TXBA

PRIVATE CERTIFIER

- Building Approvals Construction Certificate
- Building Inspections Compliance Certificat
- Building Co-ordinator
- Building Consultant
- Advice on Council Matters

TERRY WEST BUILDING APPROVALS Pty Lt





TWBA – Terry West Building Approvals & Consultants Pty Ltd A.C.N. 084953186

Unit 48, No 9 Hoyle Avenue, Castle Hill 2154 P O Box 255, Winston Hills 2153 Phone - 9659 0593 Mobile - 0412 596 835 Fax - 9659 0585 Email - twba57@bigpond net au

- •Building Approvals-Construction Cert
- •Building Co-ordinator
- •Building Consultant
- •Advice on Council Matters

A.B N 36084953186

The General Manager Pittwater Council P O Box 882, Mona Vale 1660 15th June 2009

Dear Sir,

Re Development Consent No N0384 / 08 & Section 96 Modification No N0384 / 08
Premises Lot 26, D P 654262, Nos 80-82 Mona Vale Road, Mona Vale

With reference to the above please find attached copies of all relevant documentation in relation to the issuing of a Construction Certificate by Terry West Building Approvals & Consultants Pty Ltd for the erection of a two storey carpark & new outdoor seating terrace at Pittwater RSL Club upon the subject premises

The following documentation is submitted as compliance with Conditions of the above Development Consent

- Copy of the Development Consent
- Copy of the Construction Certificate
- Copy of the Stamped Plans
- Compliance certificates from respective consultants certifying their designs comply with relevant Australian Standards, B C A Requirements & Council Guidelines
- Form 2 completed by Geotechnical Engineer Condition No C1
- Drawings stamped by Sydney Water Condition No C5
- Receipt of Payment of Long Service Levy
- Details of T W B A Insurance & Accreditation

It is further advised that Terry West of Terry West Building Approvals & Consultants Pty Ltd (Accreditation Number BPB0438) has been appointed by the owner as the Accredited Certifier and the Principal Certifying Authority for the Development

Work associated with this consent will be commencing upon the site on approximately the 17th June 2009

Yours faithfully, Terry West

TWBA





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ABN 36084953186

Pittwater RSL Club 80-82 Mona Vale Road, Mona Vale 2103 15th June 2009 Ref T W B A / C C No 41 / 2009

CONSTRUCTION CERTIFICATE <u>Issued under Section 109C(1) (b), 81A(4) of the Environmental Planning and Assessment Act1979</u>

Subject Land

Lot 26, DP 654262, Nos 80-82 Mona Vale Road, Mona Vale

Description of Development

Erection of a Two Storey Carpark & new Outdoor

Seating Terrace at Pittwater RSL Club

Development Consent No

N0384 / 08 &

Section 96 Modification No N0384 / 08

Date

4th May 2009 &

Section 96 Modification Date 28th May 2009

Classification under B C A

Two Storey Carpark – Class 7a Outdoor Terrace - Class 9b

Construction Certificate No

TWBA/CC No 41/2009

Date of Issue

15th June 2009

CERTIFICATION

It is certified that the work, if completed in accordance with the attached plans, drawn by bergstrom ARCHITECTS Pty Ltd, Job No 06-022, Drawing No WD-200, Revision P3, Dated 20th May 2009. WD-103, Revision P6, Dated 20th May 2009 & WD-000, WD-001, WD-010, WD-101, WD-102, WD-104, WD-114, WD-201, WD-202, WD-203, WD-210, WD-211, WD-212 & WD-310, Revision A, Dated 29th May 2009, which are stamped as approved by Terry West of Terry West Building Approvals and Consultants Pty Ltd will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in section 81A (5) of the Environmental Planning and Assessment Act, 1979

The issuing of this Construction Certificate permits the commencement of building works in accordance with the relevant approved plans, specifications and above-mentioned Development Consent

Note 1 Prior to commencement of work, the applicant must notify Council in writing of the commencement date for the erection of the building, giving at least two (2) days notice T W B A will notify Council of its appointment as the Principal Certifying Authority (P C A) Note 2 This Construction Certificate remains valid for the duration of the above Development Consent

Note 3 You are required to submit a copy of the approved Construction Certificate plans to Sydney Water for their concurrent consent Prior to the commencement of works a copy of the approval form Sydney Water is to be submitted to this office

Terry West

N S W Accreditation Scheme for Building Surveyors and Allied Professions

Accreditation Number BPB0438

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Also attached to this Construction Certificate Package are

- Structural Details, Job No PDL 1/19, Drawing No S031, Revision C, Dated 11th May 2009, S000, S003, S010, S015, S021, S022, S023, S040, S041 & S042, Revision C, Dated 26th May 2009 & S001, S002, S020, S024 & S030, Revision D, Dated 26th May 2009, Designed & Certified by TaylorThomasWhitting Consulting Engineers
- Hydraulic Services Details, Job No PDL 1/19, Drawing No C01 to C06, Issue C, Dated 22nd May 2009. Designed & Certified by TaylorThomasWhitting Consulting Engineers
- Landscape Details, Job No 2070402, Sheet 1 of 1, Dated 2nd June 2009, Designed & Certified by Urban & Rural Design
- Electrical Services Details, Project No PRL 1/19 12978, Drawing No 05/ES01 to 05/ES05, Issue B, Dated 29th May 2009, Designed & Certified by Haron Robson Electrical Consultants & Lighting Designers
- Fire Services Details, Project No 21106-SYD-H, Cover Sheet & Drawing No F-001, F-100, F-200, F-300 & F-400, Revision B, Dated 8th May 2009, Designed & Certified by Wood & Grieve Pty Ltd





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Development Details

PROPERTY

Lot 26, D P 654262, Nos 80-82 Mona Vale Road, Mona Vale

DEVELOPMENT

Erection of a Two Storey Carpark & new Outdoor Seating Terrace at Pittwater RSL Club

DEVELOPMENT CONSENT No

N0384 / 08 &

Section 96 Modification No N0384 / 08

DATE APPROVED

4th May 2009 &

Section 96 Modification Date 28th May 2009

OWNER

Pittwater RSL Club 80-82 Mona Vale Road, Mona Vale 2103

APPLICANT

As Above

CONSTRUCTION CERTIFICATE No

TWBA/CCNo 41/2009

DATE APPROVED

15th June 2009

VALUE

\$35 Million

BUILDING MATERIALS

Walls - Concrete

Roof - Concrete

Flooring - Concrete

RISE IN STOREYS

Two

Terry West 15th June 2009





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A.B N 36084953186

FIRE SAFETY SCHEDULE

This schedule specifies all measures required for the proposed development to ensure the safety of persons in the building in the event of fire

Such measures shall be implemented in accordance with the requirements of Clause of Clause 168 of the Environmental Planning & Assessment Regulation 2000

SUBJECT PREMISES

Lot 26, D P 654262, Nos 80-82 Mona Vale Road, Mona Vale

PROPOSED DEVELOPMENT

Erection of a Two Storey Carpark & new Outdoor Seating Terrace at Pittwater RSL Club

APPLICANT

Pittwater RSL Club 80-82 Mona Vale Road, Mona Vale 2103

DEVELOPMENT CONSENT No

N0384 / 08 &

Section 96 Modification No N0384 / 08

CONSTRUCTION CERTIFICATE

TWBA/CC No 41 / 2009

FIRE SAFETY MEASURES

- Emergency Lighting New / Whole (A S 2293 1 2005) & B C A Clause E4 2
- Exit Signs New / Whole (A S 2293 1 2005) & B C A Clause E4 5
- Fire Hydrant Existing & New / Whole (A S 2419 1 2005) & B C A Clause E1 3
- Fire Hose Reels New / Whole (A S 2441 2005) & B C A Clause E1 4
- Fire Extinguisher New / Whole (A S 2444 2001) & B C A Clause E1 6
- Smoke Detection System New / Whole (A S 1670 1 2004) & B C A Clause Spec E2 2a
- Service Penetrations New / Whole (A S 4072 1 2005) & B C A Clause C3 15 & Spec C3 15
- Fire Indicator Panel Existing / Whole (A S 1670 1994)
- Paths of Travel New / Whole B C A Section D
- Automatic Fire Sprinkler System New / Whole (A S 2118 1 –1999)
 & B C A Clause E 1 5
- Fire Doors New / Whole (A S 1905 1 2005) & B C A Clause C3 5

NOTE

An Annual Fire Safety Statement for each essential Fire Safety Measure will be duly forwarded as required by Clause 177 of the Environmental Planning & Assessment Regulations

Yours sincerely, Terry West

15th June 2009

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- •Building Consultant
- •Advice on Council Matters

ABN 36084953186

Pittwater RSL Club 80-82 Mona Vale Road, Mona Vale 2103 15th June 2009

Dear Sir.

Re Construction Certificate Premises Lot 26, D P 654262, Nos 80-82 Mona Vale Road, Mona Vale

Attached hereto is the Construction Certificate for the erection of a two storey carpark & new outdoor seating terrace at Pittwater RSL Club upon the subject premises

This Certificate hereby grants permission for construction to commence

Your attention is drawn to all of the Conditions of Development Consent, in particular the following

- Condition No A2 Inspections
- Condition No A4 Construction Hours
- Conditions No D1, D2 & D3 Sedimentation & Erosion Control Measures
- Condition No D11 to D16 Tree Protection Measures

NOTE Amendments to the Section 109E (3) (d) of the Environmental Planning & Assessment Act has seen the introduction of "Critical Stage Inspections"

Critical stage inspections simply means that it is your responsibility to call me, giving forty eight (48) hours notice, to enable me to conduct the below-mentioned inspections

It is further advised that if such inspections are not conducted by myself, T W B A will be unable to issue the Final Occupation Certificate at completion

Complying with the E P & A Act requirements surrounding Critical Stage Inspections is most important!

Inspections for Class 5, 6, 7, 8 & 9 Buildings are as follows

- After excavation for, and before the placement of, any footings
- Prior to covering any stormwater drainage connections
- Final Inspection Completion of the building prior to the issuing of the Final Occupation Certificate

Should you have further concerns in relation to the above matter please don't hesitate to contact the undersigned

Best of luck with your development and thank you for engaging the services of T W B A

Yours sincerely, Terry West



02 9970 7150 PO Box 882

> Mona Vale NSW 1660 DX 9018 Mona Vale

Business Hours 8 00am to 5 30pm, Monday to Thursday 8 00am to 5 00pm, Friday

DA No. N0384/08

4 May 2009

PAYNTER DIXON CONSTRUCTIONS 320 LIVERPOOL ROAD **ASHFIELD NSW 2131**

Dear Sir/Madam

Development Application for construction of a two-storey carpark and new outdoor seating terrace at Pittwater RSL Club at PITTWATER RSL 80-82 MONA VALE ROAD MONA VALE NSW 2103

I am pleased to advise that this application has been approved and I attach for your assistance a copy of the Development Consent, the conditions of approval and a copy of the approved plans

If building works are involved, prior to proceeding with the proposal, it will be necessary for you to lodge a Construction Certificate Application with either Council or an accredited Certifier

I take this opportunity to direct your attention to Section C of the Consent which details the matters to be satisfied prior to issue of the Construction Certificate

Additionally, for your reference, please find enclosed Information Sheets that will assist in providing information you will need to consider for the processes following on from receiving this consent

If there are any matters relating to this approval which require further explanation, please contact me prior to commencing work on the site

Enquiries relating to the Construction Certificate application should be directed to Council's Customer Service or your private certifier

Yours faithfully

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EXECUTIVE PLANN



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PO Box 882 Mona Vale NSW 1660 DX 9018 Mona Vale

CONSENT NO N0384/08 \ ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED) NOTICE TO APPLICANT OF DETERMINATION OF A DEVELOPMENT APPLICATION

Applicants Name and Address
PAYNTER DIXON CONSTRUCTIONS(AUST) PTY LTD
320 LIVERPOOL ROAD
ASHFIELD 2131

Being the applicant in respect of Development Application No N0384/08

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No N0384/08 for

construction of a two-storey carpark and new outdoor seating terrace at Pittwater RSL Club

At 80 - 82 MONA VALE ROAD, MONA VALE (Lot 26 DP 654262)

Decision

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with

Drawings DA-CP 1 01 Rev A dated 30 07 08, DA-CP 1 02 Rev A 30 07 08, DA-CP 2 01 Rev A dated 31 07 08, DA-CP 2 02 Rev A dated 31 07 08, DA-CP 2 03 Rev A dated 30 07 08, DA-CP 2 04 Rev A dated 31 07 08, DA-CP 3 01 Rev A dated 27 06 08 all drawn by Bergstrom Architects, Concept Landscape Plan dated 01 10 08 and drawn by Angela Maroney, Stormwater Civil Design C01-P2, C02-P3, C03-P2, C04-P2 & C05-P2 all dated 06 03 09 and letter dated 06 03 09 and drawn by TaylorThompsonWhitting & Environmental Impact Statement prepared by Don Fox Planning and dated August 2008

as amended in red (shown clouded) or as modified by any conditions of this consent

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions

Endorsement of date of consent 4 May 2009

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PO Box 882 Mona Vale NSW 1660 DX 9018 Mona Vale

Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate

Note Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development

A Prescribed Conditions

- √1 All works are to be carried out in accordance with the requirements of the Building Code of Australia
- √2 Critical stage inspections are to be carried out in accordance with clause 162A of the Environmental Planning & Assessment Regulation 2000 To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site, or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken
- $\sqrt{3}$ A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out
 - а showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working house, and
 - stating that unauthorised entry to the work site is prohibited

Any such sign is to be maintained while the building work subdivision work or demolition work is being carried out, but must be removed when the work has been completed



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02 9970 111° 02 9970 7150

PO Box 882 Mona Vale NSW 1660

The hours of construction are restricted to between the hours of 7 00am and 5 00pm Monday - Friday and 7 00am to 1 00pm on Saturdays No works are to be carried out on Sundays or Public Holidays Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary

B Matters to be incorporated into the development and maintained over the life of the development

Locally native canopy trees are to be planted onsite to replace trees approved for removal. Canopy tree species and quantities are to be as per the approved Landscape Plan or selected from the list pertaining to the vegetation community growing in the locality as per the vegetation mapping and Native Plants for Your Garden book available from Pittwater Council and on the website (www pittwater nsw gov au). All native trees are to be retained for the life of the development, or for their safe natural life.

Trees that die or are removed must be replaced with another locally native canopy tree. Any new fencing is to be made passable to native wildlife. As a guideline, hole dimensions should be 150mm wide x 100mm long at ground level spaced at 6 metre intervals.

- √2 Over the life of the development all declared noxious weeds are to be managed / removed in accordance with the Noxious Weeds Act 1993 Environmental weeds are to be removed and/or controlled
- 3 No environmental weeds are to be planted on the site
- √4 Any vegetation planted outside approved landscape zones is to be consistent with
 - Locally native species or locally native plants growing on site and / or selected from the list pertaining to vegetation community(s) on the site as per the Pittwater Book Native Plants for Your Garden - book available from Council and on the Pittwater Web Site
- This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve



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PO Box 882

Mona Vale NSW 1660



Landscape working drawings and specifications are to be prepared for the DX 9018 Mona Vale development which incorporate a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period. This strategy is to address maintenance issues such as irrigation, soil testing, weeding, plant staking, fertilising, pest and disease control, replanting, remedial pruning and the like Further, provision is to be made for the landscape designer to visit the site on a 3 monthly basis from the date of issue of the Occupation Certificate After the final inspection, the landscape designer is to issue a report to the owner/occupier certifying that all plant material is healthy and performing to expectation. A copy of this report is to be forwarded to the Accredited Certifier or Council

- The existing landscaping required to be retained together with any additional landscaping required by this Development Consent is to be maintained for the life of the development
- Screen planting is to be provided, which after three years will, in conjunction with the canopy planting, screen 50% of the built form when viewed the street Species selection is to incorporate locally native species. This screen planting is to be retained over the life of the development and replaced if any part of it should die or be destroyed or removed
- The recommended treatments set out in Section 6of the submitted Environmental Noise Impact Assessment by Acoustic Logic Consultancy and dated 4 August 2008 shall be adhered to throughout the life of the development
- 10 All lighting to be installed as part of the development shall comply with the requirements of AS 4282 and the submitted Obtrusive Lighting Report dated31 July 2008
- 1 A qualified acoustic engineer is to certify that the maximum noise level associated with the mechanical plant and equipment associated with the development does not exceed 5dB(A) above ambient background level when measured from any adjoining premises
- √12 All utility services including overhead power supply and communication cables located in the adjacent road verge and those servicing the development are to be placed and/or relocated underground for the total frontage of the development site to any public road at the full cost to the developer
- √13 All plumbing and drainage fixtures are to be concealed and not exposed to public view

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The finished surface materials, including colours and texture of any building, ball match the detail and materials of the existing building

15 An alternative accessible path of travel is to be provided in accordance with AS2890 1 between the bowlers' amenities building and Pittwater RSL Club within five years of the issue of a construction certificate under this Development Consent

C Matters to be satisfied prior to the issue of the Construction Certificate

Note All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted.



Drainage details showing site stormwater management are to be submitted to the Accredited Certifier or Council with the Construction Certificate application. Such details are to be accompanied by a certificate from either a Licensed plumber, Surveyor or qualified practicing Civil Engineer with corporate membership of the Institute of Engineers Australia (M I E), or who is eligible to become a Corporate member and has appropriate experience and competence in the related field, that the stormwater management system complies with the requirements of section 3.1.2 Drainage of the Building Code of Australia Housing Provision and AS/NZS 3500.3.2 - Stormwater Drainage

The details shall include disposal of site stormwater (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Civil (Geotechnical) Engineers report)

Note Where Council is the Principal Certifying Authority 3 sets of plans/specifications are to be submitted



Plans, street Levels provided by Council and a certificate submitted by a chartered Professional Engineer, Architect or Surveyor, confirming to the satisfaction of the Accredited Certifier or Council that the access driveway and internal driveway complies with the requirements of Pittwater 21 DCP Control B6 2 and the Council street levels are to be submitted to the Principal Certifying Authority with the Construction Certificate application



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The Accredited Certifier or Council must be provided with a copy of plans that a Quick Check agent/Sydney Water has stamped before the issue of any Construction Certificate



Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 The Demolition of Structures

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to

- Protection of site workers and the general public
- 2 Erection of hoardings where appropriate
- 3 Asbestos handling and disposal where applicable
- 4 Any disused service connections shall be capped off

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot

D Matters to be satisfied prior to the commencement of works and maintained during the works

Note It is an offence to commence works prior to issue of a Construction Certificate

- Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site
- Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction
- 3 Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition

Waste materials generated through demolition, excavation and construction works are to be minimised by re-use on-site recycling or where reuse or recycling is not practical, disposal at an appropriate authorised waste facility

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- The site is to be fully secured by a fence to all perimeters to the site to prevent unauthorised access both during the course of the works and after hours
- No works are to be carried out in Council's Road Reserve without the written approval of the Council
- A Road Opening Permit, issued by Council, must be obtained for any road openings, or excavation within Councils Road Reserve associated with the development on the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.
- 7 No skip bins or materials are to be stored on Councils Road Reserve
 - 8 A clearly legible *Site Management Sign* is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following.
 - The builder's name, builder's telephone contact number both during work hours and after hours
 - That no works are to be carried out in Council's Road Reserve without the written approval of the Council
 - o That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Councils Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections During the course of the road opening works the Road Opening Permit must be visibly displayed at the site
 - o That no skip bins or materials are to be stored on Councils Road Reserve
 - That the contact number for Pittwater Council for permits is 9970 1111

A satisfactory construction traffic management plan (CTMP) prepared by a suitably qualified traffic consultant is required to be submitted to the Private Certifying Authority prior to the commencement of any site works. The plan is to detail

- Quantity of material to be transported
- Proposed truck movements per day
- o Proposed hours of operation

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pittwater nsw gov au



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- o Proposed traffic routes noting that 3 tonne load limits apply to some roads within Pittwater
- 9 A stamped copy of the approved plans is to be kept on the site at all times, during construction
- Toilet facilities are to be provided in a location which will not detrimentally affect the amenity of any adjoining residents at or in the vicinity of the work site during the duration of the development
- Contractors and visitors to the site are to be advised of the purpose for the tree/ native vegetation/ habitat protection/exclusion fencing installed in accordance with this consent by the placement of a suitable warning sign on the fence. The sign is to include advice that no works or storage of materials is to take place within the dripline of existing trees.
- During site excavation topsoil which is to be used in later landscape works is to be stockpiled on site and stabilised during construction works. Stockpiles are to be stored outside of hazard areas and not located within the dripline of existing trees which are to be retained.
- When working within the drip line of the trees, hand digging is to occur in sensitive areas. Liaison on a daily basis is to be maintained during the excavation works between the Builder and Arborist. No filling or compaction shall occur over tree roots within the area defined by the outer drip line of the crown. Root protection/ compaction mitigation in the form of planks or metal decking supported clear of the ground fixed to scaffolding is to be installed as required.
- 14 No storage of building materials or building waste, excavated fill or topsoil storage is to occur within the dripline of trees shown on the approved landscape working drawing(s) as being retained or within protective fenced areas

Drainage is to be arranged such that fill, building materials or contaminants are not washed into protective fenced areas

15 The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water sewerage and stormwater drainage services

In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted unless part of the development as approved, and the storage of spoil building

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materials, soils or the driving or parking of any vehicle or machinery within $^{\rm DX\,9018}_{\rm 5}$ metres of the trunk of a tree to be retained is not permitted

NOTE Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995 Failure to do so may result in a penalty up to a maximum of \$250 000 00 and jail sentences

Failure to comply with the requirements of the Pittwater Council Tree Preservation and Management Order may result in a penalty up to a maximum of \$20,000 00

√16 All works within 5 metres of the existing trees to be retained including pruning, demolition, excavation, civil works, fencing and the like must be carried out by hand under the supervision of an experienced and qualified Arborist. Should roots larger than 50mm be encountered all excavation works are to cease immediately and a qualified Arborist is to advise on the impacts of the roots removal on the trees survival and report to the Principal Certifying Authority prior to works recommencing

If tree roots are present a pier and beam method of footing construction is to be adopted so as to bridge/span any identified lateral roots

E Matters to be satisfied prior to the issue of Occupation Certificate

Note Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed. Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

Note It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate

- Prior to issue of the Occupation Certificate, Form 3 of the Geotechnical Risk Management Policy (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority
- Certification is to be provided to the Principal Certifying Authority by an experienced civil engineer who is NPER accredited by the Institution of Engineers (Australia) that the drainage/stormwater management system has been installed to the manufacturers specification (where applicable) and

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completed in accordance with the engineering plans and specifications required under this consent

- An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent
- A landscape practical completion report is to be prepared by the consultant landscape architect/designer and submitted to the Principal Certifying Authority with the Occupation Certificate application. This report is to certify that all landscape works have been completed in accordance with the landscape working drawings and specifications.
- 5 Compliance with the notes and recommendations contained within the accessibility report by ILC Access dated 6 April 2009

F Matters to be satisfied prior to the issue of Subdivision Certificate

Nil

G Advice

- 1 Electrical insect killing light devices should not be used outside and not installed anywhere that they can attract and kill micro-bats
- 2 Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation
- 3 The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area
- It is the Project Managers responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority Failure to comply with the conditions of

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pittwater nsw gov au



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PO Box 882 Mona Vale NSW 1660

approval or lodge the Component Certificates/certification will prevent the DX 9018 Mona Vale Principal Certifying Authority issuing an Occupation Certificate

5 In accordance with Section 95(2) of the Act, this consent will lapse if the development the subject of this consent is not commenced within 2 years after the date from which this consent operates

NOTE Council may be prepared to consider an extension of this Consent period for a further 12 months, however the request for extension would have to be received during the initial 2 year period

- To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended)
- 7 Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979 Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request, within 1 year from the date of determination
- 8 If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent
- 9 The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to the web site at www.sydneywater.com.au.then.see Building Developing and Plumbing then Quick Check, or telephone 13 20 92



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I have Development Approval .. What do I do now?

You now have your 'consent" from Pittwater Council What do you do next? The following steps must be followed before building works commence

1 Understanding the consent

It is important that you follow the Conditions of Consent as approved. You will find that the consent document is in parts and that you have at least one copy of the "approved" plans. Your consent is to be read in conjunction with the stamped plans. The first page of the consent outlines the general details about the application, what the consent is for, the address and associated plan numbers.

Having consent is approval to use the site for a specific use or built item. The next step is obtaining a Construction Certificate

2 Construction Certificate

All new building works including new dwellings alterations and ancillary structures such as swimming pools, garages, carports and fences require a Construction Certificate

Once you have received your Development Consent you need to obtain a Construction Certificate

Council or a Private Certifier can issue the Construction Certificate. If you choose a Private Certifier, a copy of the certificate, associated plans and specifications must be forwarded to Council within 2 days of issue.

3 Notification of Commencement

A Notification of Commencement form must be submitted to Council a minimum of 2 days prior to commencement of any works on the site. This information advises Council who you have nominated as the Principal Certifying Authority (PCA) for your development, the date you are intending to start works and the details of the builder for your development (either the licensed builder or owner builder)

Other useful Information

What is the Principal Certifying Authority?

A Principal Certifying Authority (PCA) is appointed to monitor the progress of work and carry out critical stage inspections, to ensure completion in accordance with the terms of any Development Consent or Complying Development Certificate and the Building Code of Australia You will need to appoint a Principal Certifying Authority when you carry out work that is the subject of a Construction Certificate or a Complying Development Certificate

You can appoint either the Council or a Private Certifier to act as your Principal Certifying Authority Please ring Pittwater Council's Compliance Administration team on 9970 1300 for information and check our competitive fee structure

pittwater_council@pittwater nsw gov au

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Private Certifiers

PO Box 882 Certifiers are required to renew their accreditation (be re-accredited) every year, a like 185W 1660 therefore important that you check with the certifier to ensure that their information is xevisentha Vale and accurate You can find a list of private certifiers at www planning nsw gov au If you have enquiries about private accredited certifiers please contact the Building Professionals Board on 9895 5950

Critical Stage Building Inspections

Your Principal Certifying Authority (Council or Private Certifier) will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of the specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia and relevant standards of construction

Occupation Certificate/Final Inspection

Once all works have been completed you must have an inspection carried out by Council or your private certifier. Once all matters have been satisfied you are issued with an Occupation Certificate

Owner Builder Permits & Courses

If you would like to be the owner builder "project manager" for residential work exceeding \$5000 you will need to contact the Department of Fair Trading to obtain information relating to obtaining an owner builder's permit. Visit www fairtrading nsw gov au or contact them on (02) 9895 0111 TAFE colleges run regular owner builder courses Visit them at www tafensw edu au or contact them on 131 601

Home Warranty Insurance

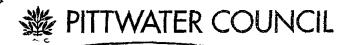
If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with your Notification of Commencement form

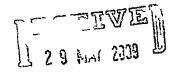
Long Service Levy

For building works costing \$25,000 and over, a Long Service Levy of 0 35% of the cost of building is payable under the Building and Construction Industry Long Service Payments Act 1996 This levy must be paid prior to issue of the Construction Certificate

Modifying your Consent

If you need to make a change to your consent or approved plans you will need to lodge a Section 96" Modification of Consent For advice as to what is required when lodging this application please contact Council's duty officer on 9970 1674





Copy NHAd Blooth

ABN61340837871
Telephone 02 9970 1111
Facsimile 02 9970 7150
Postal Address
PO Box 882
Mona Vale NSW 1660

Business Hours

8 00am to 6 00pm, Monday to Thursday

8 00am to 5 00pm, Friday

DA No N0384/08

28 May 2009

PAYNTER DIXON CONSTRUCTIONS LOCKED BAG 9 ASHFIELD NSW 1800

Dear Sır/Madam

Modification of Development Consent N0384/08 for construction of a two-storey carpark and new outdoor seating terrace at Pittwater RSL Club at PITTWATER RSL 80-82 MONA VALE ROAD MONA VALE NSW 2103

Your request for modification has been considered by Council and it has been agreed to modify the Consent

Please find attached the consent as modified

If there are any matters that require further clarification, please do not hesitate to contact me

Yours faithfully

Gina Hay

EXECUTIVE PLANNER



MODIFICATION OF DEVELOPMENT CONSENT NO / N0384/08

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address

PAYNTER DIXON CONSTRUCTIONS
LOCKED BAG 9 ASHFIELD NSW 1800

Being the applicant in respect of Development Application No N0384/08

Pursuant to section 81 of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of this Development Application for -

Modification of Development Consent N0384/08 for construction of a two-storey carpark and new outdoor seating terrace at Pittwater RSL Club

At -

Lot 26 DP 654262

80-82 MONA VALE ROAD MONA VALE NSW 2103

Decision

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with

Drawings DA-CP 1 01 Rev A dated 30 07 08, DA-CP 1 02 Rev A 30 07 08, DA-CP 2 01 Rev A dated 31 07 08, DA-CP 2 02 Rev A dated 31 07 08, DA-CP 2 03 Rev A dated 30 07 08, DA-CP 2 04 Rev A dated 31 07 08, DA-CP 3 01 Rev A dated 27 06 08 all drawn by Bergstrom Architects, Concept Landscape Plan dated 01 10 08 and drawn by Angela Maroney, Stormwater Civil Design C01-P2, C02-P3, C03-P2, C04-P2 & C05-P2 all dated 06 03 09 and letter dated 06 03 09 and drawn by TaylorThompsonWhitting & Environmental Impact Statement prepared by Don Fox Planning and dated August 2008

as amended in red (shown clouded) or as modified by any conditions of this consent

The reason for the imposition of these conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act, pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions

Note For ease of reference, all of the previous conditions have been re-listed. Those conditions amended or deleted have been highlighted.

Endorsement of date of consent 4/05/2009

(Modified 28/052009)

Mark Ferguson

GENERAL MANAGER

Mona Vale Customer Service Centre Village Park 1 Park Street Mona Vale Avalon Customer Service Centre 59A Old Barrenjoey Road Avalon

ttwater nsw gov.au

Support Services
Units 11 12 13 + 16/5 Vuko Place Warriewood

Boondah Depot

ace Warriewood 1 Boondah Road Warriewood



Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act. When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

A Prescribed Conditions

- 1 All works are to be carried out in accordance with the requirements of the Building Code of Australia
- 2 Critical stage inspections are to be carried out in accordance with clause 162A of the Environmental Planning & Assessment Regulation 2000. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site, or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
- 3 A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out
 - a showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working house, and
 - c stating that unauthorised entry to the work site is prohibited

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed

4 The hours of construction are restricted to between the hours of 7 00am and 5 00pm Monday - Friday and 7 00am to 1 00pm on Saturdays No works are to be carried out on Sundays or Public Holidays Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary

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B Matters to be incorporated into the development and maintained over the life of the development

1 Locally native canopy trees are to be planted onsite to replace trees approved for removal Canopy tree species and quantities are to be as per the approved Landscape Plan or selected from the list pertaining to the vegetation community growing in the locality as per the vegetation mapping and Native Plants for Your Garden book available from Pittwater Council and on the website (www pittwater nsw gov au). All native trees are to be retained for the life of the development, or for their safe natural life.

Trees that die or are removed must be replaced with another locally native canopy tree Any new fencing is to be made passable to native wildlife. As a guideline, hole dimensions should be 150mm wide x 100mm long at ground level spaced at 6 metre intervals

- Over the life of the development all declared noxious weeds are to be managed / removed in accordance with the Noxious Weeds Act 1993 Environmental weeds are to be removed and/or controlled
- 3 No environmental weeds are to be planted on the site
- 4 Any vegetation planted outside approved landscape zones is to be consistent with
 - Locally native species or locally native plants growing on site and / or selected from the list pertaining to vegetation community(s) on the site as per the Pittwater Book Native Plants for Your Garden - book available from Council and on the Pittwater Web Site
- 5 This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve
- 6 Landscape working drawings and specifications are to be prepared for the development which incorporate a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period. This strategy is to address maintenance issues such as irrigation, soil testing, weeding, plant staking, fertilising, pest and disease control, replanting, remedial pruning and the like. Further, provision is to be made for the landscape designer to visit the site on a 3 monthly basis from the date of issue of the Occupation Certificate After the final inspection, the landscape designer is to issue a report to the owner/occupier certifying that all plant material is healthy and performing to expectation. A copy of this report is to be forwarded to the Accredited Certifier or Council.
- 7 The existing landscaping required to be retained together with any additional landscaping required by this Development Consent is to be maintained for the life of the development Email pittwater_councilepittwater_nswgovau Web pittwater.nswgovau



- 8 Screen planting is to be provided, which after three years will, in conjunction with the canopy planting, screen 50% of the built form when viewed the street. Species selection is to incorporate locally native species. This screen planting is to be retained over the life of the development and replaced if any part of it should die or be destroyed or removed.
- 9 The recommended treatments set out in Section 6of the submitted Environmental Noise Impact Assessment by Acoustic Logic Consultancy and dated 4 August 2008 shall be adhered to throughout the life of the development
- 10 All lighting to be installed as part of the development shall comply with the requirements of AS 4282 and the submitted Obtrusive Lighting Report dated31 July 2008
- 11 A qualified acoustic engineer is to certify that the maximum noise level associated with the mechanical plant and equipment associated with the development does not exceed 5dB(A) above ambient background level, when measured from any adjoining premises
- 12 All utility services including overhead power supply and communication cables located in the adjacent road verge and those servicing the development are to be placed and/or relocated underground for the total frontage of the development site to any public road at the full cost to the developer
- 13 All plumbing and drainage fixtures are to be concealed and not exposed to public view
- 14 The finished surface materials, including colours and texture of any building, shall match the detail and materials of the existing building
- 15 An alternative accessible path of travel is to be provided in accordance with A\$2890 1 between the bowlers' amenities building and Pittwater R\$L Club within five years of the issue of a construction certificate under this Development Consent

C Matters to be satisfied prior to the issue of the Construction Certificate

Note All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted

- 1 Prior to issue of the Construction Certificate, Form 2 of the *Geotechnical Risk*Management Policy for Pittwater (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority
- Drainage details showing site stormwater management are to be submitted to the Accredited Certifier or Council with the Construction Certificate application. Such details are to be accompanied by a certificate from either a Licensed plumber, Surveyor or qualified practicing Civil Engineer with corporate membership of the Institute of Engineers Australia (M I E), or who is eligible to become a Corporate member and has appropriate experience and competence in the related field, that the stormwater management system

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Avaion Customer Service Centre 59A Old Barrenjoey Road Avaion

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complies with the requirements of section 3 1 2 *Drainage* of the Building Code of Australia Housing Provision and AS/NZS 3500 3 2 - Stormwater Drainage

The details shall include disposal of site stormwater (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Civil (Geotechnical) Engineers report)

Note Where Council is the Principal Certifying Authority 3 sets of plans/specifications are to be submitted

3 DELETED

- 4 Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority
- 5 The Accredited Certifier or Council must be provided with a copy of plans that a Quick Check agent/Sydney Water has stamped before the issue of any Construction Certificate
- 6 Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 *The Demolition of Structures*

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to

- 1 Protection of site workers and the general public
- 2 Erection of hoardings where appropriate
- 3 Asbestos handling and disposal where applicable
- 4 Any disused service connections shall be capped off

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot

D Matters to be satisfied prior to the commencement of works and maintained during the works

Note It is an offence to commence works prior to issue of a Construction Certificate Email pittwater_council@pittwaternswgovau Web pittwaternswgovau

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Avalon Customer Service Centre 59A Old Barrenjoey Road Avalon Support Services

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1 Boondah Road Warriewood



- 1 Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site
- 2 Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction
- 3 Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition
 - Waste materials generated through demolition, excavation and construction works are to be minimised by re-use on-site, recycling or where reuse or recycling is not practical, disposal at an appropriate authorised waste facility
- 4 The site is to be fully secured by a fence to all perimeters to the site to prevent unauthorised access both during the course of the works and after hours
- 5 No works are to be carried out in Council's Road Reserve without the written approval of the Council
- A Road Opening Permit, issued by Council, must be obtained for any road openings, or excavation within Councils Road Reserve associated with the development on the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.
- 7 No skip bins or materials are to be stored on Councils Road Reserve
- 8 A clearly legible Site Management Sign is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following.
 - The builder's name, builder's telephone contact number both during work hours and after hours
 - o That no works are to be carried out in Council's Road Reserve without the written approval of the Council
 - o That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Councils Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.
 - o That no skip bins or materials are to be stored on Councils Road Reserve

Email pittwater_council@pittwaternsw.gov.au Web pittwaternsw.gov.au



A satisfactory construction traffic management plan (CTMP) prepared by a suitably qualified traffic consultant is required to be submitted to the Private Certifying Authority prior to the commencement of any site works. The plan is to detail

- o Quantity of material to be transported
- o Proposed truck movements per day
- o Proposed hours of operation
- Proposed traffic routes, noting that 3 tonne load limits apply to some roads within Pittwater
- 9 A stamped copy of the approved plans is to be kept on the site at all times, during construction
- 10 Toilet facilities are to be provided in a location which will not detrimentally affect the amenity of any adjoining residents at or in the vicinity of the work site during the duration of the development
- 11 Contractors and visitors to the site are to be advised of the purpose for the tree/ native vegetation/ habitat protection/exclusion fencing installed in accordance with this consent by the placement of a suitable warning sign on the fence. The sign is to include advice that no works or storage of materials is to take place within the dripline of existing trees.
- 12 During site excavation, topsoil which is to be used in later landscape works is to be stockpiled on site and stabilised during construction works. Stockpiles are to be stored outside of hazard areas and not located within the dripline of existing trees which are to be retained.
- 13 When working within the drip line of the trees, hand digging is to occur in sensitive areas Liaison on a daily basis is to be maintained during the excavation works between the Builder and Arborist. No filling or compaction shall occur over tree roots within the area defined by the outer drip line of the crown. Root protection/ compaction mitigation in the form of planks or metal decking supported clear of the ground fixed to scaffolding is to be installed as required.
- 14 No storage of building materials or building waste, excavated fill or topsoil storage is to occur within the dripline of trees shown on the approved landscape working drawing(s) as being retained or within protective fenced areas

Drainage is to be arranged such that fill, building materials or contaminants are not washed into protective fenced areas

15 The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water,

Email pittwater_couses regensage storm water drawage services



In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted unless part of the development as approved, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted

NOTE Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995 Failure to do so may result in a penalty up to a maximum of \$250,000 00 and jail sentences

Failure to comply with the requirements of the Pittwater Council Tree Preservation and Management Order may result in a penalty up to a maximum of \$20,000 00

16 All works within 5 metres of the existing trees to be retained including pruning, demolition, excavation, civil works, fencing and the like must be carried out by hand under the supervision of an experienced and qualified Arborist. Should roots larger than 50mm be encountered all excavation works are to cease immediately and a qualified Arborist is to advise on the impacts of the roots removal on the trees survival and report to the Principal Certifying Authority prior to works recommencing

If tree roots are present a pier and beam method of footing construction is to be adopted so as to bridge/span any identified lateral roots

E Matters to be satisfied prior to the issue of Occupation Certificate

Note Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

Note It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate

- 1 Prior to issue of the Occupation Certificate, Form 3 of the *Geotechnical Risk Management Policy* (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority
- 2 Certification is to be provided to the Principal Certifying Authority by an experienced civil engineer who is NPER accredited by the Institution of Engineers (Australia) that the drainage/stormwater management system has been installed to the manufacturers specification (where applicable) and completed in accordance with the engineering plans and specifications required under this consent

Email pittwater_council@pittwaternsw.gov.au Web pittwaternsw.gov.au



ABN61340837871
Telephona u2 9970 1111
Facsimile 02 9970 7150
Postal Address
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Mona Vale NSW 1660 DX 9018 Mona Vale

3 An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent

- 4 A landscape practical completion report is to be prepared by the consultant landscape architect/designer and submitted to the Principal Certifying Authority with the Occupation Certificate application. This report is to certify that all landscape works have been completed in accordance with the landscape working drawings and specifications.
- 5 Compliance with the notes and recommendations contained within the accessibility report by ILC Access dated 6 April 2009

F Matters to be satisfied prior to the issue of Subdivision Certificate

Nil

G Advice

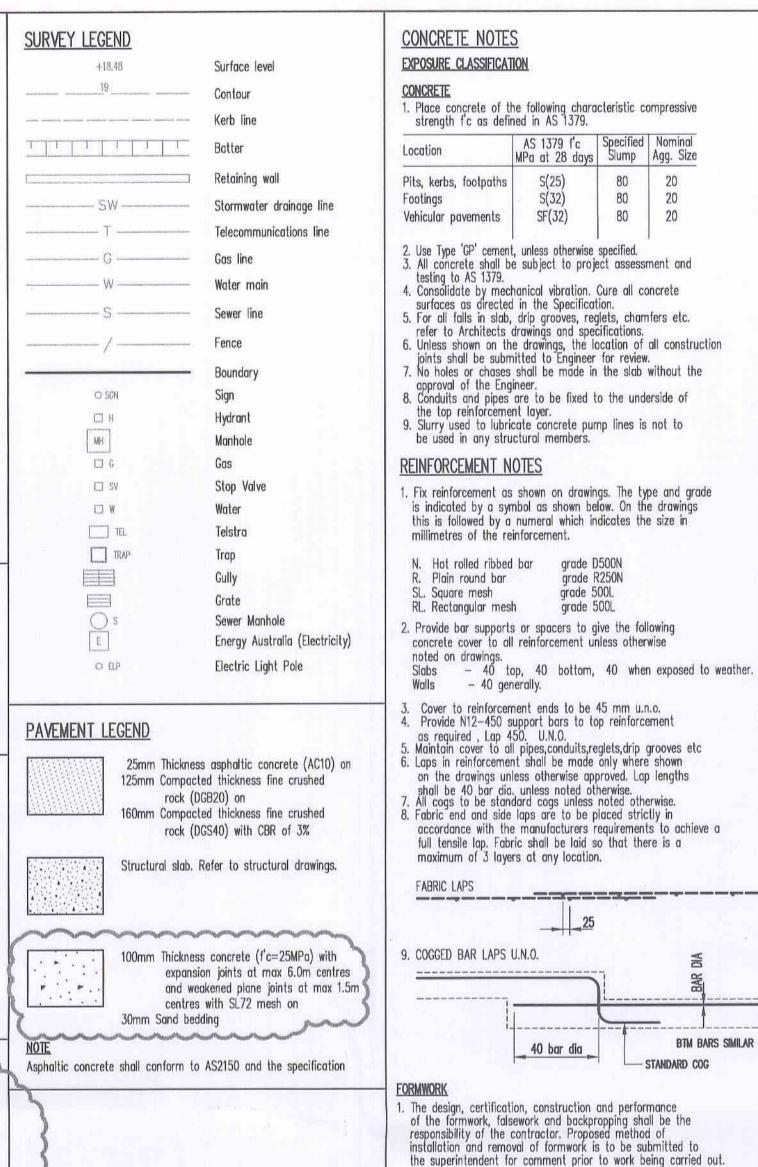
- 1 Electrical insect killing light devices should not be used outside and not installed anywhere that they can attract and kill micro-bats
- 2 Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation
- The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc to enquire whether there are any underground utility services within the proposed excavation area
- 4 It is the Project Managers responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate
- 5 In accordance with Section 95(2) of the Act, this consent will lapse if the development, the subject of this consent, is not commenced within 2 years after the date from which this consent operates



NOTE Council may be prepared to consider an extension of this Consent period for a further 12 months, however, the request for extension would have to be received during the initial 2 year period

- To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended)
- 7 Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979 Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request, within 1 year from the date of determination
- 8 If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent
- 9 The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to the web site at www sydneywater com au then see Building Developing and Plumbing then Quick Check, or telephone 13 20 92

SURVEY AND SERVICES INFORMATION GENERAL NOTES 1. Contractor must verify all dimensions and existing levels on site prior Origin of levels : Contact Architect to commencement of works. Any discrepancies to be reported to the Datum of levels : A.H.D. AUSTRALIAN HEIGHT DATUM Coordinate system : LOCAL 2. Strip all topsoil from the construction area. All stripped topsoil shall Survey prepared by: Contact Architect be disposed of off-site unless directed otherwise. 3. Make smooth connection with all existing works. Taylor Thomson Whitting does not guarantee that the survey information 4. Compact subgrade under buildings and pavements to minimum 98% shown on these drawings is accurate and will accept no liability for any standard maximum dry density in accordance with AS 1289 5.1.1. inaccuracies in the survey information provided to us from any cause Compaction under buildings to extend 2m minimum beyond building whatsoever. UNDERGROUND SERVICES - WARNING 5. All work on public property, property which is to become public The locations of underground services shown on Taylor Thomson property, or any work which is to come under the control of the Whittings drawings have been plotted from diagrams provided by Statutory Authority is to be carried out in accordance with the service authorities. This information has been prepared solely for the requirements of the relevant Authority. The Contractor shall obtain authorities own use and may not necessarily be updated or accurate. these requirements from the Authority. Where the requirements of the Authority are different to the drawings and specifications, the The position of services as recorded by the authority at the time of requirements of the Authority shall be applicable. installation may not reflect changes in the physical environment 6. For all temporary batters refer to geotechnical recommendations. subsequent to installation. Taylor Thomson Whitting does not guarantee that the services information shown on these drawings shows more than the presence REFERENCE DRAWINGS or absence of services, and will accept no liability for inaccuracies 1. These drawings have been based from, and to be read in conjunction in the services information shown from any cause whatsoever. with the following Consultants drawings. Any conflict to the drawings The Contractor must confirm the exact location and extent of must be notified immediately to the Engineer. services prior to construction and notify any conflict with the drawings immediately to the Engineer/Superintendent. Consultant Dwg No Rev BERGSTROM MASTERPLAN DA 2.02 H 20.07.07 The contractor is to get approval from relevant the state survey department, to remove any survey mark. This includes but is not limited NORTHERN CARPARK DA-CP 2.02 P2 23.07.08 BERGSTROM to; State Survey Marks (SSM), Permanent Marks (PM), cadastral GROUND LEVEL reference marks or any other survey mark which is to be removed or adjusted in any way. NORTHERN CARPARK DA-CP 2.01 P2 23.07.08 BERGSTROM Taylor Thomson Whitting plans do not indicate the presence of any LOWER GROUND LEVEL survey mark. The contractor is to undertake their own search. DA-CP 102 P2 23,07,08 BERGSTROM SITEPLAN EROSION AND SEDIMENT CONTROL NOTES PIT SCHEDULE 1. All work shall be generally carried out in accordance with Note: Grate size does not necessarily reflect pit size, refer pit (A) Local authority requirements, type details, shown on detail sheets - CO6 (B) EPA - Pollution control manual for urban stormwater, Type Description Cover (Clear Opening) Number (C) Department of conservation and land management manual— "Urban Erosion & Sediment Control". 300 x 300 Class C galvanised mild Erosion and sediment control drawings and notes are provided for steel grate hinged to frame the whole of the works. Should the Contractor stage these works then the design may require to be modified. Variation to these 450 x 450 Class C galvanised mild details may require to be approved by the relevant authorities. steel grate hinged to frame 18,19,20,21 The erosion and sediment control plan shall be implemented and 22,23,24,25 adopted to meet the varying situations as work on site progresses. Maintain all erosion and sediment control devices to the satisfaction of the superintendent and the local authority. 2,3,28,29, 600 x 600 Class C galvanised mild B Surface steel grate hinged to frame the pits unless silt fences are erected around pits. C Surface Iron circular grate and frame watercourses. to suit inlet pipe conditions. Existing Pit to remain D Existing enter the disturbed site. All construction vehicles shall enter and exit the site via the temporary construction entry/exit. STORMWATER DRAINAGE NOTES 1 Stormwater Design Criteria (A) Average recurrence interval -1. Maintain all stormwater pipes and pits clear of debris and 1:100 years for car park area 1:20 years for car park area storm event. B) Rainfall intensities 12. Clean out all erosion and sediment control devices after each Time of concentration: 5 minutes storm event. 1:100 years = 261 mm/hr 1:20 years = 203 mm/hr Sequence Of Works (C) Runoff coefficients -1. Prior to commencement of excavation the following soil Car park area: $C_{100} = 1.0$ management devices must be installed. Roads and paved areas: C₂₀ = 0.86 runoff sites. 2. Pipes 300 dia and larger to be reinforced concrete Class "2" 1.2. Construct temporary construction entry/exit and divert runoff to approved spigot and socket with rubber ring joints U.N.O. suitable control systems. 3. Pipes up to 300 dia shall be sewer grade uPVC with solvent 4. Equivalent strength VCP or FCP pipes may be used subject stormwater system. 5. Precast pits may be used external to the building subject to approval as they are constructed. 6. Enlargers, connections and junctions to be manufactured fittings where pipes are less than 300 dia. traps around pits. Where subsoil drains pass under floor slabs and vehicular povements, unslotted uPVC sewer grade pipe is to be used. 8. Grates and covers shall conform with AS 3996-2006, and AS 1428.1 for access requirements. 9. Pipes are to be installed in accordance with AS 3725. All bedding to be type H2 U.N.O. 10. Care is to be taken with levels of stormwater lines. Grades shown are not to be reduced without approval. 11. All stormwater pipes to be 150 dia at 1.0% min fall U.N.O. 12. Subsoil drains to be slotted flexible uPVC U.N.O. 13. Adopt invert levels for pipe installation (grades shown are only nominal). KERBING NOTES Includes all kerbs, gutters, dish drains, crossings and edges. . All kerbs, gutters, dish drains and crossings to be constructed on minimum 75mm granular basecourse compacted to minimum 98% modified maximum dry density in accordance with AS 1289 5.2.1. 2. Expansion joints (EJ) to be formed from 10mm compressible cork filler board for the full depth of the section and cut to profile. Expansion joints to be located at drainage pits, on tangent points of curves and elsewhere at 12m centres except for integral kerbs where the expansion joints are to match the joint locations in slabs. . Weakened plane joints to be min 3mm wide and located at 3m centres except for integral kerbs where weakened plane joints are to match the joint locations in slabs. 1. Broomed finished to all ramped and vehicular crossings, all other kerbing or dish drains to be steel float finished. 5. In the replacement of kerbs -Existing road payement is to be sawcut 900mm from lip of



TTW Job No

ISSUE FOR CO-ORDINATION STC SC 22.05.09 B ISSUE FOR TENDER CP TB 17.04.09 A ISSUE FOR TENDER CP TB 17.04.09 Rev Description Eng Draft Date

PITTWATER RSL CLUB

Sheet Subject NOTES AND LEGENDS

THOMAS BERGSTROM ARCHITECTS

TaylorThomsonWhitting Consulting Engineers

Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 578 377

Scale: A1 NO SCALE

SCANNED

1 7 .IIIN 2009

PITTWATER COUNCIL ISSUE FOR TENDER NOT TO BE USED FOR CONSTRUCTION 091087

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NORTHERN CARPARK

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PDL:1/19

Plot File Created: May 22, 2009 - 4:39pm

A1 1111111 0 1 2 3 4 5 6 7 8 9 10

gutter. Upon completion of new kerbs, new basecourse and

surface is to be laid 900mm wide to match existing materials

and thicknesses. Existing allotment drainage pipes are to be built into the new kerb with a 100mm dia hole.

Existing kerbs are to be completely removed where new kerbs

are shown.

When stormwater pits are constructed prevent site runoff entering Minimise the area of site being disturbed at any one time.

Protect all stockpiles of materials from scour and erosion. Do not stockpile loose material in roadways, near drainage pits or in All soil and water control measures are to be put back in place at the end of each working day, and modified to best suit site

3. Control water from upstream of the site such that it does not

10. All vehicles leaving the site shall be cleaned and inspected before

sediment. Inspect stormwater system and clean out after each

1.1. Construct silt fences below the site and across all potential

1.3. Construct measures to divert upstream flows into existing

1.4. Provide sandbag sediment traps upstream of existing pits 2. Construct geotextile filter pit surround around all proposed pits

3. On completion of pavement provide sand bag kerb inlet sediment

as the adjacent material. 3. All service trenches under vehicular pavements shall be backfilled with an approved select material and compacted to a minimum 98% standard maximum dry density in accordance with AS 1289 5.1.1

1. All basecourse material to comply with RTA specification No 3051

and compacted to minimum 98% modified standard dry density in

2. All trench backfill material shall be compacted to the same density

TENDER NOTES

SITEWORKS NOTES

accordance with AS 1289 5.2.1.

SITEWORKS LEGEND

● F22.20

K&G

600 ø '2'

Q=345 L/s

1.25%

L9.65

_____F22.00 ____ Finished contour

Kerb and gutter

< - <--- Overland flow path</p>

Stormwater pit, flow direction

Kerb only

Finished surface level

and line with

Pipe grade

Grated drain

Wheel stop

Storm water pit label

Concrete encased stormwater line

-> --> Catch Drain/ Grass swale

Invert level upstream

Pipe size and class

Flow (Litres per second)

Invert level downstream

These drawings are preliminary drawings issued for tender as an

indication of the extent of works only. They are not a complete construction set of drawings. To determine the full extent of work, these drawings shall be read in conjunction with the architectural drawings and other contract documents.

Allow for all items shown on architectural and other drawings as not all items are shown on the structural/civil works drawings. 3. Should any ambiguity, error, omissions, discrepancy, inconsistency or other fault exist or seem to exist in the documents, immediately

notify in writing to the Superintendendent. Rates shown on the drawings are for the final structure/civil works in place and do not allow for any wastage, rolling margins, over supply or fabrication requirements, etc.

JOINTING NOTES

1. Expansion joints are to be located where possible at tangent points of curves and elsewhere at max 6.0m centres. 2. Weakened plane joints are to be located at a max 1.5 x width of the pavement.

adjacent pavement joints. 4. All pedestrian footpath jointings as follows (uno).

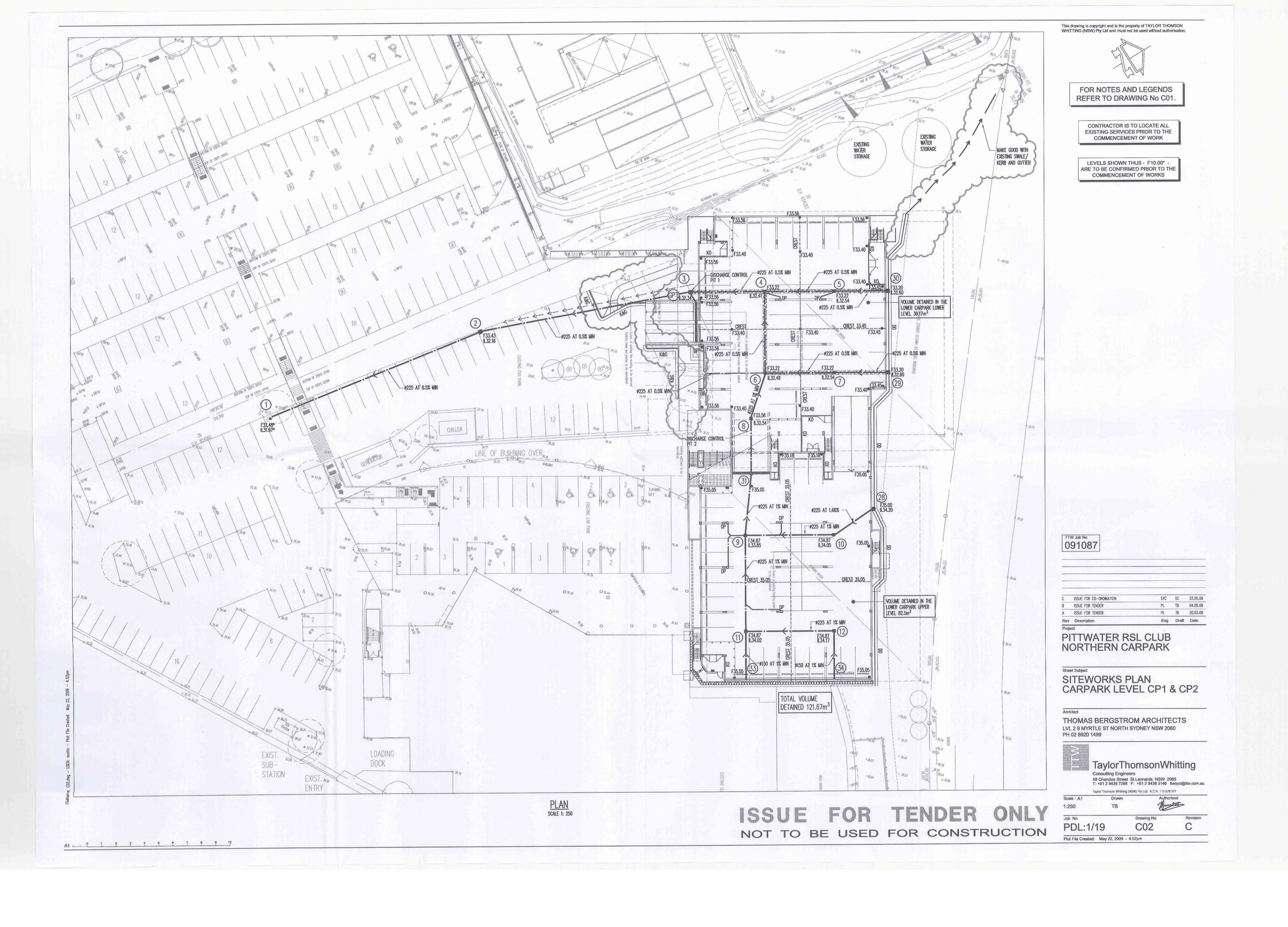
3. Where possible joints should be located to match kerbing and / or

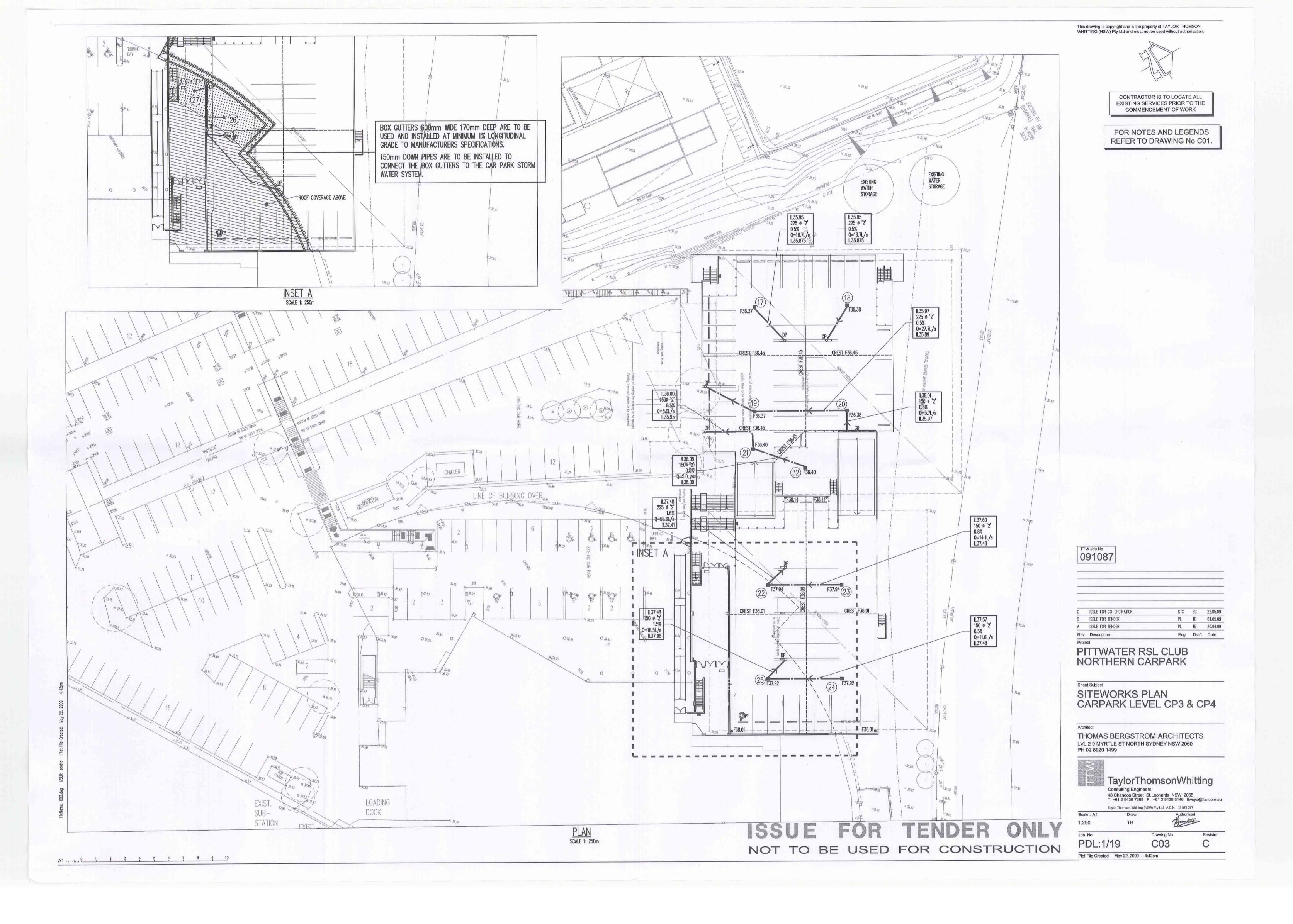
1.5 x₁ W (1.5m₁MAX)

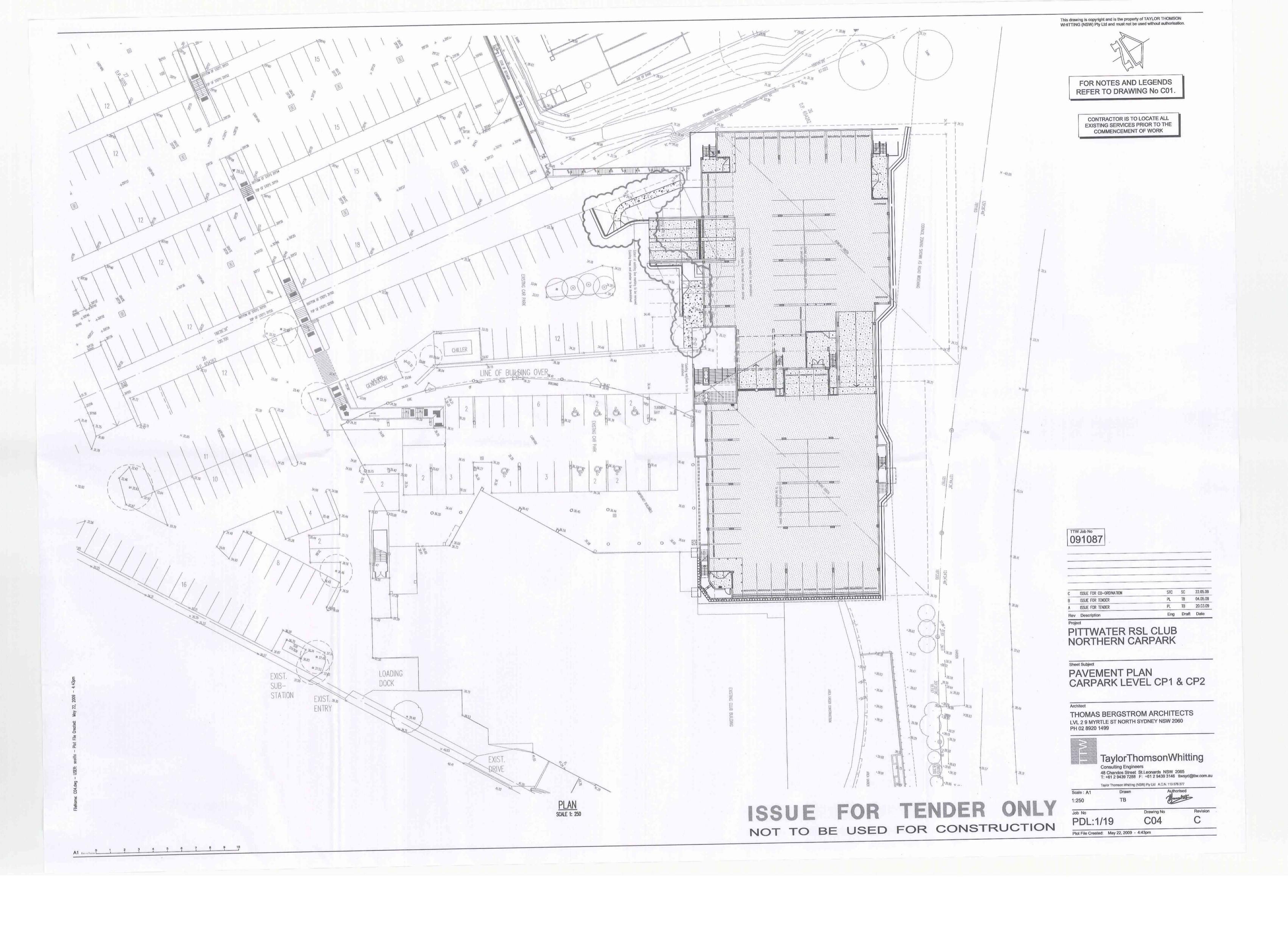
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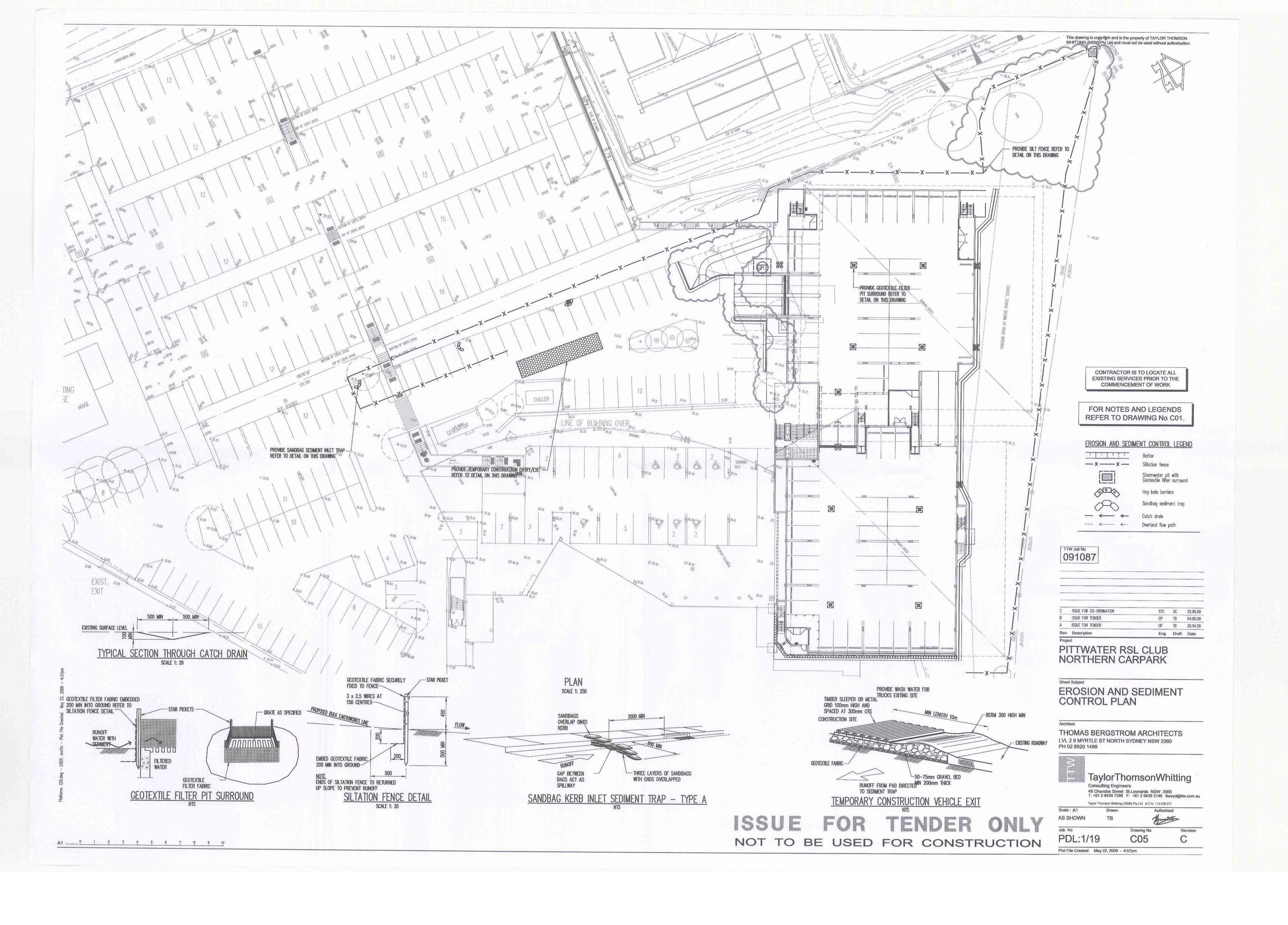
Architect

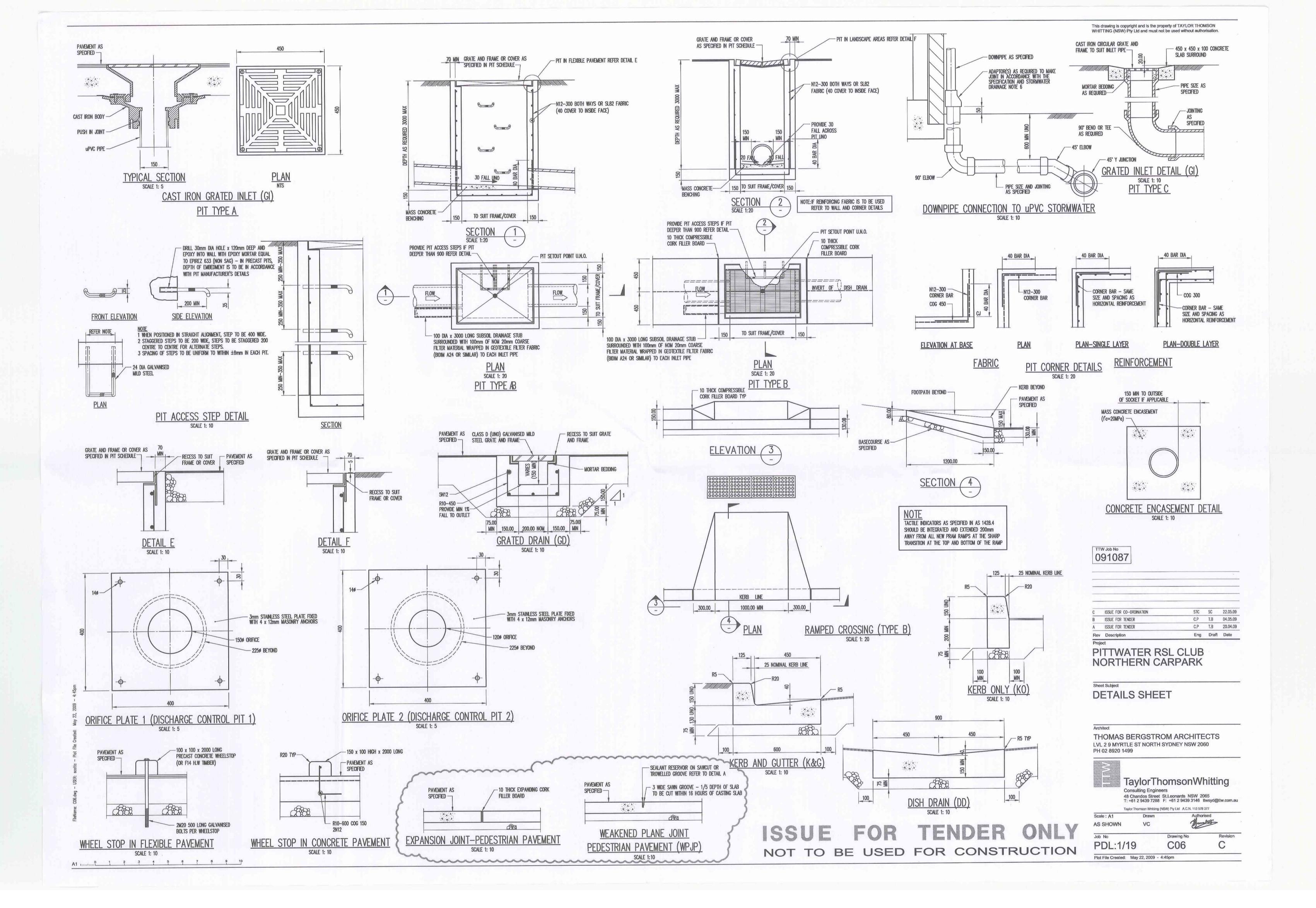
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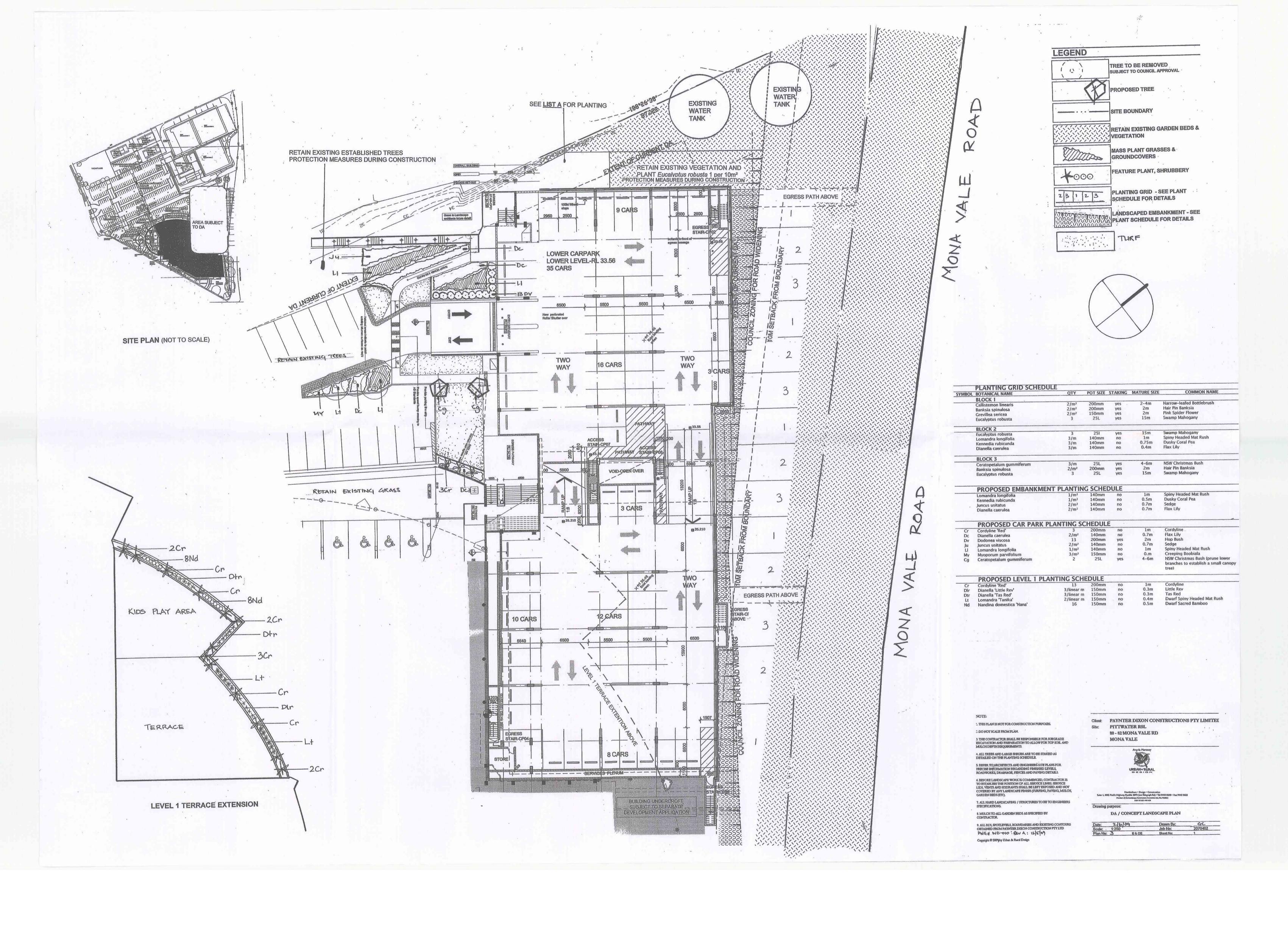




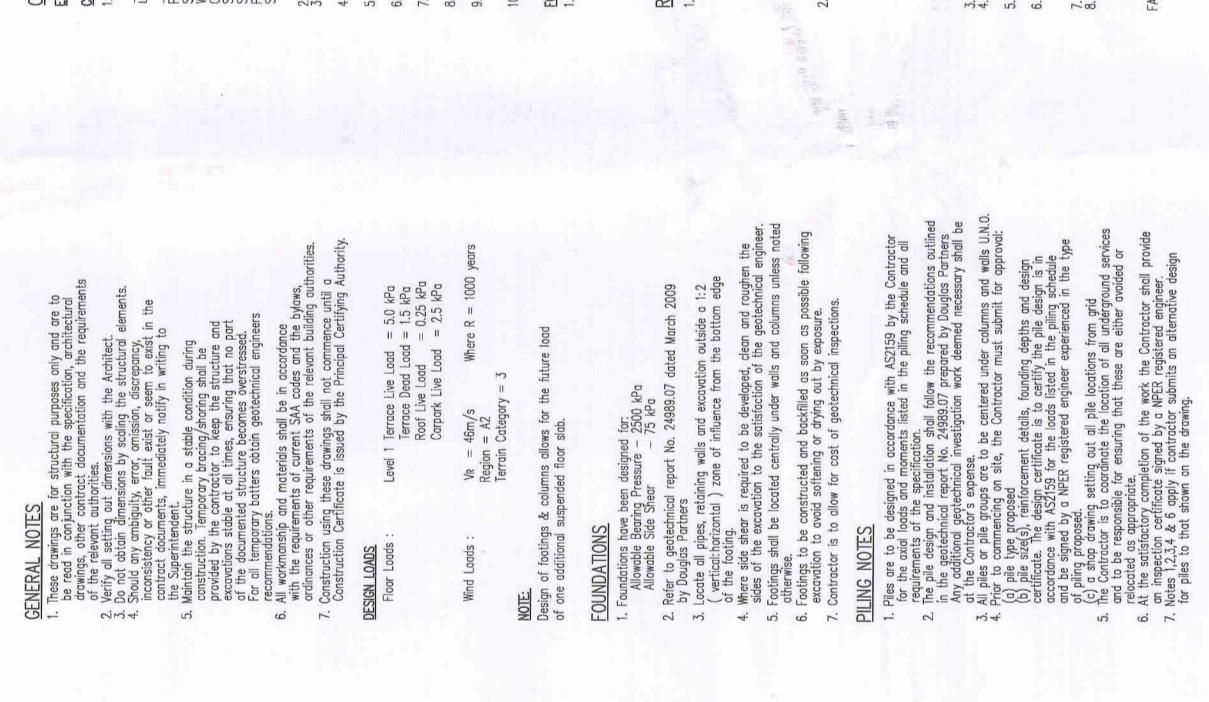








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POST—TE GENERAL 1. Submit all drawing to construction 2. All reaction contractor contractor software and second contractor contractor software and second	o. Stressing compaction and the structural be kept set 4. Holes core structural DESIGN ASSU The design of Friction of Friction of the structural of the structural design of the structural of the structural design of the	Wobble (no brow-in Relaxation (after 1 (after 1 1)) TENDONS 1. Strand shr relaxation unless den unless den with AS 44 unless nott with cast in with cast in be parabol measured of the ducon unless nott den door the ducon unless not the ducon unless not the ducon den door the ducon unless not the ducon door the ducon unless not the ducon door door door door door door door do	Offsets mo Offsets mo 4. Tendon no No. o	On tenc CENTRA NO DRA 5. Ducting sh 5. Seal off al during conc	1. Tendons strong otherwise 12.7dia strong strong strong strong strong strong for Each individual strong for strong strong for strong strong for strong strong for st	3. Records of operation of peration of characters of operation of characters of characters of the char	Exposure 1. After final to give 30n 2. Provide rec inspect an 3. Thoroughly necessary) 6. Frime all n 6. Grout up r Infill is to	7. The control have been	
ON: External: B1 Internal: A1 e following characteristic compressive ed in AS 1379 fc MPa Specified Nominal	of 28 days Sump Agg. Size N(25) 80 20 S(40) 80 20 S(25) Schedule 80 20 S(40) 80 20	 Use Type 'SL' cement, unless otherwise specified. All concrete shall be subject to project assessment and testing to AS 1379. Consolidate by mechanical vibration. Cure all concrete surfaces as directed in the Specification. For all falls in slab, drip grooves, reglets, chamfers etc. refer to Architects drawings and specifications. Unless shown on the drawings, the location of all construction joints shall be submitted to Engineer for review. No holes or chases shall be made in the slab without the approval of the Engineer. Conduits and pipes are to be fixed to the underside of the top reinforcement layer. Slurry used to lubricate concrete pump lines is not to be used in any structural members. Indicates Slab or Band thickness variation. 	MWORK The design, certification, construction and performance of the formwork, falsework and backpropping shall be the responsibility of the contractor. Proposed method of installation and removal of formwork is to be submitted to the superintendent for comment prior to work being carried out. INFORCEMENT NOTES	Fix reinforcement as shown on drawings. The type and grade is indicated by a symbol as shown below. On the drawings this is followed by a numeral which indicates the size in millimetres of the reinforcement. N. Hot rolled ribbed bar grade D500N R. Plain round bar grade R250N SL. Square mesh grade 500L RL. Rectangular mesh grade 500L	2. Provide bar supports or spacers to give the following concrete cover to all reinforcement unless otherwise noted on drawings. Footings — 50 top, 50 bottom, 50 sides. Slabs — 20 top, 25 bottom, - 30 when exposed to weather or ground. Beams — 30 bottom, 30 sides, 30 top to ties Columns — 40 to ties and spirals. — 45 when exposed to weather or ground. Walls — 40 generally.	3. Cover to reinforcement ends to be 45 mm u.n.o. 4. Provide N12—450 support bars to top reinforcement as required , Lap 450. U.N.O. 5. Maintain cover to all pipes, conduits, reglets, drip grooves etc. 6. Laps in reinforcement shall be made only where shown on the drawings unless otherwise approved. Lap lengths shall be 40 bar dia. unless noted otherwise. 7. All cogs to be standard cogs unless noted otherwise. 8. Fabric end and side laps are to be placed strictly in accordance with the manufacturers requirements to achieve a full tensile lap. Fabric shall be laid so that there is a maximum of 3 layers at any location. ABRIC LAPS	.N.O. Jr ———————————————————————————————————	he extent of area covered by bars. the extent of area covered by bars. change in bar shape and/or length. to repeat bars tagged thus (a) etc. DIRECTION INDICATED BY ARROW. red on plan are to be placed alternately. s of different length and/or shape lifting a placed one per space centrally over column. NN DRAWINGS: d Otherwise E.W. — Each Way of Or Plan E.F. — Each Face On Elevation N.F. — Near Face Vary F.F. — Far Face	
CONCRETE NOTES EXPOSURE CLASSIFICATION: External: B1 Internal: A1 CONCRETE 1. Place concrete of the following charact strength fc as defined in AS 1379. Location AS 1379	Piers Shoring Walls Columns Slabs on Ground Suspended Slabs Footings	2. Use Type 'SL' ceme to AS 1379. 4. Consolidate by mechanist and the Sa directed in the Sa directed in the Sa frontiers drawings. 5. For all falls in slab, Architects drawings. 6. Unless shown on the joints shall be subm. 7. No holes or chases approval of the Engle Conduits and pipes reinforcement layer. 9. Slurry used to lubricin any structural me in any structural me.	FORWWORK 1. The design, certification, corformwork, falsework and bac of the contractor. Proposed of formwork is to be submit comment prior to work bein REINFORCEMENT NOTES	Grade is indicated by a symbol drawings this is followed by the size in millimetres of the R. Plain round bar SL. Square mesh RL. Rectangular mesh	2. Provide bar supports concrete cover to a noted on drawings. Footings – 20 top, Slabs – 30 whe Beams – 30 whe Columns – 40 to 1 deals – 45 when	Cover to reinforceme required, Lap 450. Superequired, Lap 450. Maintain cover to all etc. Laps in reinforcemen the drawings unless be 40 bar dia. unless be 40 bar dia. unless held cogs to be stand in Fabric end and side accordance with the accord	Cogged Bar Laps U.N.O. Bottom Bars Similar	ALINFORCEMENT LEGEND Perotes the extent of area covered to be plants shown staggered on plan are to be plants shown staggered on plan are to be plants shown staggered on plan are to be plants. ALT. denotes bars of different length and, to be laid alternately. 13M16	

2. Masony units shall comply with AS/NZS 4455 and as follows:

Type of masonry unit congressive strength (fue) modulus of nature (fut) Cloy & Colcium silicate 15 MPa (nation wills)

Charles (used in congressive strength (fue) modulus of nature (fut) unreinforced non-included in the congressive strength (fue) modulus of nature (nature) No. of strands in each tendon d type: 5s = 12.7 dia strands 6s = 15.2 dia strands is placed flat at centre of slab straight line between ordinates

Unless noted.

Unless noted.

Unless noted.

(a) Use 10mm thic.

(b) All welds 6mm contin.

(c) All bolts 20mm dia.

(d) All bolts 20mm dia.

(e) All holding down bolts are grade 4.6 v...

(f) All bolts, including holding down bolts are to galvanized.

(g) All fillet welds to be category GP.

(h) Butt welds to be category GP.

(h) Butt weld all lightens to be butt welded.

All butt weld all stiffener plates to be butt welded.

All connections to have a minimum of 2 bolts.

(j) Studs fabricated by 281554.2

All shear studs (composite sida to steel) grade 410 MPa. I threaded studs (steel to steel) grade 380 MPa.

1. Bolting categories are identified on the drawings in the followir manner.

4.6/\$ Commercial bolts of grade 8.8 snug tightened.

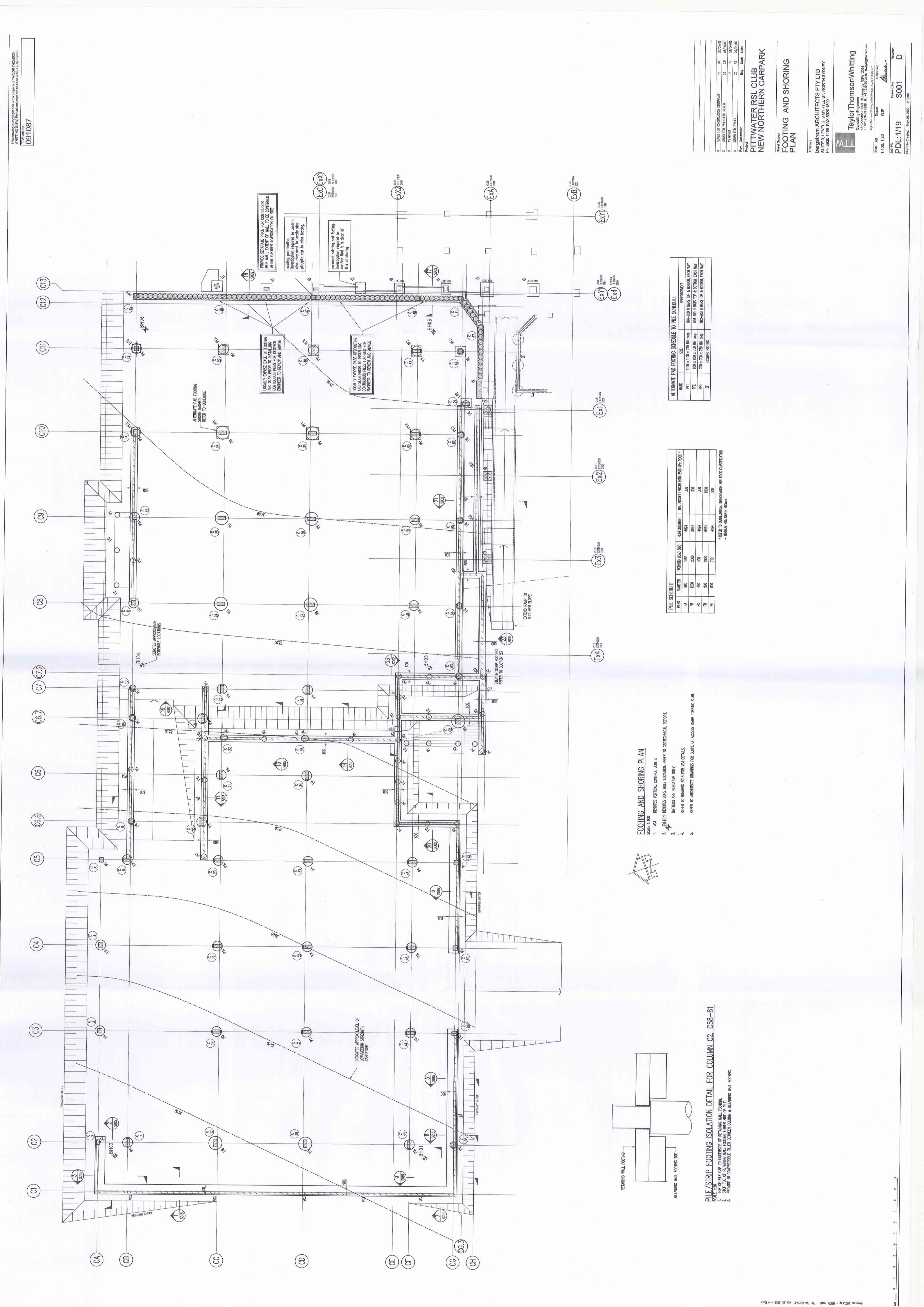
8.8/\$ high strength bolts of grade 8.8 snug tightened.

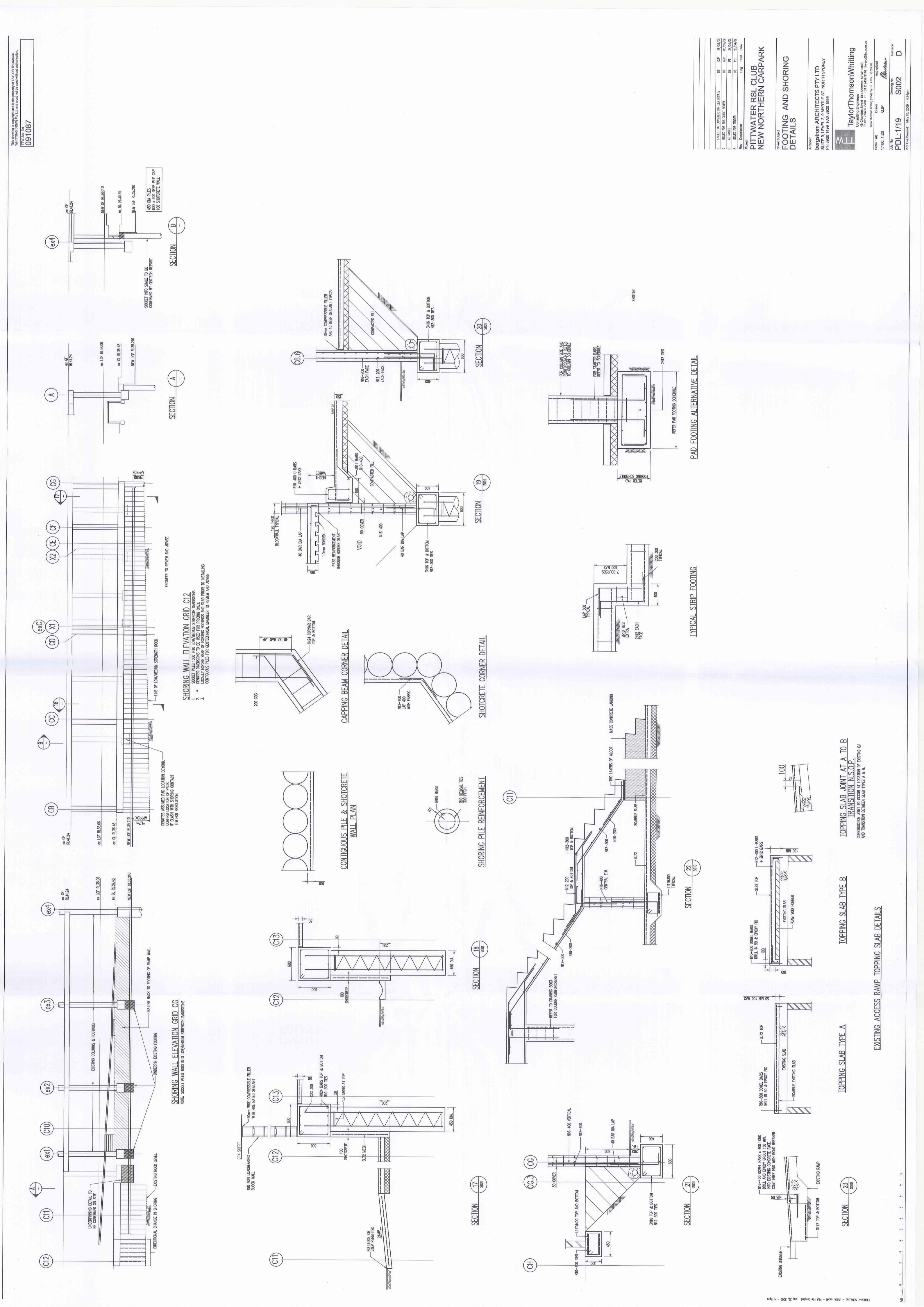
8.8/\$ high strength bolts of grade 8.8 fully tensioned to AS4100 as a bearing type joint with faying to AS4100 as a friction type joint with faying bear and a friction type bear and a friction type in the and a friction a

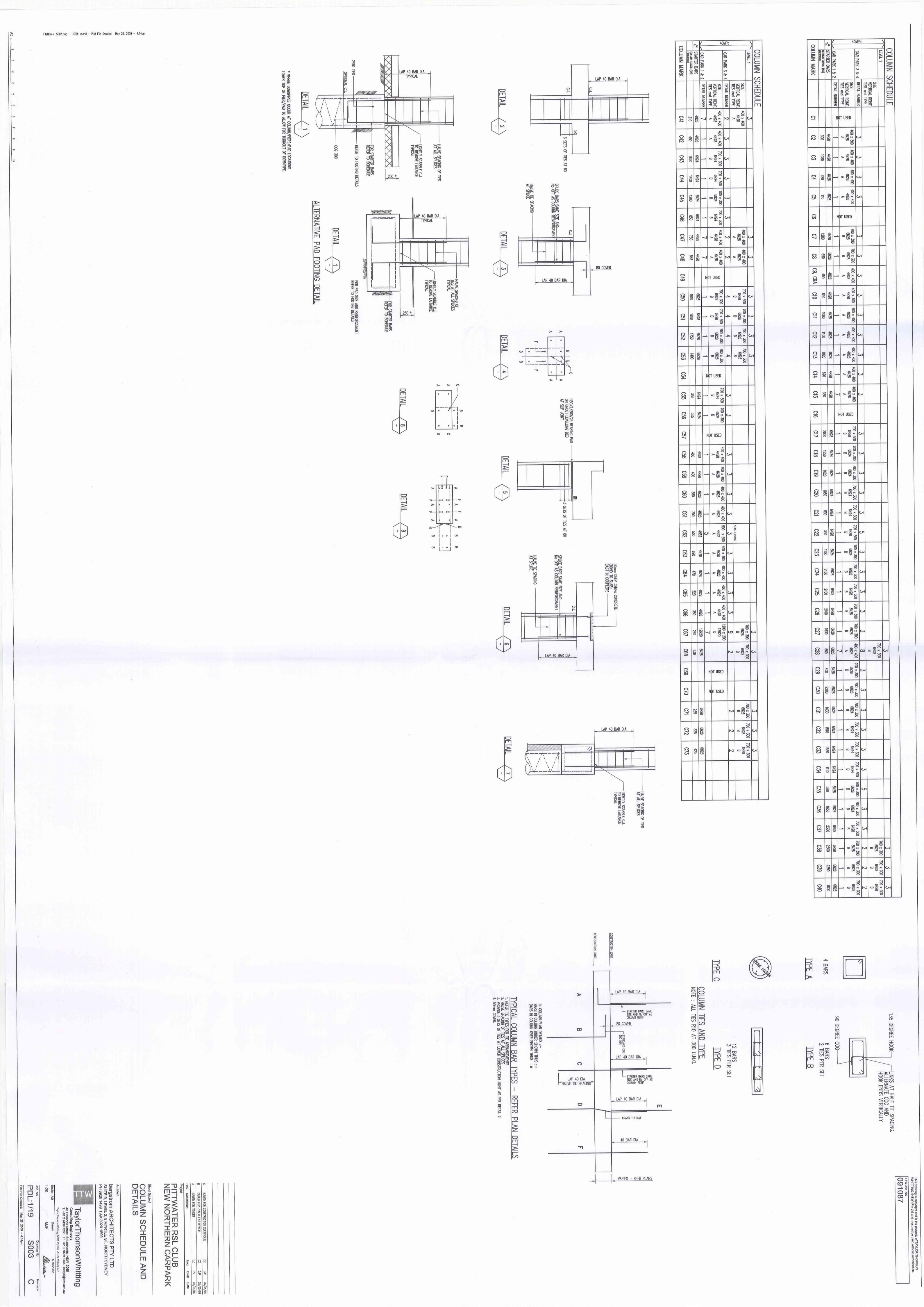
PITTWATER RSL CLUB NEW NORTHERN CARPARK

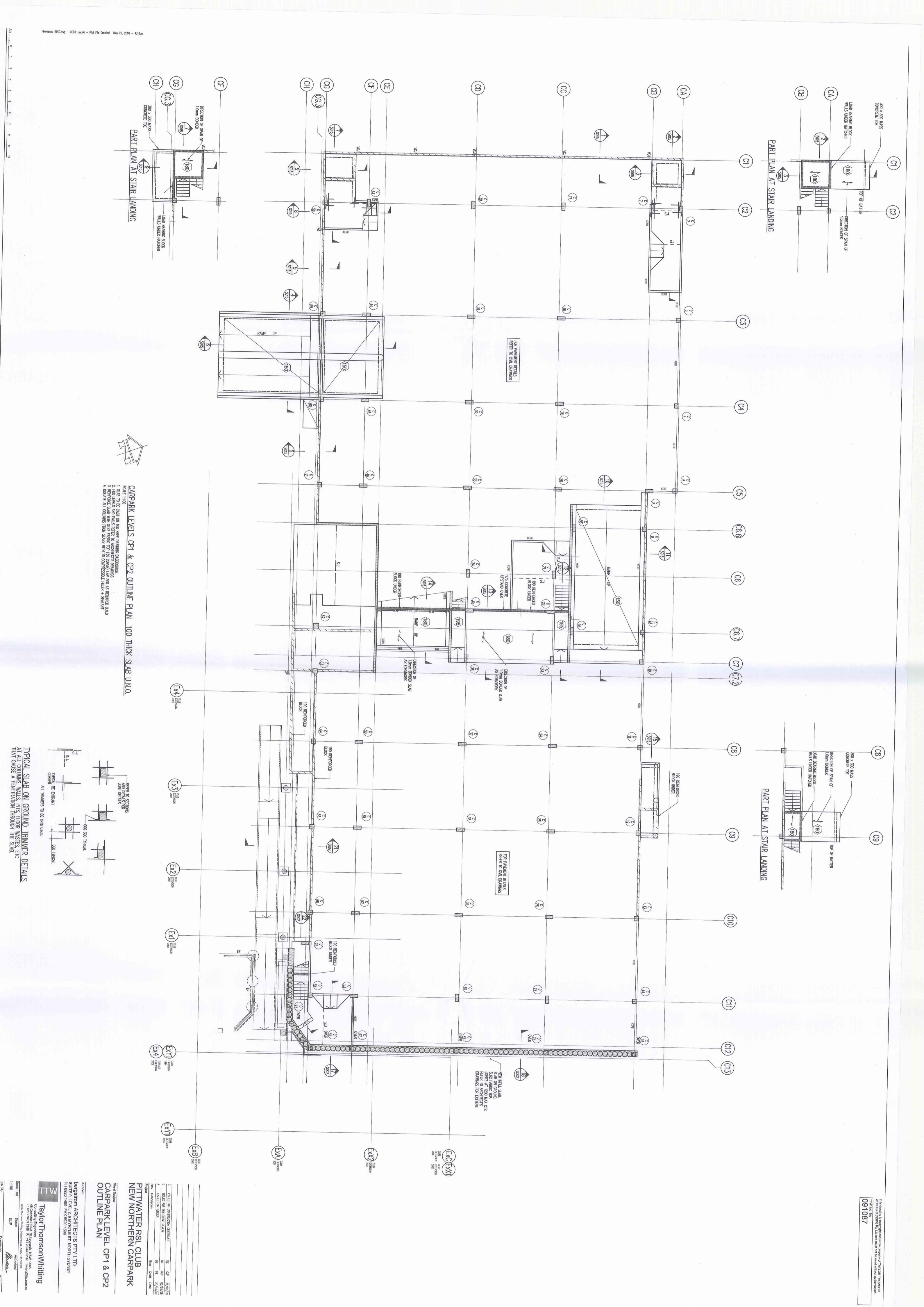
TaylorThomsonWhitting
Consulting Engineers
48 Chandos Street St.Leonards NSW 2065
T: +61 2 9439 7288 F: +61 2 9439 3146 twsyd@ttw.con ergstrom ARCHITECTS PTY LTD JITE 9, LEVEL 2, 9 MYRTLE ST. NORTH SYDI 1 8920 1499 FAX 8920 1599 PDL:1/19 S000
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NOTES SHEET

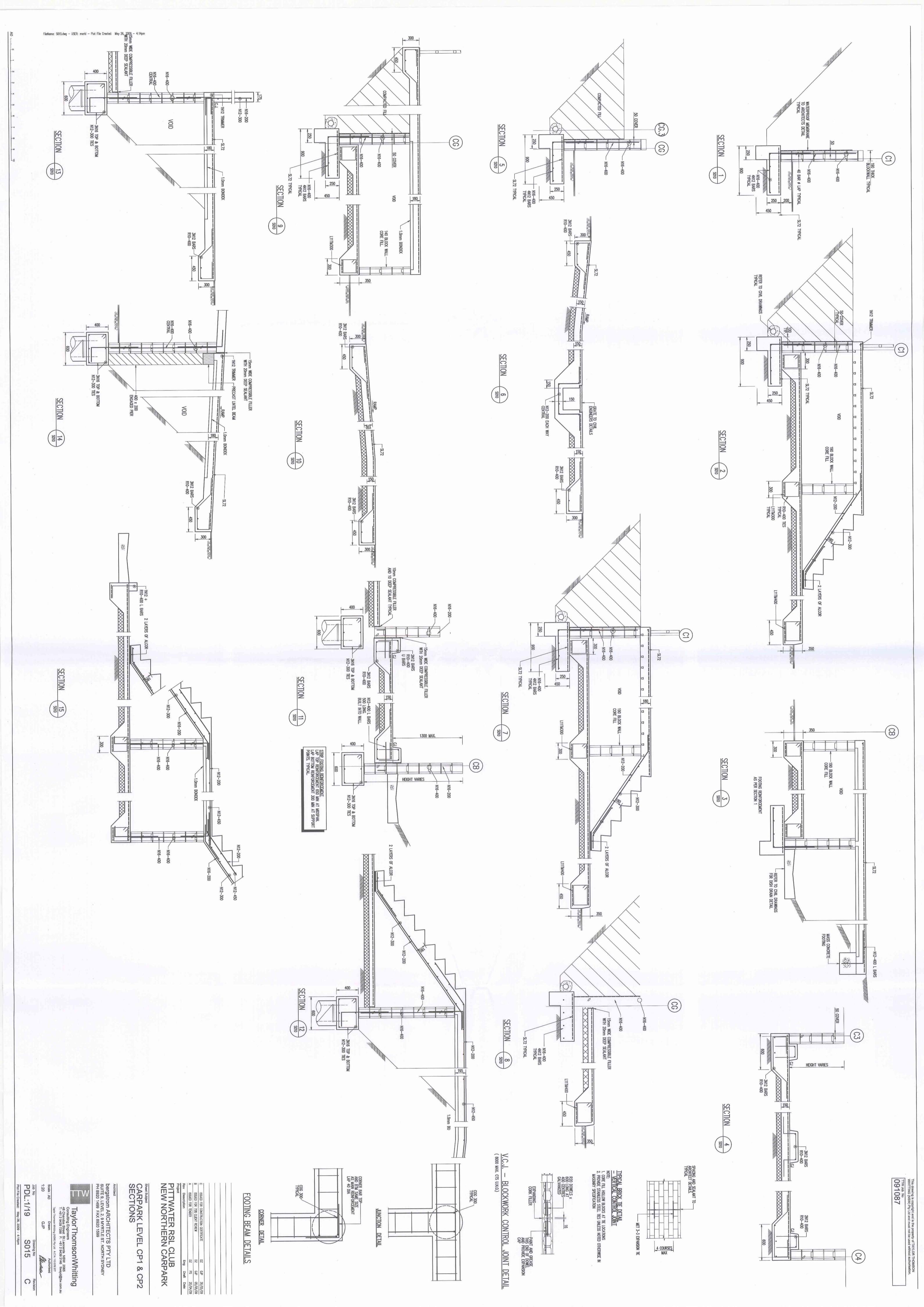
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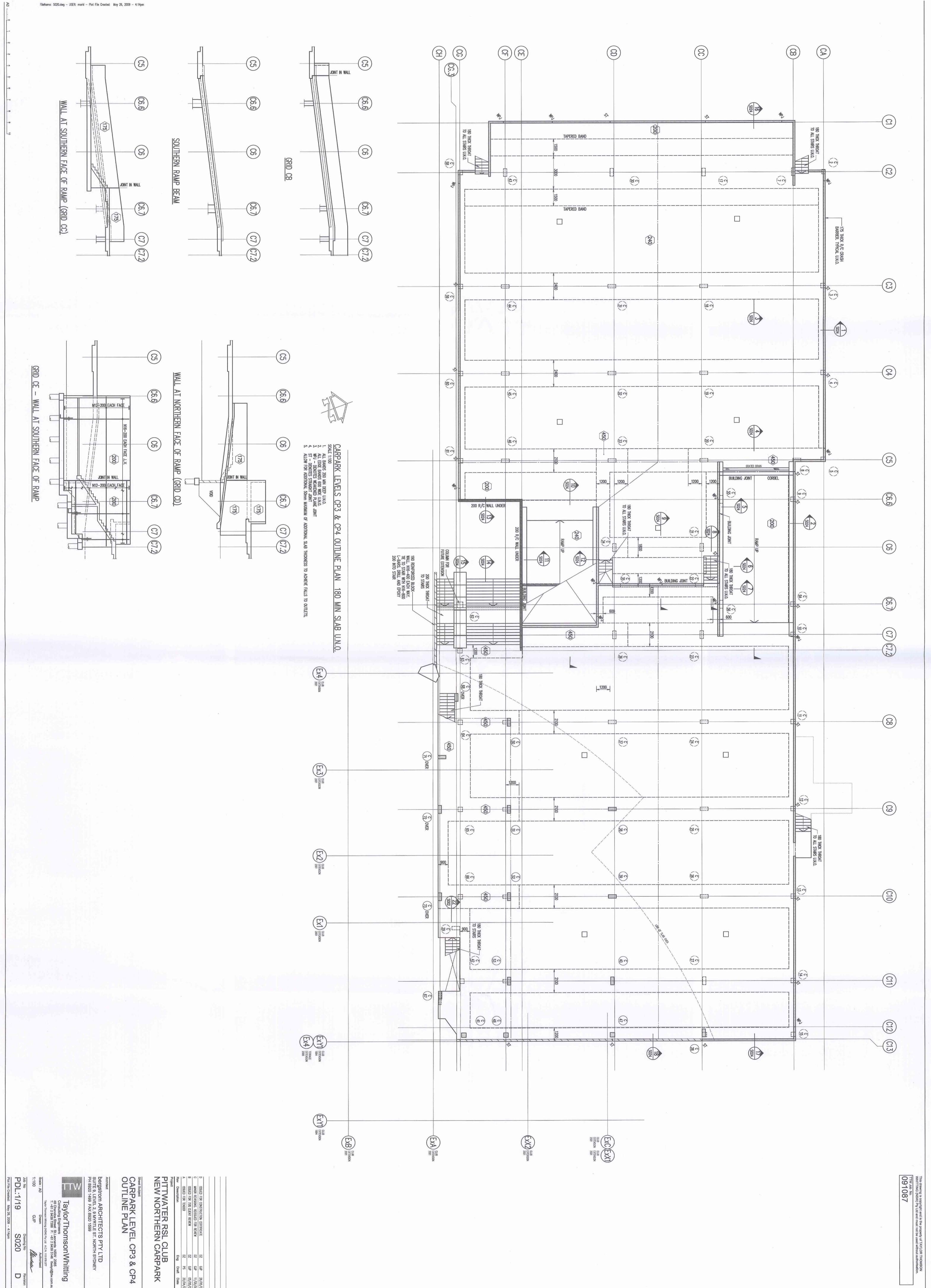






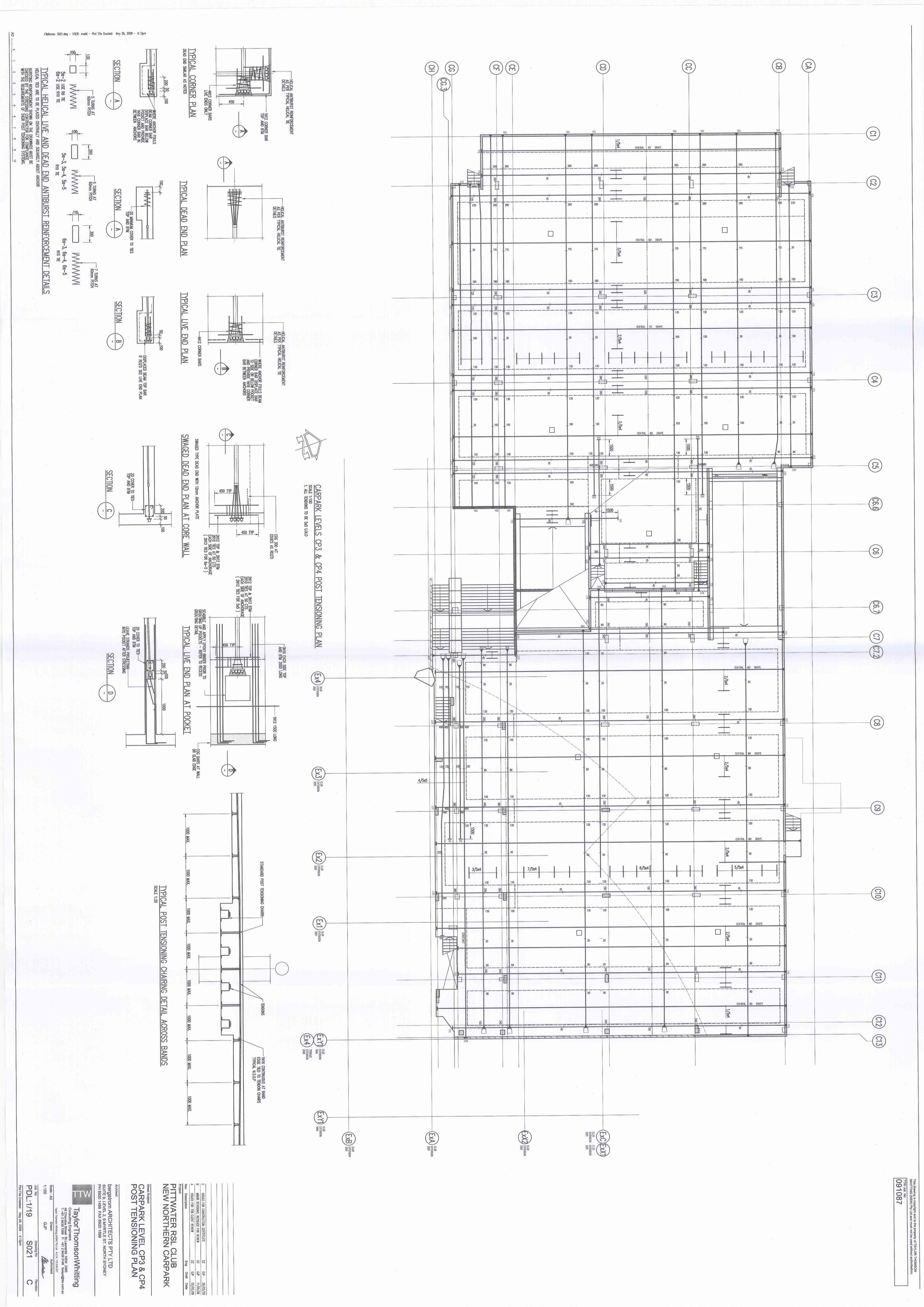


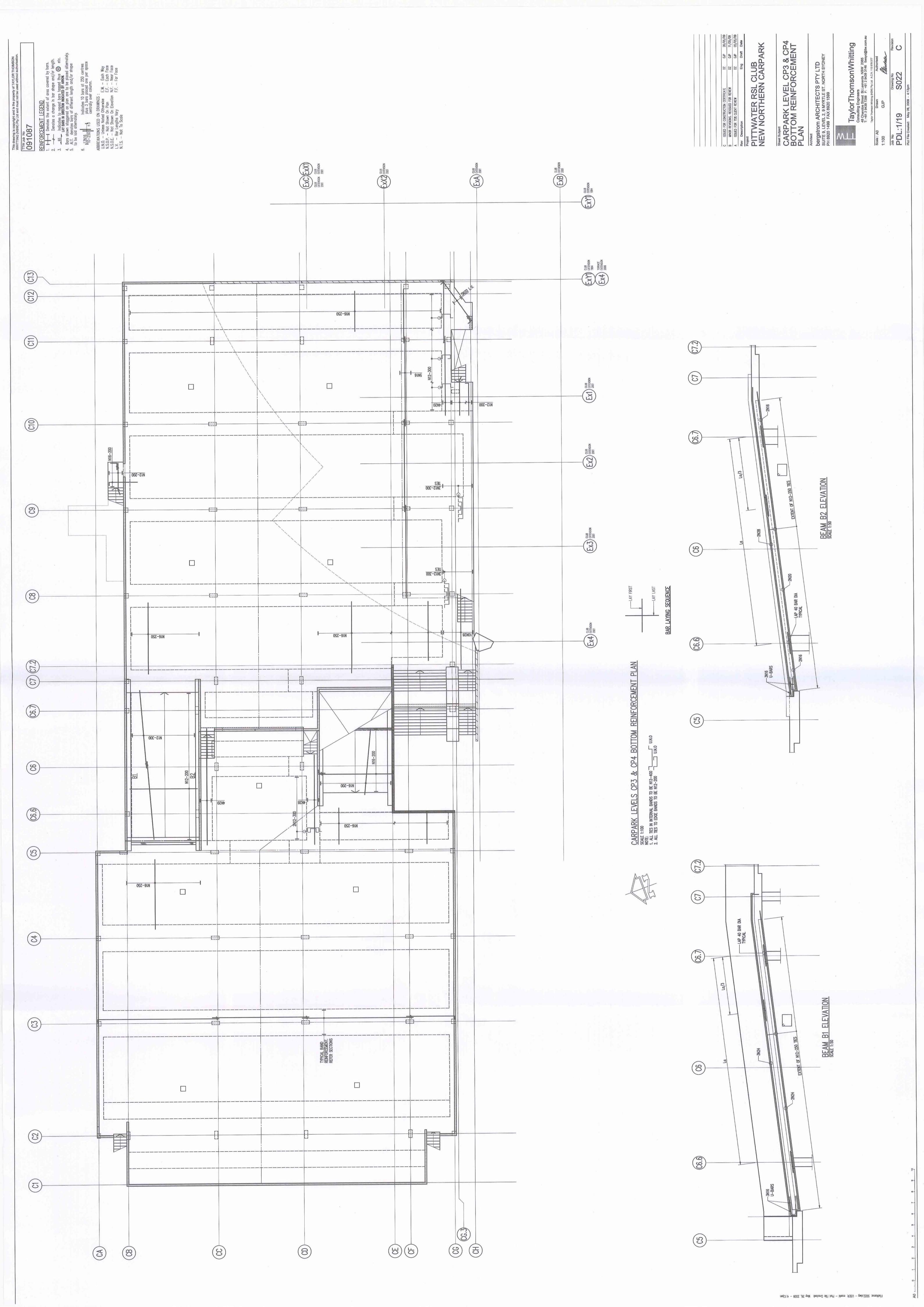


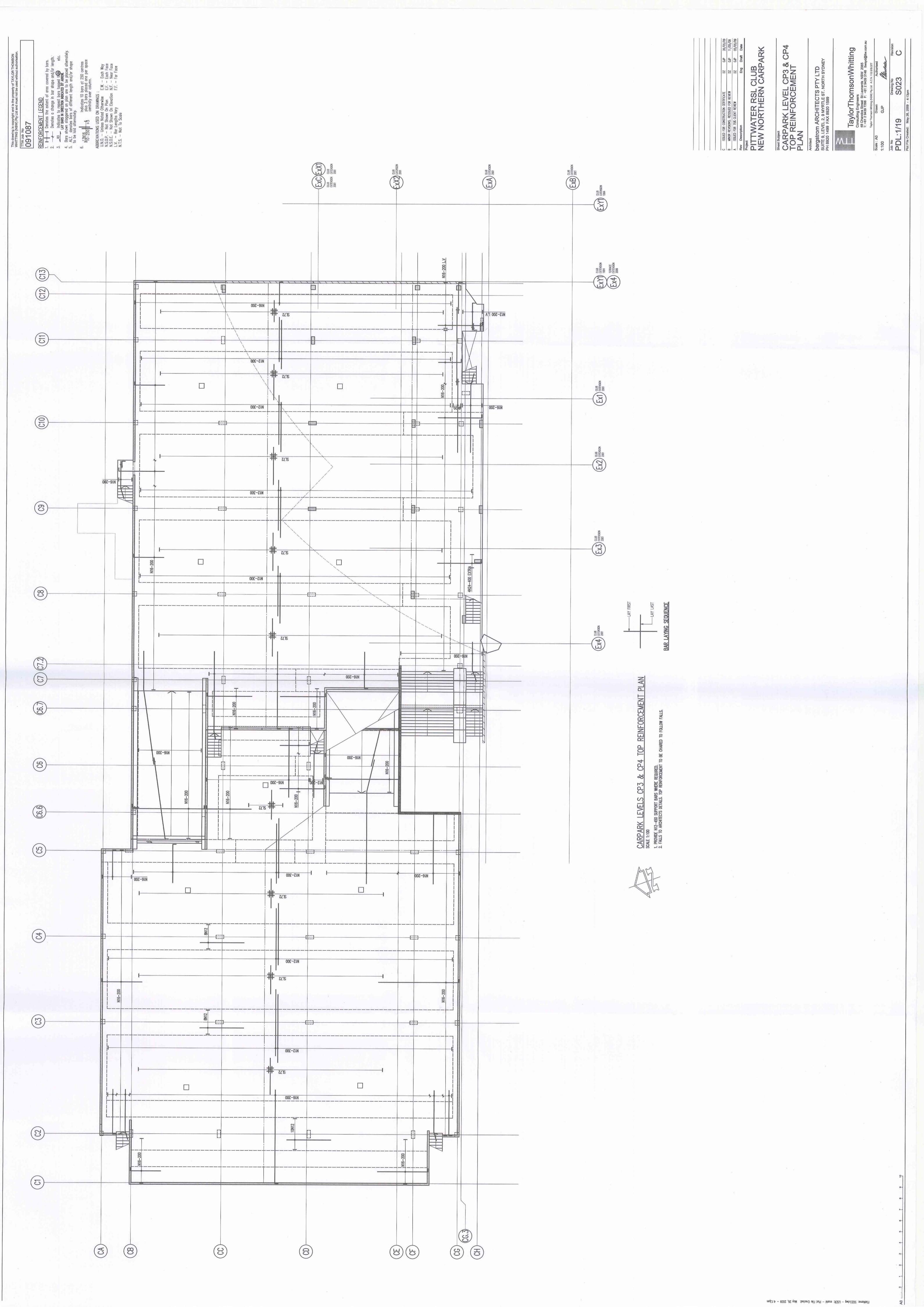


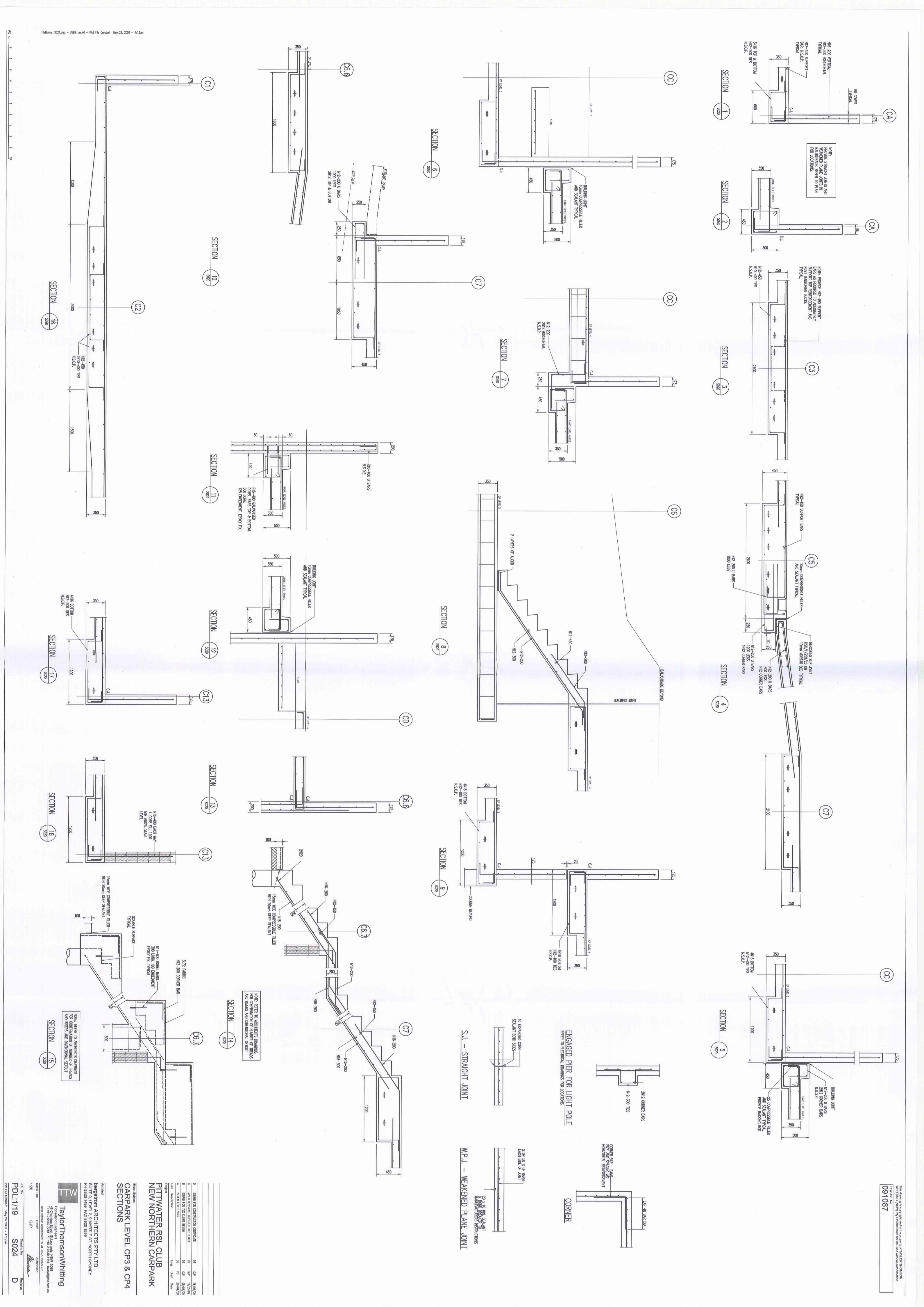
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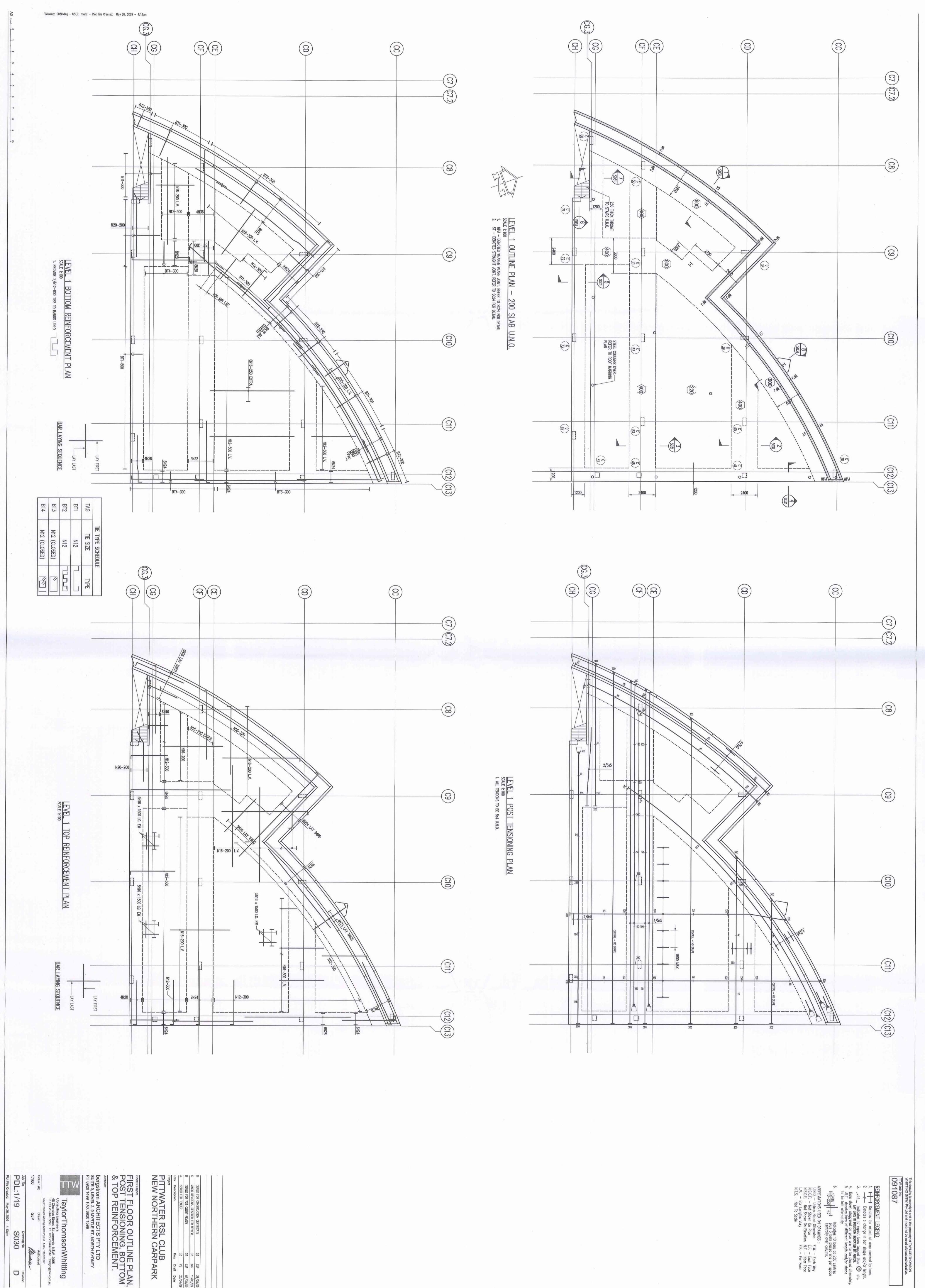
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REINFORCEMENT LEGEND

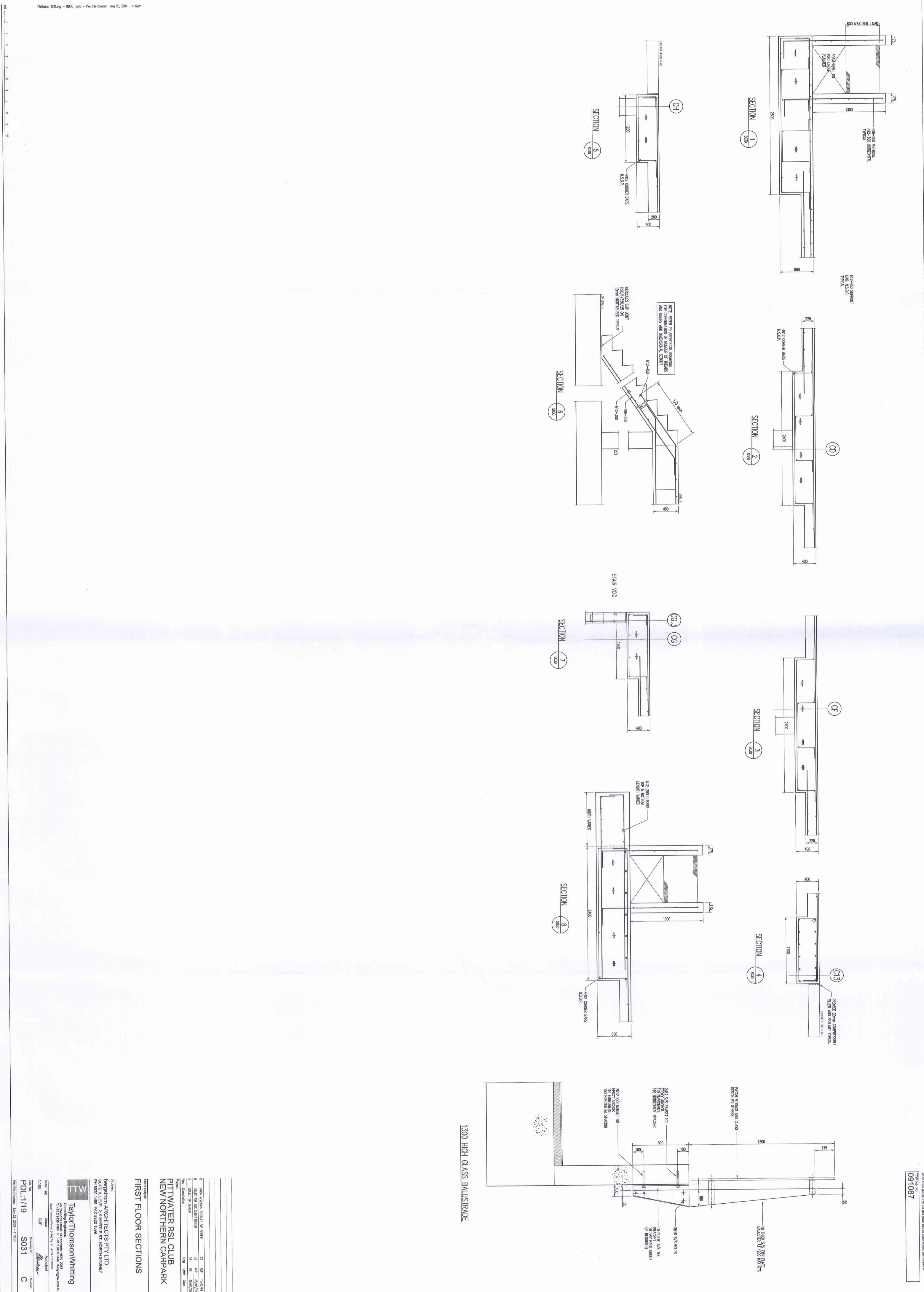
1. I Denotes the extent of area covered by bars.
2. Denotes a change in bar shape and/or length.
3. B3 Indicates to repeat bars tagged thus (B) etc.
LAY BARS IN DIRECTION INDICATED BY ARROW.
4. Bars shown staggered on plan are to be placed alternately.
5. ALT. denotes bars of different length and/or shape to be laid alternately.
6. 13N16 Indicates 10 bars at 250 centres plus 3 bars placed one per space centrally over column.

ABBREVIATIONS USED ON DRAWNGS:
U.N.O. — Unless Noted Otherwise E.W. — Each Face N.S.O.E. — Not Shown On Plan

N.S.O.E. — Not Shown On Elevation N.F. — Near Face L.V. — Bar Lengths Vary

F.F. — Far Face

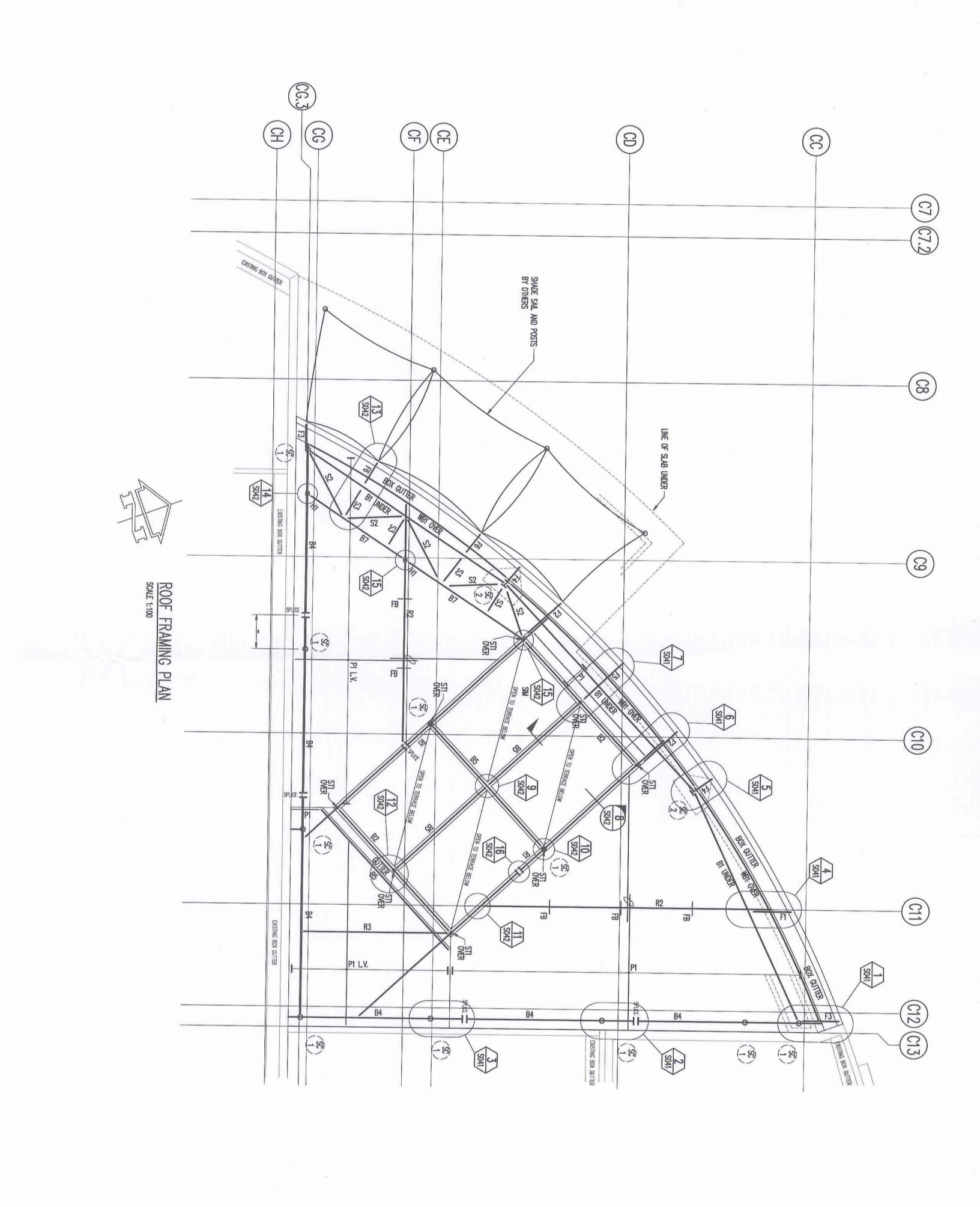
N.T.S. — Not To Scale

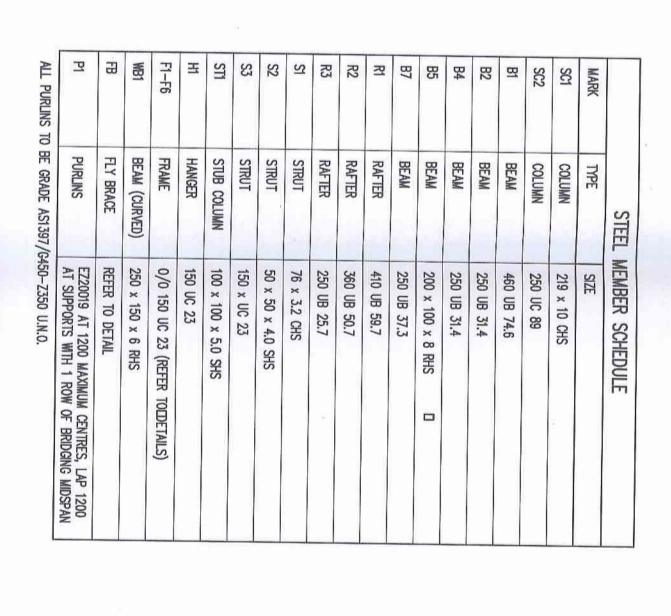


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TTW Job No

091087





C ISSUED FOR CONSTRUCTION CERTIFICATE DZ G.P 26/05/08
B ISSUED FOR CLEHT REVIEW DZ G.P 18.05.09
A ISSUED FOR CLEHT REVIEW DZ G.P 18.05.09
Rev Description Eng Draft Date
Project
PITTWATER RSL CLUB
NEW NORTHERN CARPARK

Sheet Subject
ROOF FRAMING PLAN

Architect
bergstrom ARCHITECTS PTY LTD
SUITE 9, LEVEL 2, 9 MYRTLE ST. NORTH SYDNEY
PH 8920 1499 FAX 8920 1599

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Consulting Engineers
48 Chandos Street St.Leonards NSW 2085
1: 412 9439 7138 Fz +112 9439 3146 ftwsyd@tw.com.au

TaylorThomson Whitting Scale: AD Drawn Authorised
1:100 GJP

Job No Drawn Authorised
1:101 Drawn Authorised
1:102 GJP Drawing NSW Py Lid ACN 118-378 3177

Scale: AD Drawn Authorised
1:103 GJP

Drawing NSW Py Lid ACN 118-378 3177

Scale: AD Drawn Authorised
1:104 GJP

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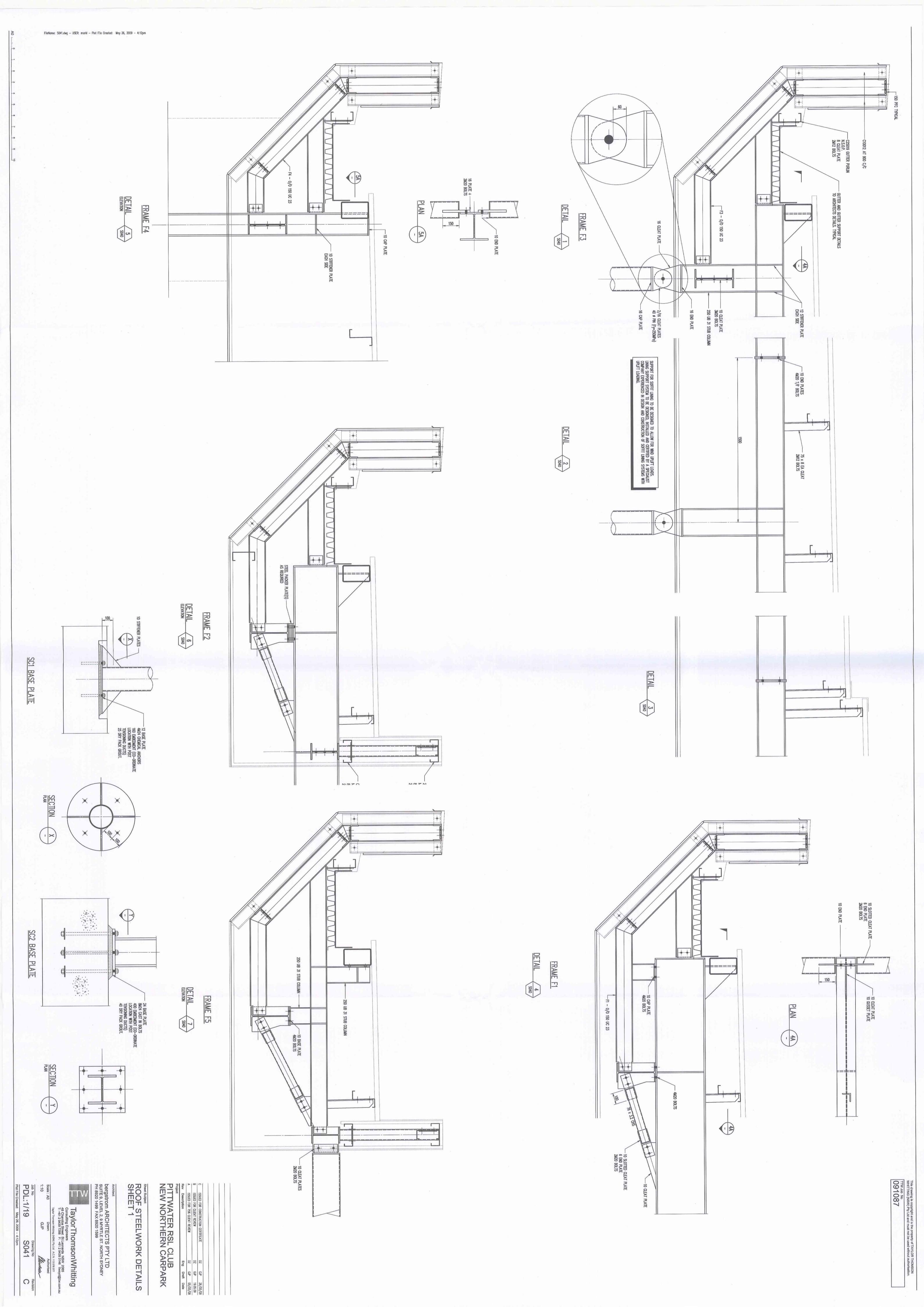
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TTW Job No.

091087



PITTWATER RSL CLUB 80-82 MONA VALE ROAD MONA VALE NSW



DRAWING TITLE DWG

COVER SHEET

DEMOLITION : 000 SITE DEMOLITION PLAN WD 001 WD 010

1:250

FLOOR PLANS 100: LOWER LEVEL CARPARK FLOOR PLAN
UPPER LEVEL CARPARK FLOOR PLAN
TERRACE FLOOR PLAN
ROOF PLAN
TERRACE REFLECTED CEILING PLAN WD 101 WD 102 WD 103 WD 104 WD 114

1:100 1:100 1:100 1:100

ELEVATIONS 200: BUILDING ELEVATIONS
BUILDING OVERALL SECTIONS
BUILDING OVERALL SECTIONS
BUILDING OVERALL SECTIONS WD 200 WD 201 WD 202 WD 203

1:100

1:20 1:20 1:20

WD 210 WD 211 WD 212

VERTICAL CIRCULATION PART PLANS, SECTIONS & DETAILS

RAMP PART PLAN, SECTIONS & DETAILS WD 310 300:

AS NOTED @ A0

ARCHITECTURAL DETAILS GLAZING & DOOR SCHEDULE WD 500

500:

AS NOTED @ A0

PAYNTER DIXON
Paynter Dixon Construction Pty Limited
320 Liverpool Road, Ashfield NSW 2131
Tel (02) 9797 5555 Fax (02) 9799 6149
ABN 84 097 120 315

BERGSTROM ARCHITECTS PTY. LTD. (ABI SUITE 9, LEVEL 2, 9 MYRTLE STREET, NORTH SYDNEY NSW 2065 Ph. 02.8920.1499 Fax. 02.8920.1599

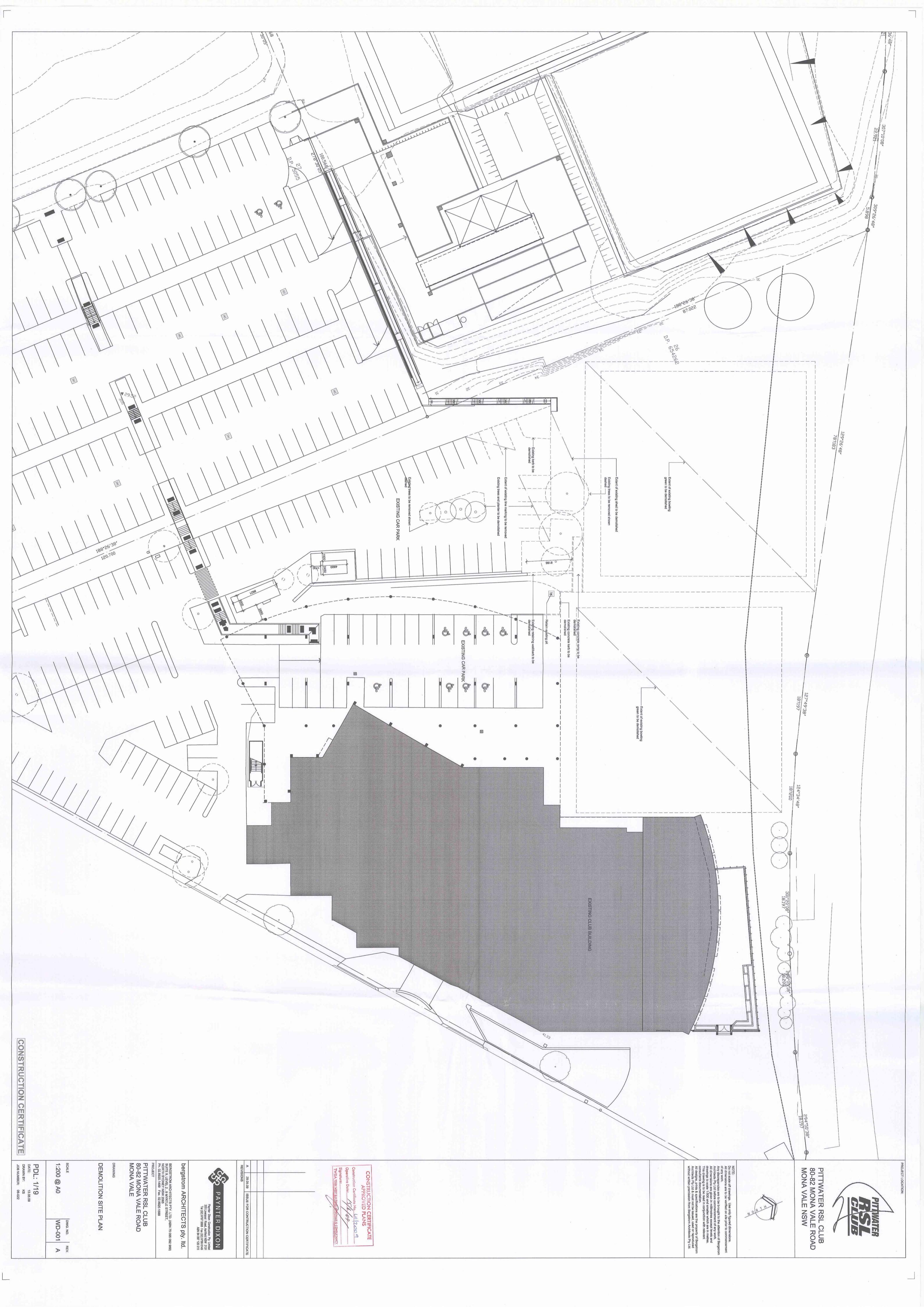
PITTWATER RSL CLUB 80-82 MONA VALE ROAD MONA VALE

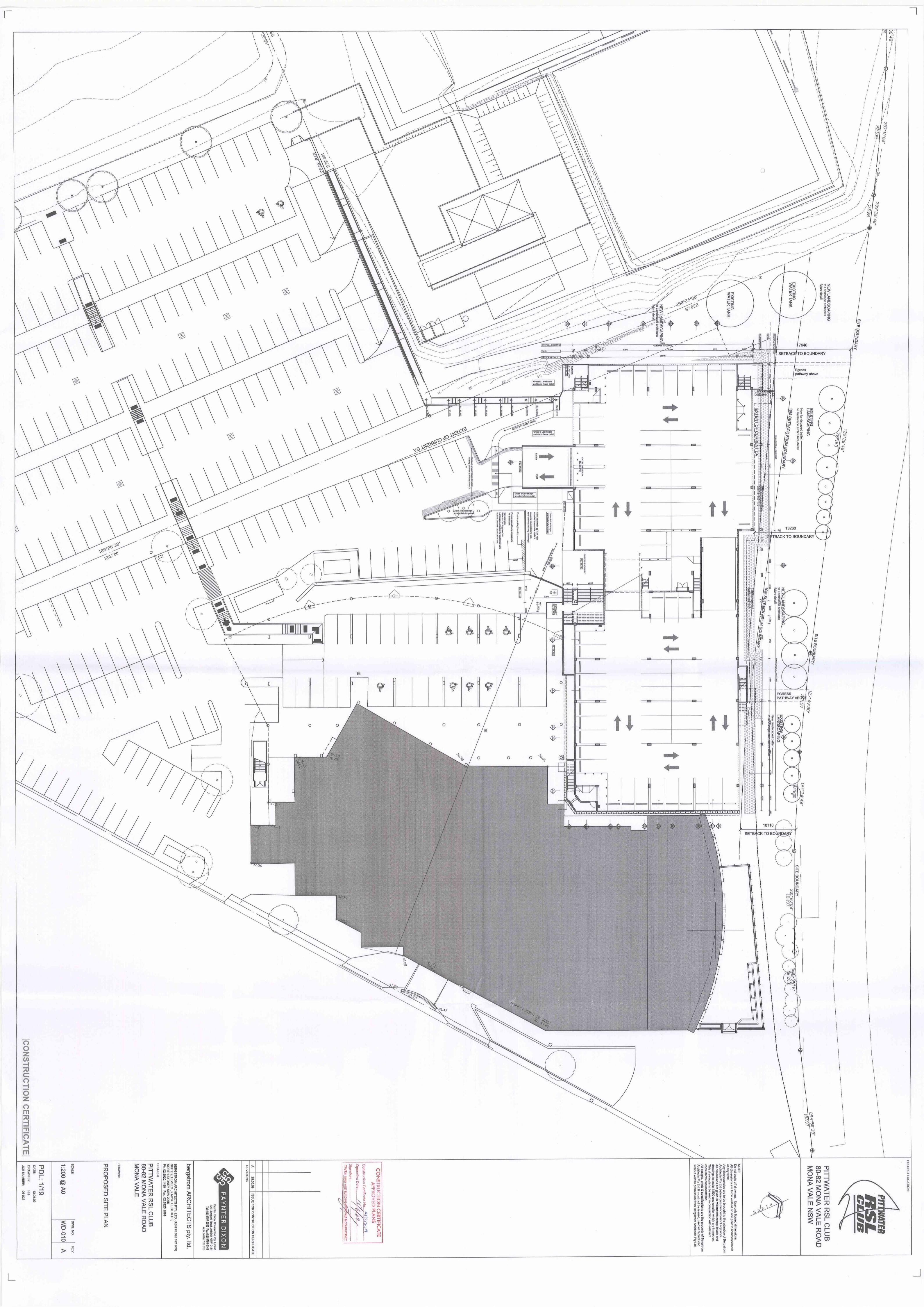
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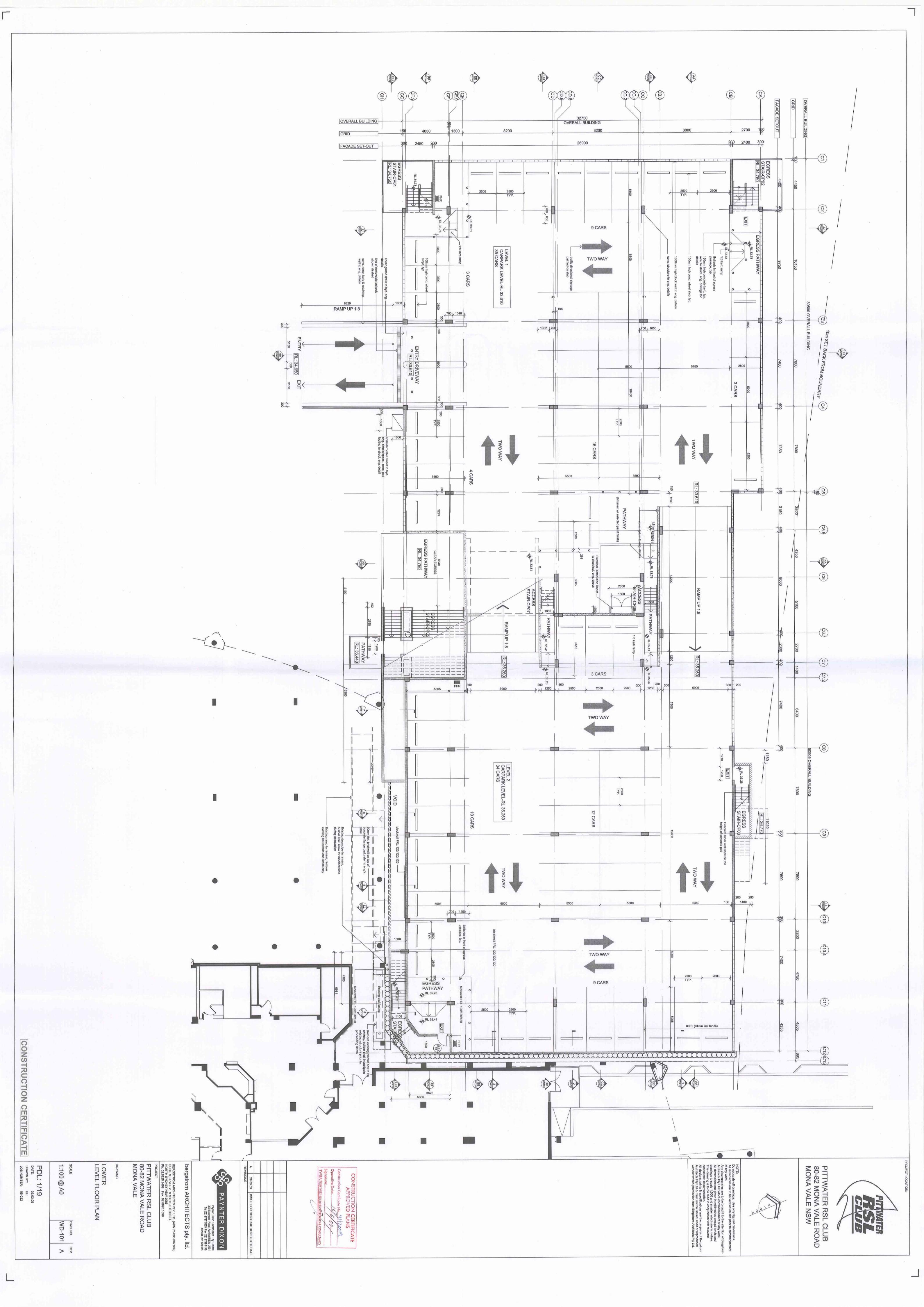
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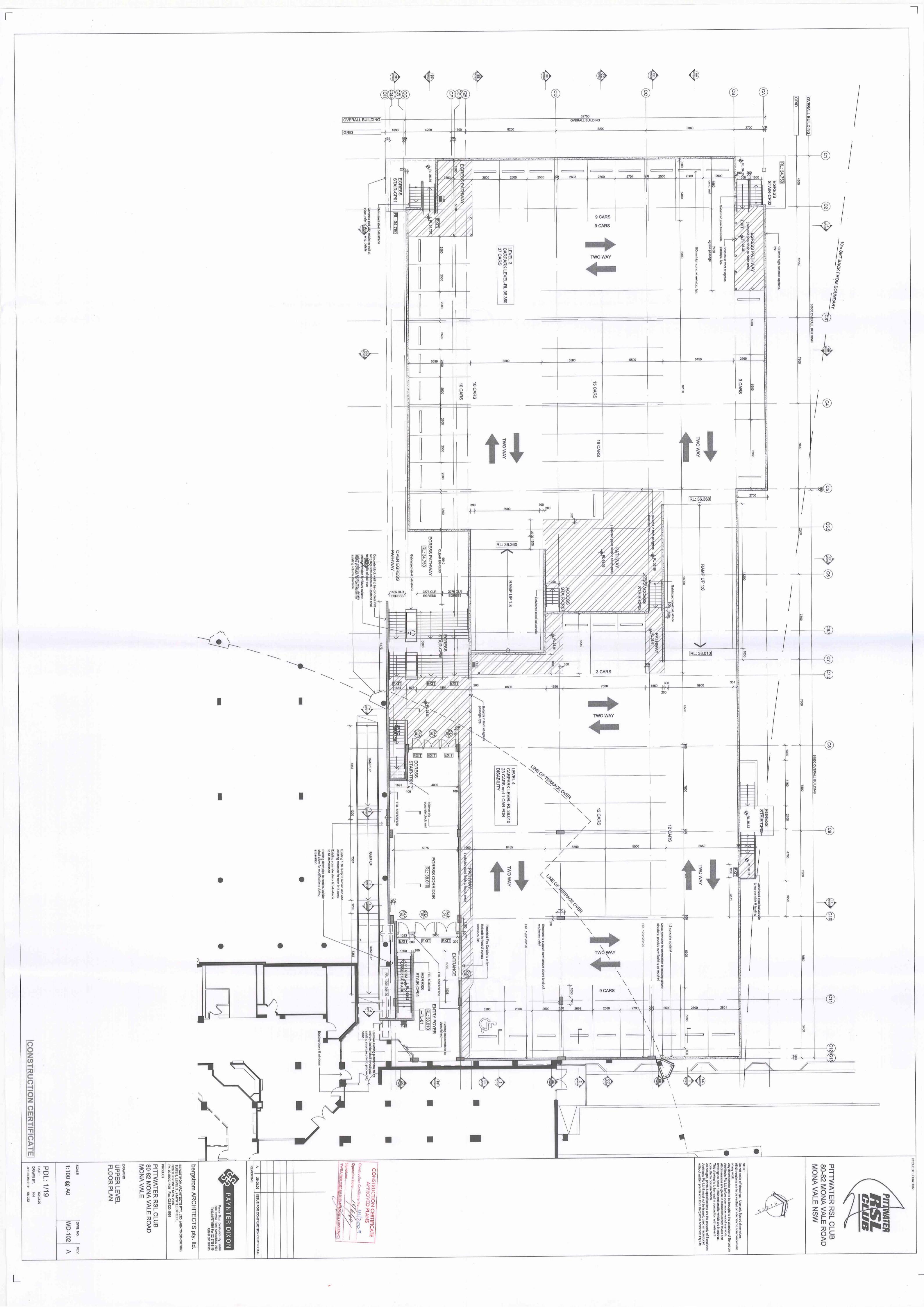
As noted @ A0 PDL: 1/19
DATE: MAY 09
DRAWN BY: HH
JOB NUMBER: 06-022

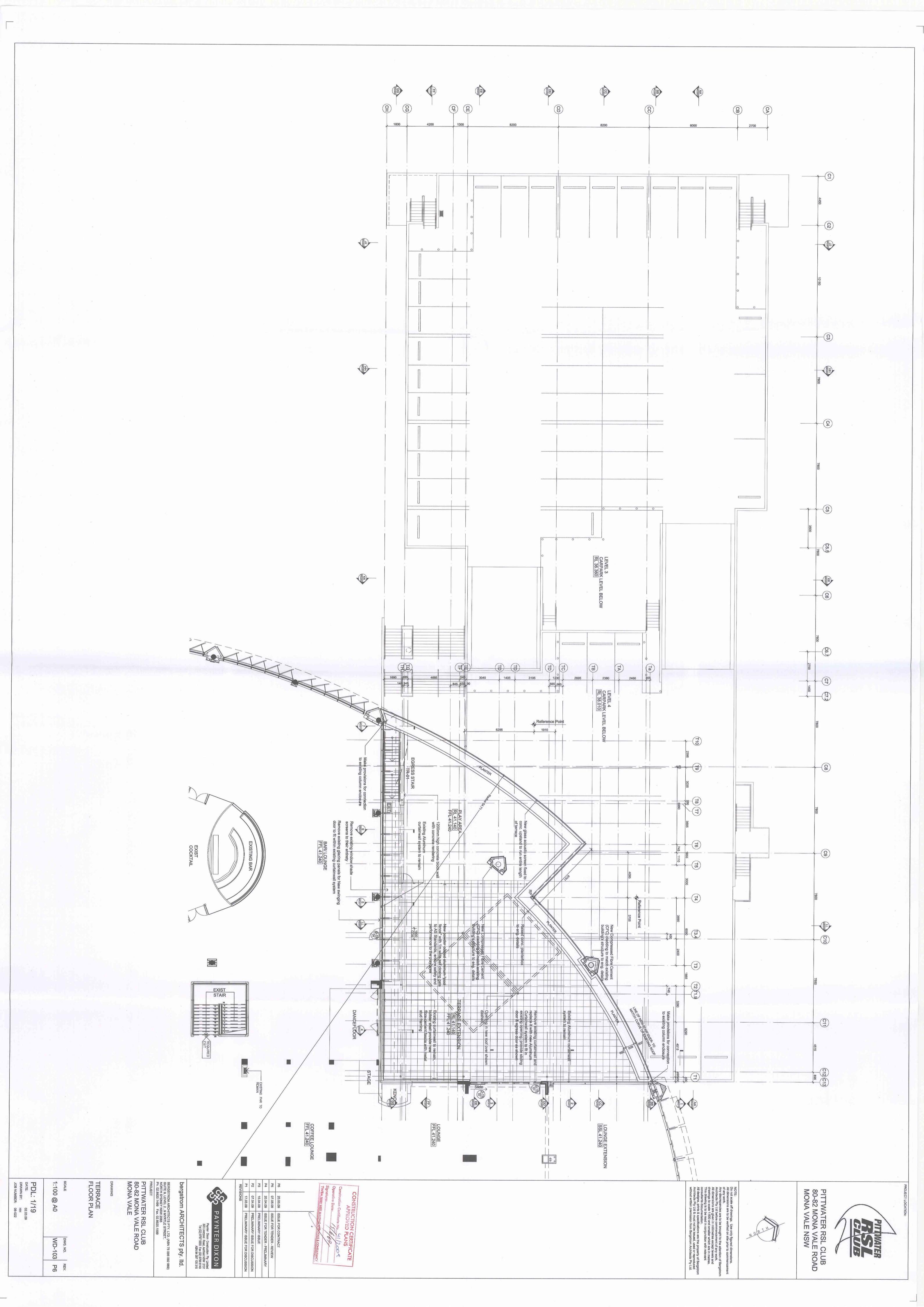
CONSTRUCTION CERTIFICATE

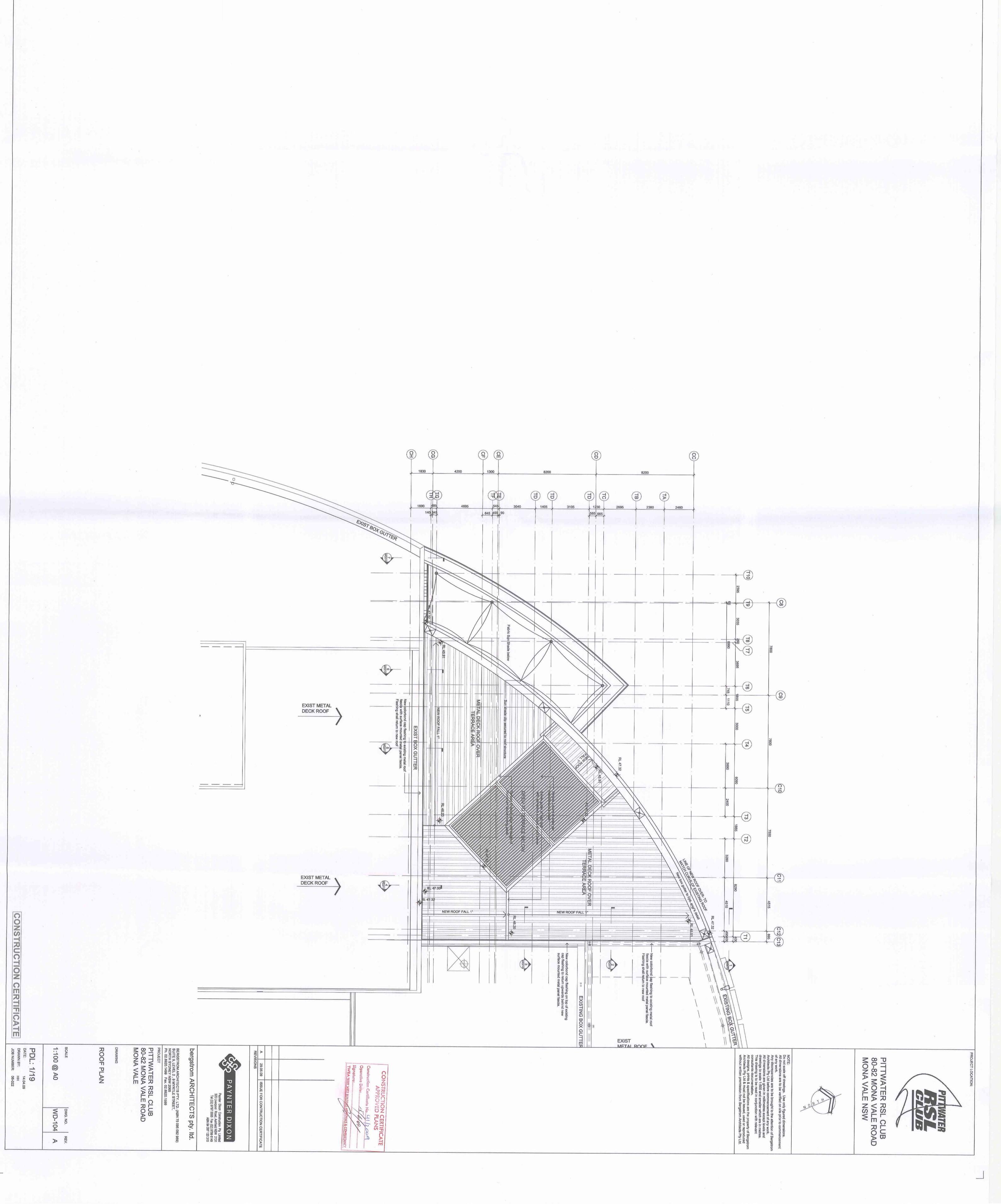


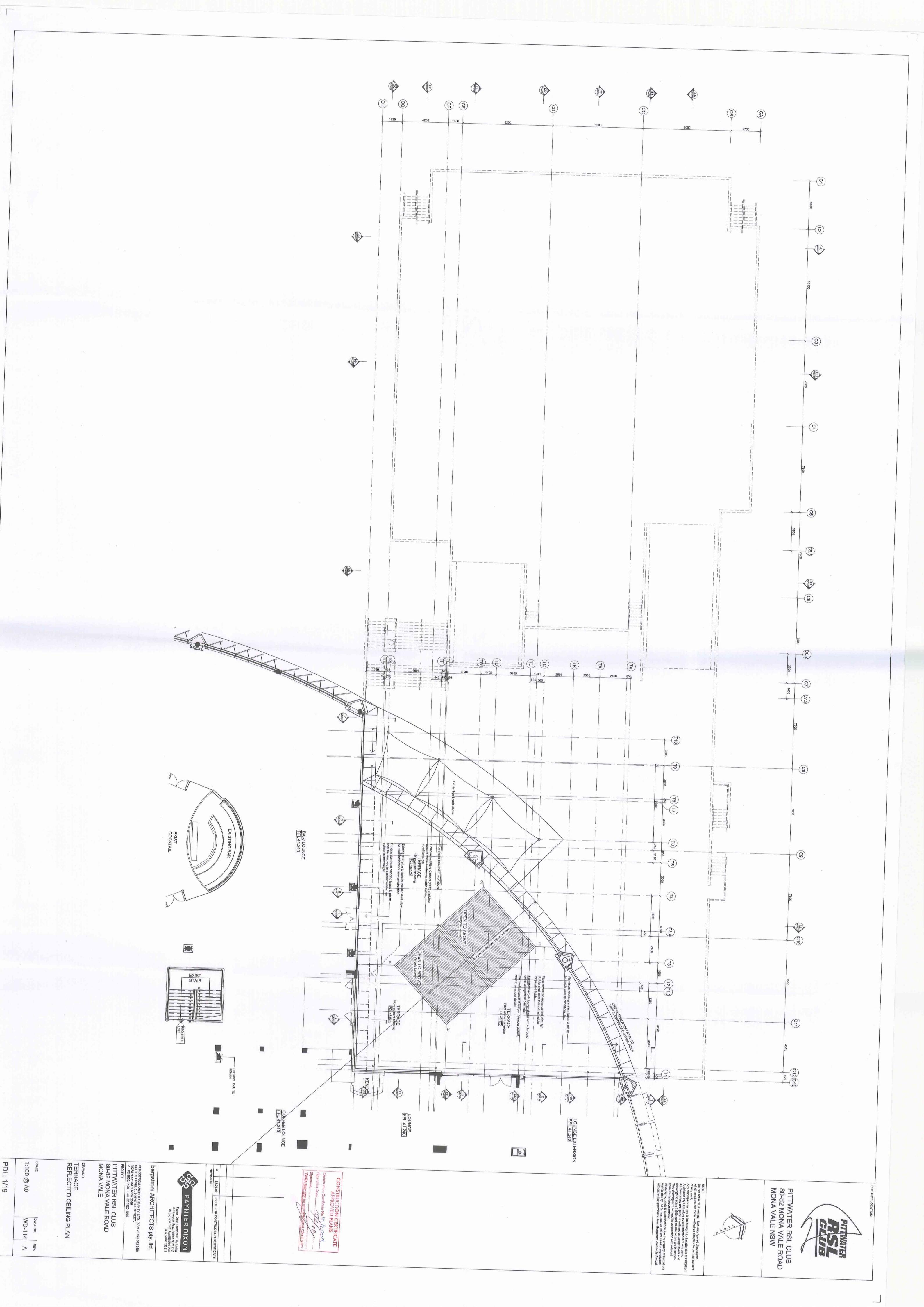


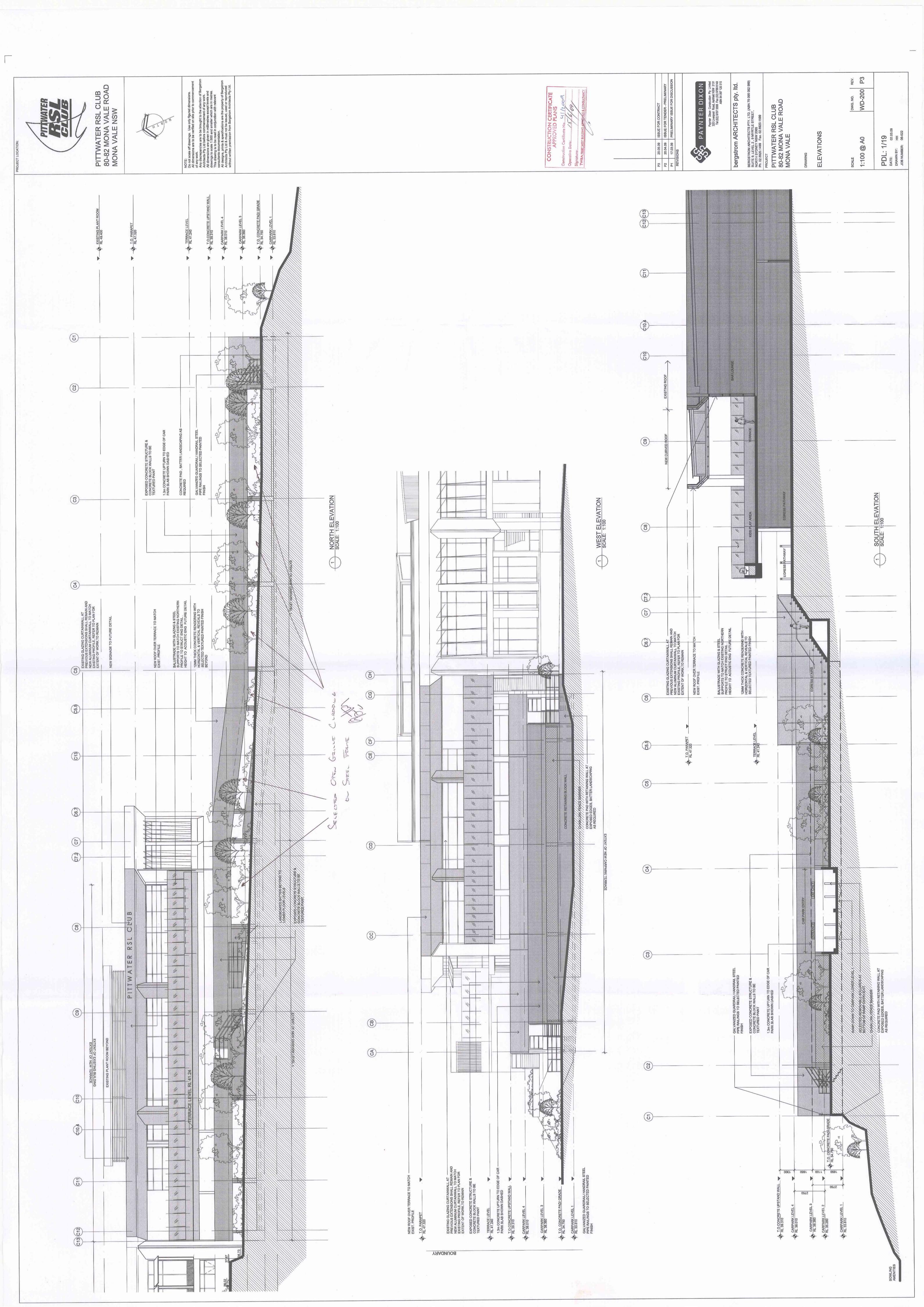


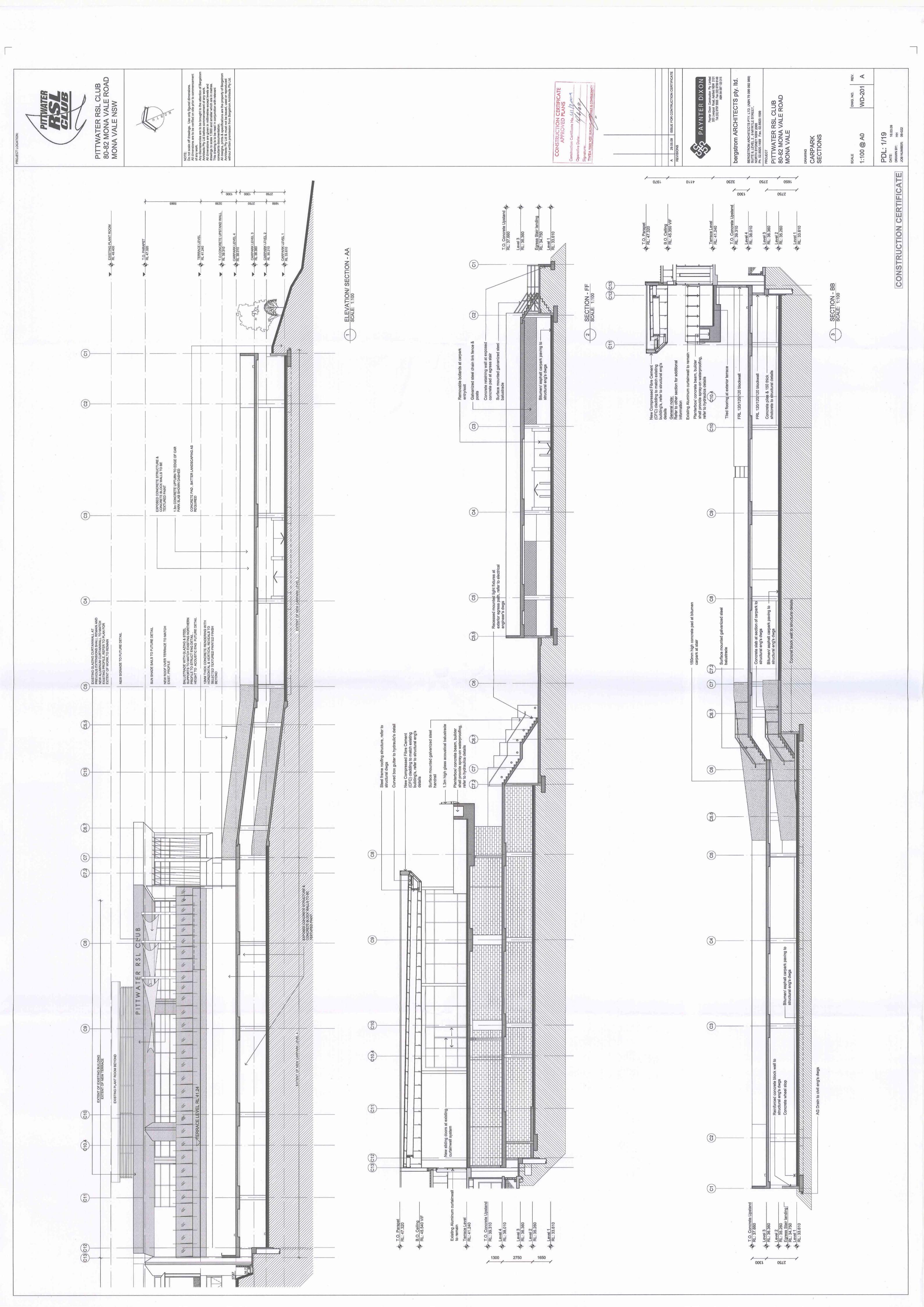


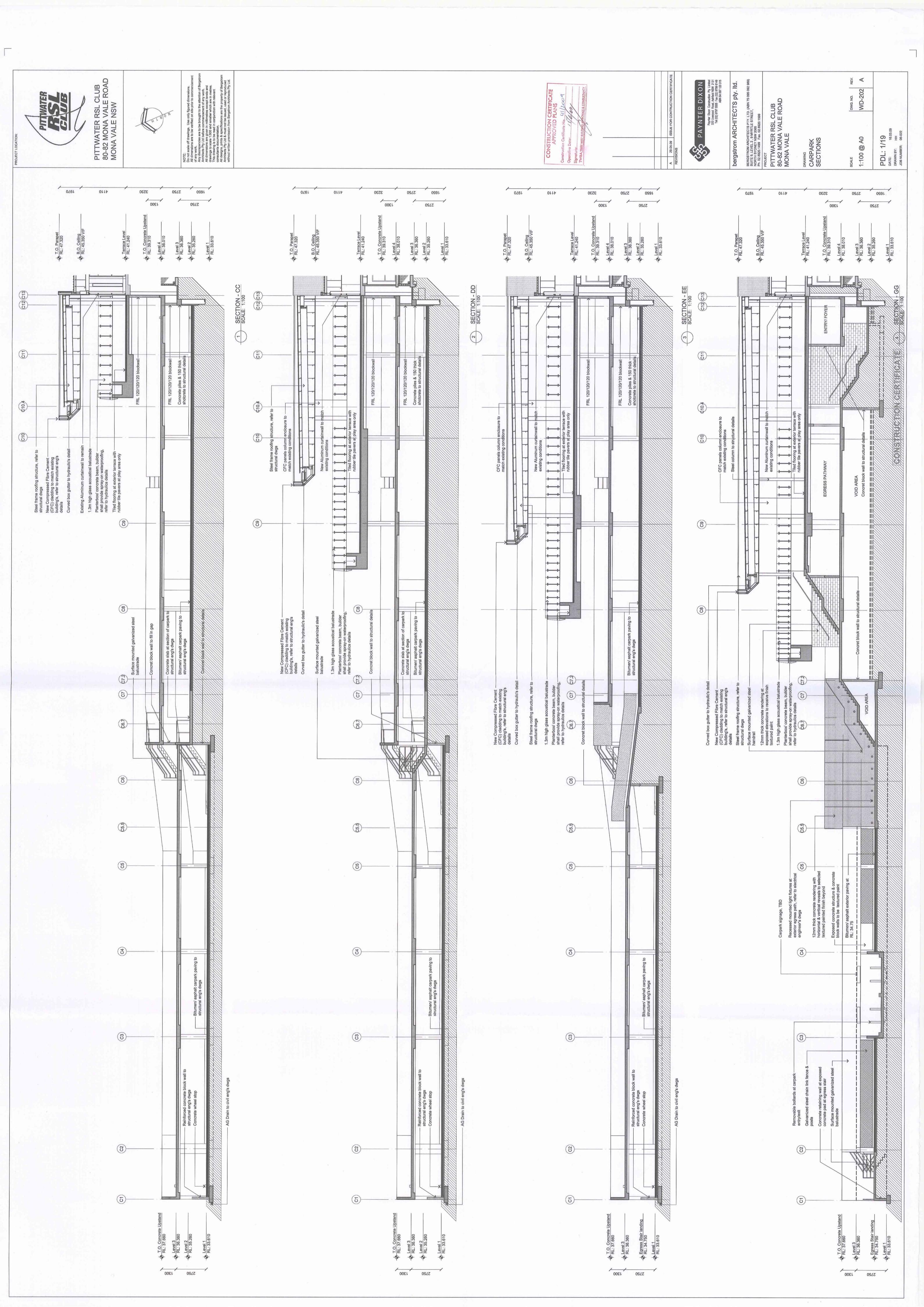


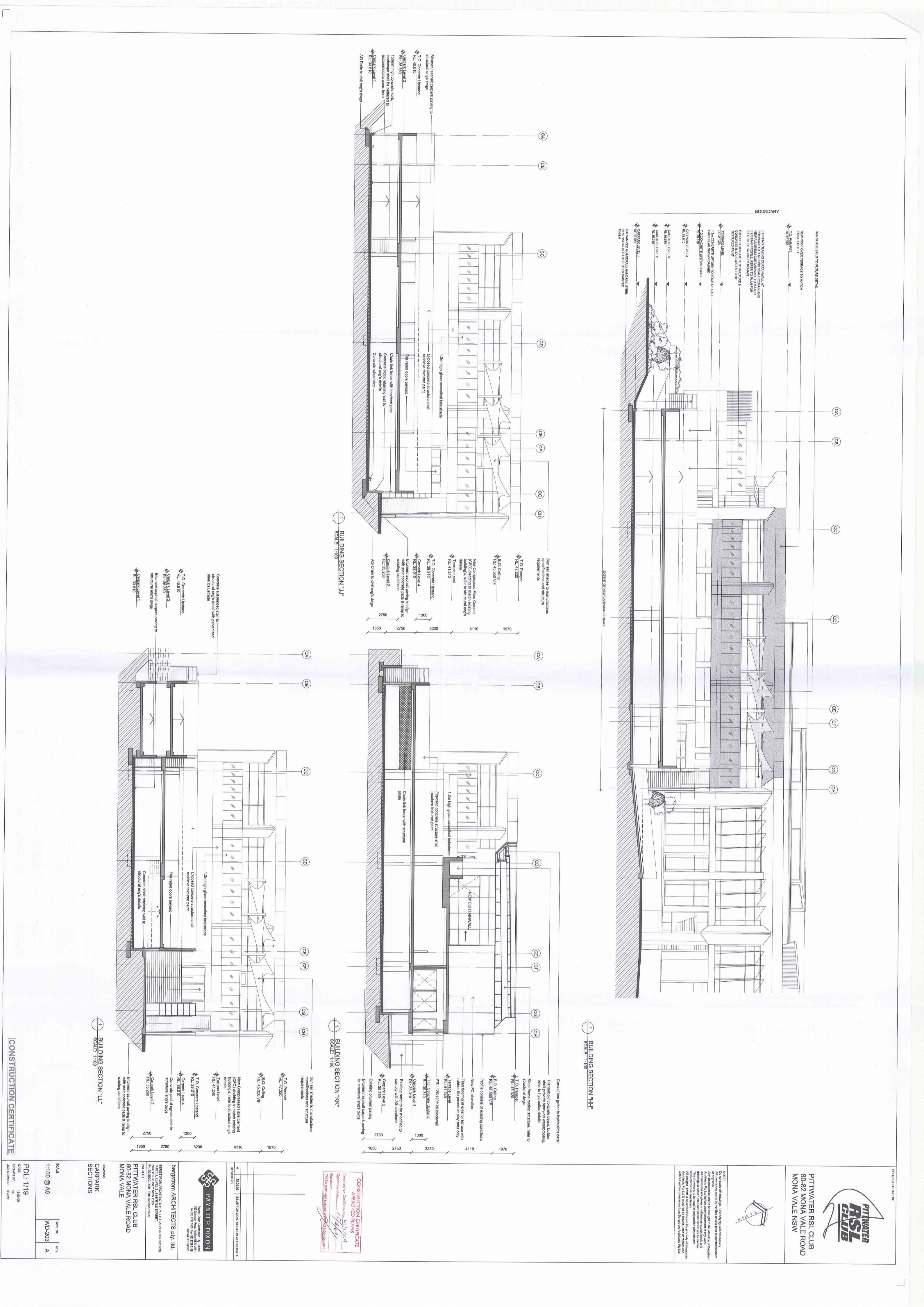


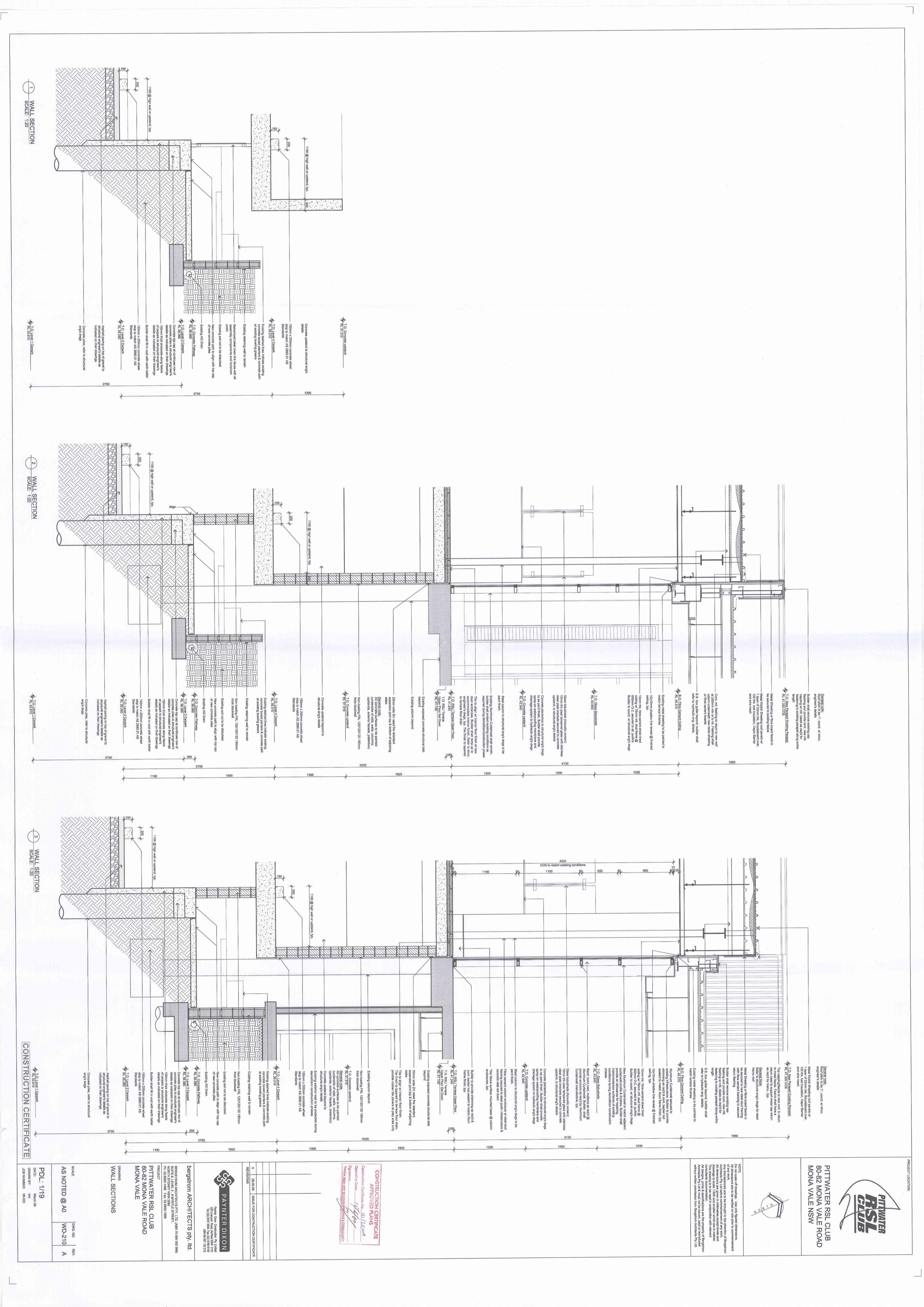


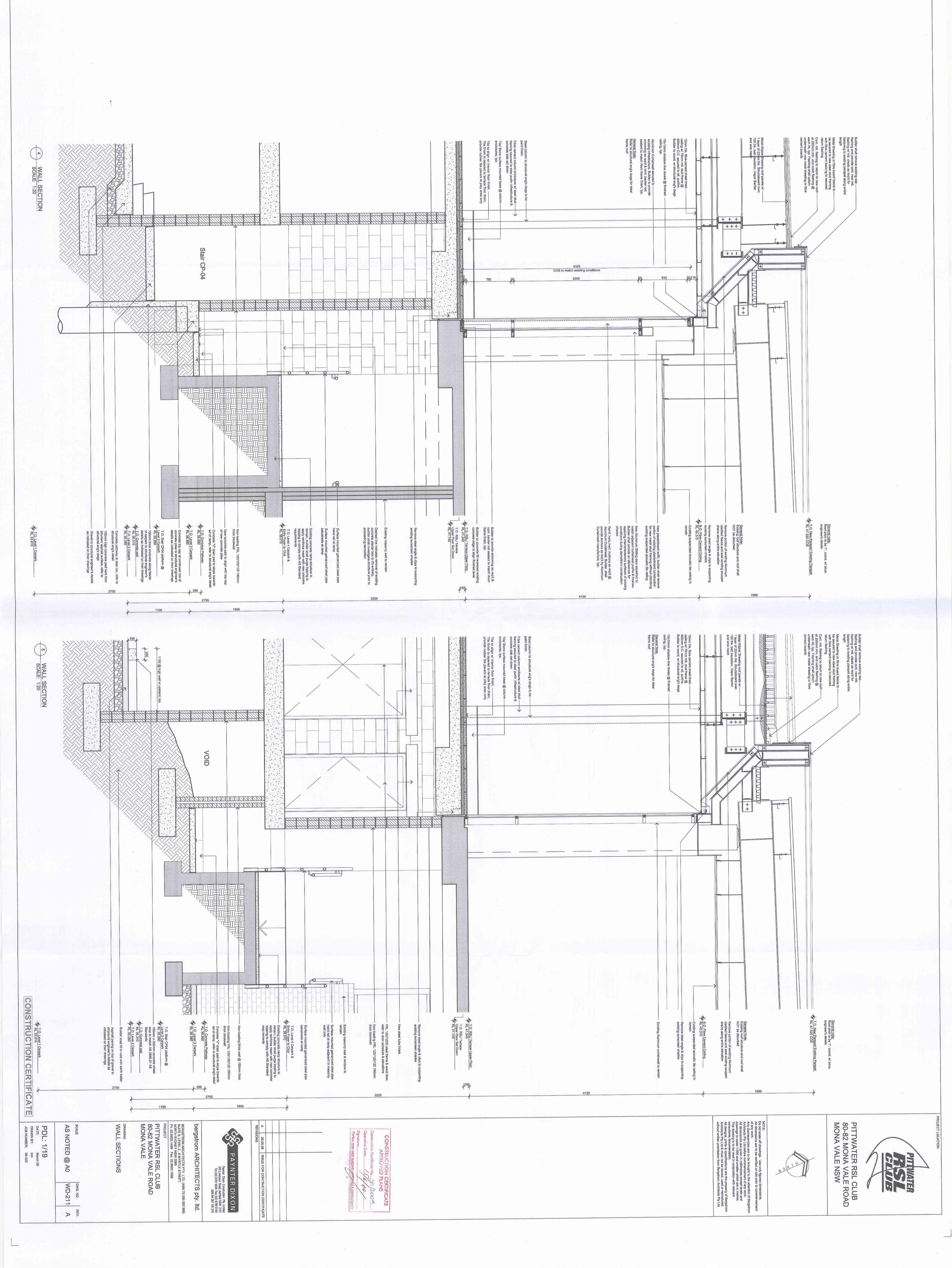


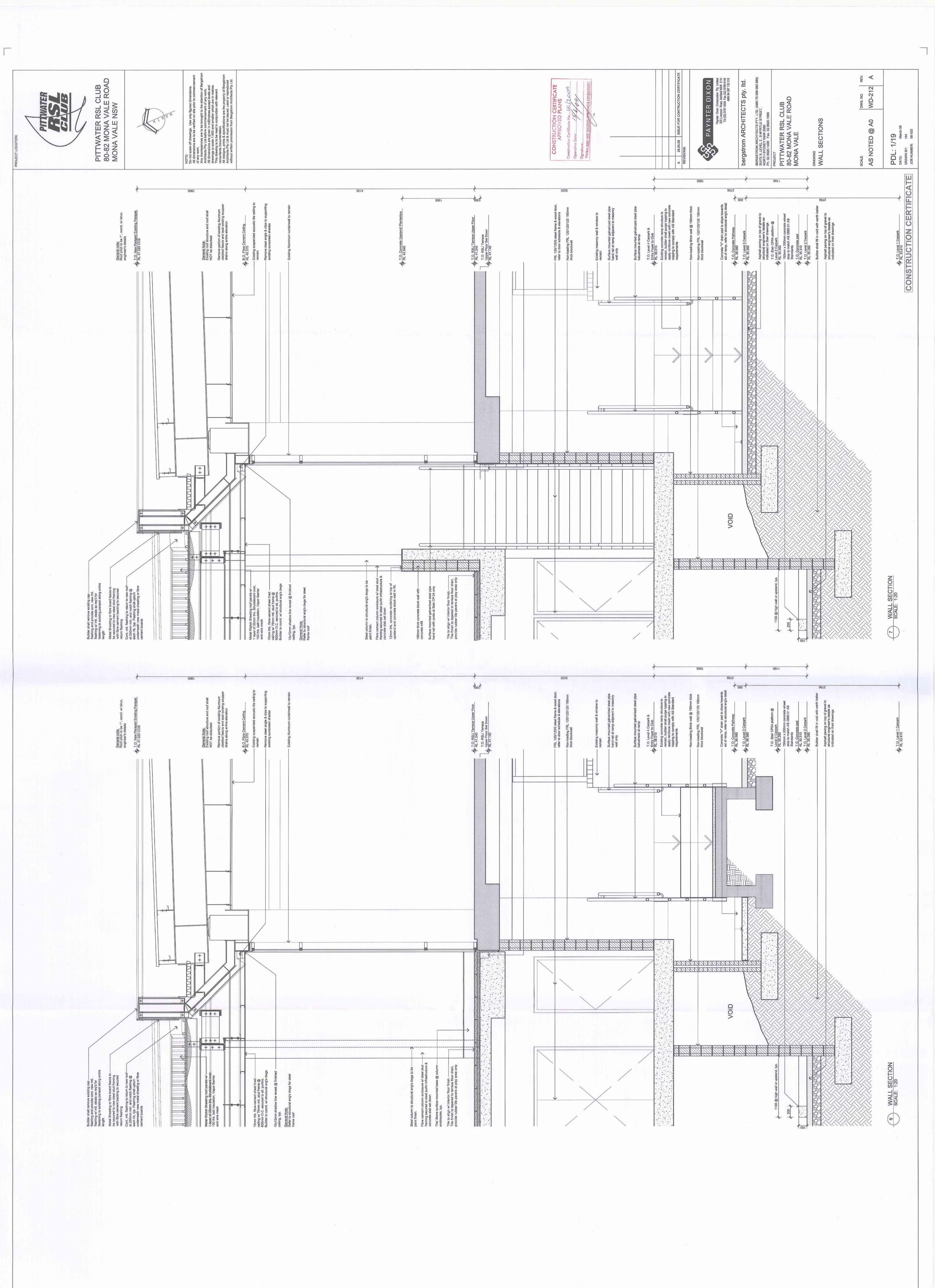


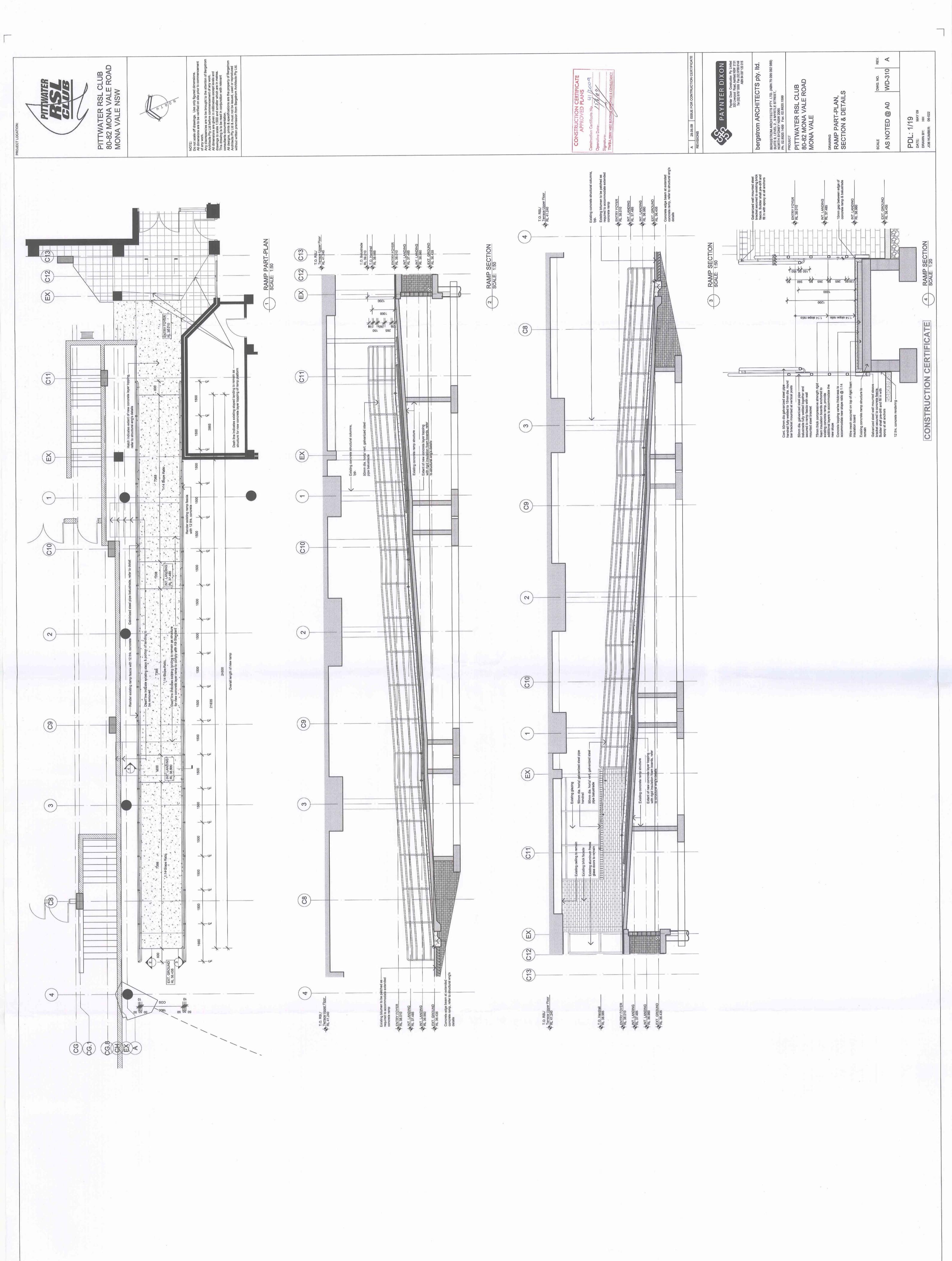














TaylorThomsonWhitting

26th May 2009

091087

Mr Terry West
Private Certifying Authority
Terry West Building Approvals
And Consultants Pty Ltd
P O Box 255,
Winston Hills 2153

Attention Terry West

PITTWATER RSL CLUB NORTHERN CARPARK STRUCTURAL DESIGN CERTIFICATE

Dear Sir,

We certify that we have prepared the structural design of 80-82 Mona Vale Road, Mona Vale as shown on Drawing No 091087- S000-C, SSS1-D, S002-D, S003-C, S010-C, C015-C, S020-D, S021-C S022-C, S023-C, S024-D, S030-D, S031-D, S040-C, S041-C, S042-C in accordance with the following Australian Standards

AS 3600 Concrete Structures
AS 4100 Steel Structures
AS 3700 Masonry Structures

and the structure shown would be sufficient to carry the relevant loads specified in the AS 1170 Parts 0, 1 and 2, Minimum design loads on structures

For and on behalf of

TAYLOR THOMSON WHITTING (NSW) PTY LTD

ROB MACKELLAR

Director

P-2009'0910.091087/Certifical esi 090526 Structural Design Certificate doc

Years Engineering Excellence

Structural

Civil

Traffic

Facade

Engineers

TT(/Cop Decros

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A s · a ·

Taylor Thomson Whitting (NSW) Pty Ltd Consulting Engineers ACN 113 578 377 48 Chandos Street St Leonards NSW 2065 PO Box 738 Crows Nest NSW 1585 T 61 2 9439 7288 F 61 2 9439 3146 ttwsyd@ttw.com.au www.ttw.com.au

25 May 2009

091087



| TaylorThomsonWhitting

Mr Terry West
Private Certifying Authority
Terry West Building Approvals
And Consultants Pty Ltd
P O Box 255,
Winston Hills 2153

Attention Terry West

PITTWATER RSL CLUB NORTHERN CARPARK CIVIL DESIGN CERTIFICATE

Dear Sir.

We certify that we have prepared the civil design of 80 – 82 Mona Vale Road, Mona Vale as shown on Drawing No(s) PDL 1/19/C01/C, PDL 1/19/C02/C, PDL 1/19/C03/C, PDL 1/19/C04/C, PDL 1/19/C05/C, PDL 1/19/C06/C in accordance with the following

AS 2890 1 Off Street Car Parking

AS 3500 National Plumbing and Drainage Code

AS 3725 Loads on Buried Concrete Pipes

Australian Rainfall and Runoff 1997

NSW Department of Housing Managing Urban Stormwater

Pittwater Council DCP 21

For and on behalf of

TAYLOR THOMSON WHITTING (NSW) PTY LTD

PAUL YANNOULATOS Technical Director - Cıvıl

P \2009\0910\091087\Certificates\Certificate of Design Crvit doc

TTW Group

Structural

Civil

Traffic

Facade

Engineers

Directors

RT Green BE(Hons) MEno Sc FIE Aust D Carolan BE(Hons) MEng Sc MIE Aust R VanK-twyk BE(Hons) DipEng MIE Aust R Mackellar BE(Hons) MIE Aust B Young BE(Hons) MIE Aust M Eddy BE(Hons)

Technical Directors

P Yannoulatos BE(Hons) Dip LGE MIE Aust D Gerner BE(Hons) MIE Aust S Brain BE(Hons) MIE Aust D Jeffree BE MIE Aust R MCDoulat BE MIE Aust

Associate Directors
G Hethenng'on BE(Hons) MIE Aust
S Schwetze BE(Hons) MIE Aust
M Rogers BSc(Hons) MIE Aust
A Scroage BE(Hons) LLB MIE Aust

G Freeman BE(Hons) Grad Dip IT MIE Aust N Foye BE(Hors) MIE Aust G Janes BE(Hons) MIE Aust H Nguyen BSc(Eng) MIE Aust D Taylor BE(Hons) MIE Aust J Tropiano BE MIE Aust P L-mbley BE MIE Aust R Prabkna BE MIE Aust MCorstMgt

Associates G Petschank JP M Rinddatz



Mr Terry West
Private Certifying Authority
Terry West Building Approval & Consultants Pty Ltd
P O Box 255
WINSTON HILLS NSW 2153

Dear Sir.

RE Pittwater RSL Carpark Extension Certification of Design – Landscaping

SUBJECT PREMISES 80-82 Mona Vale Road MONA VALE

DEVELOPMENT APPLICATION N0384/08

I hereby certify that the above design is in accordance with the requirements of the condition # B6 of the Development Consent

I possess Indemnity Insurance to the satisfaction of the building owner or my principal

Designer Angela Maroney
Qualifications Bachelor of Landscape Architecture - registered landscape
architect & member of AILA
Address 1/1085 Pacific Highway PYMBLE
Telephone 0416 397 258 Fax 02 9440 0633
Name of business Angela Maroney Landscape Architect

Angola Manorey

Yours faithfully,

Angela Maroney



Horticulture • Design • Construction

Sulte 1, 1085 Pacific Highway, Pymble 2073 (cnr Telegraph Rd) • Tel 9440 0600 • Fax 9440 0633

Member of the Landscape Contractors Association Lic No 93382C

ABN 97 003 499 438



PITTWATER RSL

LANDSCAPE SPECIFICATION



SPECIFICATIONS - SITE AND SOIL

Preparation

Weed Eradication

Remove all weeds prior to planting to all areas of planting and mulching. In particular remove existing grass cover with Roundup Bioactive or equivalent prior to planting and mulching. Protect existing plants from weed eradication. Two sprays are to be undertaken prior to planting preparation with Roundup bioactive. Leave sprayed area for 3 weeks after the first spray prior to the second application. Ensure grass cover is completely dead prior to cultivation.

Subsoil

Ripping Rip parallel to the final contours wherever possible. Do not rip when the subsoil is wet or plastic. Do not rip within the dripline of trees and shrubs to be retained.

Cultivation Minimum depth 200mm Cultivation depths(mm)

- mass planting areas appendix A
- tree planting appendix B for tree detail & appendix C for 150/200mm pot size

Service and roots Do not disturb services or tree roots, if necessary cultivate these areas by hand

Cultivation Thoroughly mix in materials required to be incorporated into the subsoil Cultivate manually within 300mm of paths or structures. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the service during cultivation. Trim the surface to design levels after cultivation.

Topsoil

Source Topsoil shall be site topsoil raised to the appropriate standard by the use of specified additives-ANL GREENLIFE MULCH AND COMPOST OR EQUIVALENT 50%BY VOLUME OF FINISHED BLEND

Backfill planting holes of trees and shrubs with existing cultivated site soil. Ensure required finished levels and contours maybe achieved after light compaction

Mulch

Provide mulch which is free of deleterious material and extraneous matter such as soil, weeds and sticks

Organic type mulch equal to Australian Native Landscapes Leaf Litter Mulch or approved equivalent

Placing Place mulch to all areas of planting and to areas of mulch only, as shown on drawings to DEPTH 100MM. Spread mulch to an even depth and ensure it is not in contact with the stems of plants. Rake to an even surface flush with the surrounding finished levels.

Plants

Generally

Provide plants with the following characteristics

- -large healthy root systems with no evidence of root curl, restriction or damage
- -vigorous, well established, free from disease or insect pests, of good form consistent with species or variety
- -hardening off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site
- -have foliage size, texture and colour consistent with that shown in healthy specimens of the species

Trees

Supply trees with the following characteristics

- -provide trees which, unless required to be multi-stemmed, have a single leading shoot and are self supporting unstaked
- -extension growth consistent with that shown in vigorous specimens of the species
- -foliage size, texture and colour consistent with that shown in healthy specimens of the species

immediately reject dried out, damaged, pot bound or unhealthy plant material before planting

Replacement Replace damaged or failed plants with plants of the same type and size

Plant Schedule Refer to drawing

Locations
Refer to drawing

Watering

Thoroughly water plants before planting begins, immediately after planting and thereafter as required to maintain growth rates free from stress

Plantings

Excavate the planting hole twice the diameter of the plant root ball and at least 200mm deeper and wider than the root ball. Break up the base of the hole (cultivate) to a further depth of 100mm, and loosen the compacted sides of the hole to prevent confinement of root growth

Placinu

Remove the plant from the container with minimum disturbance to the root ball, ensure that the root ball is moist and place it in its final position, in the centre of the hole and plumb, and with the topsoil level of the plant root ball level with the finished surface of the surrounding soil

Backfilling

Backfill with topsoil mixture Lightly tamp and water to eliminate air pockets. Ensure that topsoil is not placed over the top of the root ball, so that the plant stem remains the same height above ground as it was in the container.

Stakes and Ties

Stakes shall be straight hardwood, free from knots and twists, pointed at one end and sizes according to size of plants to be staked

For trees 2X 50x50x240mm stakes Ties shall be 50mm hessian webbing or approved equivalent stapled or tied to stake

Tree Protection

Trunk barriers to be used as indicated in Appendix D for any tree to be protected. This technique is advised as unable to fence off perimeter 3m from trunk.

Definitions

Site topsoil

Soil excavated from the site which has the following characteristics and is approved for reuse

- -contains organic matter
- -supports plant life
- -free from unwanted matter

Unwanted matter in topsoil

- stones over 25mm drameter
- clay lumps
- weeds and tree roots
- sticks and rubbish
- material toxic to plants

Site improved topsoil

Site topsoil ungraded to meet the quality required for imported topsoil as required results from soil testing agency

HOMM GRASSES
REFER TO PLANT SCHEDULE

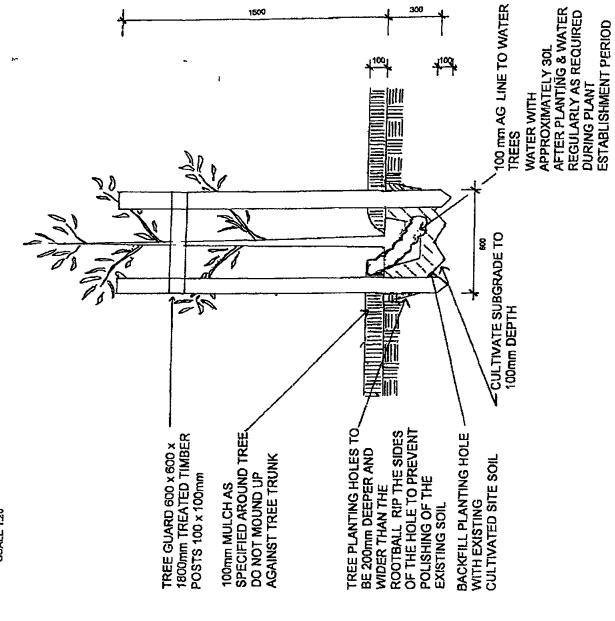
MULCH EQUAL TO ANL S
LEAF LITTER
PLACED AT 100mm DEPTH DISHED
AROUND PLANT BASE

MASS PLANTED BED - TYPICAL SECTION

SCALE 1 20

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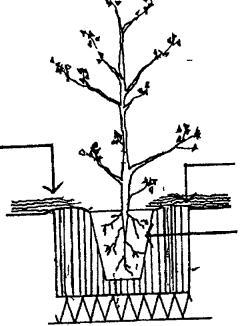
TREE PLANTING SECTION SCALE 120

APPENDIX C

PLANTING DETAIL

ELIMINATE ALL WEED GROWTH

DISH MULCH TO BASE OF STEM AND APPLY 75mm-loomn= MULCH AS SPECIFIED



LEVEL OF TOP SOIL

RIP SUBGRADE AND INCORPORATE PLANTING BACKFILL MIXTURE INTO CULTIVATED SUBGRADE



25 May 2009

Mr Terry West
Private Certifying Authority
Terry West Building Approvals & Consultants Pty Ltd
PO Box 255
WINSTON HILLS NSW 2153

Dear Sir

RE PITTWATER RSL CLUB - NORTHERN CARPARK & OUTDOOR TERRACE PRL 1/19 CERTIFICATE OF DESIGN - ELECTRICAL

SUBJECT PREMISES

Pittwater RSL Club 82 Mona Vale Road Mona Vale NSW 2103

DEVELOPMENT APPLICATION No 384/08

Pursuant to the provisions of Clause A2 2 of the Building Code of Australia I hereby certify that the above design is in accordance with normal engineering practice and meets the requirements of the Building Code of Australia, relevant Australian Standards and relevant conditions of Developments Consent as detailed herein. In particular the design is in accordance with the following

- The Smoke Detection System has been designed in accordance with AS 1670 1 2004 However, the existing Fire Indicator Panel and its extension have been designed to meet the requirements of AS 1670 at the time the panel was installed
- The Emergency Warning and Intercommunication System has been designed in accordance with Clause E4 9 of the Building Code of Australia and AS 1670 4 2004 Please note the existing EWIS Panel is not being replaced and therefore the panel was designed to comply with the previous AS 2220
- The Emergency and Exit Sign Lighting System has been designed in accordance with Clause E4 2 to E4 8 of the Building Code of Australia and AS 2293 1 2005 utilising "pictogram" legend and exit signs
- The Lighting and Power Installation has been designed in accordance with Section J Part 6 of the Building Code of Australia
- The Lighting to Pedestrian Pathways within the development and roof top open carpark have been designed in accordance with Australian Standard AS 1158 3 1 2005 Road lighting Pedestrian (Category P) Performance and Installation Design Requirements
- The Internal Carpark Lighting has been designed in accordance with Australian Standard AS 1680 0-2005 Interior lighting Circulation Spaces and Other General Areas and Part F4 4 of the Building Code of Australia
- The External Lighting within the development has been designed in accordance with Australian Standard AS 4282-1997 'Control of the obtrusive effects of outdoor lighting and condition no B10 of the Development Application Conditions of Approval

PITTWATER RSL CLUB – NORTHERN CARPARK & OUTDOOR TERRACE PRL 1/19 ELECTRICAL SERVICES STATEMENT OF DESIGN



Certificate of Design - Electrical (Continued)

I am an appropriately qualified and competent person in this area and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings

12978 05/ES01A to 12978 05/ES05A

I possess Indemnity Insurance to the satisfaction of the building owner or my principal

Full Name of Designer

Qualifications

Address of Designer

Business Telephone No Business Facsimile No

Name of Employer

Murray Robson

MIES

181 First Avenue, Five Dock NSW 2046

(02) 9819 6611 (02) 9819 6665

Haron Robson Ptv Ltd

Signature

Yours faithfully

HARON ROBSON PTY LTD

Murray Robson

Director

mrobson@haronrobson com au



ENQUIRIES PROJECT NO DAVID STEBLINA 21106 SYD H

3rd May 2009

Paynter Dixon 320 Liverpool Road ASHFIELD NSW 2131

Attention

Geoff Bentley

Dear Geoff

RE

PITTWATER RSL CLUB FIRE SERVICES - DESIGN STATEMENT

We confirm that the Hydraulic & Fire Services design as prepared by Wood & Grieve Engineers for the above mentioned project has been designed in accordance with the Building Code of Australia (BCA 2008) and the Australian Standards AS 3500 AS 2118 1 AS2419 1 & AS 2441

The Hydraulic & Fire services drawings applicable to this statement are as follows

	Document No	Rev	Title
,	F 000	В	Cover Sheet
G	F 100	В	Site Plan
9	F 200	В	Lower level layout
9	F 300	В	Upper level Layout
•	F 400	В	Details sheet

We trust that the above information is sufficient for your present purposes. Should you require any further information, please do not hesitate to contact the undersigned

Yours faithfully

David Steblina

for Wood & Grieve ENGINEERS

DOCUMENT M:\TECH21100\06\H_QA_DESIGN_001.DOC (DMS)

vital experience

Page 1 of 1

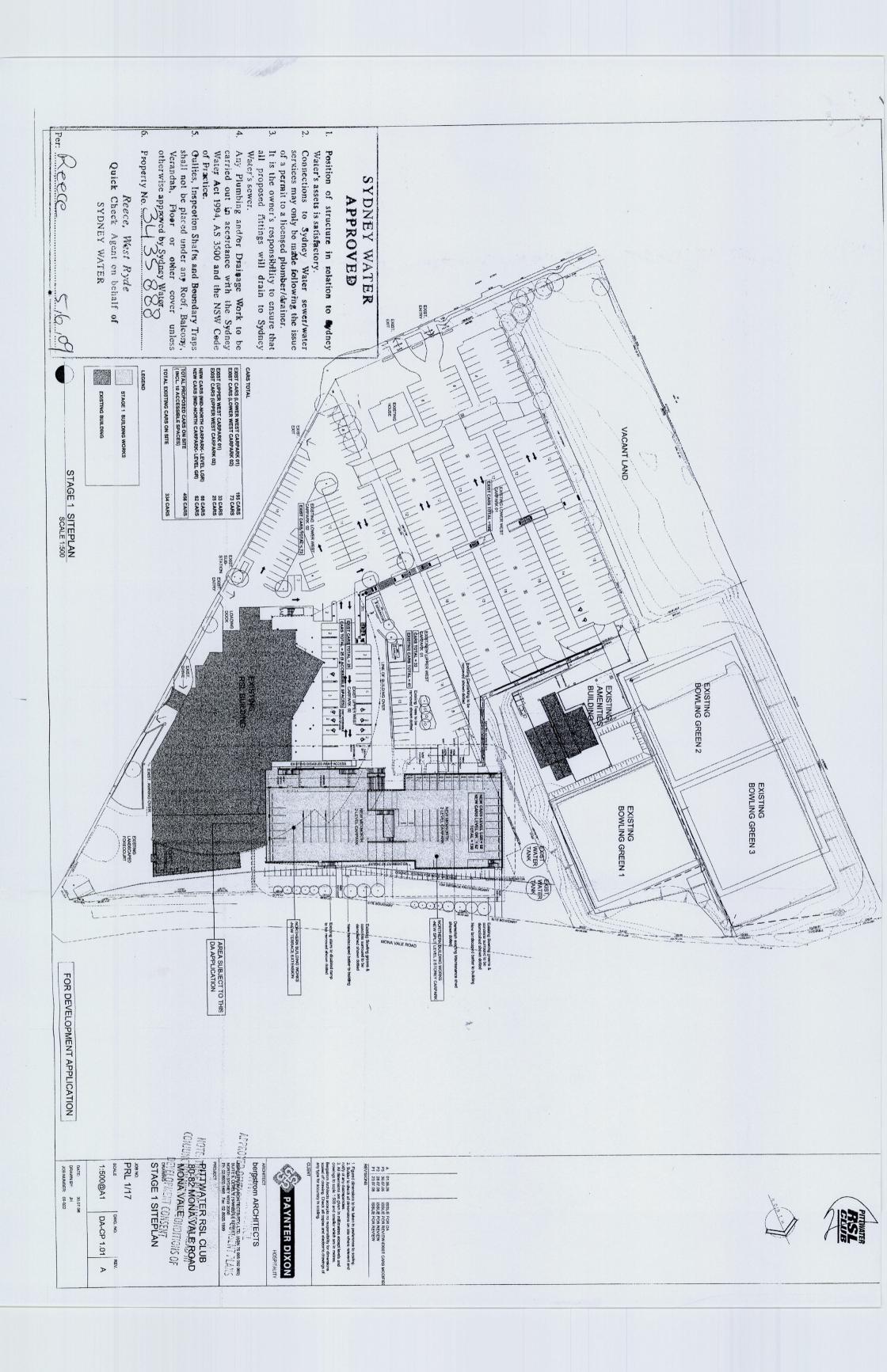
Wood & Grieve Engineers ABN 75 900 165 652 Perth Melbourne Sydney Brisbane Albany Busselton L3 454 456 Pacific Highway St Leonards New South Wales 2065
Phone +61 2 8484 7000 Fax +61 2 8484 7100 Email sydney@wge.com.au Web www.wge.com.au

Wood & Grieve Pty Ltd ACN 008 808 786 as trustee for the Wood & Grieve Unit Trust trading as Wood & Grieve Engineers



GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER

FORM NO 2 - To be submitted with detailed design for construction certificate
Development Application for PITTWATER RSL CLUB
Name of Applicant
Address of site 80-82 MoxIA VALE TOST, MAKE VALE
Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design
(knsert name) on behalf of TAYLOR THOMSON WHITTING (NSW) P
on this the 3-6-09
(date) certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management bolicy for Pittwater 1 am a Structural or Civil Engineer as defined by the Geotechnical Risk Management bolicy for Pittwater 1 am authorised by the above organization/company has a current professional Indemnity policy of at least \$2million I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical
Report for the above development Geotechnical Report Details
Report Title George Chrical Investigation, Pottware RSLCLUD, 80-88 Mous VALE Real? Report Date MARCH 2009
Author Douglas Daetales.
Structural Documents list:
5000-C, 5001-P, 5002-D, 5003-C, 5010-C, 5015-C, 5021-C,
5070-D, 5022-C, 5023-C, 5024-D, 5030-D, 5031-C, 5040-C
1 am also aware that Pritwater Council relies on the processes cove ed by the Geolec'm cal Risk Management Policy
including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated any justified
KOBERT MACKELLAR (Miller (signature)
Declaration made by Gentechnical Engineer or Engineering Geningst in relation to Structural Drawings
· · · · · · · · · · · · · · · · · · ·
I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 3 1 3 08 and now cerbity that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriate taken into account by the singular engineer in the preparation of these structural documents.
I am aware that Pittwater Council relies on the processes covered by the Geofechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed
development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and
practical measures have been identified to remove foreseeable risk
Signaturo
Name GENTE TOUNG
Chartered Professional Status. BEMENGS, FIGNER, CPENG, NPER
Membershio No 98650





Application Lodgement Summary



Reference Number 2585335

Date Requested Fri June 5 2009

Agent

Reece West Ryde, 922 Victoria Rd West Ryde

Applicant

K R Stubbs & Associates Pty Ltd, 33 Ryde Road Pymble 2076

Property/Asset

Lot 26 Mona Vale Rd, Mona Vale 2103 (Pittwater Rsl Club) PNum 3435888

150 mm VC Sewer Main - (2776913)

Product

Building Plan Approval Application

Charge

Product Cost

GST

Total

Building Plan Approval Application Fee

\$25 00 \$0 00

\$25 00

Property Special Conditions

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	Yes
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset , "unknown or not available" or if the proposed development is being built over more than one existing property

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards

FORM NO OFFICE USE ONLY Pittwater Council PLEASE PRINT ALL DETAILS USING CAPITALS OFFICIAL RECEIPT 25/05/2009 Receipt No 259553 To PAINTER DIXON CONSTRUCTION 320 LIVERPOOL ROAD ASHFIELD 21J1 Bus hours phone RUCTION WORK Applic Reference Amount QLSL-Bull ±13,300 00 GL Re 1 / NO384/08 Total \$13,300 00 Amounts Tendered Cach \$0.00 Estimated finish date D Cheque \$13,300 60 Db/Cr Card \$0 10 consenting/certifying authority with whom plans lodged for approval Money Order \$0.00 Agency Rec \$0 00 Total \$13,300 00 Kounding \$0.00 Change \$0.00 tlett \$13 300 00 payable \$ Printed 25/05/2009 5 25 29 BOUDING HIPPOPUR Business hours phone Cashier kWay where applicable - see Contract amount \$ Phone number Contact person (Signature) Date D PART E DECLARATION – To be signed by person liable to pay levy or authorised officer if company/org Any false or misleading information provided on this form may result in prosecution under Section 58A I hereby declare that the information provided on this form is true and correct to the best of my knowledge Date D 25 M 05 ANTES TO BE COMPLETED WHERE APPLICABLE 25/5/09 XUD Exemption Approval Certificate No

Building and Construction Industry Long Service Payments Corporation, Locked Bag 3000 Central Coast MC NSW 2252

Tel 18 14 41 Fax (02) 9287 5685 Email levy@lspc nsw gov au www.lspc nsw gov au ABN 93 646 090 808

Aug C8/180

ROLLING & COURT VOC HOW		FORM NO	WIN
See reverse of form for instru	ctions	OFFICE USE ONLY	
PART A — DETAILS OF PERSO	N/COMPANY/ORGANISATION LIABLE TO P	AY LEVY PLEASE PRINT ALL DETAILS USING CAPIT	TALS
Surname (if person) or Company/Organisation name	PAYNTER DINC	DUCCUGTEVCTI	2 N
Given names (if person)	90P/L00000		
POSTAL ADDRESS No and street or PO Box	320 LIVEPROG		
	ACHELEUD		
Town/suburb			
State	NGW Postcode 2131 B	us hours phone 9797555	
PART B - ADDRESS OF BUILD	DING/CONSTRUCTION WORK		
Number and street	BO-BZ MONA V	ALE POAD DO	
Town/suburb	MONAVALELL		
State	NEW Postcode 2103		_1t)
Estimated start date D	LIBMOGY ZOOD ESTIMA	ted finish date D 31 M 03 y 201	0
PART C - DETAILS OF WORK	- To be completed by consenting/certifying aut	thority with whom plans lodged for approval	
Local Council Area	PORTURACE		
¹ DA/CC/CDC No Estimated value			
of work (see note on back)		DO Levy payable \$ 13,300 G	30
	re please provide DA number here		
Name of Officer/Private Certifier	TERRY WEST BOLLDING HERROMEBUSING	ess hours phone	
PART D - DETAILS - To be co	mpleted by Dept/Authority where applic	도 하는 New York 등 있는 지수는 그들이 가장 있다. 그는 그는 그는 그는 그는 그 등 사용을 받는 기계를 하는 것이다.	
Department/Authority			
Contract/DA No (circle which)	Contra		
Levy payable	\$	L=1 r=1 c-1 c-1 c-1 r-1 c-1 c-1 c-1	—
Contact person (Print)		Phone number	
Contact person (Signature)		Date D M Y	
Any false or misleading informati	on provided on this form may result in prosecut		Ī.
9 ii 0	tion provided on this form is true and correct t		ماريا
- Name Gool Key Te	nfled Signature Could	Date 0 25 M 0 5 v 2 0 C	" 儿
PART SEND DE COMPLETED V		R 259553	
Exemption Approval Certificate No)	-1-1- V110	

Building and Construction Industry Long Service Payments Corporation Locked Bag 3000, Central Coast MC NSW 2252 Tel 13 14 41 Fax (02) 9287 5685 Email levy@lspc nsw gov au www lspc nsw gov au ABN 93 646 090 808

Angela Maroney



12 MONTH MAINTENANCE PLAN

FOR

PITTWATER RSL

Angela Maroney Urban & Rural Design

1/1085 Pacific Highway PYMBLE NSW 2073

P 02 9440 0600 f 02 9440 0633 M 0416 397258

PURPOSE;

To present a 12 month maintenance strategy for Pittwater RSL to address issues such as irrigation, mulching, weeding, plant staking, fertilising, pest and disease control, replanting, remedial pruning & regular site inspections

IRRIGATION;

During the plant establishment period it is necessary to water plants daily for the first week of installation. Depending on the season of installation it may be necessary to continue watering during the hot dry summer season. However, it is necessary to water at least weekly for 6 weeks upon installation. Depending on environmental conditions it may be necessary to water during prolonged periods of dry weather.

MULCHING;

It is necessary to maintain a depth of mulch between 75 & 100mm to limit weed growth and loss of soil moisture. Mulch depth should be checked at least every 3 months. Care should be taken to avoid mulch piled against the base of the plants to prevent them from rotting

WEEDING;

Weeding should be performed on a weekly basis for the first 3 months to eliminate competition with new plants. Further weeding should be performed at least monthly to prevent weeds from overrunning garden beds and setting seed.

PLANT STAKING;

Plants that are staked should be checked monthly to affirm that the devices are not strangling the plant. They may need to be adjusted according to their growth patterns. Plant stakes need to be maintained for at least 12 months. Each plant needs to be assessed at the end of this period to determine whether they can be removed or remain.

FERTILISING;

The plant species chosen and garden bed preparation should eliminate the need for fertilising. Care should be taken always when choosing a fertiliser that it is suitable for use on Australian natives. A better option would be bi-annual spray of Seasol and applied as per directions.

PEST & DISEASE CONTROL;

Monitoring the health of the plants should be done on a weekly basis. It is particularly important during the plant establishment periods to consult a horticulturist if a number of plants are effected by pests or diseases to recommend the appropriate course of action

REPLANTING:

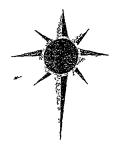
It will be at the discretion of the designer to recommend the replacement of plants if a number of them have died or are of poor health

REMEDIAL PRUNING;

Pruning may be necessary to maintain growth habit or contain growth within garden beds The Ceratapetalum gummiferum (NSW Christmas Bush) will require the lower branches to be removed to establish a small canopy tree

SITE INSPECTIONS;

The landscape designer needs to visit the site on a 3 monthly basis from the date of issue of the Occupation Certificate. After a 12 month period it will be required to provide a report to the owner certifying that all plant material is healthy & performing to expectation.



SCHEDULE OF INSURANCE

Policy Type Policy Number

insurer Period of Insurance

Effective Date of Transaction

Professional Indemnity Insurance

7986810PID

QBE Insurance (Australia) Limited 30/06/2008 30/06/2009 to

13/05/2009

PROFESSIONAL INDEMNITY INSURANCE

NAME OF INSURED Terry West Building Approvals & Consultants Pty Ltd and/or

subsidiary and/or related Corporations as defined under Australian Corporations Law and/or financiers and all parties for whom the Insured undertakes to insure, for their respective rights,

interests, and liabilities

DESCRIPTION OF

BUSINESS

Principally Building Consultants / Surveyors and any other activity

incidental thereto

INTEREST INSURED Professional legal liability to third parties for any sum or sums

which the Insured may become legally liable to pay arising from any claim or claims made against the Insured and reported during

the period of insurance

TERRITORIAL LIMITS

Worldwide

JURISDICTION

Commonwealth of Australia

LIMITS OF LIABILITY

\$ 10,000 000 any one occurrence but \$ 10-000,000 in the aggregate for all claims first made against the Insured during the period of insurance (subject to Section 40(3) of the Insurance

Contracts Act 1984)

DEDUCTIBLE

\$ 5 000 Each and Every Claim (inclusive of costs) any one loss or in the aggregate for all losses excluding all costs, charges and

expenses

RETROACTIVE LIABILITY DATE: Unlimited excluding known claims & circumstances

POLICY WORDING

Insurer's Professional Indemnity - Civil Liability policy wording

INSURING CLAUSES

1 3 Intellectual Property Included 1 4 Defamation Included 1 5 Outgoing Principals Included 1 6 Retroactive Date Included 1 7 Trade Practices & Related Legislation Included

POLICY EXTENSIONS

2.1 Estates and Legal Representatives

Included included Included

2 2 Fraud and Dishonesty 2.3 Loss of Documents

(Sub-Limit \$100,000 any one claim and in



the aggregate)

2 4 Newly Created Subsidiary Included 2 5 Official Investigations & Enquiries Included 2 6 Run Off Cover Insured Entity Included

(Sub Limit \$25,000 any one claim and in the

aggregate) 2 7 Severability Included

OPTIONAL EXTENSIONS

3 1 Aggregate Limit of Indemnity Not Included 3 2 Fidelity 3 3 Previous Business Not Included Not Included

ADDITIONAL EXLUSIONS

Manufacturing Construction, Installation & Supervision Exclusion Employee Activities Exclusion
Building Surveyor, Inspector or Certifier Endorsement



Building Professionals Board

Certificate of Individual Accreditation

This is to certify that

Terry West

is accredited as an accredited certifier in New South Wales under the Building Professionals Act 2005 in the following categories as set out in Schedule 1 of the **Building Professionals Regulation 2007**

A1 - Accredited Certifier - Building Surveying Grade 1

This certificate is subject to the conditions prescribed in the Building Professionals Regulation 2007 and the conditions contained in the attached Schedule

Period of accreditation 23 March 2009 to 22 March 2010

Registration No

BPB0438

Neil Cocks

Director

Building Professionals Board

Schedule of conditions

The following conditions are imposed by the Building Professionals Board

1 The accredited certifier must not issue certificates for class 2 to 9 buildings where an alternative solution involving fire safety is proposed to achieve compliance with the relevant performance requirements of the Building Code of Australia