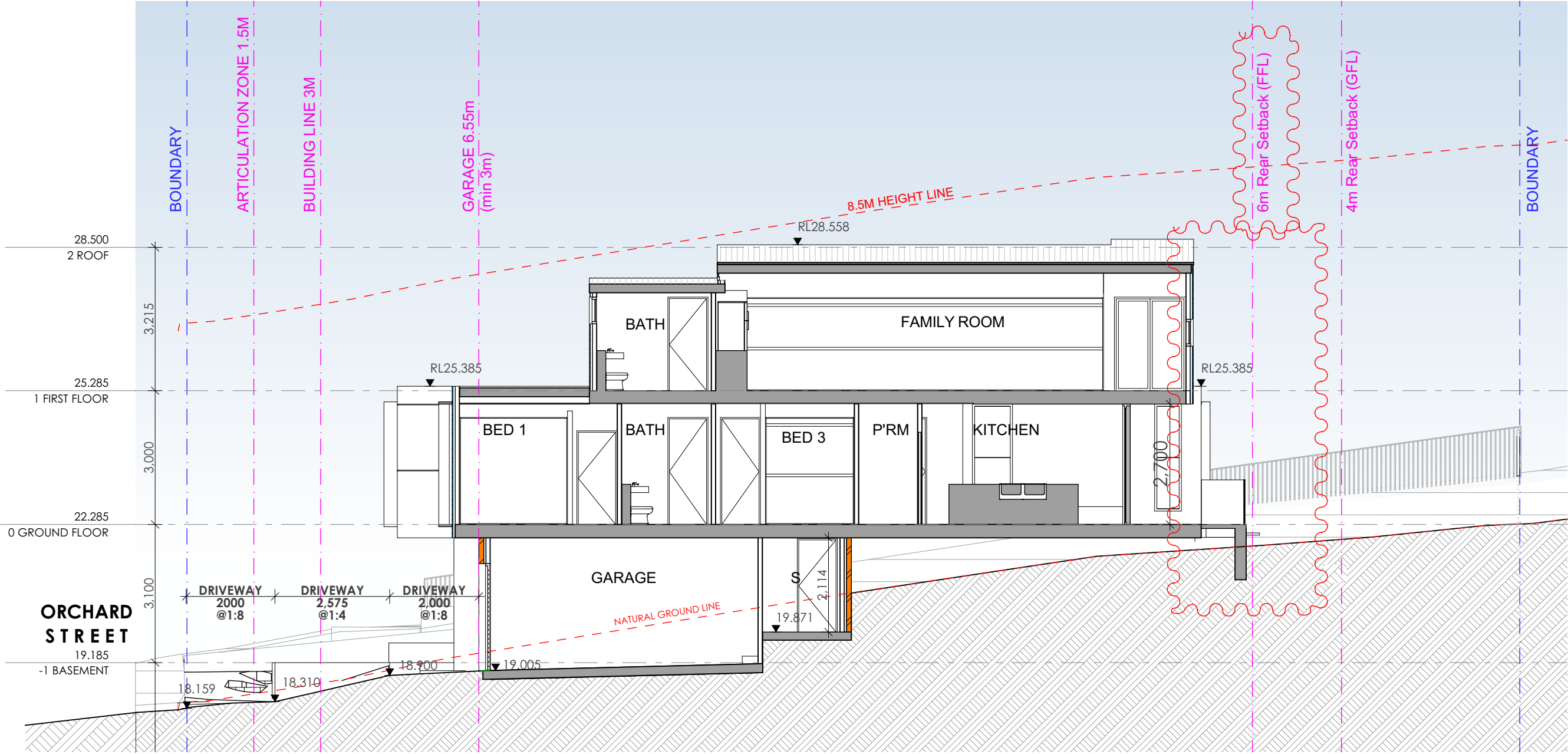
4m Rear Setback (GFL)

1 ROOF PLAN
1:100



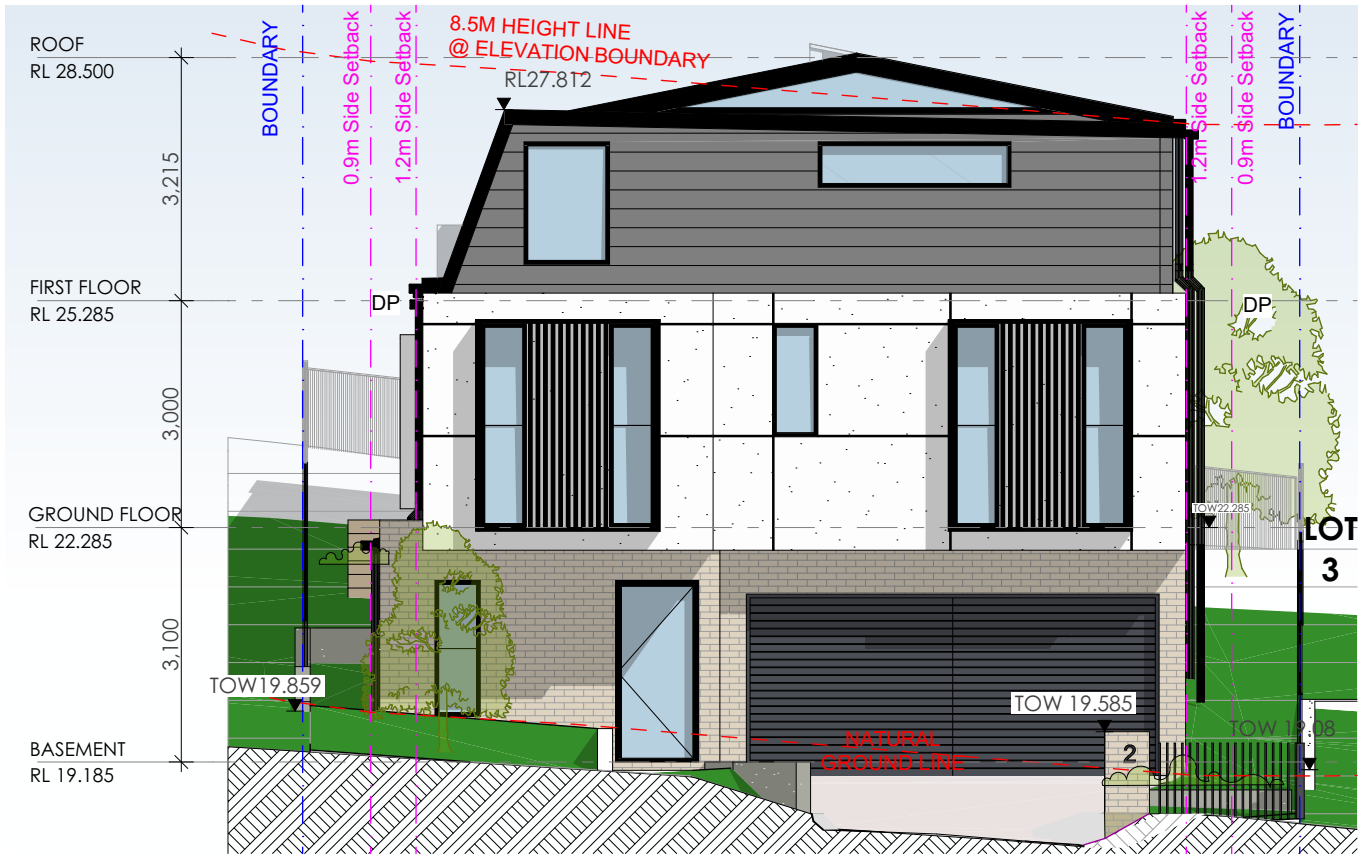


1 SECTION A
1:100



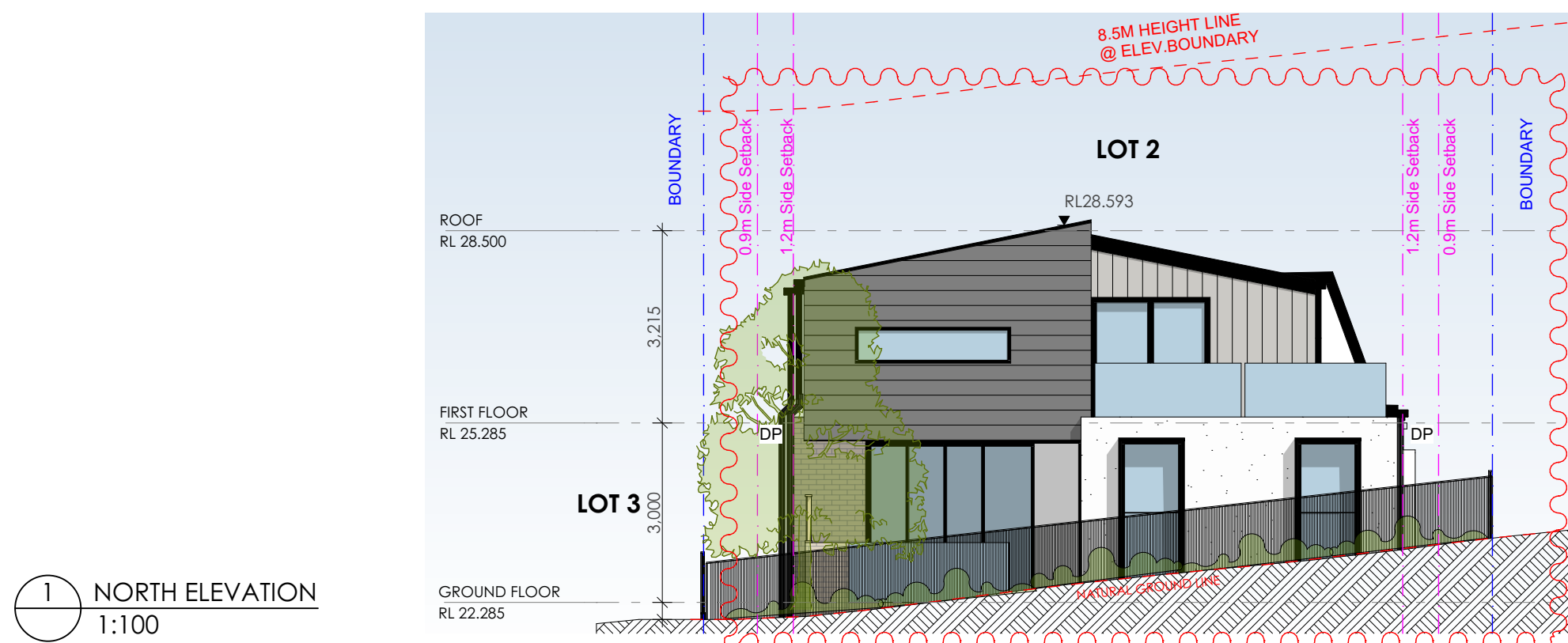
1 SECTION B
1:100

1 SOUTH ELEVATION



2 WEST ELEVATION





REV	DESCRIPTION	BY	DATE
P5	DRAFT ISSUE	GF	15.09.22
P6	DRAFT ISSUE	GF	15.09.26
P7	ISSUE FOR DA	TC	15.09.30
P8	LEVEL 1 6m SETBACK ADJUSTMENT	GF	12.05.23
P9	LANDSCAPE AND SETBACK REVISION	GF	08.06.23

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 2 - NORTH & EAST ELEVATIONS

NORTH POINT:

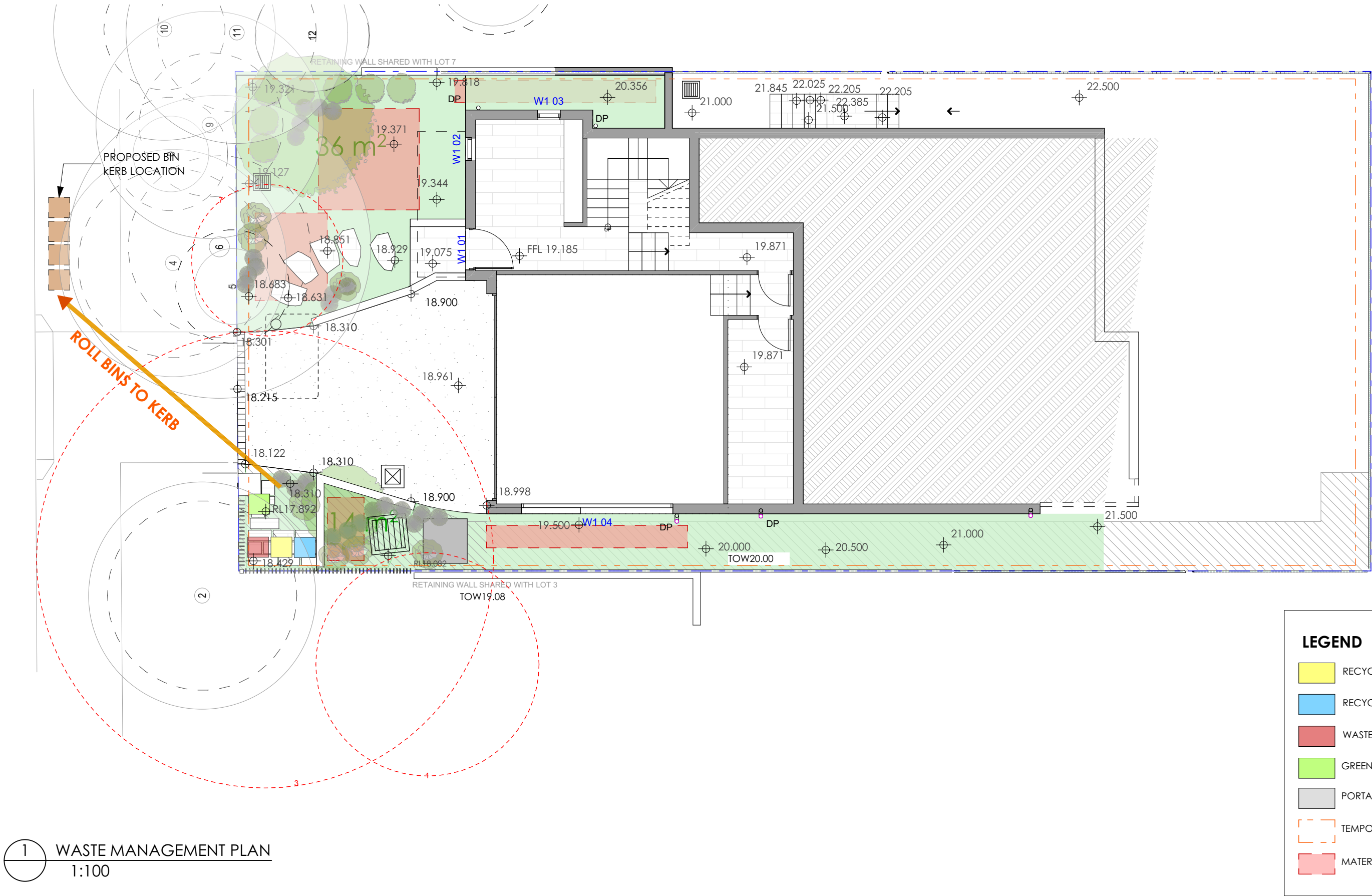
DRAWN BY: CR

CHECKED BY: PI

SCALE:

PROJECT No: P563

DA 13 P9
stage. dwg no. revision

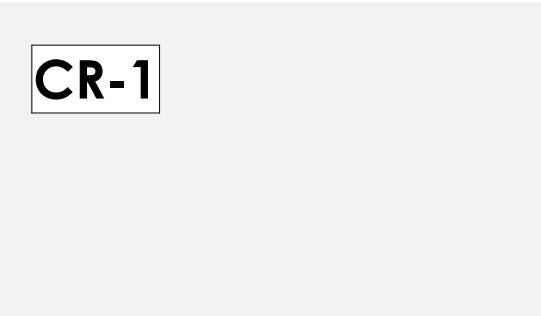
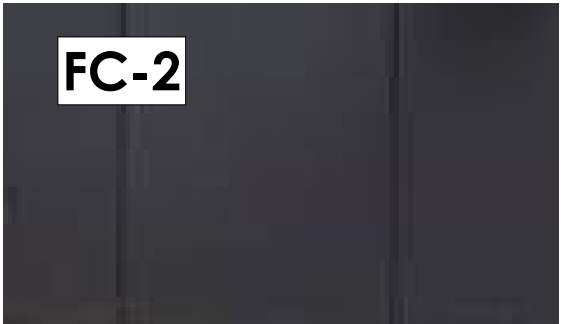


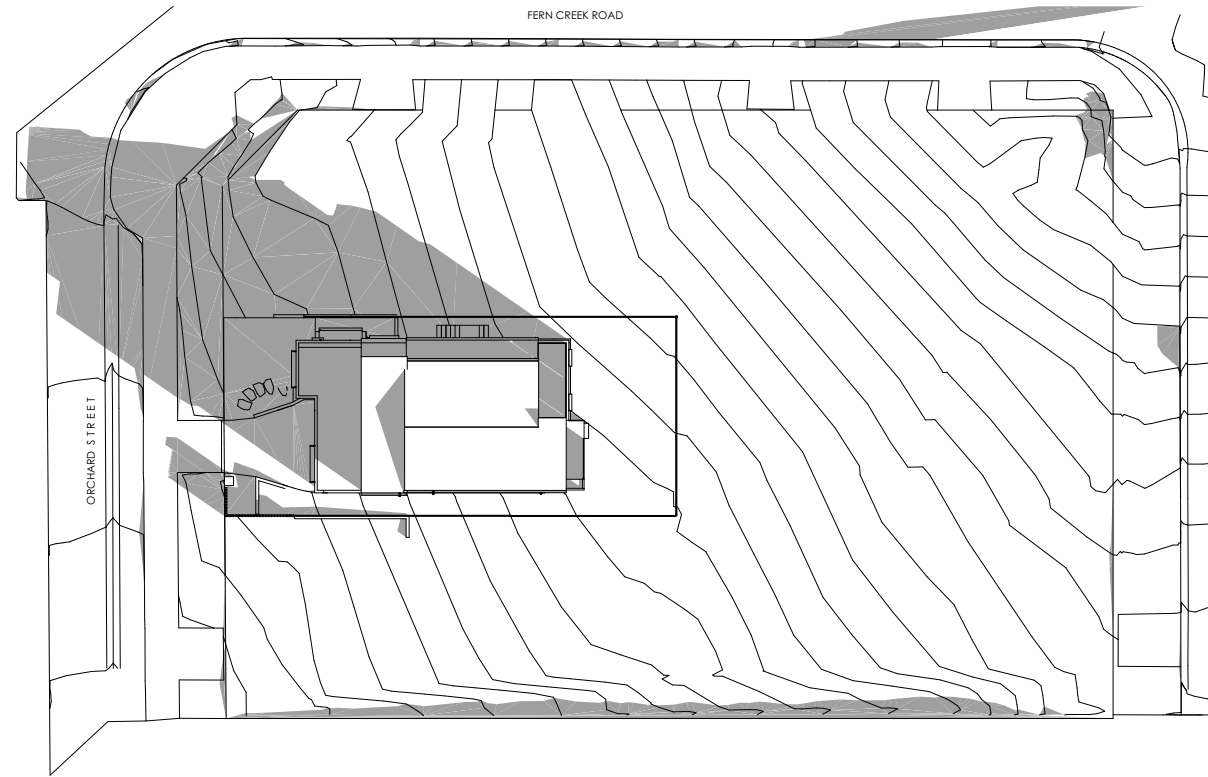




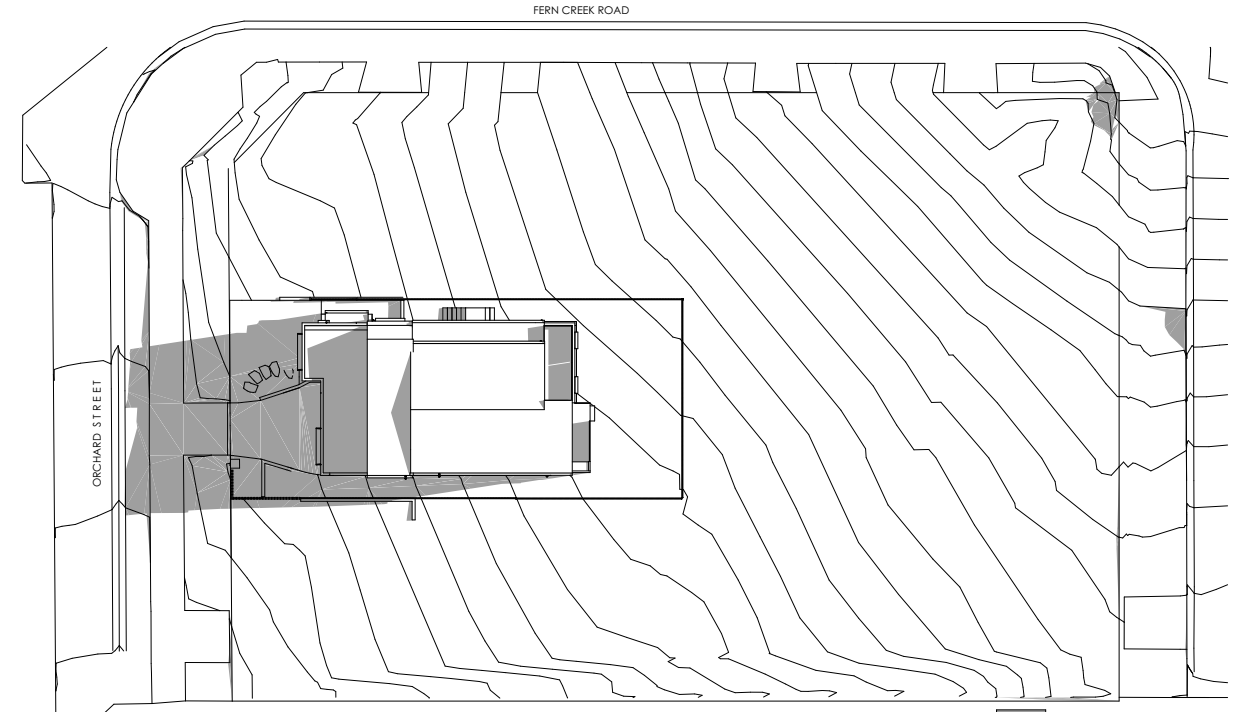
FINISHES KEY - ELEVATIONS

- FB-1** FACE BRICK TYPE 1 - PGH BRICKS 'DARK STORMY' OR SIMILIAR
- FC-1** FIBER CEMENT PANEL TYPE 1 - JAMES HARDIE MATRIX CLADDING SMOOTH PROFILE - PAINTED DULUX LEXICON QUARTER OR SIMILAR
- FC-2** FIBER CEMENT PANEL TYPE 2 - JAMES HARDIE AXON CLADDING 400 PROFILE - PAINTED DULUX MONUMENT OR SIMILAR
- M-1** METAL ROOF TYPE 1 - LYSAGHT KLIP-LOK 700 HI-STRENGTH MOMUMENT COLOUR OR SIMILAR
- M-2** METAL FENCE - POWDERCOAT ALUMINIUM COLOUR - MONUMENT OR SIMILAR
- BAL-1** BALUSTRADE TYPE 1 - FRAMELESS GLASS
- CR-1** CEMENT RENDER TYPE 1 - PAINT FINISH - DULUX 'LEXICON QUARTER B11' OR SIMILIAR

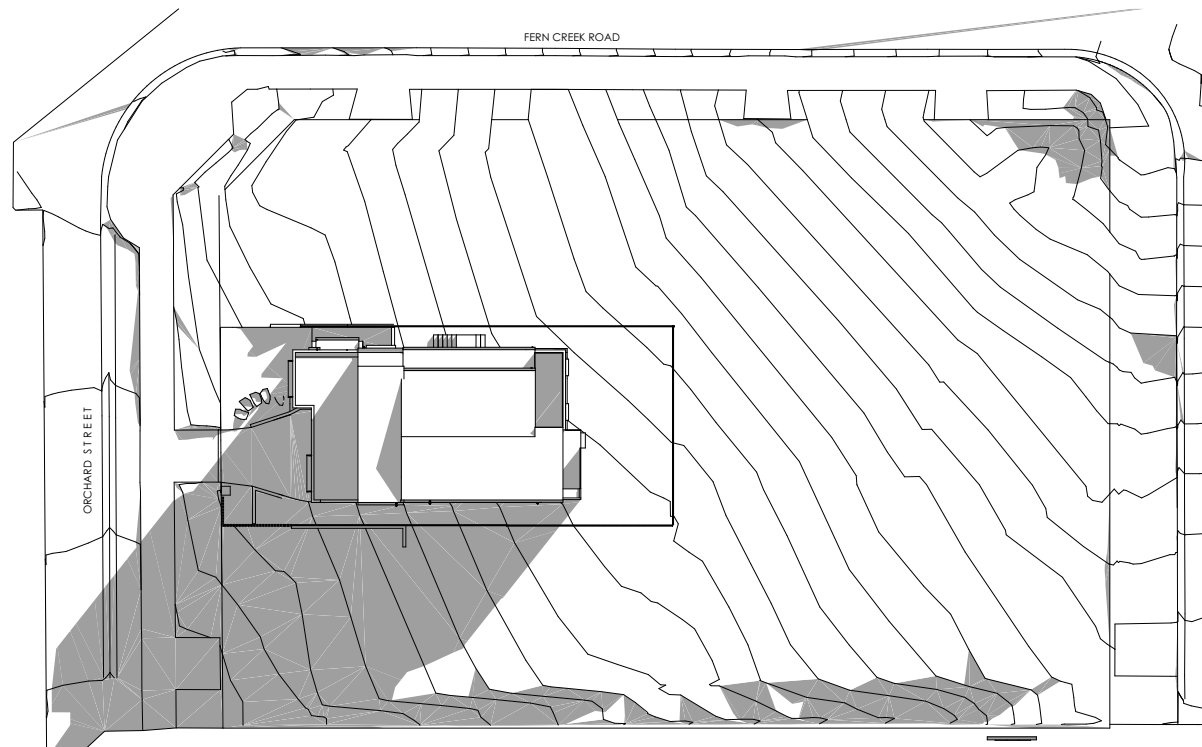




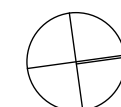
1 SHADOW DIAGRAM JUNE 21 9AM
1:500

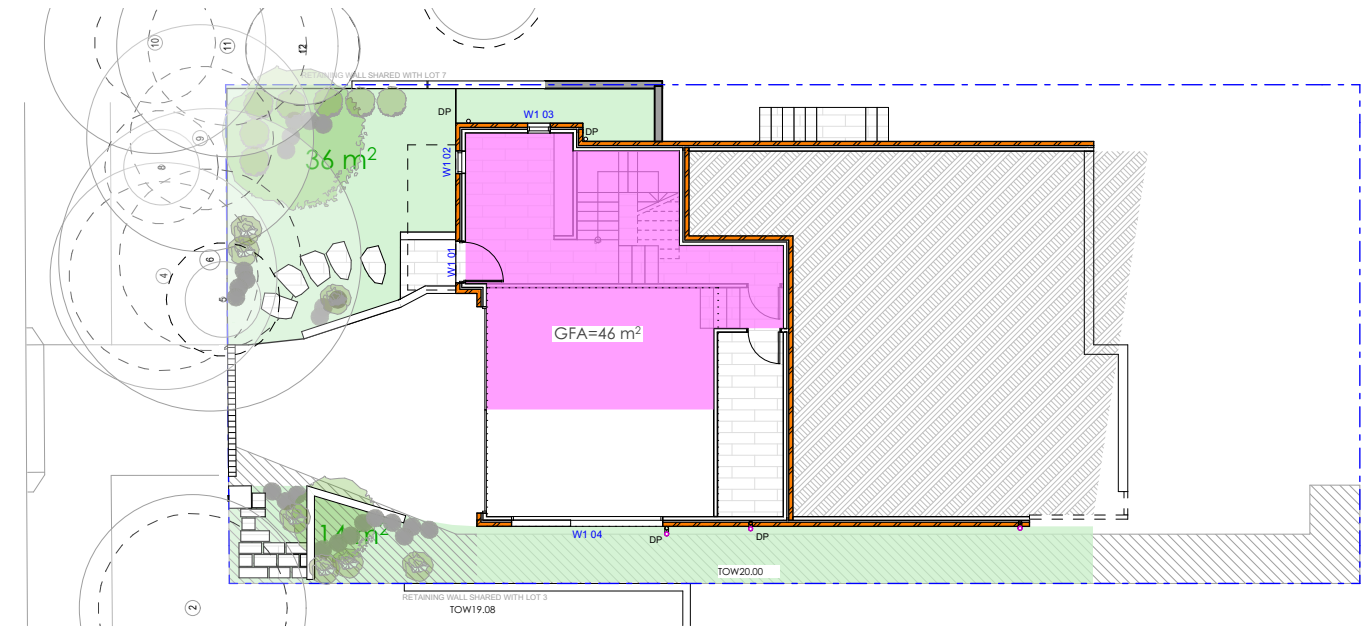


2 SHADOW DIAGRAM JUNE 21 12NOON
1:500

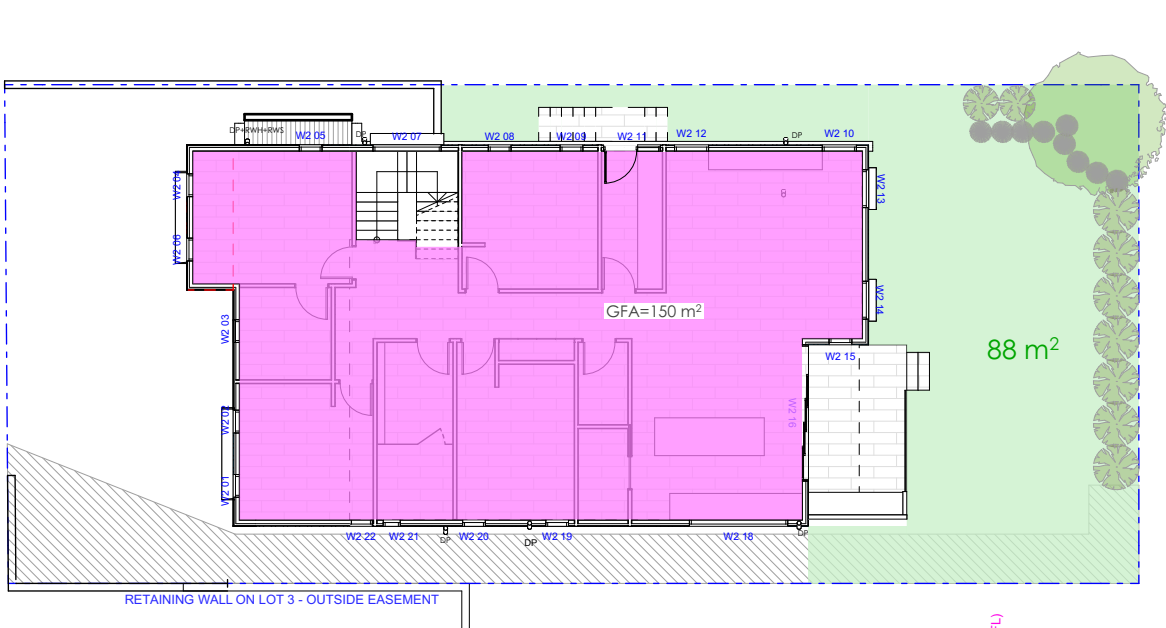


3 SHADOW DIAGRAM JUNE 21 3PM
1:500

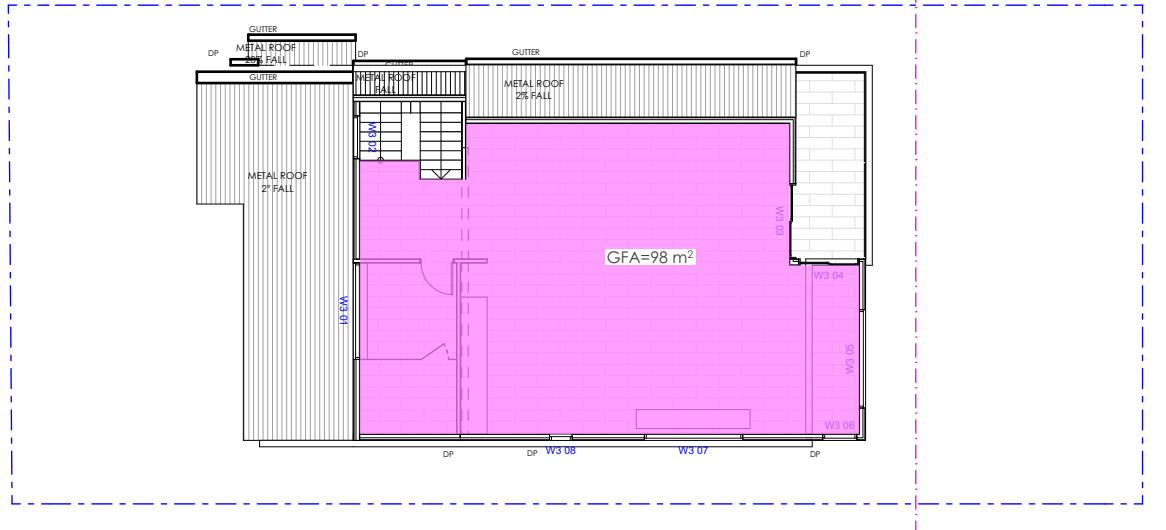




1 BASEMENT GFA
1:200



2 GROUND FLOOR GFA
1:200



3 FIRST FLOOR GFA
1:200

GFA & FSR LEGEND

GROSS FLOOR AREA

GROUND FLOOR	46 M ²
FIRST FLOOR	150 M ²
SECOND FLOOR	98 M ²



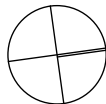
TOTAL GROSS FLOOR AREA
- ALLOWED : N/A
- PROPOSED: 294 M²

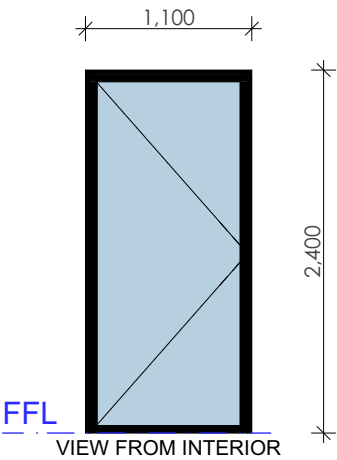
LANDSCAPE AREA

GROUND FLOOR	50 M ²
FIRST FLOOR	88 M ²



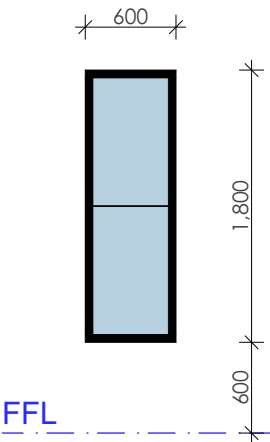
LANDSCAPING AREA
-ALLOWED : 138.25M²
-PROPOSED: 138 M²





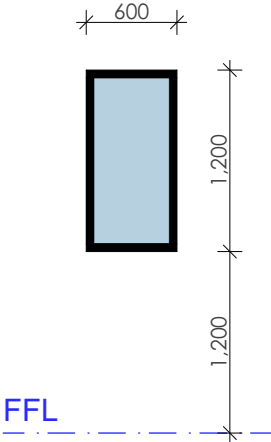
W1 01

ENTRANCE DOOR
CLEAR
ALUMINIUM



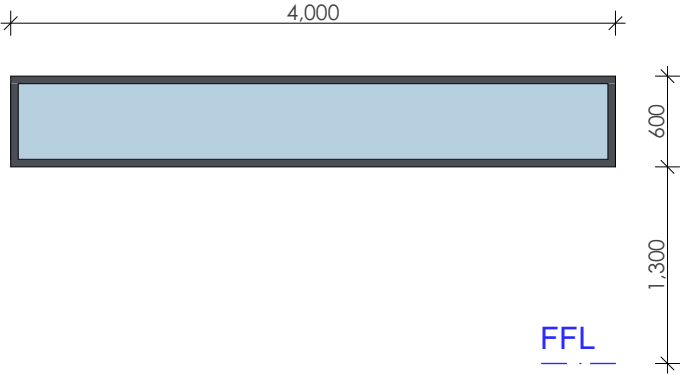
W1 02

LOUVRE
CLEAR
ALUMINIUM



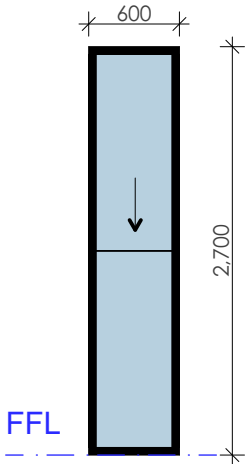
W1 03

FIXED
CLEAR
ALUMINIUM



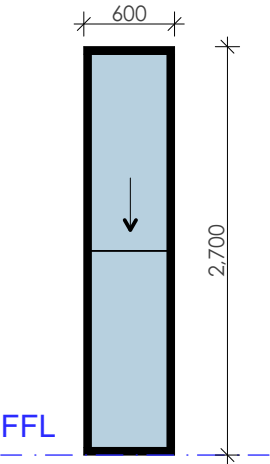
W1 04

FIXED
CLEAR
ALUMINIUM



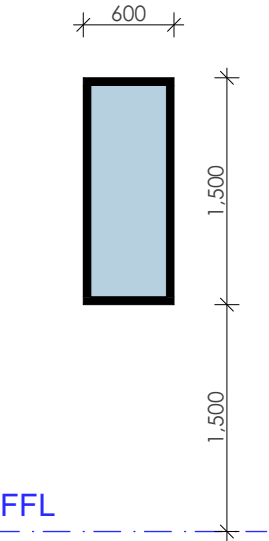
W2 01

ANEETA TOP SLIDE SASHLESS
CLEAR
ALUMINIUM



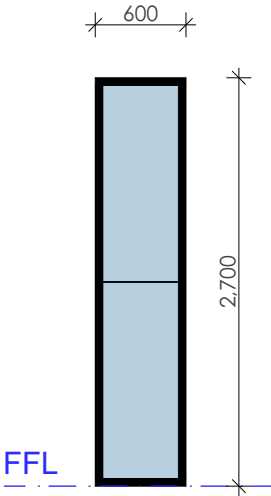
W2 02

ANEETA TOP SLIDE SASHLESS
CLEAR
ALUMINIUM



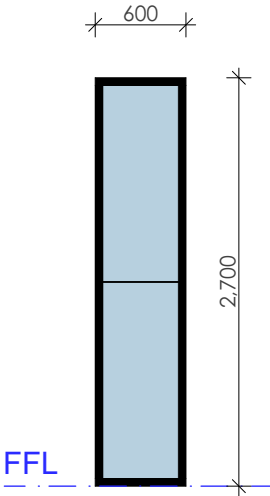
W2 03

FIXED
OPAQUE
ALUMINIUM



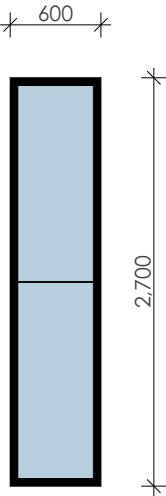
W2 04

LOUVRE
CLEAR
ALUMINIUM



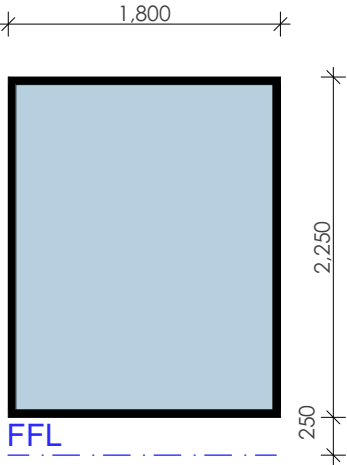
W2 05

LOUVRE
CLEAR
ALUMINIUM



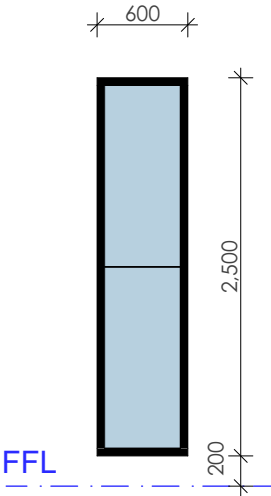
W2 06

LOUVRE
CLEAR
ALUMINIUM



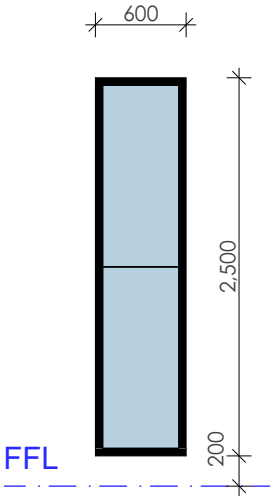
W2 07

FIXED
CLEAR
ALUMINIUM



W2 08

LOUVRE
CLEAR
ALUMINIUM

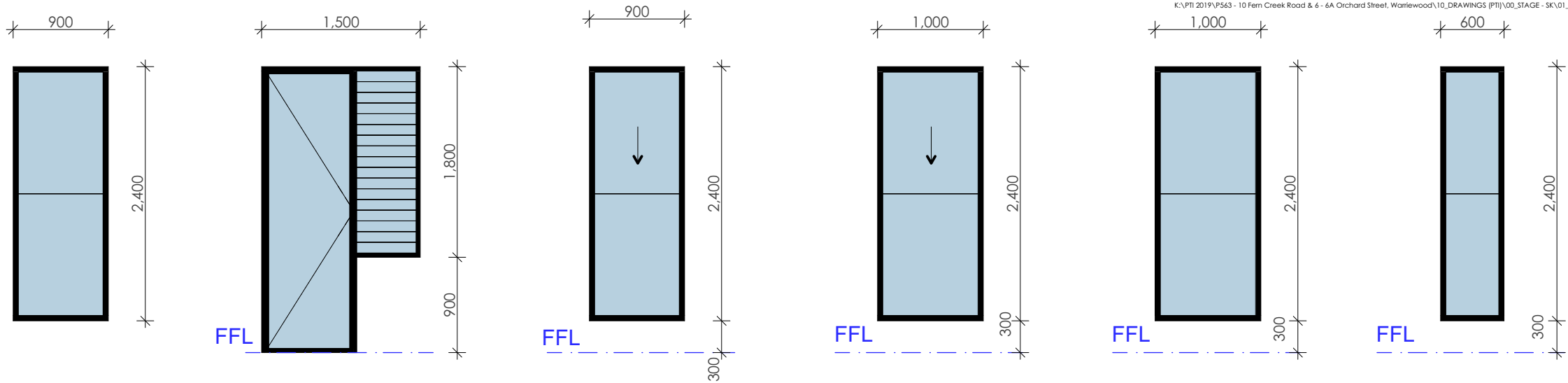


W2 09

LOUVRE
CLEAR
ALUMINIUM

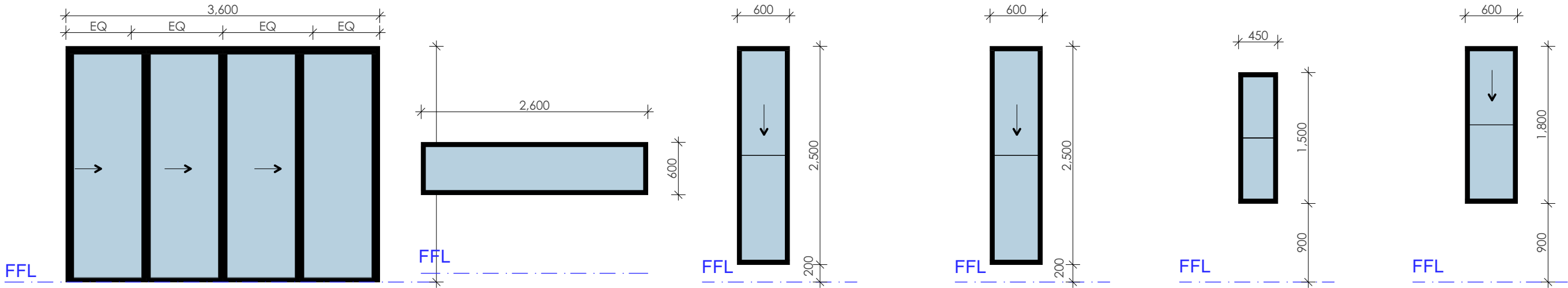
1 WINDOWS SCHEDULE 1/3
1:100

3D Front View



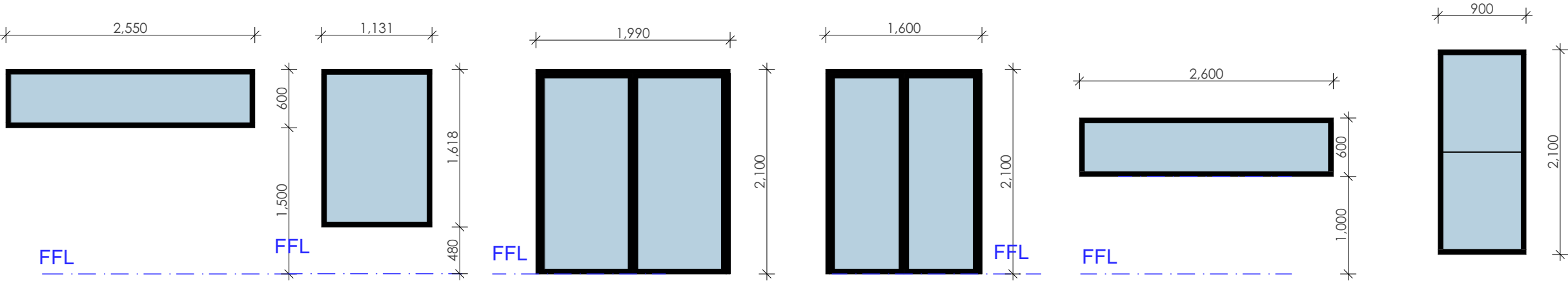
ID	W2 10	W2 11	W2 12	W2 13	W2 14	W2 15
Window Type	ANEETA TOP SLIDE SASH...	DOOR/LOUVRE	ANEETA TOP SLIDE SASHLESS	ANEETA TOP SLIDE SASHLESS	LOUVRE	LOUVRE
Glazing	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR
Frame	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
Notes						

3D Front View



ID	W2 16	W2 17 DELETED	W2 18	W2 19	W2 20	W2 21	W2 22
Window Type	SLIDING DOORS		FIXED	ANEETA TOP SLIDE SASHLESS	ANEETA TOP SLIDE SASHLESS	LOUVRE	ANEETA TOP SLIDE SASHLESS
Glazing	CLEAR		CLEAR	CLEAR	CLEAR	OPAQUE	CLEAR
Frame	ALUMINIUM		ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM

1 WINDOWS SCHEDULE 2/3
1:100



W3 01

FIXED
OPAQUE
ALUMINIUM

W3 02

FIXED
CLEAR
ALUMINIUM

W3 03

SLIDING DOORS
CLEAR
ALUMINIUM

W3 04

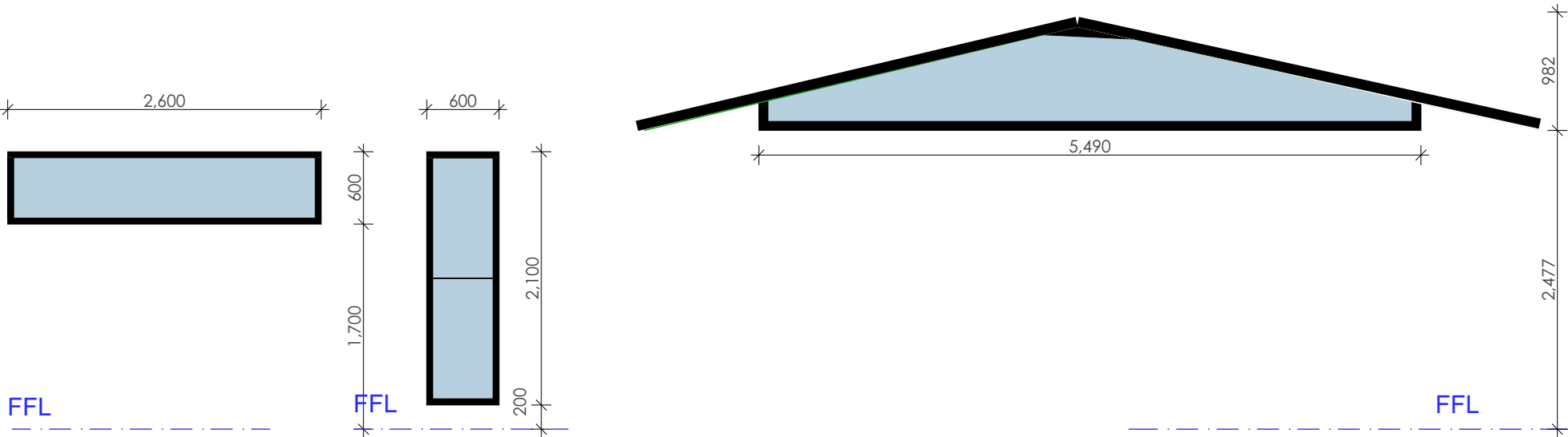
SLIDING DOORS
CLEAR
ALUMINIUM

W3 05

FIXED
CLEAR
ALUMINIUM

W3 06

LOUVRE
CLEAR
ALUMINIUM



W3 07

FIXED
CLEAR
ALUMINIUM

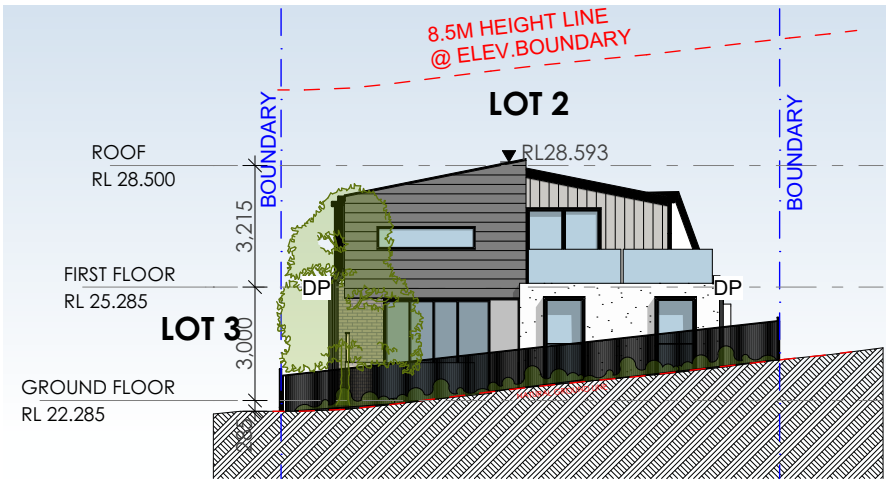
W3 08

LAUVRE
CLEAR
ALUMINIUM

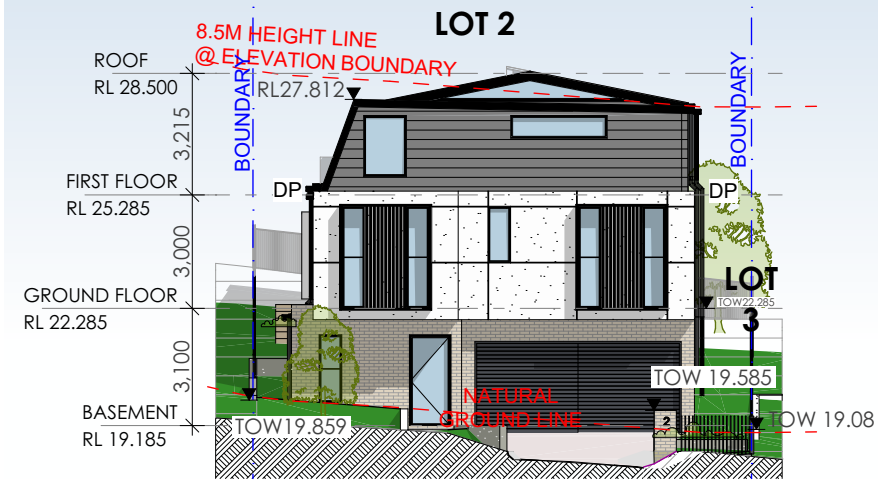
W3 09

FIXED
CLEAR
ALUMINIUM

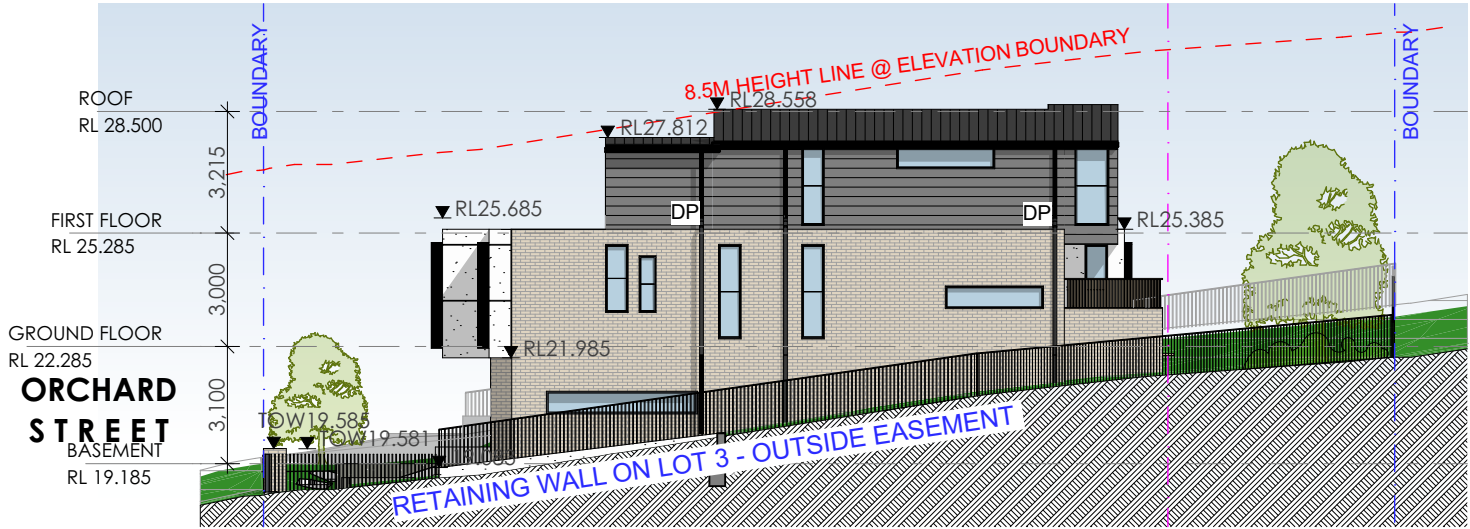
1 WINDOWS SCHEDULE 3/3
1:100



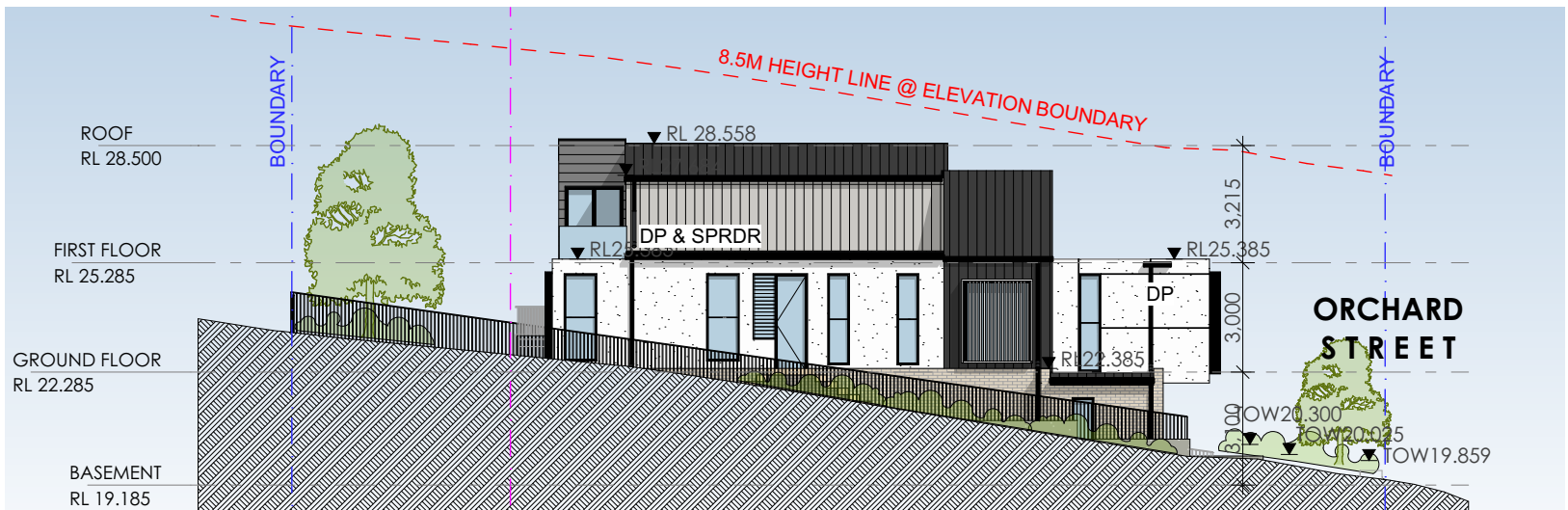
1 NORTH ELEVATION
1:200



2 SOUTH ELEVATION
1:200



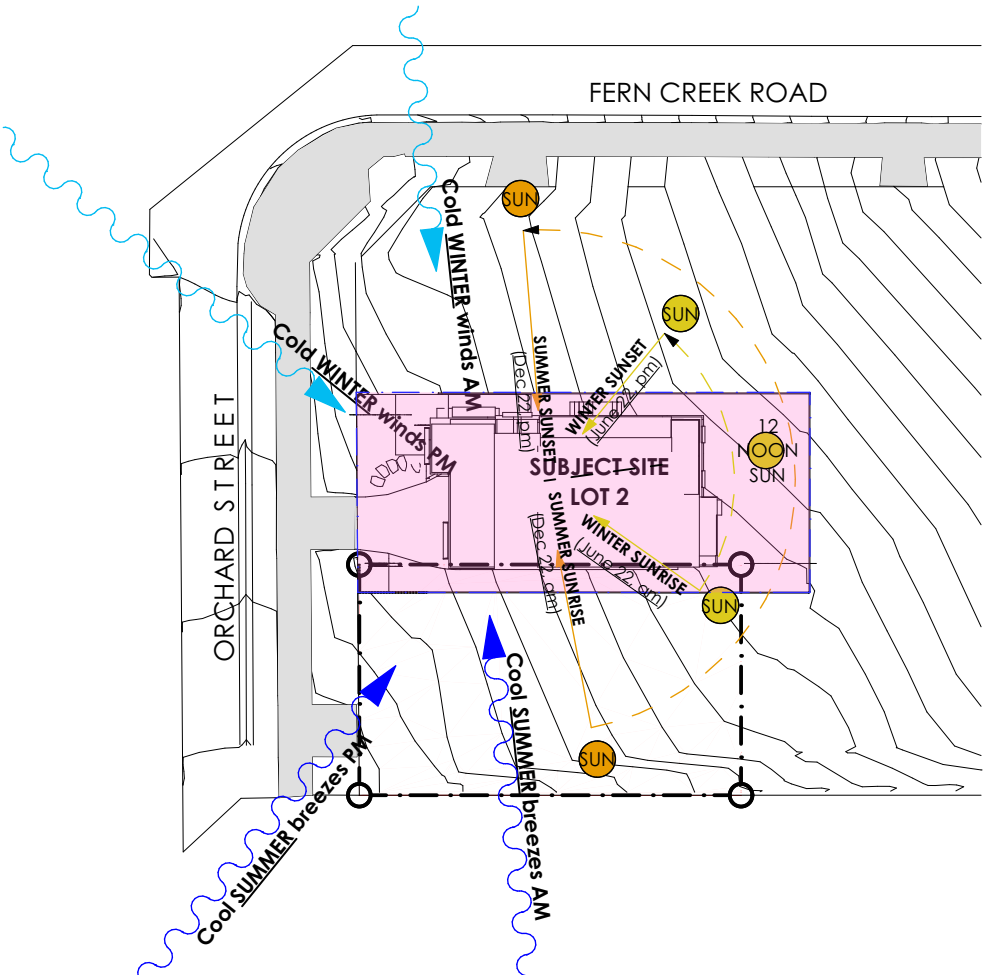
3 EAST ELEVATION
1:200



4 WEST ELEVATION
1:200

NOTE

8.5 M. DASHED HEIGHT LINE IS DRAWN
STANDING AT BOUNDARY WHERE EACH
ELEVATION IS TAKEN
REFER TO SECTIONS A&B FOR THE 8.5
M. DASHED HEIGHT LINE LIMIT



1 SITE ANALYSIS PLAN
1:500

