

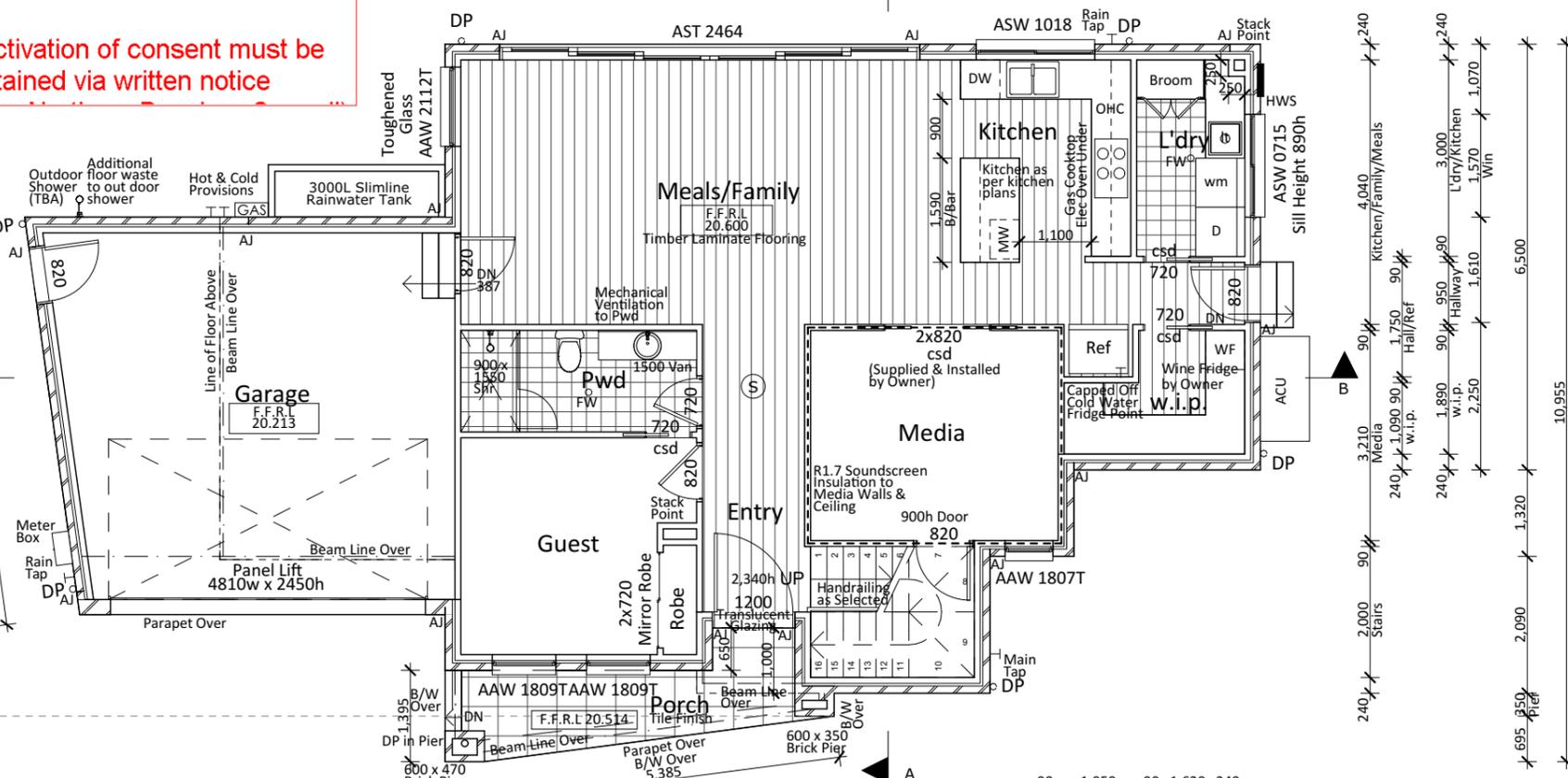
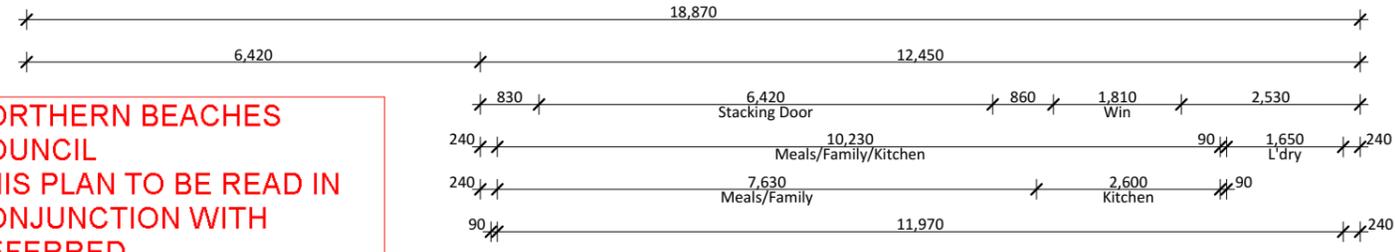
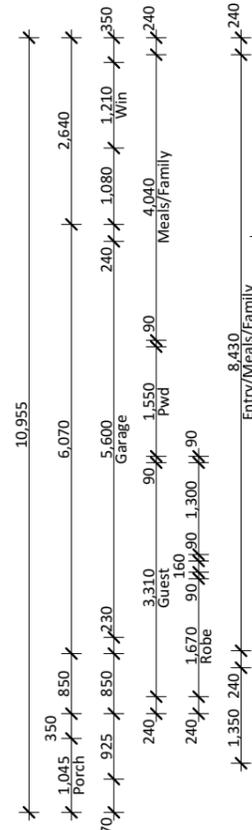
NOTE:
 - 2340h Doors to Ground Floor
 - 2040h Door to Upper Floor

**BAL 19 to North
 East Elevation**

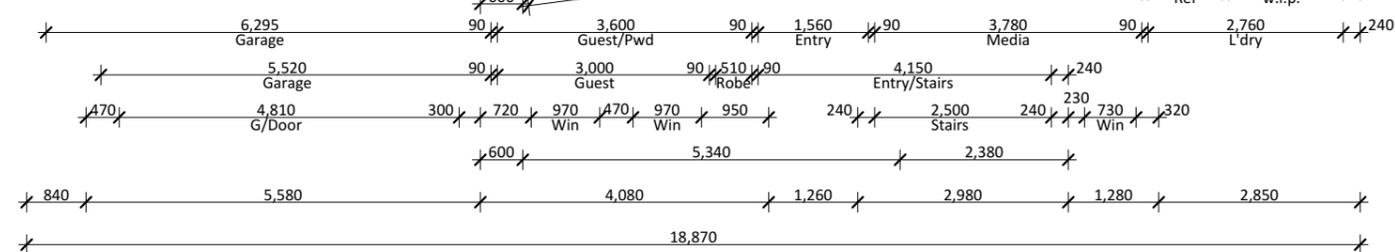
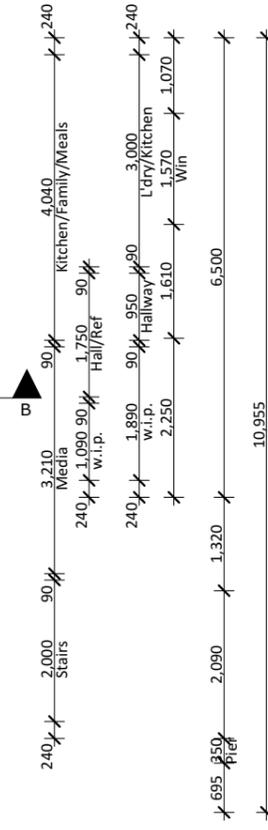
**NORTHERN BEACHES
 COUNCIL**
 THIS PLAN TO BE READ IN
 CONJUNCTION WITH
 DEFERRED
 COMMENCEMENT
 DA2018/1200

(Activation of consent must be
 obtained via written notice)

**BAL 29 to North
 West Elevation**



**BAL 29 to South
 East Elevation**



**BAL 29 to South
 West Elevation**

Ground Floor Plan
 1:100

Floor Area	
Upper Living	116.30
Lower Living	106.88
Garage	37.84
Porch	6.81
Upper Living	1.56
Total	269.39 m²

- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - B/Bar - Breakfast Bar
 - D - Dryer
 - DP - Downpipe
 - DW - Dishwasher
 - Ens - Ensuite
 - FW - Floor Waste
 - HWS - Hot Water System
 - LOH - Lift off Hinge
 - LC - Laundry Chute
 - MH - Manhole
 - MW - Microwave Oven
 - OBS - Obscure
 - OHC - Over Head Cupboard
 - RHS - Rolled Hollow Steel
 - S - Smoke Detector
 - Shr - Shower
 - TR - Towel Rail
 - Van - Vanity
 - WF - Wine Fridge
 - w.i.l. - Walk in Linen
 - w.i.r. - Walk in Robe
 - w.i.p. - Walk in Pantry
 - WM - Washing Machine

- Notes:**
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval: _____ Date: _____



Client: **ICON HOMES**
 Job: **Proposed B/V Residence**

LOT: 6 DP: UNREG
**Lorikeet Grove,
 Warriewood**

Drawing:
Ground Floor Plan

Scale: **1:100** Date: **24-10-18**

Drawing No: **17223-15** Sheet: **3/15** Issue: **N**

House Design: Custom

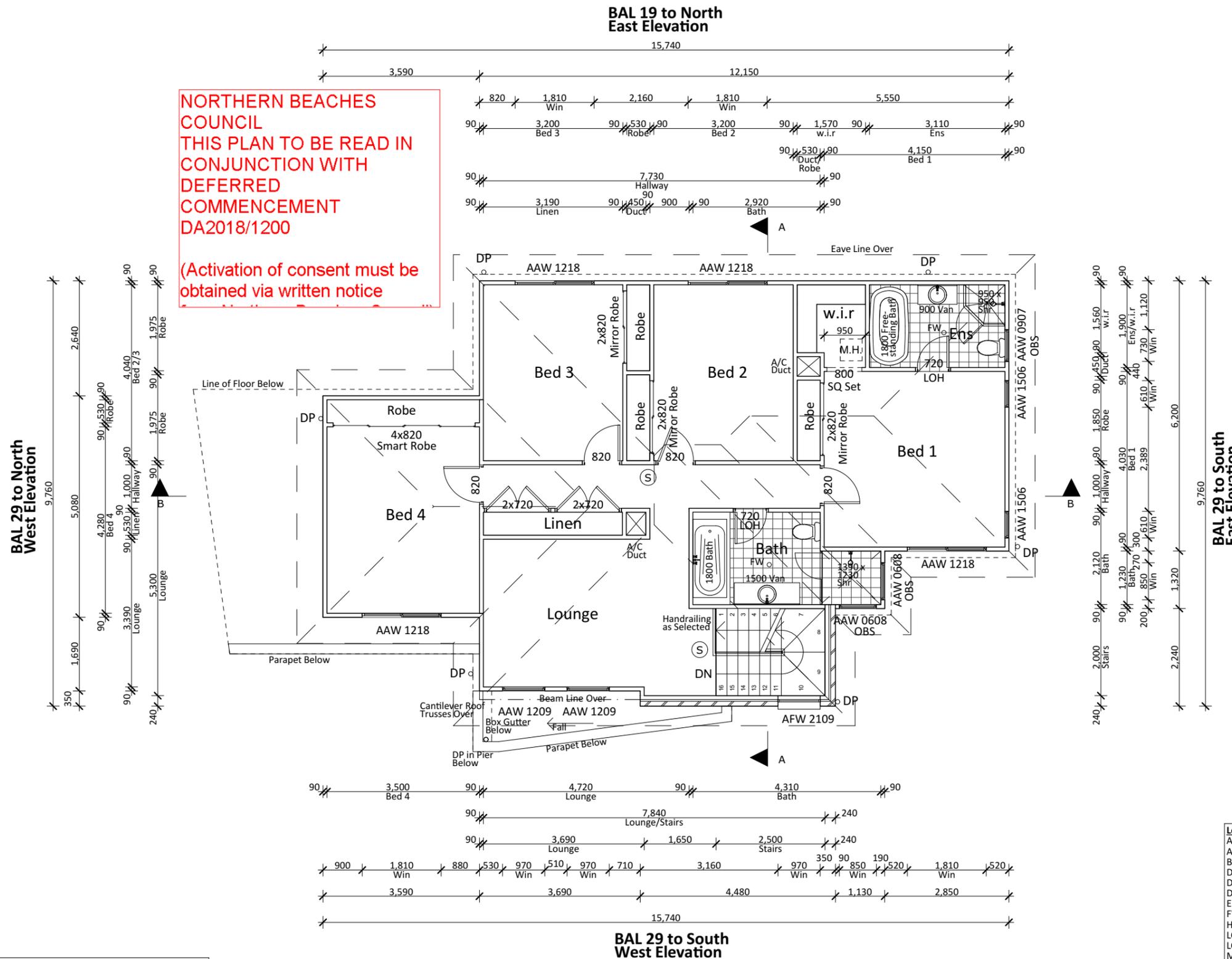


Office: 1a/10 Exchange Parade
 Narellan NSW 2567
Phone : 0246472552
 Fax : 0246472553
 Email: info@accuratedesign.com.au

NOTE:
 - 2340h Doors to Ground Floor
 - 2040h Door to Upper Floor

NORTHERN BEACHES COUNCIL
 THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1200

(Activation of consent must be obtained via written notice)



Floor Area	
Upper Living	116.30
Lower Living	106.88
Garage	37.84
Porch	6.81
Upper Living	1.56
Total	269.39 m²

Upper Floor Plan
 1:100

- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - B/Bar - Breakfast Bar
 - D - Dryer
 - DP - Downpipe
 - DW - Dishwasher
 - Ens - Ensuite
 - FW - Floor Waste
 - HWS - Hot Water System
 - LOH - Lift off Hinge
 - LC - Laundry Chute
 - MH - Manhole
 - MW - Microwave Oven
 - OBS - Obscure
 - OHC - Over Head Cupboard
 - RHS - Rolled Hollow Steel
 - S - Smoke Detector
 - Shr - Shower
 - TR - Towel Rail
 - Van - Vanity
 - WF - Wine Fridge
 - w.i.l. - Walk in Linen
 - w.i.r. - Walk in Robe
 - w.i.p. - Walk in Pantry
 - WM - Washing Machine

- Notes:
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove, Warriewood

Drawing:
Upper Floor Plan

Scale: **1:100** Date: **24-10-18**

Drawing No: **17223-15** Sheet: **4/15** Issue: **N**

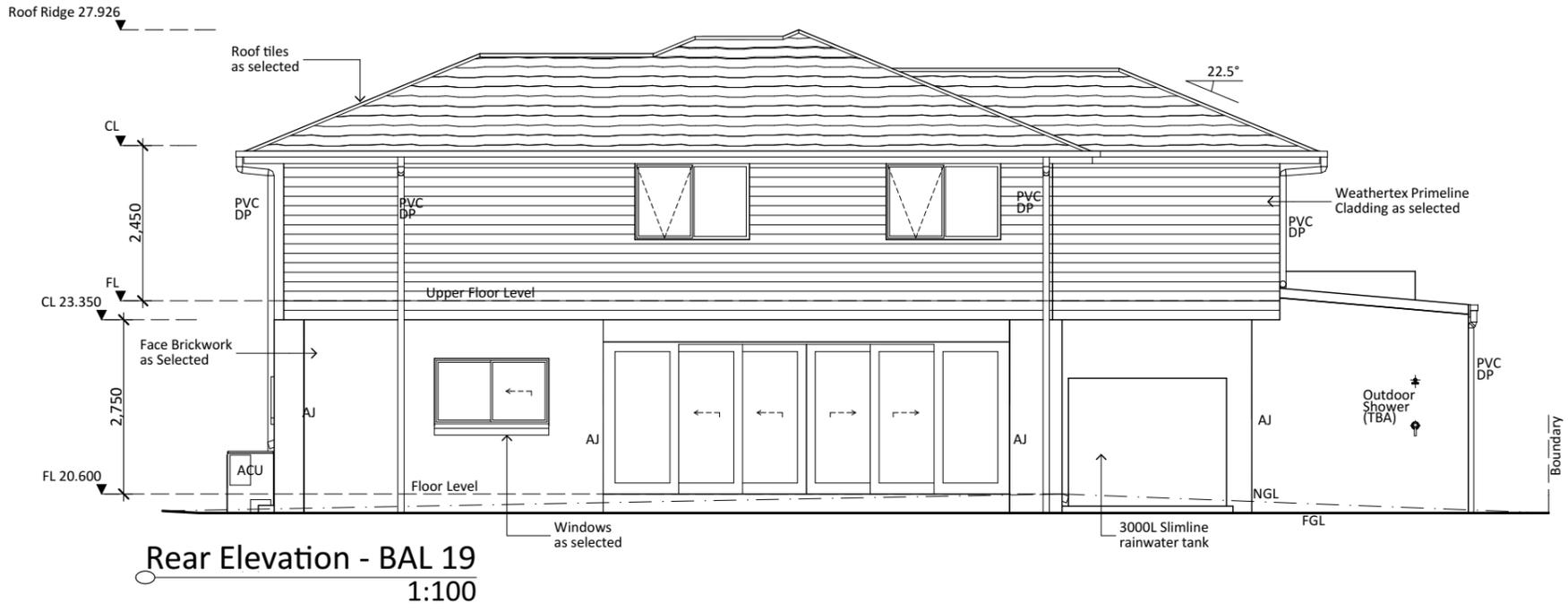
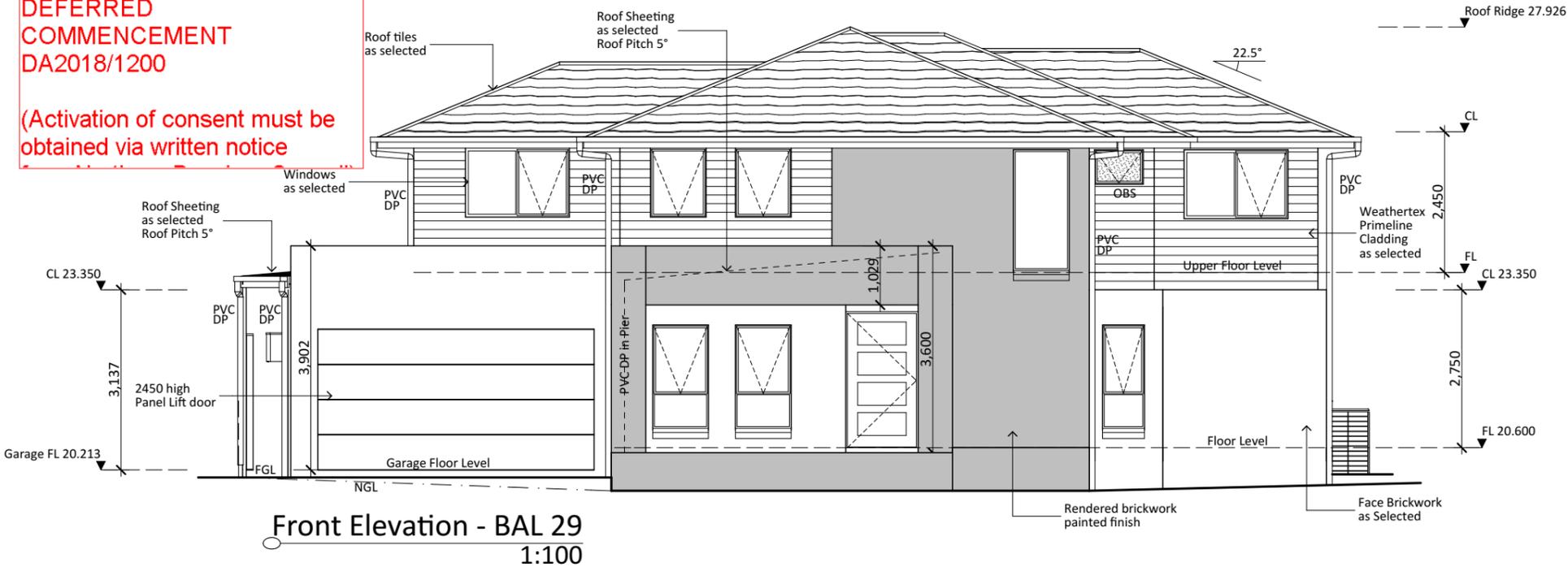
House Design: Custom



Office: 1a/10 Exchange Parade
 Narellan NSW 2567
Phone : 0246472552
 Fax : 0246472553
 Email: info@accuratedesign.com.au

- Notes:
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level +/- 200mm

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1200
 (Activation of consent must be obtained via written notice)



- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - CL - Ceiling Level
 - DP - Downpipe
 - FGL - Finish Ground Line
 - FL - Floor Level
 - HWS - Hot Water System
 - NGL - Natural Ground Line
 - OBS - Obscure
 - RW - Retaining Wall

ICON Job Number: J/0335

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove, Warriewood

Drawing:
Front & Rear Elevations

Scale: **1:100** Date: **24-10-18**

Drawing No: **17223-15** Sheet: **5/15** Issue: **N**

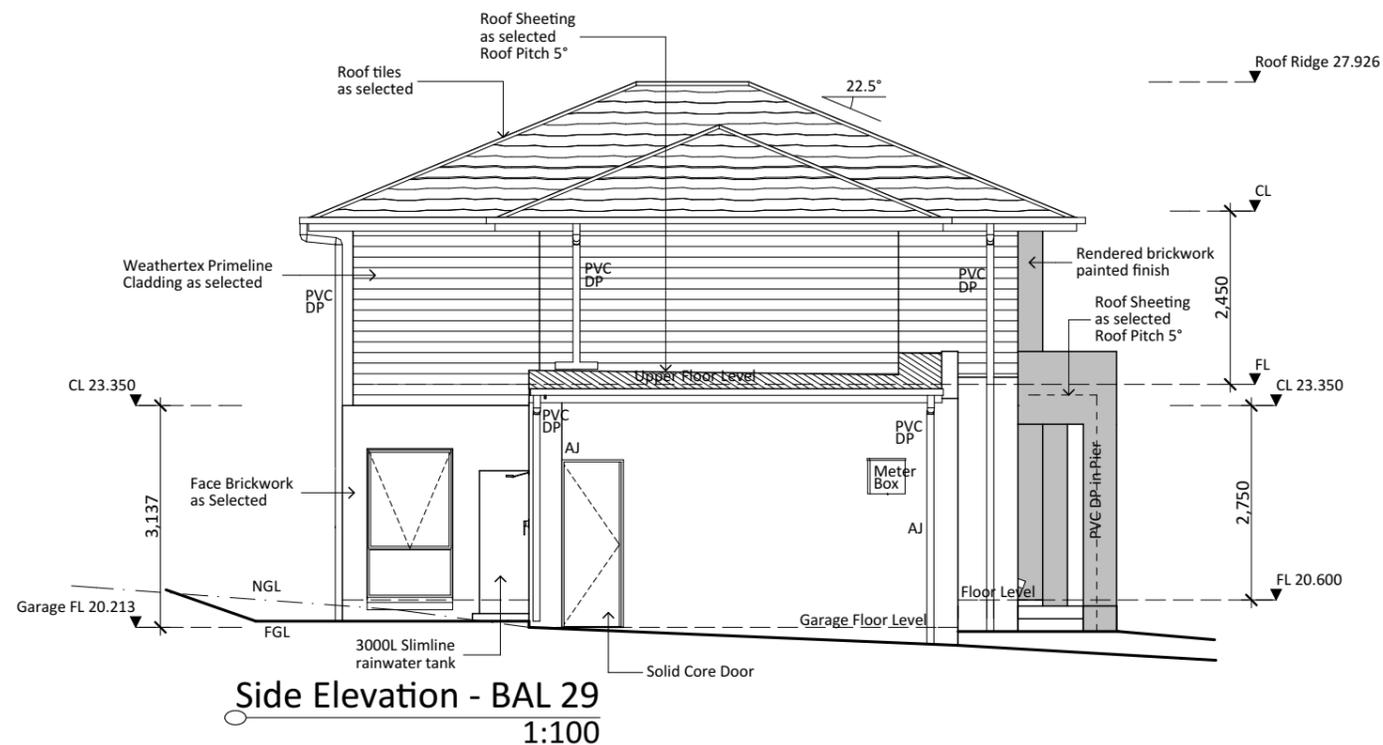
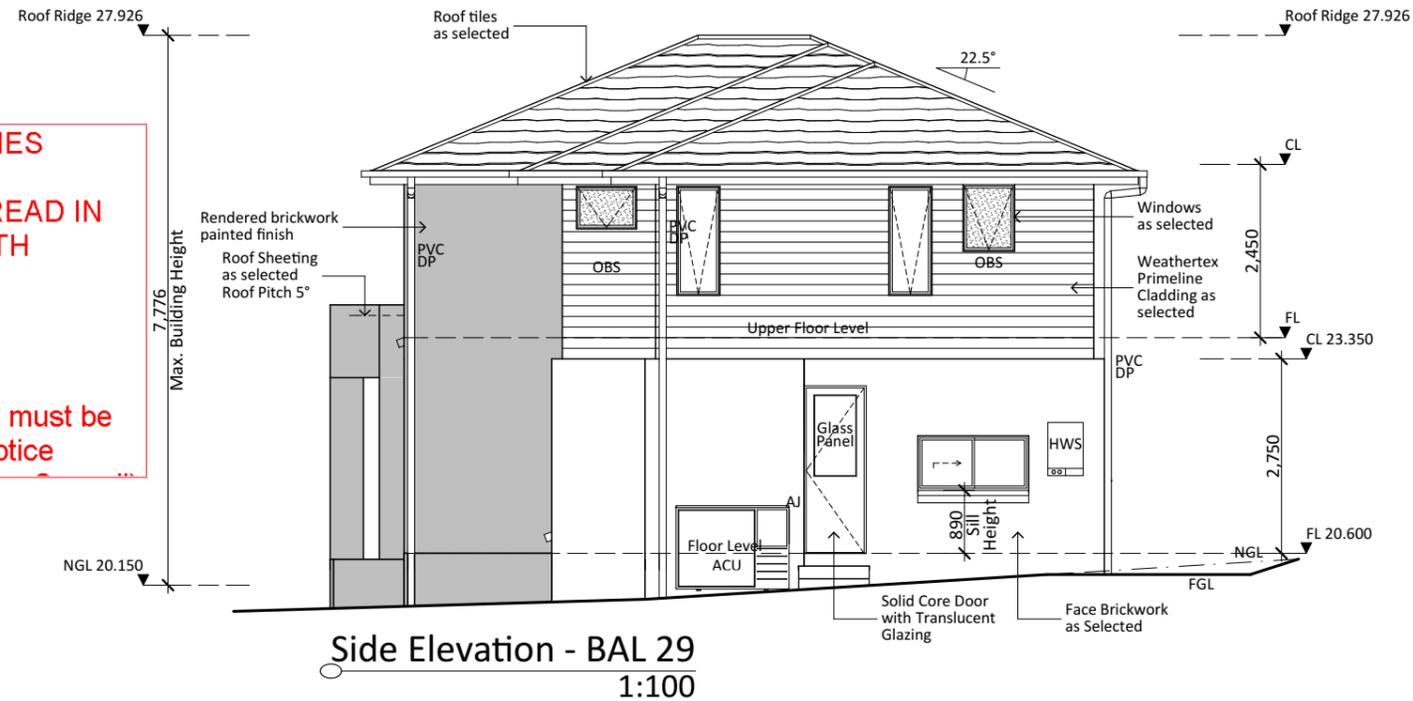
House Design: Custom



Office: 1a/10 Exchange Parade
 Narellan NSW 2567
Phone : 0246472552
 Fax : 0246472553
 Email: info@accuratedesign.com.au

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1200

(Activation of consent must be obtained via written notice)



- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - CL - Ceiling Level
 - DP - Downpipe
 - FGL - Finish Ground Line
 - FL - Floor Level
 - HWS - Hot Water System
 - NGL - Natural Ground Line
 - OBS - Obscure
 - RW - Retaining Wall

- Notes:**
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove,
Warriewood

Drawing:
Side Elevations

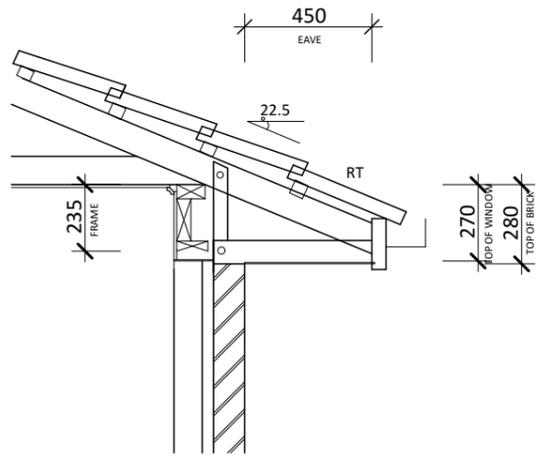
Scale: **1:100** Date: **24-10-18**

Drawing No: **17223-15** Sheet: **6/15** Issue: **N**

House Design: Custom



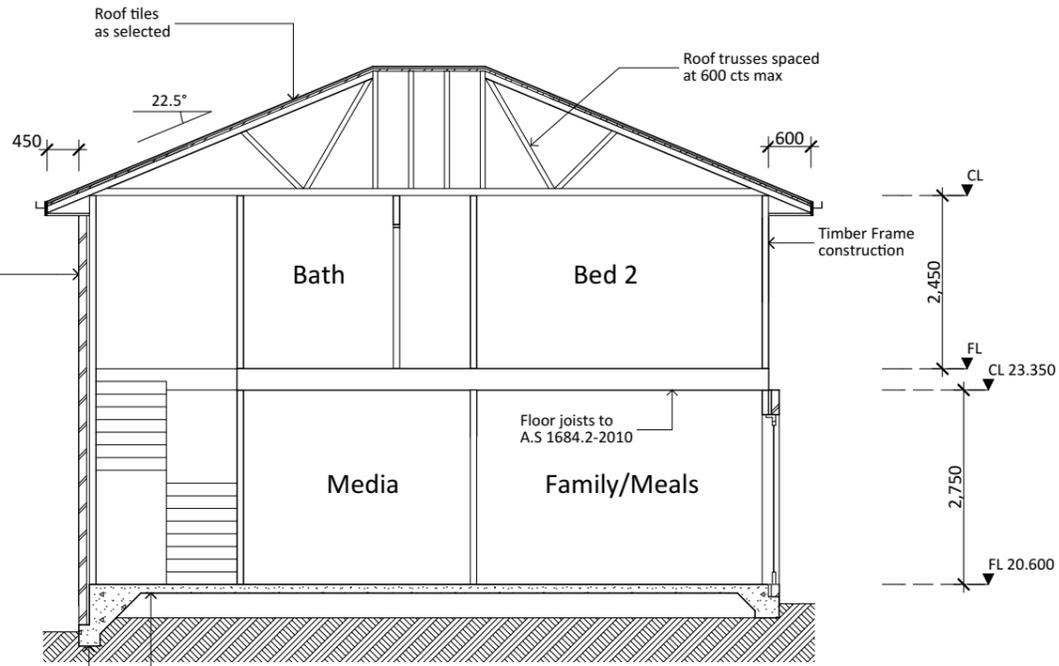
Office: 1a/10 Exchange Parade
 Narellan NSW 2567
Phone : 0246472552
 Fax : 0246472553
 Email: info@accuratedesign.com.au



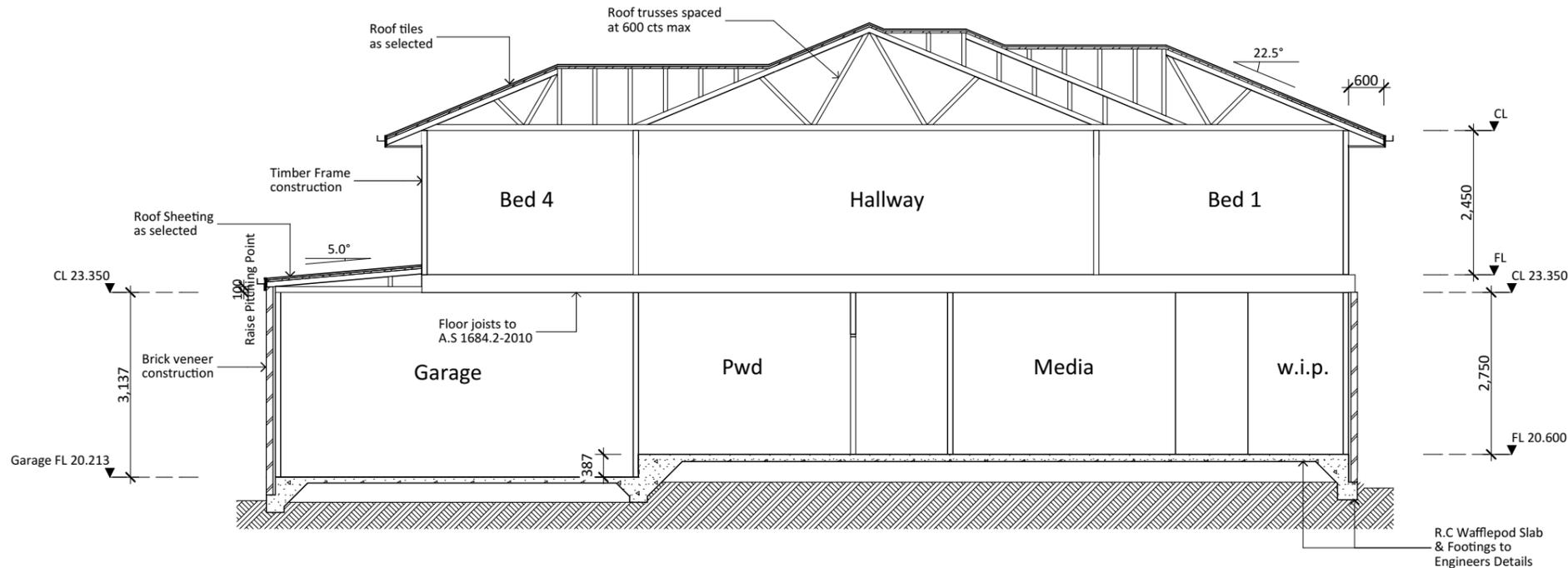
Eave Detail
1:25
(2450 C.H)

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1200
 (Activation of consent must be obtained via written notice)

R.C Wafflepod Slab & Footings to Engineers Details



Section A-A
1:100



Section B-B
1:100

R.C Wafflepod Slab & Footings to Engineers Details

- Notes:
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval:

Date:

Client:



Job:

Proposed B/V Residence

LOT: 6 DP: UNREG
 Lorikeet Grove,
 Warriewood

Drawing:

Sections

Scale:

1:100

Date:

24-10-18

Drawing No:

17223-15

Sheet:

7/15

Issue:

N

House Design: Custom



accurate

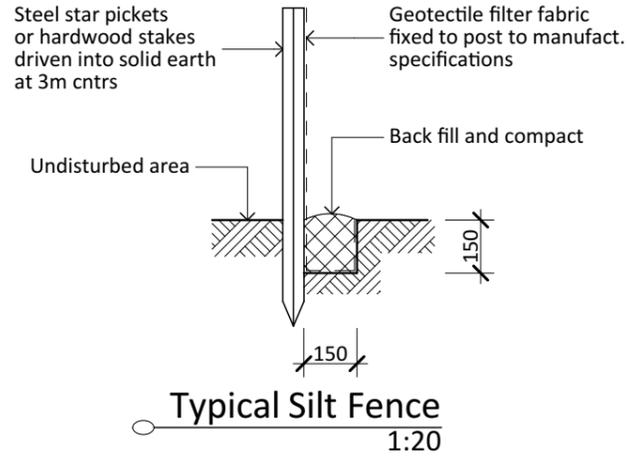
design and drafting

Office: 1a/10 Exchange Parade
 Narellan NSW 2567

Phone : 0246472552

Fax : 0246472553

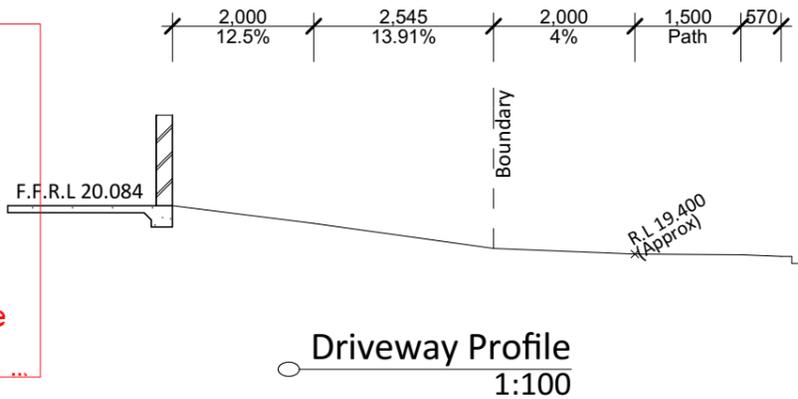
Email: info@accuratedesign.com.au



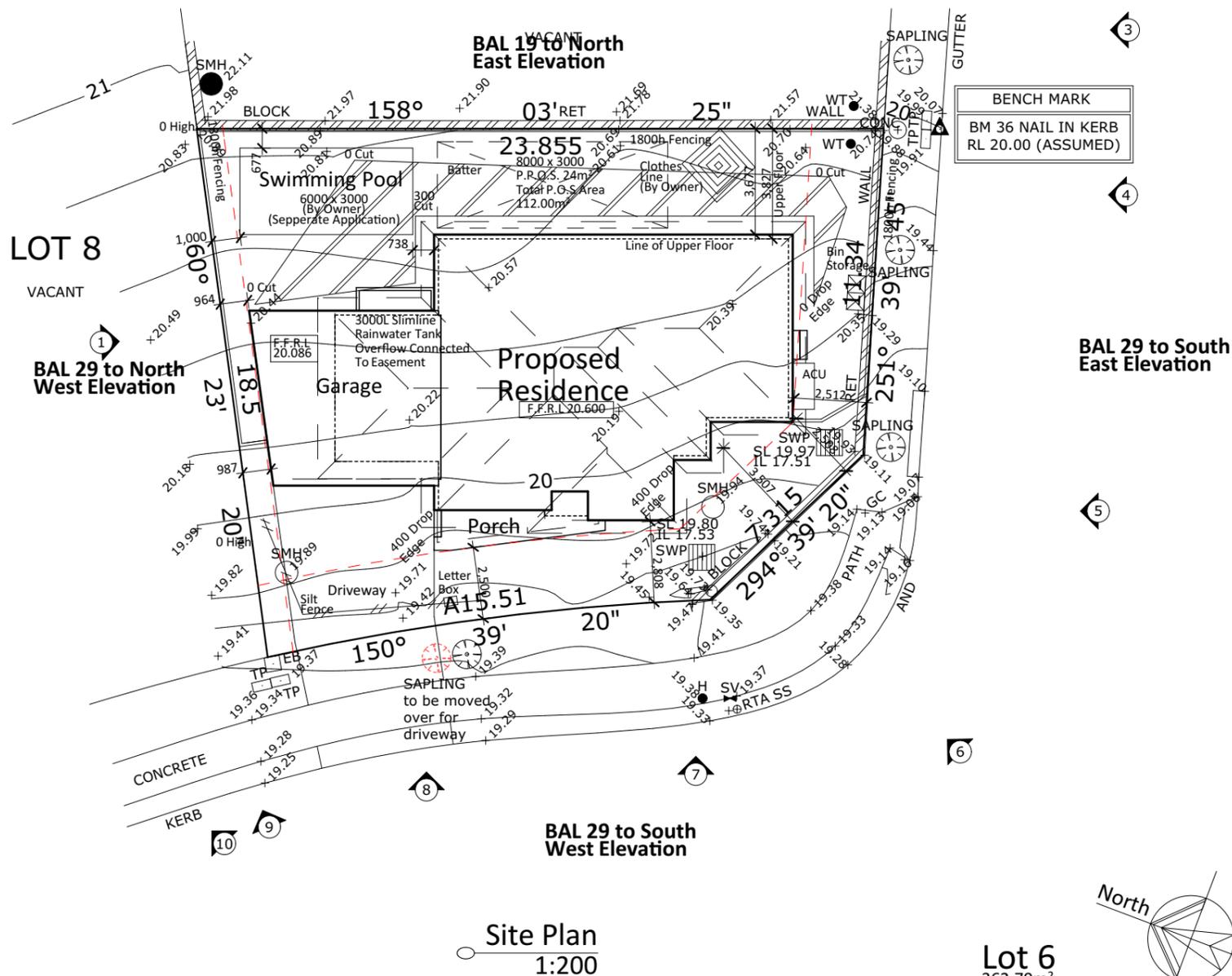
Soil Erosion and Sediment Control Fence
 1. Siltation fencing is to be placed as shown on the site plan so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabilized, i.e. paved, landscaped or turfed
 2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

NORTHERN BEACHES COUNCIL
 THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1200

(Activation of consent must be obtained via written notice)



BAL 19.0	Construction requirements	BAL 29	Construction requirements
6.4.1	no ext. wall is >400mm from n.g.l.	7.4.1	ext. walls are to be made from a non-combustible material
6.4.2	all joints to be >3mm	7.4.2	all joints to be <3mm
6.4.3	weephole mesh to have 2mm aperture	7.4.3	aperture corrosive resistant steel when weepholes are < 3mm
6.5.1A	screens for doors/windows will have mesh with 2mm aperture of corrosive resistant steel & frames to be made from metal	7.5.1A	aperture corrosive resistant steel when weepholes are < 3mm
6.5.2	screens for doors/windows will have mesh with 2mm aperture of corrosive resistant steel & frames to be made from metal	7.5.2	aperture of corrosive resistant steel & frames to be made from metal
6.5.3	ext. hung doors to be solid timber & have weather strips to the base	7.5.2	window assembly shall comply to: * Frames to be metal * Toughened 6mm (min) glazing * Both openable & fixed panels to be screened as per clause 7.5.1A
6.5.4	Sliding Doors to have Grade A safety glass to AS 1288 and to be metal framed	7.5.3	Door assembly shall comply to: * Frames to be metal * Toughened 6mm (min) glazing (where fitted to doors) & screens to comply with clause 7.5.1A * is a non combustible material * Ext. fitted hardware to be metal * Doors to be tight fitted in frame * weather strips to the base of door
6.5.5	lower part of vehicle access to be made from non combustible material and have weather strips and have no ventilation slots	7.5.4	Sliding Doors shall comply to: * Frames to be metal * Toughened 6mm (min) glazing (where fitted to doors) & screens to comply with clause 7.5.1A * Ext. fitted hardware to be metal * Doors to be tight fitted in frame
6.6.1	roof tiles to be non combustible, roof/wall junction to be sealed gable vents to be fitted with non combustible materials	7.5.5	be made from non combustible material and have weather strips and have no ventilation slots
6.6.2	tiles to be full sarked & have a flame index <5 under battens & to cover entire roof area & have no gaps where sarking meet	7.6.1	tiles are to be non combustible, roof/wall junction to be sealed roof ventilation openings shall be fitted with ember guards that are to be non combustible with a mesh aperture of <2mm made of metal, any pipe / conduit that penetrates the roof shall be non combustible
6.6.4	porch to comply with clause 6.6.2	7.6.2	tiles are to be full sarked & have a flame index <5 under battens tested to a.s. 1530.2 & is to cover to entire roof including the ridge & have no gaps where sarking meet
6.6.5	all penetrations to be sealed and have no gap >3mm & have ember guards made from metal mesh - max aperture 2mm	7.6.4	verandah roof to comply with clauses 7.6.1, 7.6.2, 7.6.3, 7.6.5 & 7.6.6 as required
6.6.6	gables to comply with clause 6.4 eave penetrations to comply with clause 6.6.5	7.6.5	all penetrations to be sealed and have no gap >3mm and all materials to be non combustible. Any glazing to comply with AS 1288 & all flashing is non combustible
6.7.1	concrete patio complies	7.6.6	Fascias & bargeboards to be of a fire resistant timber, any joints to be sealed with plastic joining strips, all gaps & gables to comply with clause 7.6.5 all eave linings are to be fibre cement sheets 4.5mm, vents to have ember guards with a max aperture of 2mm to be made of corrosive-resistant steel
6.8	above ground pipes to be metal	7.6.7	no requirements, but if leaf guards are installed then it is to be of a non combustible material & gutters are to be non-combustible
		7.7.1	concrete patio complies
		7.8	above ground pipes to be metal



BENCH MARK
 BM 36 NAIL IN KERB
 RL 20.00 (ASSUMED)

Lot 6
 362.70m²
 DP: UNREG

- Notes:
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval: _____ Date: _____



Job:
 Proposed B/V Residence

LOT: 6 DP: UNREG
 Lorikeet Grove,
 Warriewood

Drawing:
 Site Plan

Scale: 1:200
Date: 24-10-18

Drawing No: 17223-15
Sheet: 8/15
Issue: N

House Design: Custom



Office: 1a/10 Exchange Parade
 Narellan NSW 2567
Phone: 0246472552
 Fax: 0246472553
 Email: info@accuratedesign.com.au