



# **COUNCIL COPY** Construction Certificate

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**CONSTRUCTION CERTIFICATE  
NUMBER**

**CC2006-07305**

*Issued in accordance with the Environmental Planning & Assessment Act 1979 under sections 109C(1)(b) and 109F.*

**COUNCIL AREA**

**PITTWATER**

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**APPLICANT**

Name Australand Holdings Limited  
Address Level 3, 1C Homebush Bay Drive, RHODES 2138  
Contact no (telephone/fax) 9767 2000 - 0438 534 628 (Warwick)

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**OWNER**

Name Australand Holdings Limited  
Address Level 3, 1C Homebush Bay Drive, RHODES

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**SUBJECT LAND**

Address Proposed Lot Nos 1801-1805  
Stage 18  
Lot 1801  
Sector 8  
Macpherson Street, WARRIEWOOD 2102  
Lot No 1801-1805  
DP - 328260

*R#190430.*

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Greenfield Accredited Certifiers Certificate No. CC2006-07305

**DESCRIPTION OF DEVELOPMENT**

Description 5 x Two Storey Dwellings with detached double garages

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**COUNCIL'S D/A CONSENT**

Development Consent No NO647/05  
D.A Approval Date 27/01/2006

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**BCA BUILDING CLASSIFICATION** 1a**BUILDER or OWNER/BUILDER**

Name Rylehall Pty Ltd  
Contractor Licence No. or  
Owner Builder Permit No. 43484

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**VALUE OF BUILDING WORK**

Value of Building Work (\$) \$850,000.00

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**DATE CC APPLICATION RECEIVED**

Date Received 23/02/2006

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**DETERMINATION**

Decision Approved  
Date of Decision 7/04/2006

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**ATTACHMENTS**

Council Submission Cheque \$30.00  
PCA / Land Owners Form  
Home Owners Warranty Insurance - Vero  
Long Service Levy Receipt  
Sydney Water Approval

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Greenfield Accredited Certifiers Certificate No. CC2006-07305



## PLANS AND SPECIFICATIONS

### APPROVED/REFUSED

List plan no(s) and specifications

Reference:

Drawing Number: CC01 dated: 25/01/2006

Drawing Numbers: CC02, CC03 and CC04

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### ACCREDITATION BODY

Department of Planning

10 Valentine Ave, Parramatta 2150

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### CERTIFICATION

I, Kieran Tobin, as the certifying authority am satisfied that:

(a) requirements of the regulations referred to in s81A(5) have been complied with, and

(b) long service levy, where applicable, has been paid in accordance with section 34 of the Building and Construction Industry Long Service Payments Act 1986.

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### CERTIFYING AUTHORITY

Name of Certifying Authority

Kieran Tobin

Greenfield Accredited Certifiers

Accreditation No

44

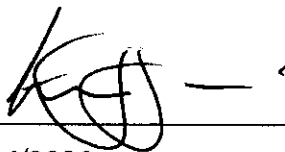
Contact No

1300 663 215

Address

PO Box 6160 Baulkham Hills BC 2153

SIGNED



DATED

7/04/2006

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# **INFORMATION ON REQUIRED INSPECTIONS**

Please find your Construction Certificate CC2006-07305 enclosed for:

[Lot1801-1805] Macpherson Street, WARRIEWOOD 2102

We will be required to carry out the following critical stage inspections:

- Commencement
- Stormwater
- Combined Framework & Wet Area – Truss & Bracing details will be required prior to inspection
- Final

Please note that you will need to arrange for an ENGINEER accredited under the IEAust Accreditation Scheme to carry out the following critical stage inspections:

- Piers, footings and slab

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**TO BOOK AN INSPECTION CALL US ON 1300 663 215  
AND ASK FOR “INSPECTION BOOKINGS”**

**\*\*PLEASE BOOK INSPECTIONS BEFORE 3.00PM THE DAY  
PRIOR TO THE INSPECTION\*\***

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## **Contact Personnel**

To check the status of your job contact:

Keiryn Ingram

For technical enquiries contact:  
Kieran Tobin

**COUNCIL COPY**



## **Greenfield Accredited Certifiers**

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### **Construction/Complying Development Certificate Application Form**

*Issued under the Environmental Planning & Assessment Act 1979*

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**R Moy & Associates Pty Ltd**

Trading as Greenfield Accredited Certifiers

ACN 100 924 605

ABN 23 100 924 605

Postal Address: PO Box 6160 Baulkham Hills BC NSW 2153

**Telephone**                      **1300 663 215**

**Facsimile**                      **9659 1633**

Email enquiries@greenfieldcertifiers.com.au

Website www.greenfieldcertifiers.com.au

*Privacy Policy – The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Greenfield Accredited Certifiers if the information you have provided in your application is incorrect or requires modification..*

# CHECKLIST – DOCUMENTS TO ACCOMPANY THIS APPLICATION

## For Construction Certificate Applications:

- ☒ Complete & sign this Application form – builder can sign
- ☒ Completion of Land Owners Form to be signed by ALL owners
- ☒ 1 copy of Council DA approved plans
- ☒ 1 copy of Council development consent
- ☒ 3 copies of architectural plans with amendments satisfying conditions
- ☒ 3 copies of building specifications
- ☒ If using a licensed builder - copy of Home Owners Warranty insurance if work is valued over \$12,000 (N/A for commercial or industrial development)
- ☐ If not using a licensed builder - copy of Owner-Builder permit if work is valued over \$5,000 (N/A for commercial or industrial development)
- ☐ Proof of payment of Long Service Levy if work is valued \$25,000 or over
- ☐ Cheque made payable to Council for Certificate Registration Fee – schedule of Council fees can be provided on request.

## For Complying Development Applications:

- ☐ Complete & sign this Application form – builder can sign
- ☐ Completion of Land Owners Form to be signed by ALL owners
- ☐ 3 copies of architectural plans
- ☐ 3 copies of building specifications
- ☐ If using a licensed builder - copy of Home Owners Warranty insurance if work is valued over \$12,000 (N/A for commercial or industrial development)
- ☐ If not using a licensed builder - copy of Owner-Builder permit if work is valued over \$5,000 (N/A for commercial or industrial development)
- ☐ Long Service Levy will apply if work is valued \$25,000 or over
- ☐ Copy of relevant Water Authority Approval (if applicable)
- ☐ Cheque made payable to Council for Certificate Registration Fee – schedule of Council fees can be provided on request.

## 1. TYPE OF APPLICATION

I wish to make an application for a:

- ☐ Complying Development Certificate  
*Issued under the Environmental Planning & Assessment Act 1979 sections 85 and 85A*

- ☒ Construction Certificate  
*Issued under the Environmental Planning & Assessment Act 1979 sections 109C(1)(b), 81A(2) & 81A(4)*

Class of building under the Building Code of Australia	1 A
Development application no.	NO647/05
Date which development consent was granted	27 January 2006

## 2. DETAILS OF THE APPLICANT

Applicant Name	N/A		
Or Company	AUSTRALAND		
Applicant Address	LEVEL 3, 1C HOMEBUSH BAY DRIVE RHODES NSW		
		Postcode: 2138	
Phone: 9767-2000	Fax: 9767-2944	Email: gyard@australand.com.au	

## 3. BILLING DETAILS (if different from Applicant)

Bill To: AS ABOVE
Billing Address: AS ABOVE

*Note: Applicant will be liable for payment of our fees if funds cannot be recovered from the above*

## 4. DETAILS OF THE OWNER(S)

Owner/s Name	N/A		
Or Company	AUSTRALAND		
Owners Address	LEVEL 3, 1C HOMEBUSH BAY DRIVE RHODES NSW		
		Postcode: 2138	
Phone: 9767-2000	Fax: 9767-2944	Email: gyard@australand.com.au	

## 5. IDENTIFY THE LAND YOU PROPOSE TO DEVELOP

Site Address	Stage 18 being proposed Lots 1801-1805		
	Warriewood	Postcode 2102	
Lot no. 1801-1805	DP/SP no. Proposed Lot 18 in proposed Lot 7 in Part Lots B & C DP 328260		
Council Area	PITTWATER		

## 6. DETAILS OF THE PROPOSED DEVELOPMENT

Description of work to be carried out	Torrens sub-division of Proposed Lot 18 in proposed Lot 7 in Part Lots B & C DP 328260 to create 5 individual lots & the erection 5 x two storey terraces with detached double garages.		
Estimated cost of development including GST	\$850,000		

## 7. DETAILS OF THE BUILDER

Licensed Builder Name, or Owner Builder Name	RYLEHALL PTY LTD		
Builder License No.	43484		
Builders Address	LEVEL 3, 1C HOMEBUSH BAY DRIVE RHODES NSW		
		Postcode: 2138	
Phone: 9767-2000	Fax: 9767-2944	Email: N/A	

## 8. PLANS & SPECIFICATIONS

List plan numbers & specification reference details included in this application:	DA00-DA11; C100, CC00-CC07; Landscape Plan
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**Please continue to next page for signing**

# AUSTRALIAN BUREAU OF STATISTICS SCHEDULE – compulsory

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

## All new buildings

• Number of storeys (incl underground floors)	2
• Gross floor area of new building (m <sup>2</sup> )	800.17 m/2
• Gross site area (m <sup>2</sup> )	1322.50 m/2

## Residential buildings only

• No. of dwellings to be constructed	5
• No. of pre-existing dwellings on site	NOT APPLICABLE
• No. of dwellings to be demolished	NOT APPLICABLE
• Will the new dwelling/s be attached to other new buildings ?	Yes
• Will the new building(s) be attached to existing buildings ?	NOT APPLICABLE
• Does the site contain a dual occupancy ?	NOT APPLICABLE

## Materials – Residential Buildings

WALLS		ROOF		FRAME		FLOOR	
Brick Veneer	x	Aluminium		Timber	x	Concrete	x
Full Brick		Concrete		Steel		Timber	
Single Brick		Concrete Tiles	x	Aluminium		Other (describe)	
Concrete Block		Fibrous Cement		Other (describe)			
Concrete Masonry		Fibreglass					
Concrete		Masonry Shingle					
Steel		Terracotta Shingle					
Fibrous Cement		Tiles – other					
Hardiplank		Slate					
Timber/Weatherboard		Steel					
Cladding/Aluminium		Terracotta Tiles					
Curtain Glass		Other (describe)					
Other (describe below)							

CC/CDC No. 2006-7305

DA No. 10647105

## SIGNATURES

The applicant must sign the application.

Applicant Signature

X

Date

20/2/06

Executed by

AUSTRALAND HOLDINGS LTD

ABN 12 008 443 696

By its Attorney GEORGE ROULIS

Under Power of Attorney Book 4898

No. 731 in the presence of:

FELICITY JOHNSON

**Pittwater Council**

ABN: 61340837871

**TAX INVOICE  
OFFICIAL RECEIPT**

13/10/2005 Receipt No 178530

To AUSTRALAND

**STAGE 18**

DX 8419

RYDE

Qty/ Applic	Reference	Amount
	TDEV-DA F	\$2,319.00
GL Rec	1 X N0647/05	
	QLSL-Buil	\$1,700.00
GL Rec	1 X N0647/05	
1	HKER-RR A	\$180.00
GL Rec	1 X N0647/05	
	GST	\$18.00
GL Rec		
1	RNIC-Rord	\$100.00
GL Rec	1 X N0647/05	
	GST	\$10.00
GL Rec		
1	NODP-Noti	\$22.73
GL Rec	1 X N0647/05	
	GST	\$2.27
GL Rec		
1	TADV-T/P1	\$63.64
GL Rec	1 X N0647/05	
	GST	\$6.36
GL Rec		
	TSUB-DA S	\$410.00
GL Rec	1 X N0647/05	
To GL Receipts:		

Total Amount: \$4,832.00

Incl. Incl. GST of: 106.62

Amounts Tendered:

Cash: \$0.00

Cheque: \$1,745.00

DB/Dr Card: \$0.00

Money Order: \$0.00

Agency Rec: \$0.00

Total: \$1,745.00

Rounding: \$0.00

Change: \$0.00

Nett: \$1,745.00

**Pittwater Council**

**OFFICIAL RECEIPT**

25/10/2005 Receipt No 179247

To AUSTRALAND HOLDINGS LTD

LVL 3, 10 HOMEBUSH BAY DVE  
RHODES 2138

Applic	Reference	Amount
GL Re	TDEV-DA F	\$1,745.00
	1 X W WOOD STAGE 18	
Total:		\$1,745.00
Amounts Tendered		
	Cash	\$0.00
	Cheque	\$1,745.00
	DB/Dr Card	\$0.00
	Money Order	\$0.00
	Agency Rec	\$0.00
	Total	\$1,745.00
	Rounding	\$0.00
	Change	\$0.00
	Nett	\$1,745.00

Printed 25/10/2005 4:57:52

Cashier KRobin

Sta 18

19804  
KT

**SYDNEY WATER  
APPROVED**

2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.

3. Position of structure in relation to Sydney Water's assets is satisfactory.

4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Water Board (Corporation) Act 1994 AS 3500 and the NSW Code of Practice.

5. Manholes, Inspection Shafts and Boundary Taps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

6. Prop. No. Pr. 3432967  
BLACKTOWN CUSTOMER CENTRE

8.3.06

SYDNEY WATER CORPORATION

LOTS 1801, 1802, 1803, 1804, 1805

*Residences & garages*

*just outside zone of influence*

*\* Sewer location as  
per WAC 66695WW*

**NO SPECIAL PRECAUTIONS REQUIRED**





Case Number: 66695V2

Australand  
c/- Byrne and Associates Pty Ltd

Dear Applicant

**NOTICE OF REQUIREMENTS**  
for  
**SECTION 73 SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE**  
(Sydney Water Act 1994, Part 6, Division 9)

**Developer:** Australand  
**Your reference:** 20433  
**Development:** Sector 8-Lots 1 & 2, DP 18303, Lots A, B & C, DP 328260, Lot 1 DP 593363 and Lot 12, DP 659528 & Lot B DP 334543 Forest Road and Macpherson Street, Warriewood  
**Consent No:** DA No. No210/04 by Pittwater Council of 23 December 2004  
**Your application:** 17 January 2005

Your attention is drawn to the requirements in this Notice that must be met before a Section 73 Subdivider/ Developer Compliance Certificate (the Certificate) can be issued. **This Notice of Requirements letter supersedes the Notice Letter Pending Development Consent issued on 25 October 2004. The revised requirements are issued 2 March 2005 and will apply for a year from that date** after which the requirements will be updated on reapplication.

**You must engage your current or another authorised Water Servicing Coordinator (the Coordinator)** to manage the design and construction of the Water and sewer works that you must provide, at your cost, to service your development. Upon your meeting of this and all other requirements, the Certificate will be issued to you by your Coordinator.

For a list of authorised Coordinators, see [www.sydneywater.com.au](http://www.sydneywater.com.au) and refer to *Developing Your Land* under Building Developing and Plumbing, or call 13 20 92. Coordinators may provide you with a quote or advice regarding costs for their and other supplier's services/ works as well as other Sydney Water costs.

**The Coordinator generally will be the single point of contact between you and Sydney Water** and can answer any questions in the first instance you may have on Sydney Water's developer process and developer charges.

**SUMMARY OF REQUIREMENTS TO OBTAIN A CERTIFICATE:**

You must:

1. Engage a Coordinator prior to signing the enclosed Agreement.
2. Sign both copies of the enclosed Agreement and lodge with the Coordinator.
3. Consequent to signing the Agreement, build Water and Sewer sewer works at your cost, pay associated charges and note advice on existing service availability.

4. Pay a total of \$708,296 in charges identified in Section 4.

*Budget Sydney Water 0.5*  
*4/6 500,000 750,190*  
*131,840*

Note: Credit card payments (to a maximum of \$1,000) may be made on Bankcard, MasterCard or Visa only at any Sydney Water Customer Service Centre.

5. Have Sydney Water stamp and approve your building/engineering plans (as there may be Building Over/Adjacent to Assets requirements).

### **Proposed Development Set-Up**

The overall subdivision will consist of lots 1 to 9 as superlots for residential development.

Lot 10 is a proposed Public Reserve. Lots 11, 12 and 13 are proposed residue lots to be further developed as part of Sector 9.

Recent advice email advice from Craig & Rhodes Pty Ltd (via Byrne & Associates Pty Ltd) confirms 140 units/dwellings are still applicable as strata or torrens title lots.

Total area to be strata subdivided will involve 76 units (area is 14,826m<sup>2</sup>)  
 Remaining area will involve 64 Torrens Title lots (18,990m<sup>2</sup>)

DSP charges for the residential superlots (140 dwellings) are being charged as per the Developer's request in this Notice.

### **DETAILED REQUIREMENTS**

#### **1. Water Servicing Coordinator**

You must engage an authorised Coordinator to manage the design and construction of works that you must provide, at your cost, to service your development.

#### **2. Major Works Agreement.**

After you engage a Coordinator, you will need to sign and lodge **both copies** of the enclosed Major Works Agreement with your nominated Coordinator. The agreement identifies the responsibilities of Sydney Water, the Coordinator and you (the Developer) for your development's Water and sewer construction. After execution by Sydney Water, one copy will be returned to your authorised Coordinator.

*Note: The authorisation of the Coordinator must be current at all times throughout the project.*

#### **3. Water and Sewer works.**

**At the Developer's own risk the Works may be carried out prior to the granting of Development Consent. In such cases you will be responsible for any adjustments to Sydney Water assets and the associated costs thereof necessitated by variation to the Consent.**

The Water and sewer works you construct and pay for under the Agreement entered into must include extensions to Sydney Water's systems to ensure each lot in your development has:

- a frontage to a water main to enable a separate connection and meter.
- a sewer main with a connection point within the boundary of each lot.

**Sydney Water's specific requirements for your project are:**

**WATER**

Water main extensions are required from the existing 200mm UPVC water main in MacPherson Street (no recovery charge applicable) to serve the residential superlots. These lots be will redeveloped (future strata and torrens title) as part of further Section 73 Certificate applications.

Appropriate servicing arrangements (connections, water services and metering) and will need to be undertaken for strata and torrens title lots.

Lot 10 is a proposed public reserve and no requirements.

Lots 11 to 13 are residue lots to be further developed under Sector 9. No requirements have been made on this current application.

**SEWER**

The provision of sewer will require appropriate sewer reticulation extensions to be undertaken. Besides the completion of the above sewer, appropriate sewer extensions will be required to be laid to serve the superlots (future strata and torrens title) as part of further Section 73 applications.

**Please note** the trunk sewer recently laid under case no. 10003871WW has been taken over by Sydney Water and can be connected to (no recoveries applicable). A copy of the work-as-constructed plan was emailed to Ken Trembath of your company on 2 February 2005.

Lot 10 is a public reserve.

Lots 11 to 13 are residue lots to be further developed under Sector 9. No requirements have been raised on this current application.

Further, if the water main/ sewer main located in the footway/ your property is found, after the issue of this notice, to require adjustment or deviation this work must be undertaken in conjunction with the abovementioned extension. The conditions of this notice will apply including engagement of a Coordinator, signing of an agreement, and completion at no cost to Sydney Water **prior to the issue of the Certificate** (see also section on building plan stamping). After the design has been completed and its nature and complexity considered, Sydney Water may require your lodgement of an appropriate security that will be refunded upon completion.

***Note:** If construction must take place on neighbouring properties, written consent on Sydney Water's **Permission to Enter** form must be obtained from the relevant property owners. Your Coordinator has copies of the form (also available on the Internet at the address as above) and can negotiate on your behalf.*

In providing these works to Sydney Water you will need to pay project management, survey, design and construction costs **directly to your suppliers**. These costs may include Sydney Water charges for:

- Water main shutdown and disinfection
- Connection of new mains to Sydney Water system(s)
- Design and construction audit fees
- **Contract administration on project finalisation**
- Creation or modification of Sydney Water interests in land (eg. easements)
- Further application fees for staged developments.

Your Coordinator can advise you about these costs and how these costs may be quoted.

**4. Developer charges.**

Development Servicing Plan (DSP)	Basis of Calculation	Charge (\$) for Applicable period (02/03/05-30/06/05)	Charge (\$) for Applicable Period (01/07/05-01/03/06)
Warringah Water DSP Area	<b>Residential</b> Development Density 40-60 dwellings per ha band 140 dwellings @ \$374 = \$52,360 <b>Less Credit of \$9,256 for previous payment/ use plus Upsizing</b> Development Density 40-60 dwellings per ha band 140 dwellings @ \$82 = \$11,480 <b>Less Credit of \$9,256 for previous payment/ use</b>	\$ 43,104     \$ 9,432	
Warriewood Sewer DSP Area	<b>Residential</b> Development Density 40-60 dwellings per ha band 140 dwellings @ \$4,624 = \$647,360 <b>*Less Credit of \$0 for previous payment/ use plus Upsizing</b> Development Density 40-60 dwellings per ha band 140 dwellings @ \$60 = \$8,400 <b>*Less Credit of \$0 for previous payment/ use</b>  <b>*Note-No sewer availability charges previously paid by original lots.</b>	\$647,360    \$ 8,400	
Reticulation Recovery	N/A	\$NIL	
<b>DEVELOPER CHARGES TOTAL:</b> <i>[OFFICE USE- Invoice Charges total- Developer \$690,464 and Upsizing \$ 17,832]</i>		\$708,296	

**Notes:**

- If you do not pay the charges identified in column 3 of the above table by 30 June, the total will be adjusted for inflation (based on the weighted average of the capital cities CPI for the 12 months to the end of the previous March) from 1 July for the balance of the 12 month period. The charge from 1 July is shown in column 4 when the inflation figure is known.
- **No DSP charges have been raised for lot 10 (Public Reserve) or Residue lots 11 to 13. DSP charges will apply on the redevelopment of lots 11 to 13.**
- **DSP charges** are a contribution towards the cost of systems (eg treatment plants), which serve your development. They have been calculated using base developer charges that cannot be changed or waived by Sydney Water having been established in Plan(s), available on request, and registered with the Independent Pricing and Regulatory Tribunal (IPART) under its relevant Determination. For further details, and a copy of the IPART Act 1992 including section 31 that refers to arbitration rights, see the IPART web site [www.IPART.nsw.gov.au](http://www.IPART.nsw.gov.au). Costs of arbitration, if appropriate, are borne equally by you and Sydney Water irrespective of outcome.
- These charges are directly payable to Sydney Water. Credit card payments (to a maximum of \$1,000) may be made on Bankcard, MasterCard or Visa card only at any Sydney Water Customer Service Centre.
- **You must pay your DSP charge before you will be given permission to connect your development to Sydney Water's water/sewer systems.**

- **Reticulation Recovery Charges** recover part of the cost of works that have been provided by Sydney Water or other developers that benefit your development. This charge has been calculated before your detailed designs are completed. If later design investigation shows your development will be connected to other main/s, the Reticulation Recovery charge may be varied and/or you may need to construct other works.

## 5. **Stamping and approval of your engineering and building plans.**

**Prior to the issue of the Certificate** you must have your building plans stamped and approved at

- a Quick Check agency (for an agency list see [www.sydneywater.com.au](http://www.sydneywater.com.au), refer to Quick Check under *Building Developing and Plumbing* or call 13 20 92); or
- a Sydney Water Customer Service Centre.

Approval is required as construction/building works (eg earthworks, roadworks, drainage, landscaping, excavation, foundation works) may impact on existing Sydney Water assets (eg water and sewer mains). Approval of the plans may take up to 21 days and the results may affect these activities.

You should consider the early submission of your plans as:

- **the Certificate will not be issued until plans have been approved and**, at the discretion of Sydney Water, **if adjustment or deviation of those assets is required**; and
- any water main/sewer main/stormwater pipe crossing the site can only be removed, deviated or replaced with temporary pipework under the conditions of a prior approval in writing of Sydney Water's Development Services Group. **If any work on our assets is carried out without that approval, then Sydney Water will take action to have work on the site cease and apply the provisions of Section 44 of the Sydney Water Act 1994.**

As a part of the approval process, you may first need to apply for a Services Protection Report (known as a "pegout"). This is to ensure that the required plans show precisely what is proposed, how it may impact on Sydney Water's works and how this impact will be minimised (eg piercing, concrete encasing of sewer or adjustment of water/sewer mains). If you require, a detailed information sheet on this process is available at the time of your Services Protection Report application.

Then, to obtain approval, you will need to provide:

- architectural building plans,
- services protection report ("pegout") plan,
- engineering plans, and/or
- proposed water and/or sewer design plans.

Sydney Water will decide if the precautions to protect or adjust our assets are adequate and, if adequate, approve the architectural building plans.

**In any case, construction work MUST NOT commence until approval has been granted by Sydney Water.**

If the precautions you show are NOT adequate, Sydney Water's Development Services (Technical Services) Group will advise you of specific requirements (including the maximum length of sewer that may be built over).

Some examples of specific requirements are:

- Sewers to be built over must be concrete encased. The encasement must:
  - be carried out by an accredited Constructor of Minor Works (Sewer) or Sewer Constructor
  - be a minimum of 150 mm on all sides

- be a minimum strength of 20 Mpa
- use non reinforced (mass) concrete
- extend 600 mm beyond the proposed building;
- Building loads are to be founded on piers/footings below the Zone of Influence of the sewer. The minimum distance from the edge of the piers/footings to the centre of the sewer varies with diameter and depth;
- Structural Engineers plans/details of the proposed works, as required by Sydney Water;
- Indemnities (in the form of a Positive Covenant registered on title where the works are protected by easements);
- Restrictions to covering stormwater pipes and channels will apply on each individual application.

### **POSSIBLE FUTURE COSTS**

Requirements in this Notice relate to your Certificate application and may not cover all aspects of Sydney Water's involvement with your development. During design and construction of your development other Sydney Water fees/requirements may be necessary, including:

- construction/building plan stamping fees including fees to ensure the protection of Sydney Water assets
- plumbing and drainage inspection costs for private service lines (including property service connection and inspection fees)
- install backflow prevention devices for certain commercial/industrial connections
- trade waste requirements when constructing a building
- council fire fighting requirements (if not catered for by your current Sydney Water main). You should investigate fire fighting facility requirements for your development as soon as possible, including a standard pressure inquiry to Sydney Water if needed.

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**END OF NOTICE**

# Certificate of Insurance

Australand Holdings Ltd  
1C Homebush Bay Drive  
RHODES NEW SOUTH WALES 2138

Form 1  
Section 92  
Home Building Act 1989

## CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92  
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited  
ABN 48 005 297 807

### Building Contract Details

Declared Building Contract Value: \$170,000.00

(Refer policy for indemnity limit)

Carried Out By: Rylehall Pty Ltd

ABN: 87003470531

Licence No: 43484

For: Australand Holdings Ltd

In Respect Of: Multi-Unit Developments

At: Unit 1801

Callistemon Way

WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording. If you have not received a copy of the policy wording please contact the Insurer Vero Warranty a division of Vero Insurance Limited.

N ARTN57KDL7QW

Printed 10/03/2006

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

# Certificate of Insurance

Australand Holdings Ltd  
1C Homebush Bay Drive  
RHODES NEW SOUTH WALES 2138

Form 1  
Section 92  
Home Building Act 1989

## CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92  
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited  
ABN 48 005 297 807

### Building Contract Details

Declared Building Contract Value: \$170,000.00

(Refer policy for indemnity limit)

Carried Out By: Rylehall Pty Ltd  
ABN: 87003470531  
Licence No: 43484

For: Australand Holdings Ltd

In Respect Of: Multi-Unit Developments

A1: Unit 1802  
Callistemon Way  
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the Insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording, if you have not received a copy of the policy wording please contact the Insurer Vero Warranty a division of Vero Insurance Limited.

Owner's Copy

Issue Date: 10/03/2008

Certificate No: RCW72044443

CLAIMS ENQUIRY LINE

1800 554 255

Locked Bag 9000

Chatswood NSW 2067

N K4410LRF7405

Printed 10/03/2008

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807



# Certificate of Insurance

Australand Holdings Ltd  
1C Homebush Bay Drive  
RHODES NEW SOUTH WALES 2138

Form 1  
Section 92  
Home Building Act 1989

## CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92  
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited  
ABN 48 005 297 807

### Building Contract Details

Declared Building Contract Value: \$170,000.00

(Refer policy for indemnity limit)

Carried Out By: Rylehall Pty Ltd  
ABN: 87003470531  
Licence No: 43484  
For: Australand Holdings Ltd

In Respect Of: Multi-Unit Developments  
At: Unit 1803  
Callistemon Way  
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the Insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording. If you have not received a copy of the policy wording please contact the insurer Vero Warranty a division of Vero Insurance Limited.

N WELXSL640N05

Printed 10/03/2006

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

# Certificate of Insurance

Australand Holdings Ltd  
1C Homebush Bay Drive  
RHODES NEW SOUTH WALES 2138

**Form 1  
Section 92  
Home Building Act 1989**

**CERTIFICATE IN RESPECT OF INSURANCE**

**Contract Of Insurance Complies With:** Section 92  
Of The: Home Building Act 1989

**Issued By:** Vero Insurance Limited  
ABN 48 005 297 807

**Building Contract Details**

**Owner's Copy**

**Issue Date:** 10/03/2006  
**Certificate No:** RCW72044478

**CLAIMS ENQUIRY LINE**  
1800 554 255

Locked Bag 9000  
Chatswood NSW 2067

**Declared Building Contract Value:** \$170,000.00

(Refer policy for indemnity limit)

**Carried Out By:** Rylehall Pty Ltd

ABN: 87003470531

**Licence No:** 43484

**For:** Australand Holdings Ltd

**In Respect Of:** Multi-Unit Developments

**At:** Unit 1804

Callistemon Way

WARRIEWOOD NEW SOUTH WALES 2102

**Permit Authority:** Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording, if you have not received a copy of the policy wording please contact the Insurer Vero Warranty a division of Vero Insurance Limited.

N IEC80R6J6LEB

Printed 10/03/2006

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

# Certificate of Insurance

Australand Holdings Ltd  
1C Homebush Bay Drive  
RHODES NEW SOUTH WALES 2138

**Form 1  
Section 92  
Home Building Act 1989**

## CERTIFICATE IN RESPECT OF INSURANCE

**Contract Of Insurance Complies With:** Section 82  
**Of The:** Home Building Act 1989

**Issued By:** Vero Insurance Limited  
ABN 48 005 297 807

### Building Contract Details

**Declared Building Contract Value:** \$170,000.00

(Refer policy for indemnity limit)

**Carried Out By:** Rylehall Pty Ltd  
ABN: 87003470531  
**Licence No:** 43484  
**For:** Australand Holdings Ltd

**In Respect Of:** Multi-Unit Developments  
**At:** Unit 1805  
Callistemon Way  
WARRIEWOOD NEW SOUTH WALES 2102

**Permit Authority:** Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording. If you have not received a copy of the policy wording please contact the insurer Vero Warranty a division of Vero Insurance Limited.

### Owner's Copy

**Issue Date:** 10/03/2006  
**Certificate No:** RCW72044486

**CLAIMS ENQUIRY LINE**  
1800 554 255

**Locked Bag 9000**  
Chatswood NSW 2067

N 8DW7RL9ZQW0J Printed 10/03/2006

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807



# CONTENTS:

CONTENTS PAGE  
SITE PLAN / DRIVE SECTION  
GROUND FLOOR PLAN  
FIRST FLOOR PLAN  
ELEVATIONS / SECTIONS  
SLAB AND ELECTRICAL PLAN  
DETACHED GARAGES

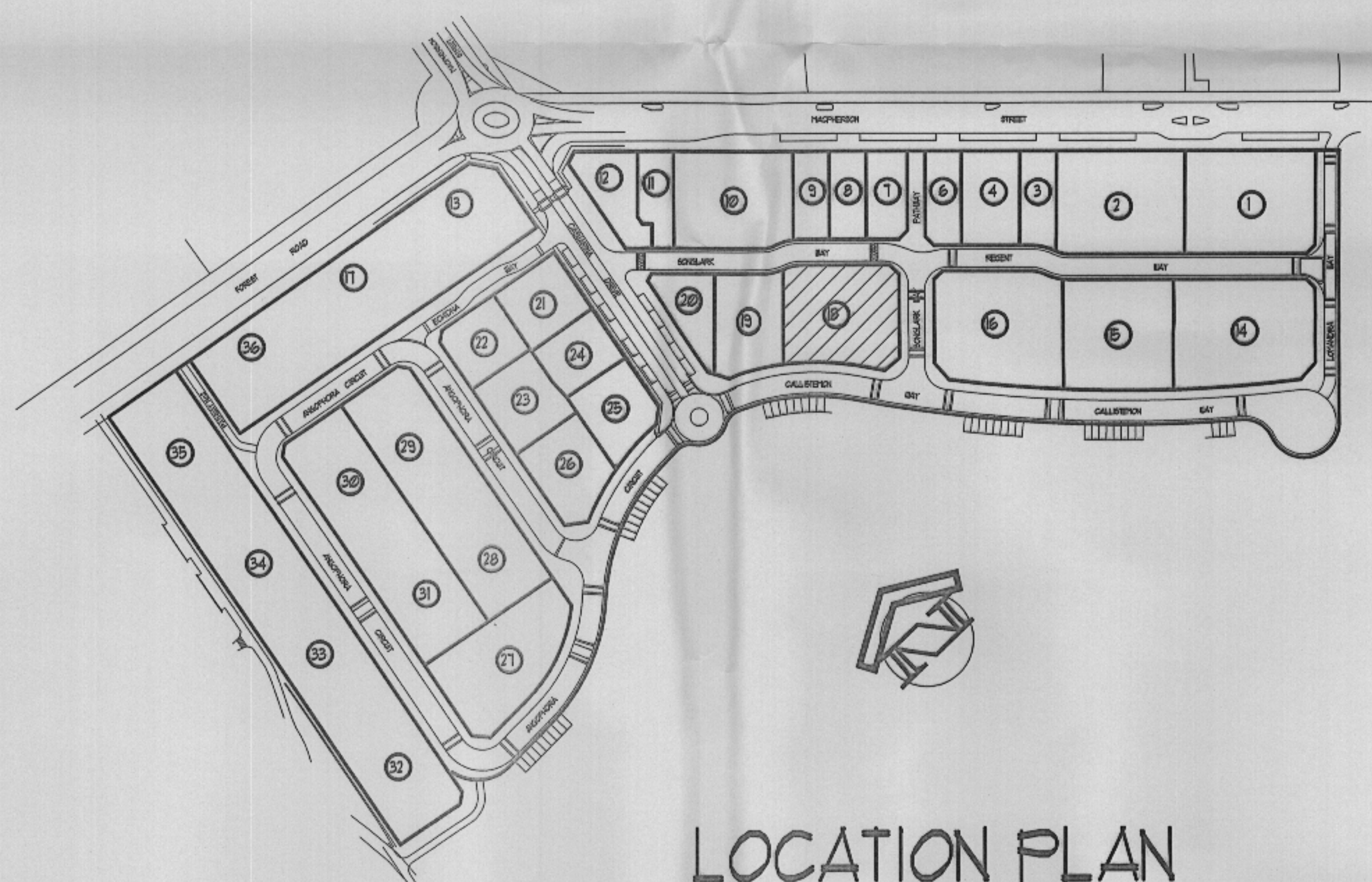
- 00  
- 01  
- 02  
- 03  
- 04  
- 05  
- 06



## SECTOR 8 STAGE 18

AT: SECTOR 8  
LOTS 1801 TO 1805  
WARRIEWOOD  
FOR: RYLEHALL Pty. Ltd.

COUNCIL COPY



LOCATION PLAN

REV.	BY	REVISION DESCRIPTION	DATE

DWG  
CONTENTS PAGE, STAGE 18  
WARRIEWOOD SECTOR 8

PROJECT  
LOTS 1801 to 1805  
CALLISTEMON WAY  
WARRIEWOOD  
CLIENT  
RYLEHALL PTY LTD

DATE	25.06.05	DRAWING NUMBER	CC00
SCALE	NTS	REVISION	
DRAWN	JH		

**AUSTRALAND**  
AUSTRALAND HOLDINGS LIMITED AEN 01 800 410 531  
LEVEL 3, 10 KORENUSH BAY DRIVE, RACKESS NSW 2036  
LOCKED BAG 2036, NORTH RYDE, NSW 1510  
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$$1322.50 \text{ M}^2$$

PIPE WORK USED FOR RAINWATER SERVICES SHALL BE COLOURED PURPLE IN ACCORDANCE WITH AS 1345. ALL VALVES & APERTURES SHALL BE CLEARLY & PERMANENTLY LABELLED WITH SAFETY SIGNS TO COMPLY WITH AS 1319.

EACH DWELLING HAS BEEN PROVIDED WITH  
ACCESSIBLE & USABLE ON-SITE WASTE STORAGE  
& RECYCLING BIN SPACES

**NOTE:**  
ALL GATES TO BE CUT 150MM SHORT  
OF FINISHED GROUND LINE.

1000mm HIGH LAPPED AND CAPPED FALING FENCE

1000mm HIGH POOL FENCING

RETAINING WALLS AS SHOWN

FEATURE RETAINING WALL AS SHOWN

STORMWATER LINE

EXCAVATION OF PLATFORM LEVEL

DEEP EDGE BEAM

SEDIMENTATION BARRIER

EXCAVATED BANK

EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

ALL Sumps TO BE 400MM BELOW HOUSE FFL  
FINAL POSITION OF SUMP TO BE DETERMINED  
ON SITE BY AUSTRALIAN'S BUILDER

GARBAGE BAY

LETTERBOX (REFER TO DETAIL)

UNDER GROUND RAIN WATER TANK (3000 LTR)

STEPPING STONES AS SELECTED

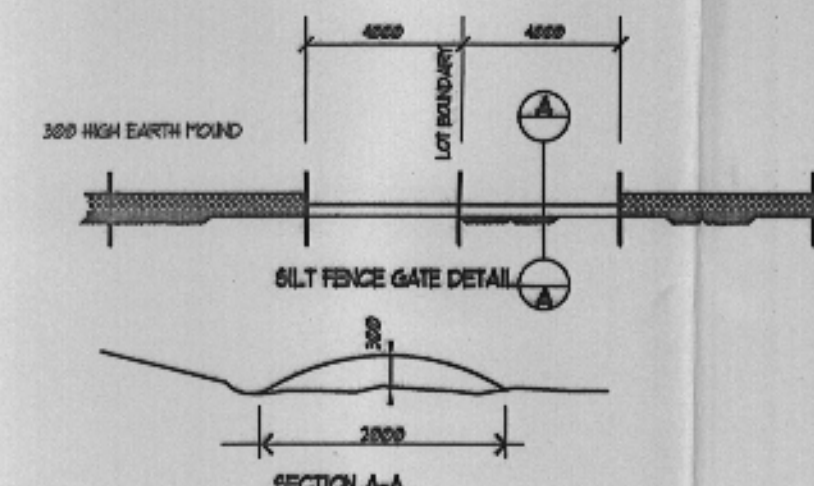
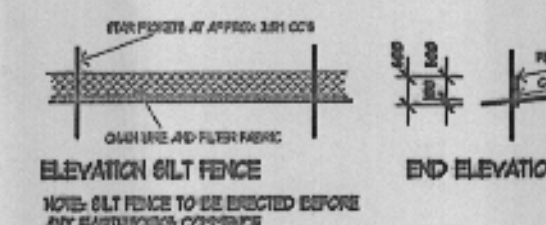
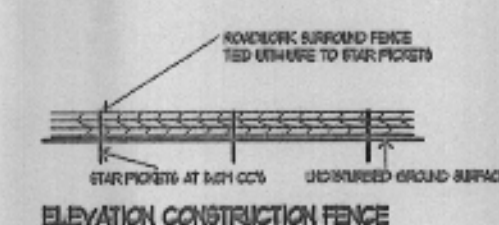
GAS METER

ELECTRICAL METER BOX

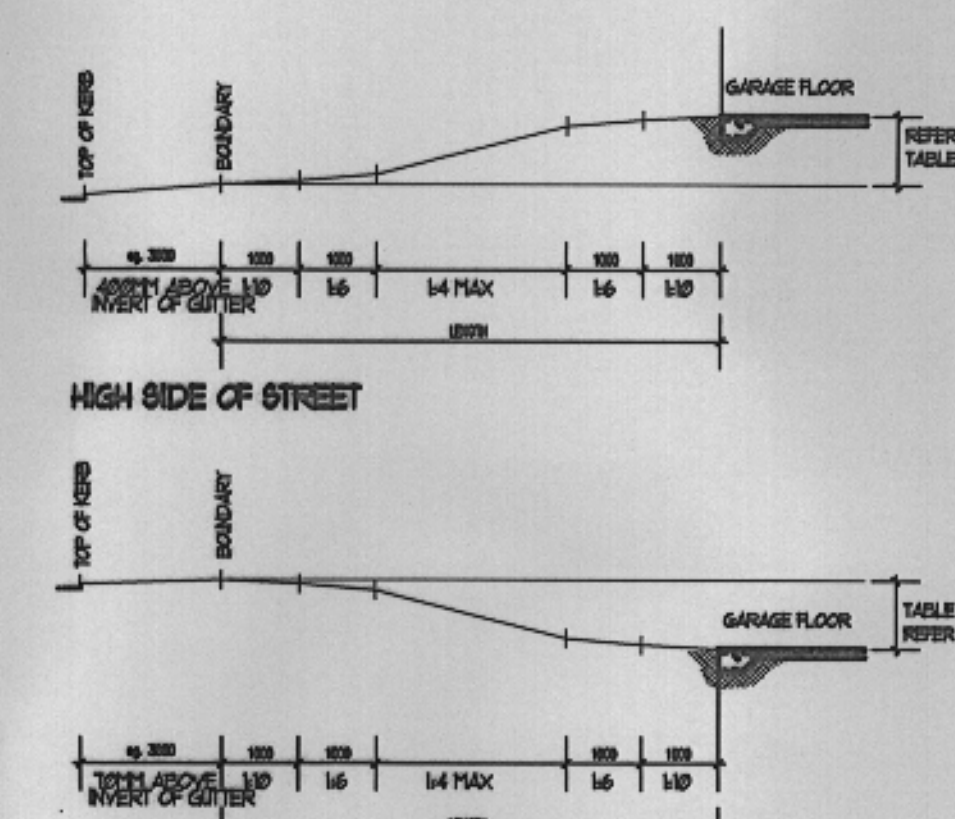
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1001	3000 LT	14.10
1002	3000 LT	14.10
1003	3000 LT	14.10
1004	3000 LT	14.10
1005	3000 LT	14.10

NOTE.  
THE SERVICES AND LEVELS SHOWN  
ARE IN ACCORDANCE WITH  
CRAIG AND RHODES WAE PLAN  
DWG NO. 171071 DATED JAN. 2006

SITE PLAN - STAGE 18



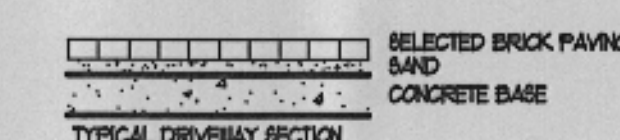
### SEDIMENTATION CONTROL DETAILS



DRIVEWAY SECTIONS TYPICAL

DRIVEWAY LENGTH	MAXIMUM HEIGHT
40'0"±1	53'4"±1
45'0"±1	65'0"±1
50'0"±1	76'3"±1
55'0"±1	90'0"±1
60'0"±1	103'3"±1
65'0"±1	115'0"±1
70'0"±1	128'3"±1
75'0"±1	140'0"±1
80'0"±1	153'3"±1
85'0"±1	165'0"±1

NOTES:  
THE MAXIMUM HEIGHT IS TAKEN FROM THE GROUND LEVEL AT THE FRONT BOUNDARY  
FOR A HIGH LEVEL DRIVEWAY THE HEIGHT AT THE FRONT BOUNDARY FOR A STANDARD 3600MM  
CONCRETE AREA IS 400MM ABOVE THE ADJACENT INVERT OF GUTTER  
FOR A LOW LEVEL DRIVEWAY THE HEIGHT AT THE FRONT BOUNDARY FOR A STANDARD 3600MM  
CONCRETE AREA IS 100MM ABOVE THE ADJACENT INVERT OF GUTTER



-	-	-	-
REV.	BY	REVISION DESCRIPTION	DATE

DWG  
SITE PLAN, STAGE 18  
WARRIEWOOD SECTOR 8

PROJECT

LOTS 1801 TO 1805  
CALLISTEMON WAY  
WARRIEWOOD

CLIENT

RYLEHALL PTY LTD

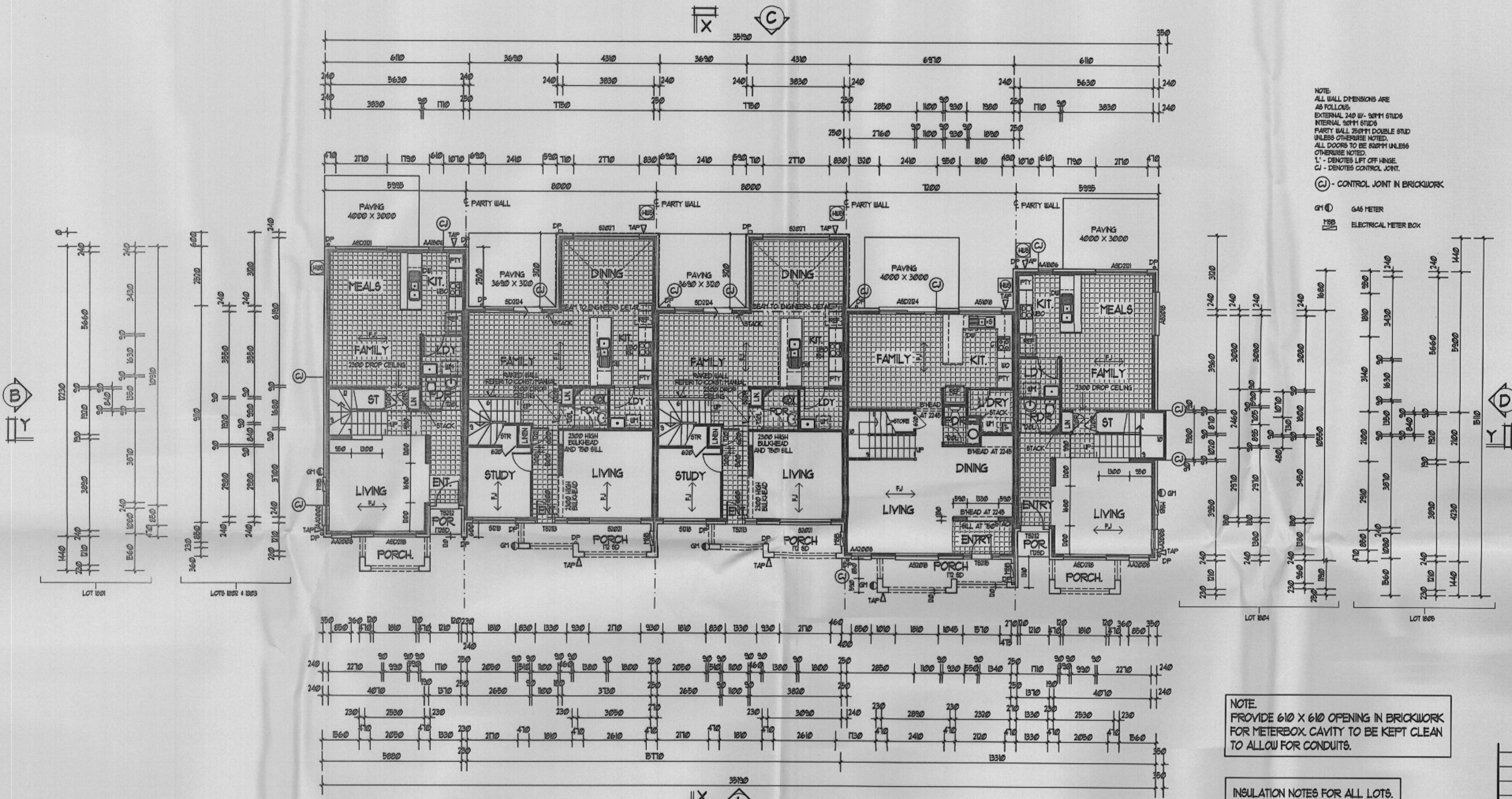
This is the plan as submitted to  
in Greenfield Accredited Certificate  
Certificate  
2006-7305.  
Cert No: .....  
Officer: Kieran Tobin  
ccreditation No. 44

DATE	25.01.06	DRAWING NUMBER	CC01
SCALE	1 : 200		
DRAWN	JH	REVISION	



AUSTRALAND HOLDINGS LIMITED AEN 81 003 470  
LEVEL 3, 10 HONEBUSH BAY DRIVE, RHODES NSW 2107  
LOCKED BAG 2106, NORTH RYDE, NSW 1610  
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LOT 1801  
STANTON

AREAS
GROUND FL LIVING 12.71 M <sup>2</sup>
FIRST FL LIVING 1.91 M <sup>2</sup>
PORCH 5.86 M <sup>2</sup>
BALCONY 4.30 M <sup>2</sup>
TOTAL AREA 34.78 M <sup>2</sup>

LOT 1802  
PD28

AREAS
GROUND FL LIVING 12.96 M <sup>2</sup>
FIRST FL LIVING 12.89 M <sup>2</sup>
PORCH 6.71 M <sup>2</sup>
BALCONY 4.94 M <sup>2</sup>
AREA 10.99 M <sup>2</sup>

LOT 1803  
PD28

AREAS
GROUND FL LIVING 12.96 M <sup>2</sup>
FIRST FL LIVING 12.89 M <sup>2</sup>
PORCH 6.71 M <sup>2</sup>
BALCONY 4.94 M <sup>2</sup>
AREA 10.99 M <sup>2</sup>

LOT 1804  
PD26

AREAS
GROUND FL LIVING 12.96 M <sup>2</sup>
FIRST FL LIVING 12.89 M <sup>2</sup>
PORCH 6.71 M <sup>2</sup>
TOTAL AREA 34.45 M <sup>2</sup>

LOT 1805  
STANTON

AREAS
GROUND FL LIVING 12.71 M <sup>2</sup>
FIRST FL LIVING 1.91 M <sup>2</sup>
PORCH 5.86 M <sup>2</sup>
BALCONY 4.30 M <sup>2</sup>
TOTAL AREA 34.78 M <sup>2</sup>

REV.	BY	REVISION DESCRIPTION	DATE

**DWG**  
**GND FLOOR PLAN, STAGE 18**  
**WARRIEWOOD SECTOR 8**

**PROJECT**  
LOTS 1801 TO 1805  
CALLISTEMON WAY  
WARRIEWOOD

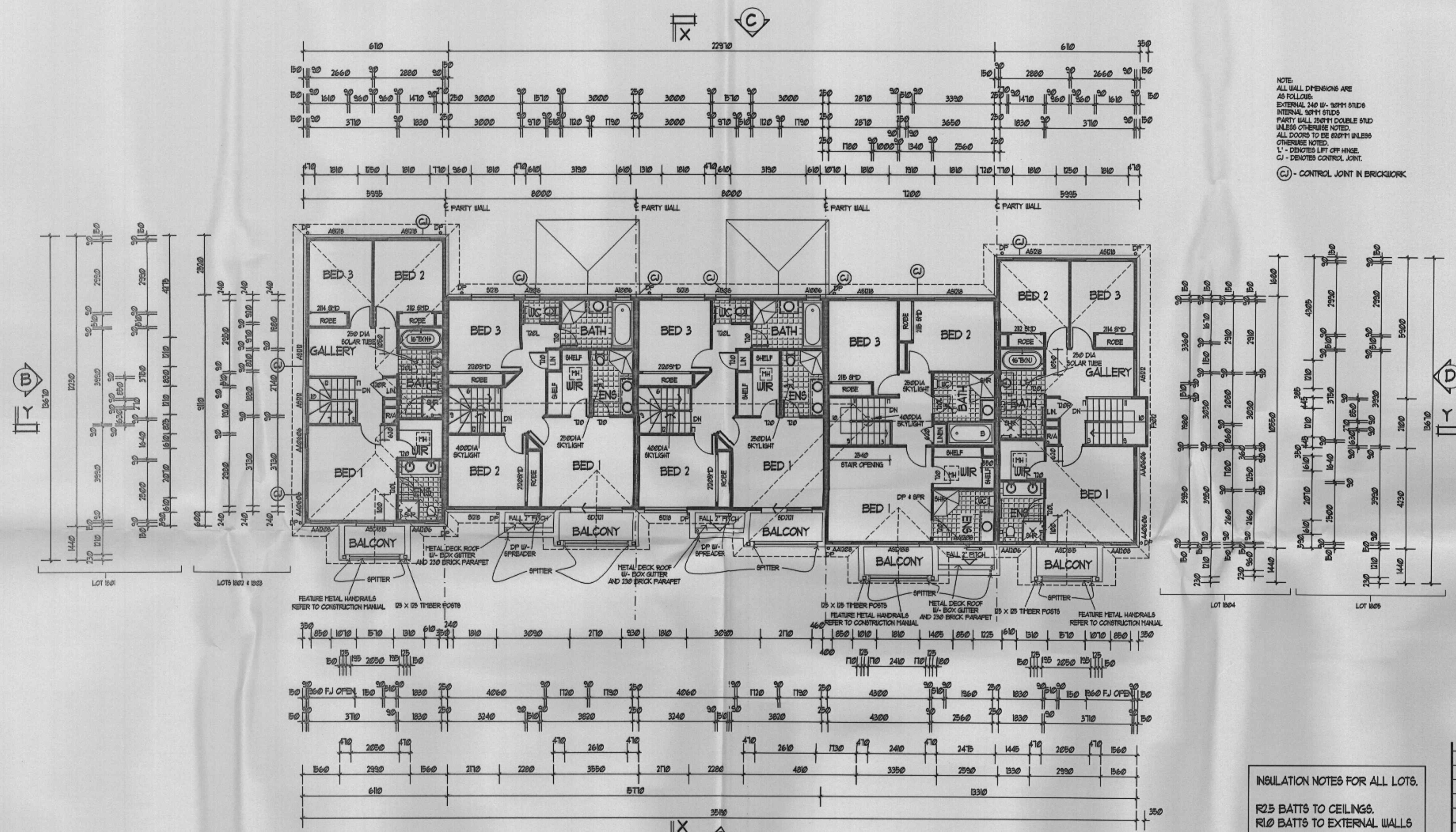
**CLIENT**  
RYLEHALL PTY LTD

This is the plan as submitted to  
in Greenfield Accredited Certifiers  
Certificate  
2006-7305.  
Cert No: \_\_\_\_\_  
Officer: Kieran Tobin  
Accreditation No. 44

DATE 000000	DRAWING NUMBER
SCALE 1:100	CC02
DRAWN XXX	REVISION

**AUSTRALAND**  
AUSTRALAND HOLDINGS LIMITED, ASN 61 003 470 531  
LEVEL 3, 10 HOVEBURN BAY DRIVE, RANCOES NSW 2186  
LOCKED BAG 206, NORTH RYDE, NSW 1510  
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**LOT 1801  
STANTON**

AREAS	
GROUND FL LIVING	10.11 M <sup>2</sup>
FIRST FL LIVING	7.91 M <sup>2</sup>
PORCH	5.86 M <sup>2</sup>
BALCONY	4.30 M <sup>2</sup>
TOTAL AREA	18.24 M <sup>2</sup>

**LOT 1802  
PD28**

AREAS	
GROUND FL LIVING	8.96 M <sup>2</sup>
FIRST FL LIVING	7.88 M <sup>2</sup>
PORCH	6.71 M <sup>2</sup>
BALCONY	4.94 M <sup>2</sup>
AREA	17.95 M <sup>2</sup>

**LOT 1803  
PD28**

AREAS	
GROUND FL LIVING	8.96 M <sup>2</sup>
FIRST FL LIVING	7.88 M <sup>2</sup>
PORCH	6.71 M <sup>2</sup>
BALCONY	4.94 M <sup>2</sup>
AREA	17.95 M <sup>2</sup>

**LOT 1804  
PD26**

AREAS	
GROUND FL LIVING	15.96 M <sup>2</sup>
FIRST FL LIVING	15.96 M <sup>2</sup>
PORCH	2.67 M <sup>2</sup>
BALCONY	4.94 M <sup>2</sup>
TOTAL AREA	34.59 M <sup>2</sup>

**LOT 1805  
STANTON**

AREAS	
GROUND FL LIVING	10.11 M <sup>2</sup>
FIRST FL LIVING	7.91 M <sup>2</sup>
PORCH	5.86 M <sup>2</sup>
BALCONY	4.30 M <sup>2</sup>
TOTAL AREA	18.24 M <sup>2</sup>

REV.	BY	REVISION DESCRIPTION	DATE

**DWG**  
**FST FLOOR PLAN, STAGE 18**  
**WARRIEWOOD SECTOR 8**

**PROJECT**  
**LOTS 1801 TO 1805**  
**CALLISTEMON WAY**  
**WARRIEWOOD**

**CLIENT**  
**RYLEHALL PTY LTD**

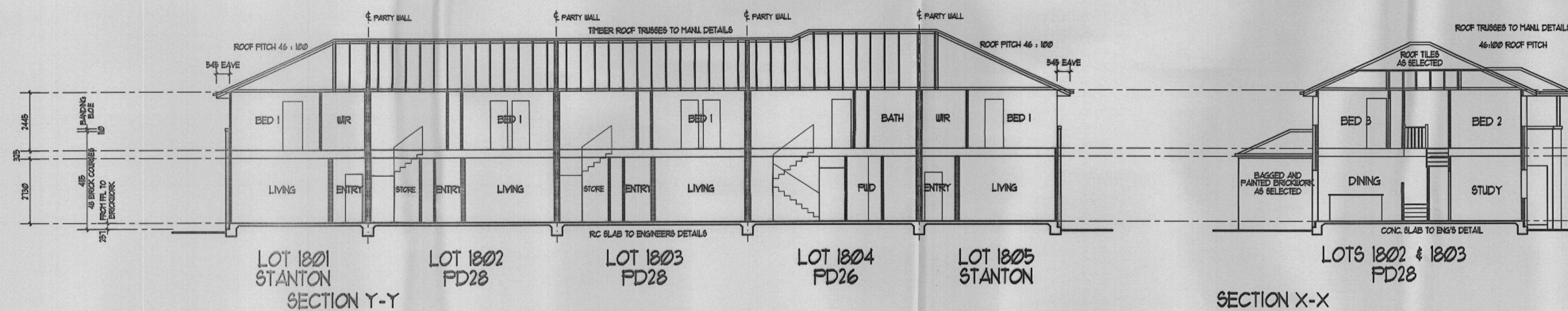
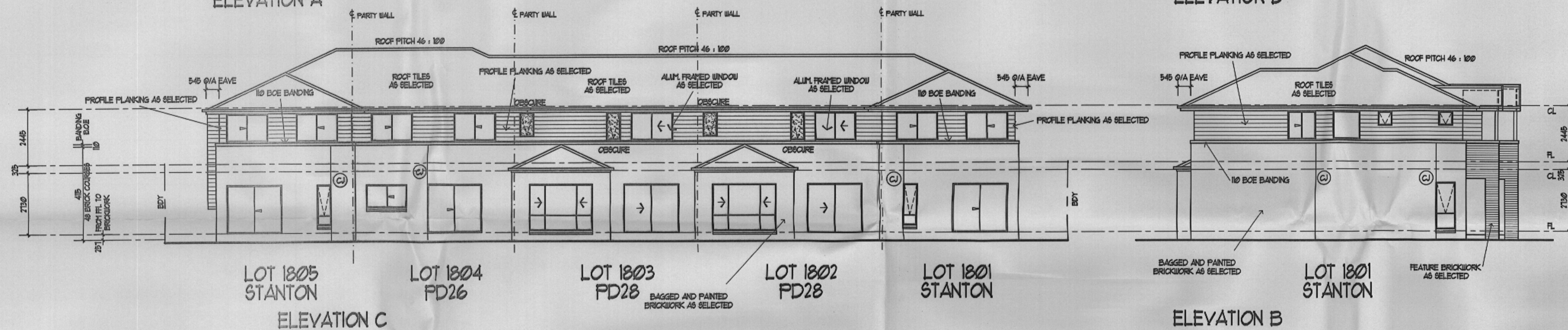
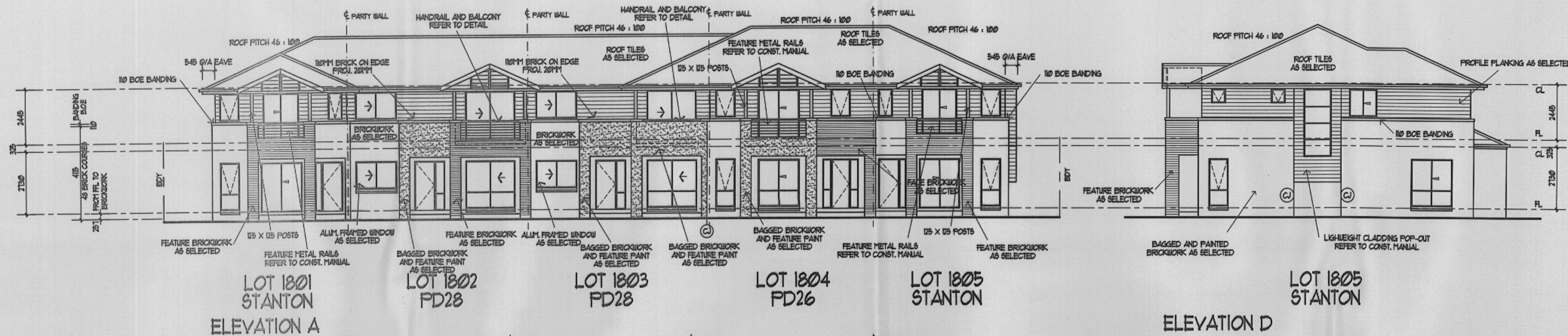
This is the plan as referred to in the Greenfield Accredited Certificate  
Cert No: 2006-73051  
Officer: Kieran Tobin  
Accreditation No: 44

DATE	SCALE	DRAWN	REVISION
13/02/06	1:100	XXX	

**DRAWING NUMBER**  
**CC03**

**AUSTRALAND**  
AUSTRALAND HOLDINGS LIMITED ABN 61 009 410 931  
LEVEL 3, 1 C HAYES BAY DRIVE, SUITES 200 200  
LOCKED BAG 286, NORTH RICE, NSW 1610  
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REV.	BY	REVISION DESCRIPTION	DATE

DWG  
ELEV AND SECTION, STAGE 1B  
WARRIWOOD SECTOR 8

PROJECT  
LOTS 1801 TO 1805  
CALLISTEMON WAY  
WARRIWOOD

CLIENT  
RYLEHALL PTY LTD

DATE 000000  
SCALE 1:100  
DRAWN XXX

DRAWING NUMBER  
CC04

REVISION  
-

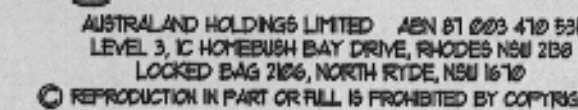
This is the property referred to in Greenfield Accredited Certificates  
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2006-7385  
Client No.  
Officer: Kieran Tobin  
Accreditation No: 44

**AUSTRALAND**  
AUSTRALAND HOLDINGS LIMITED AEN 61 003 410 531  
LEVEL 3, 12 HOPKINSON BAY DRIVE, RUSSELLSBURG NSW 2200  
LOCKED BAG 106, NORTH RYDE, NSW 1570  
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REV.	BY	REVISION DESCRIPTION	DATE
DUG ELECTRICAL PLANS, STAGE 18 WARREWOOD SECTOR 8			

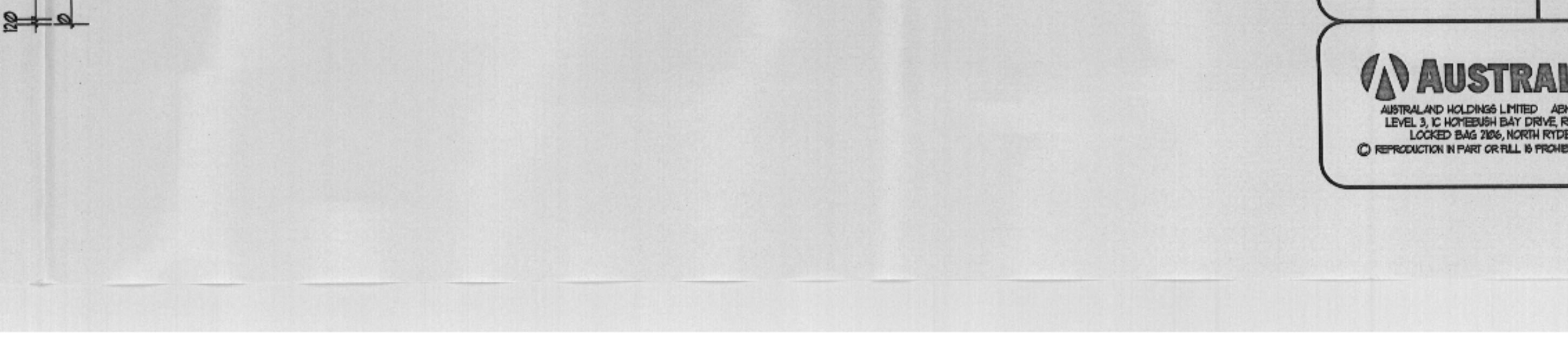
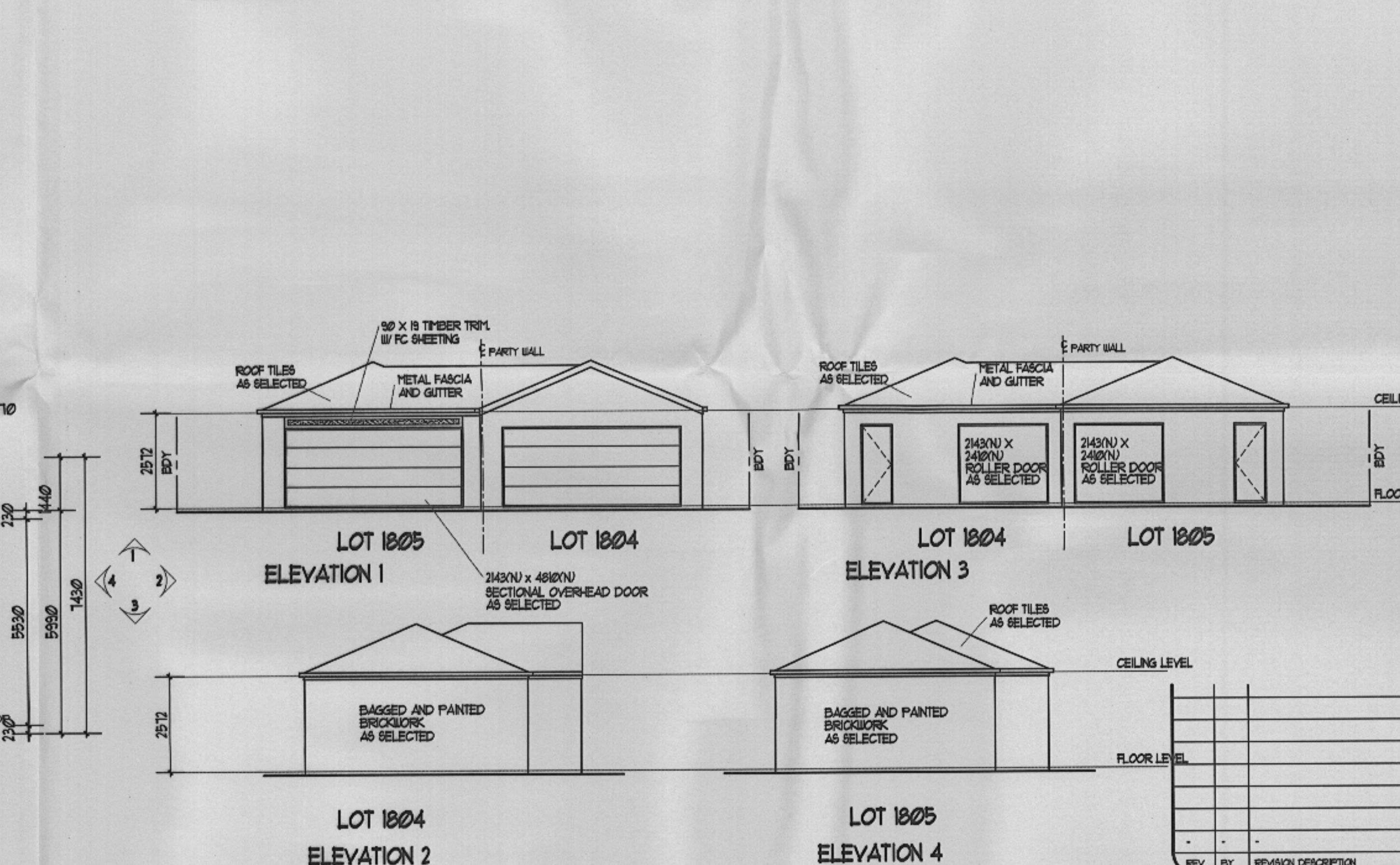
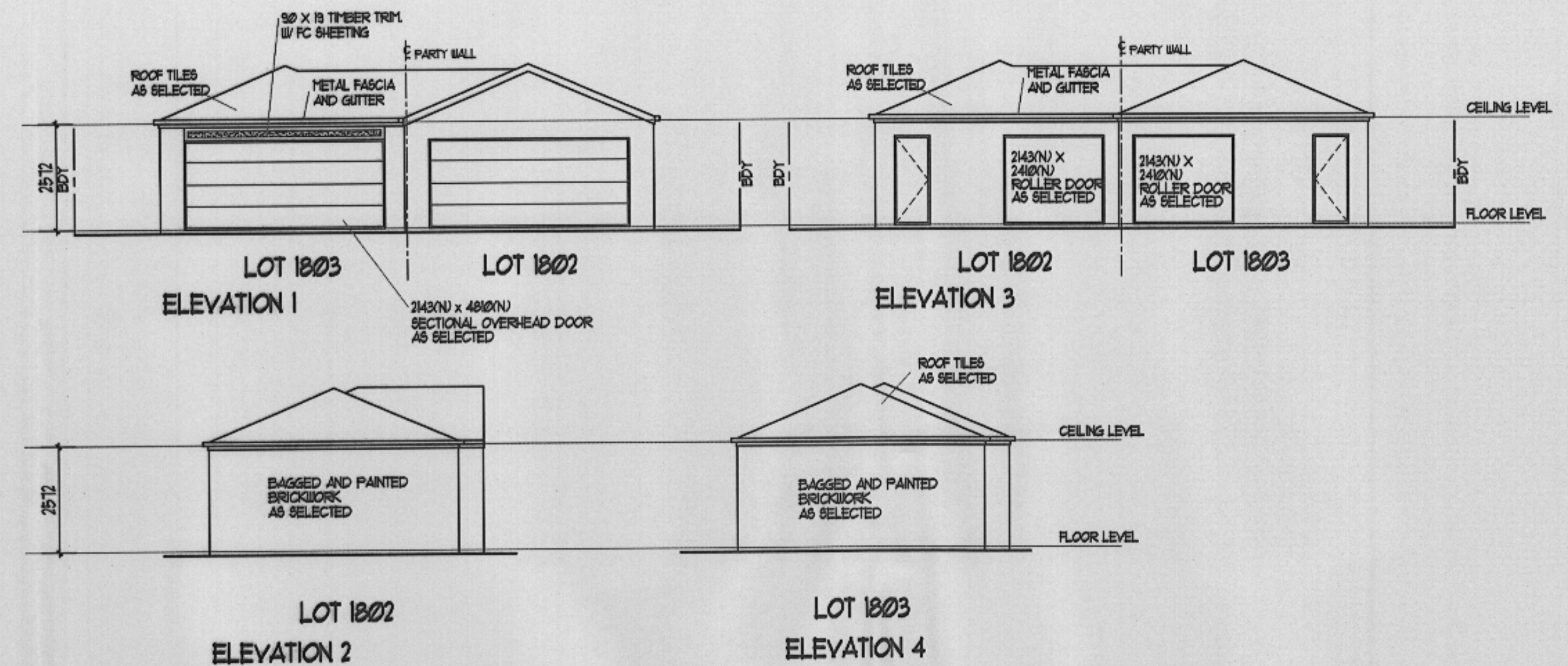
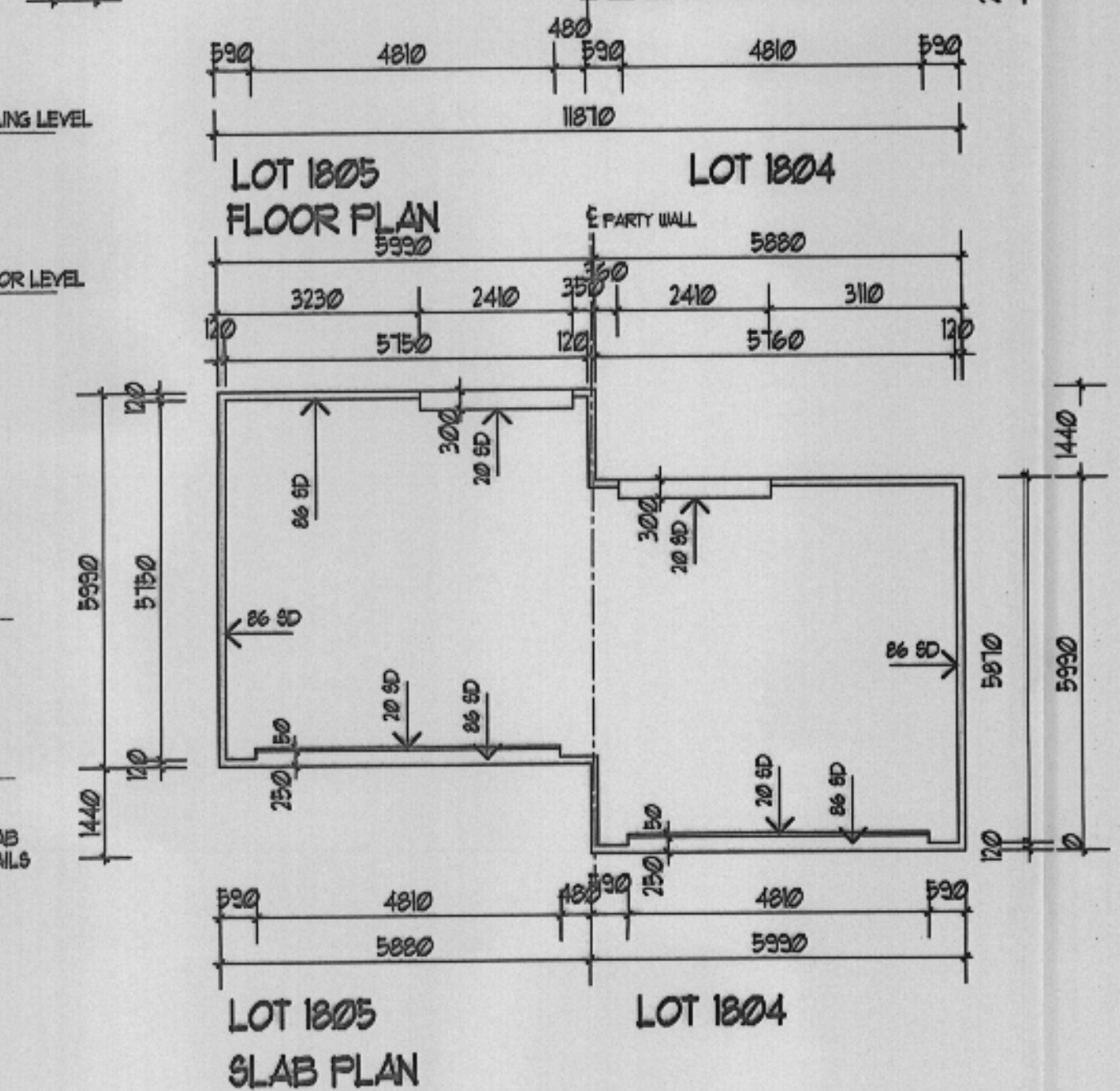
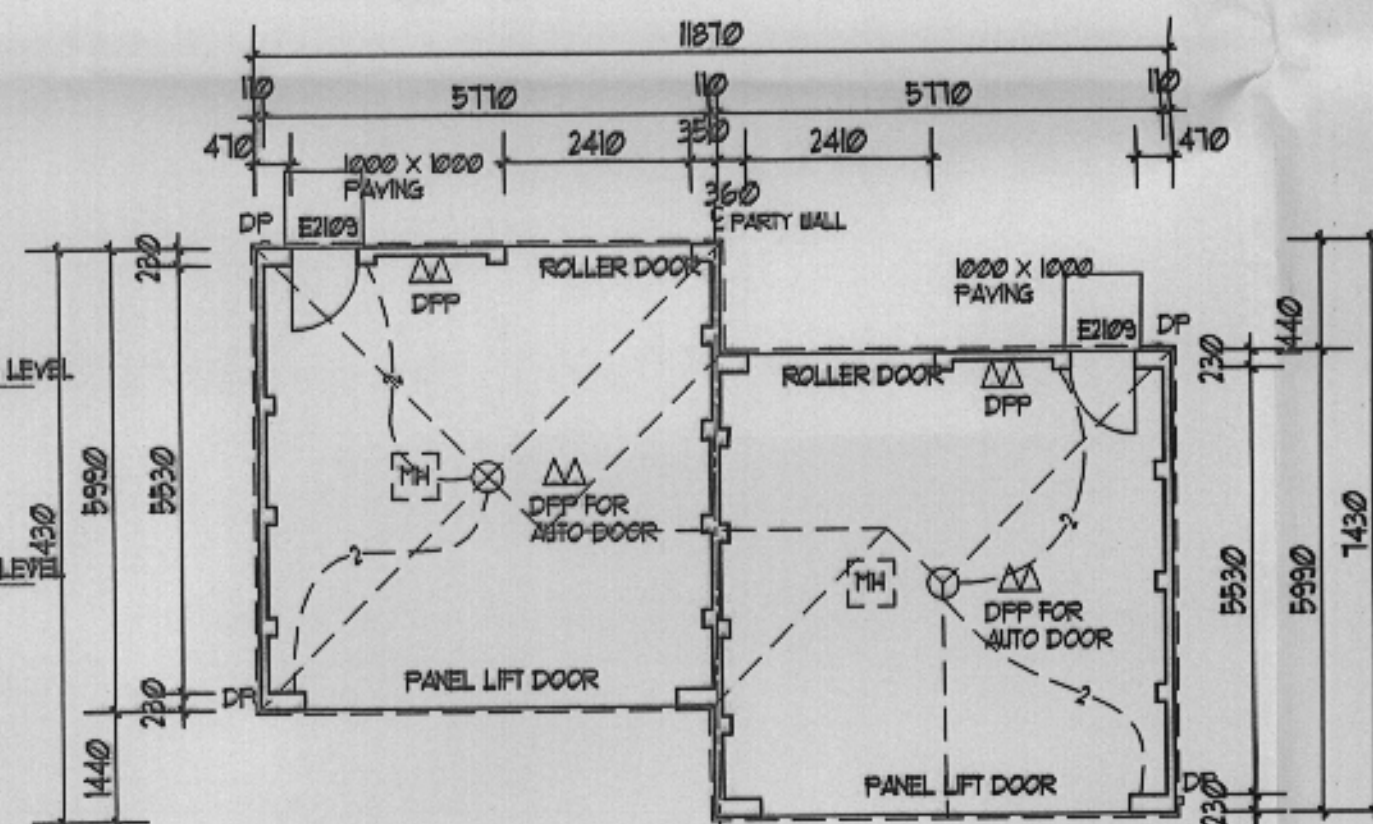
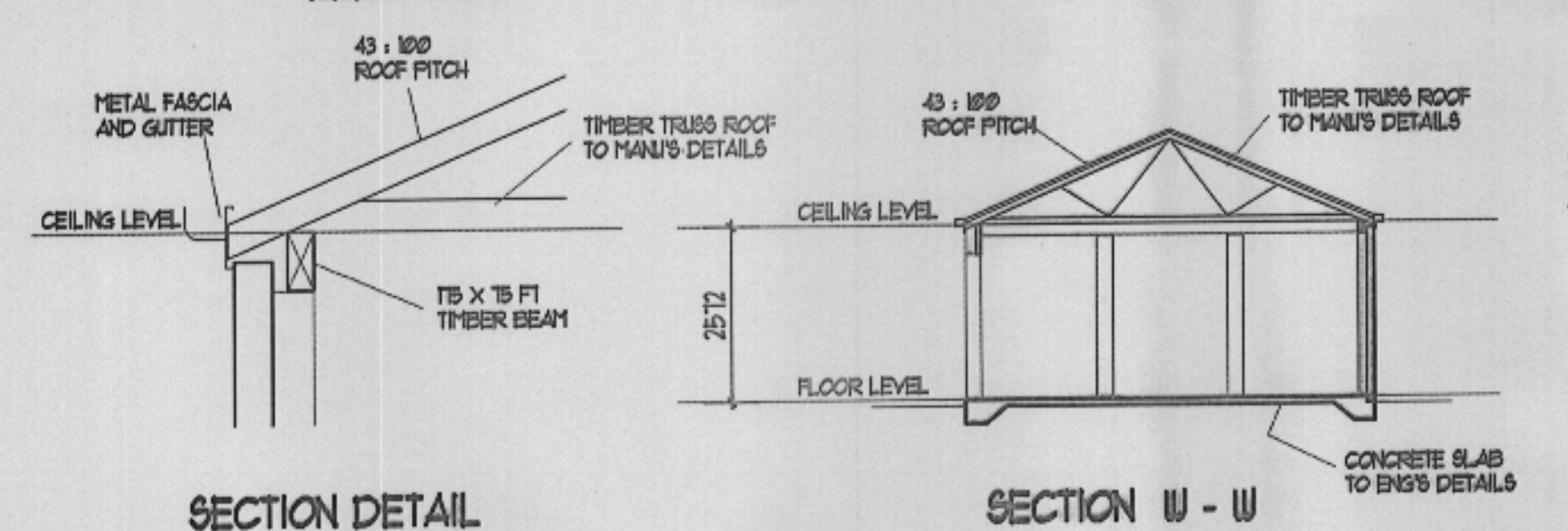
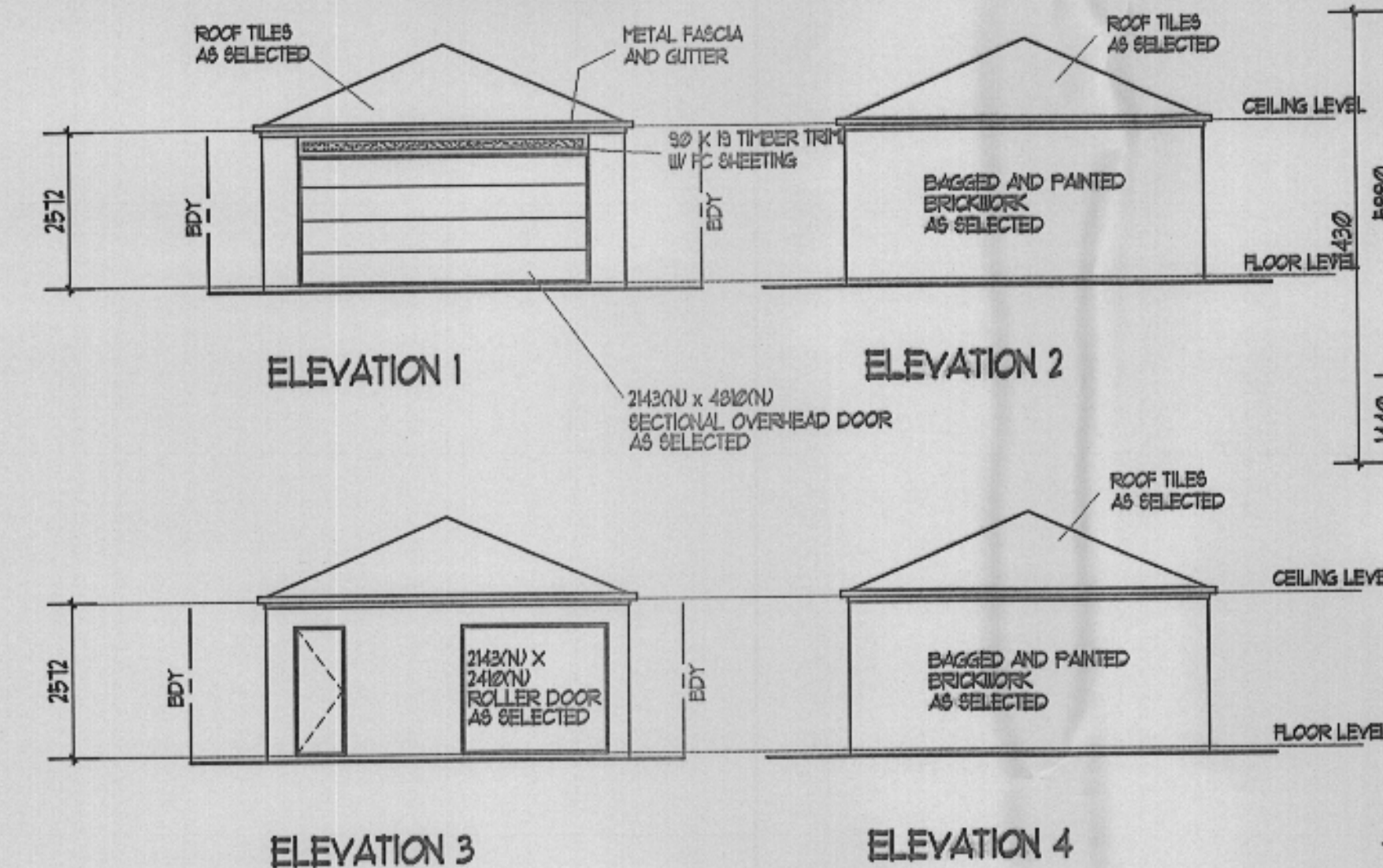
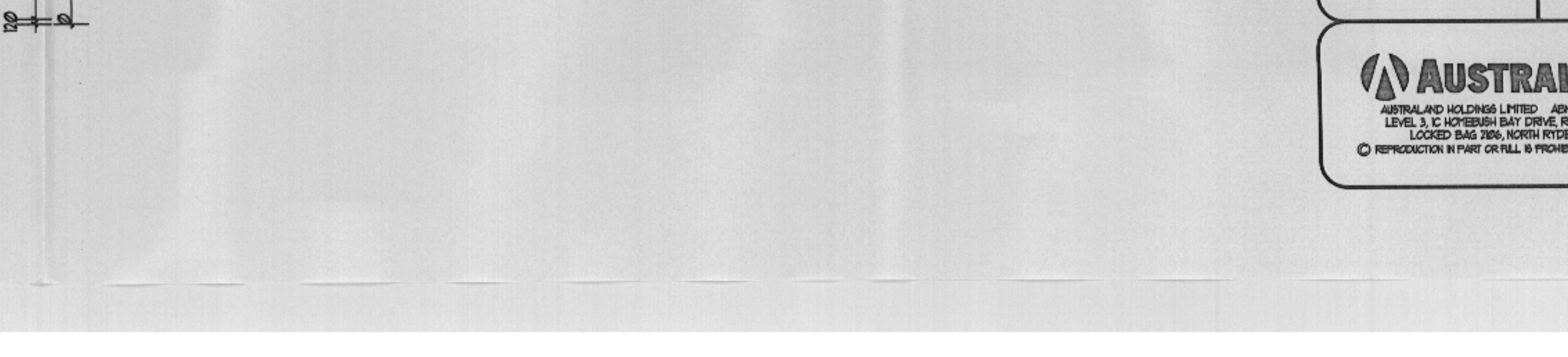
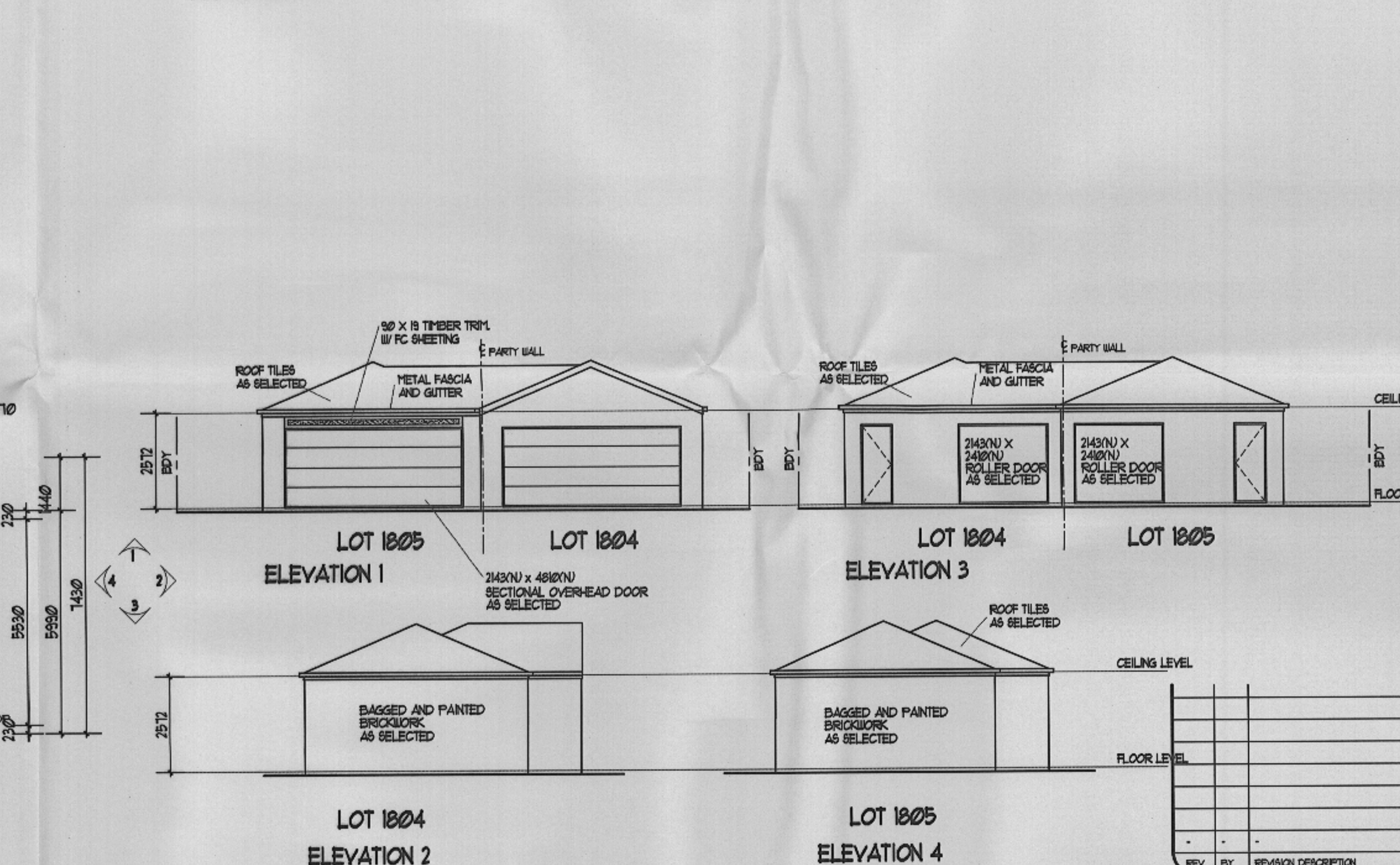
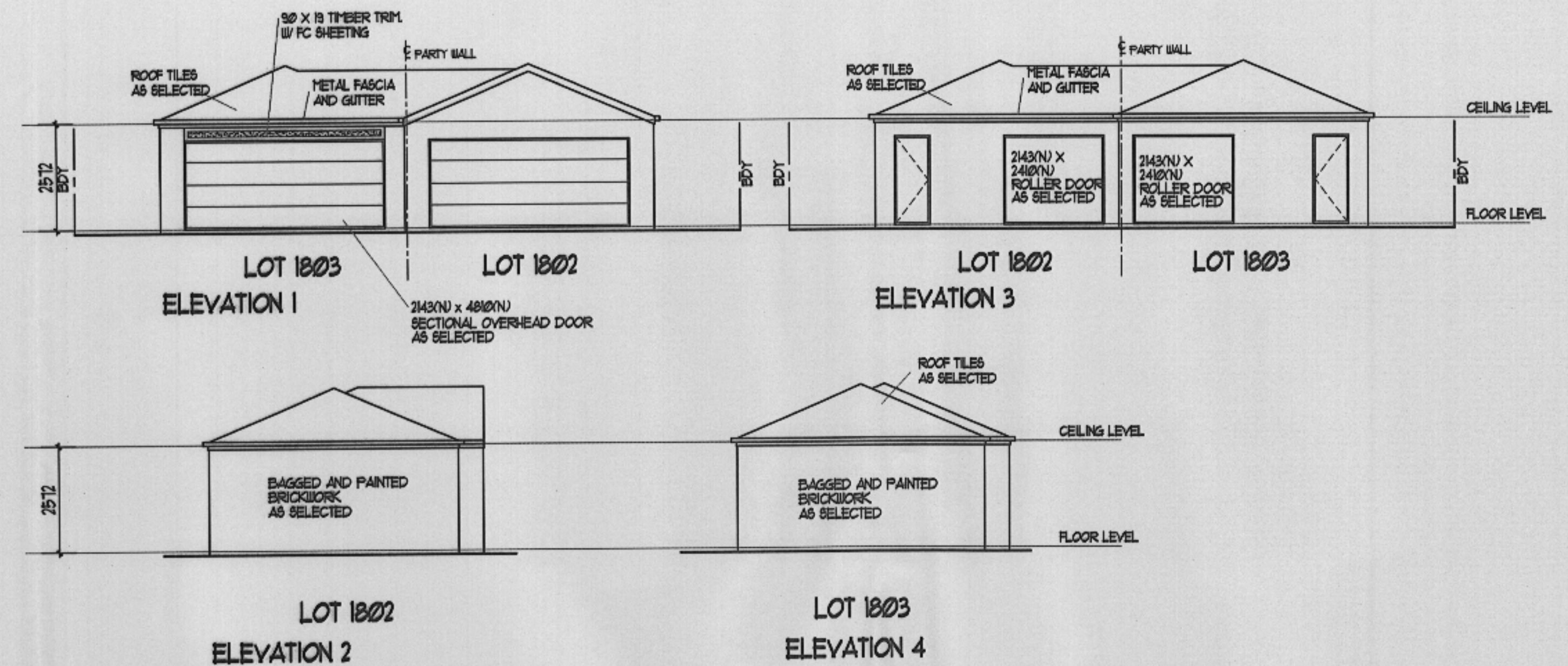
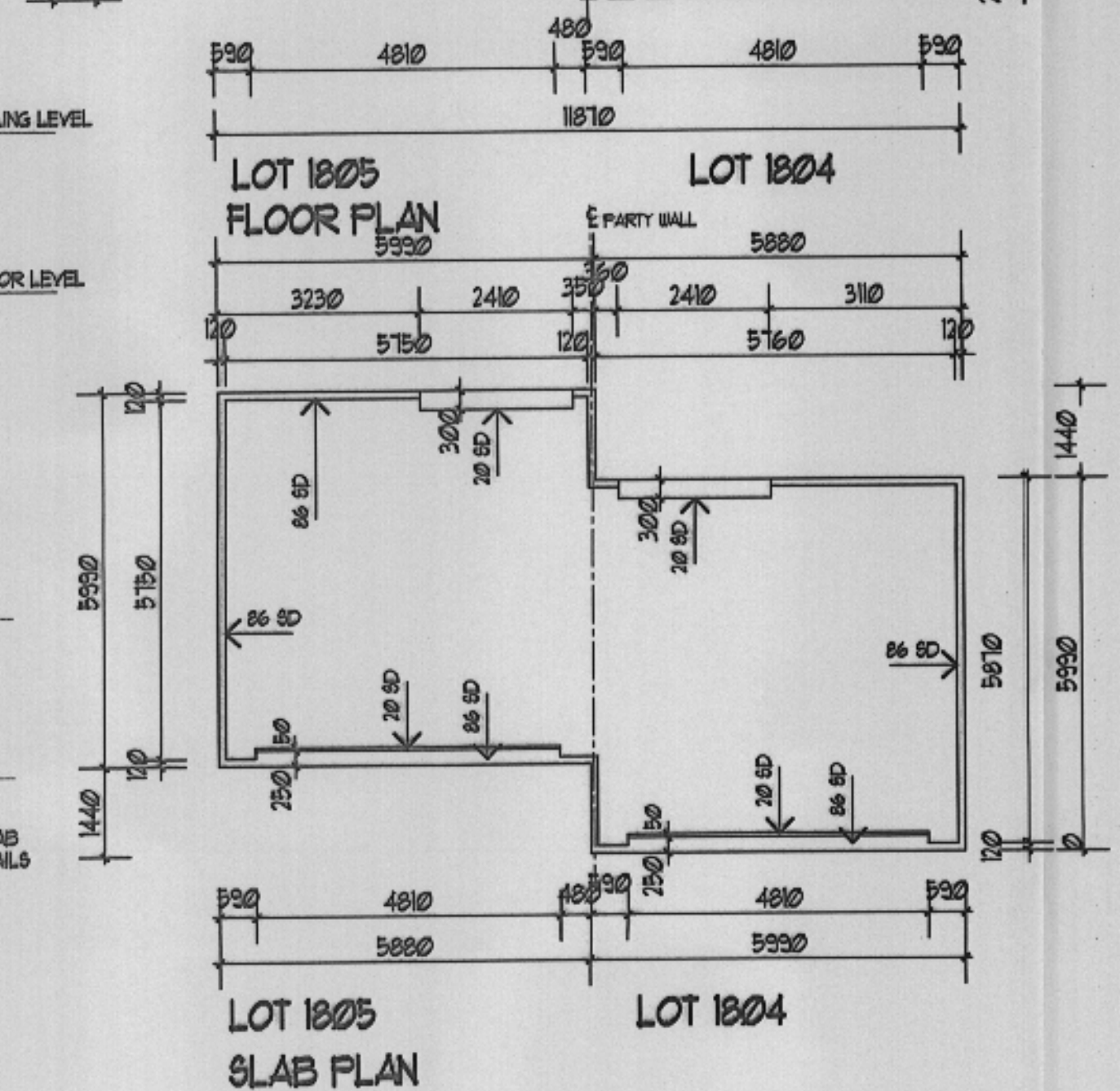
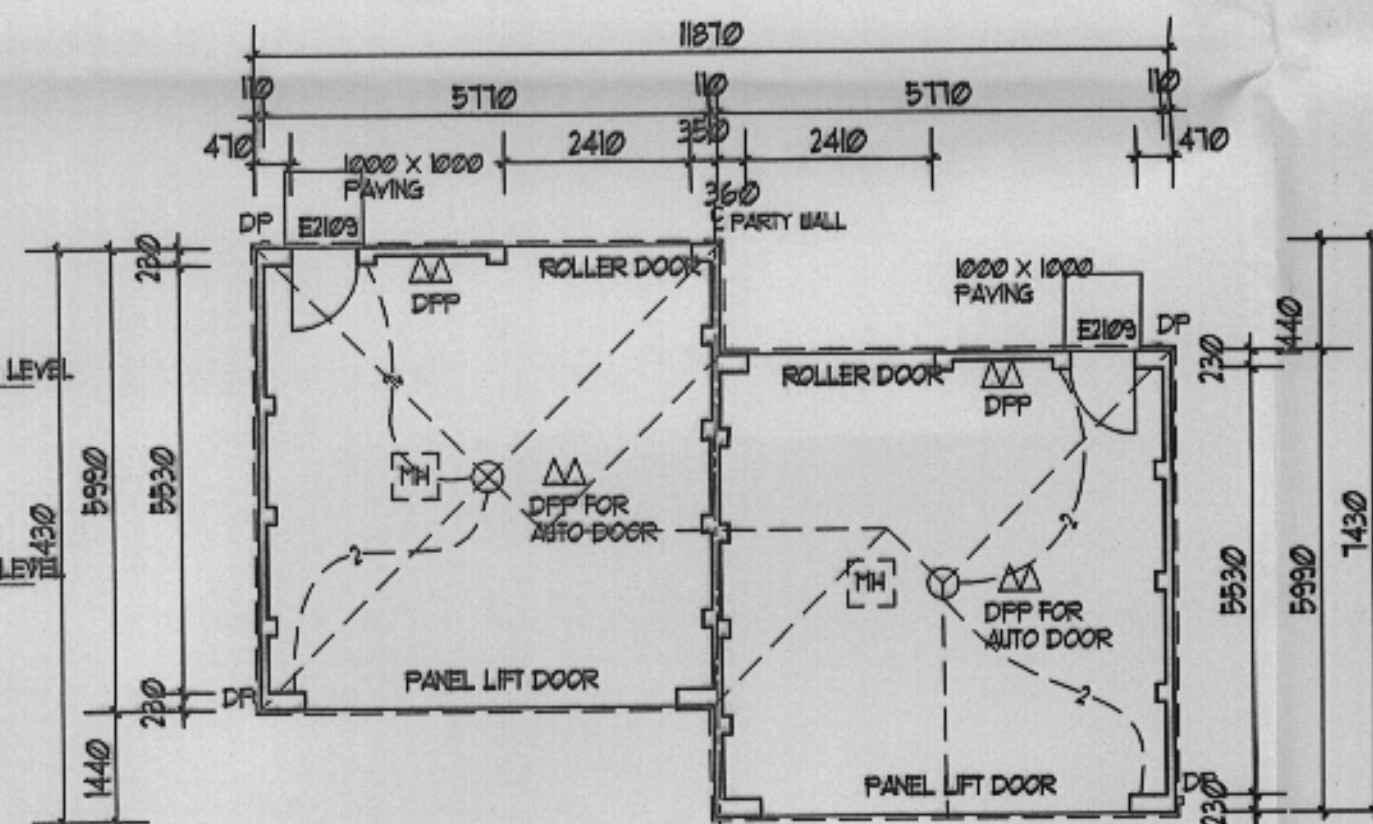
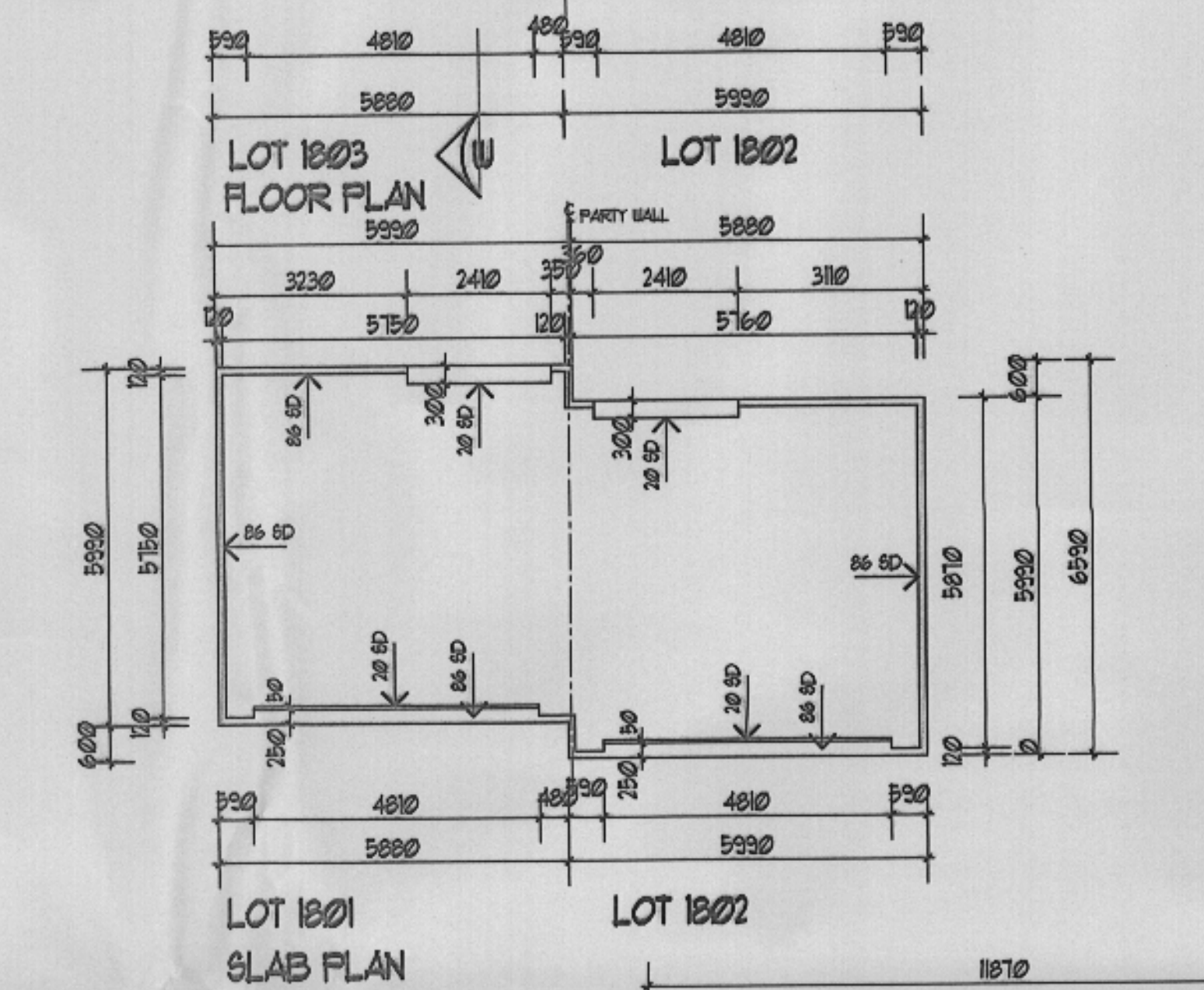
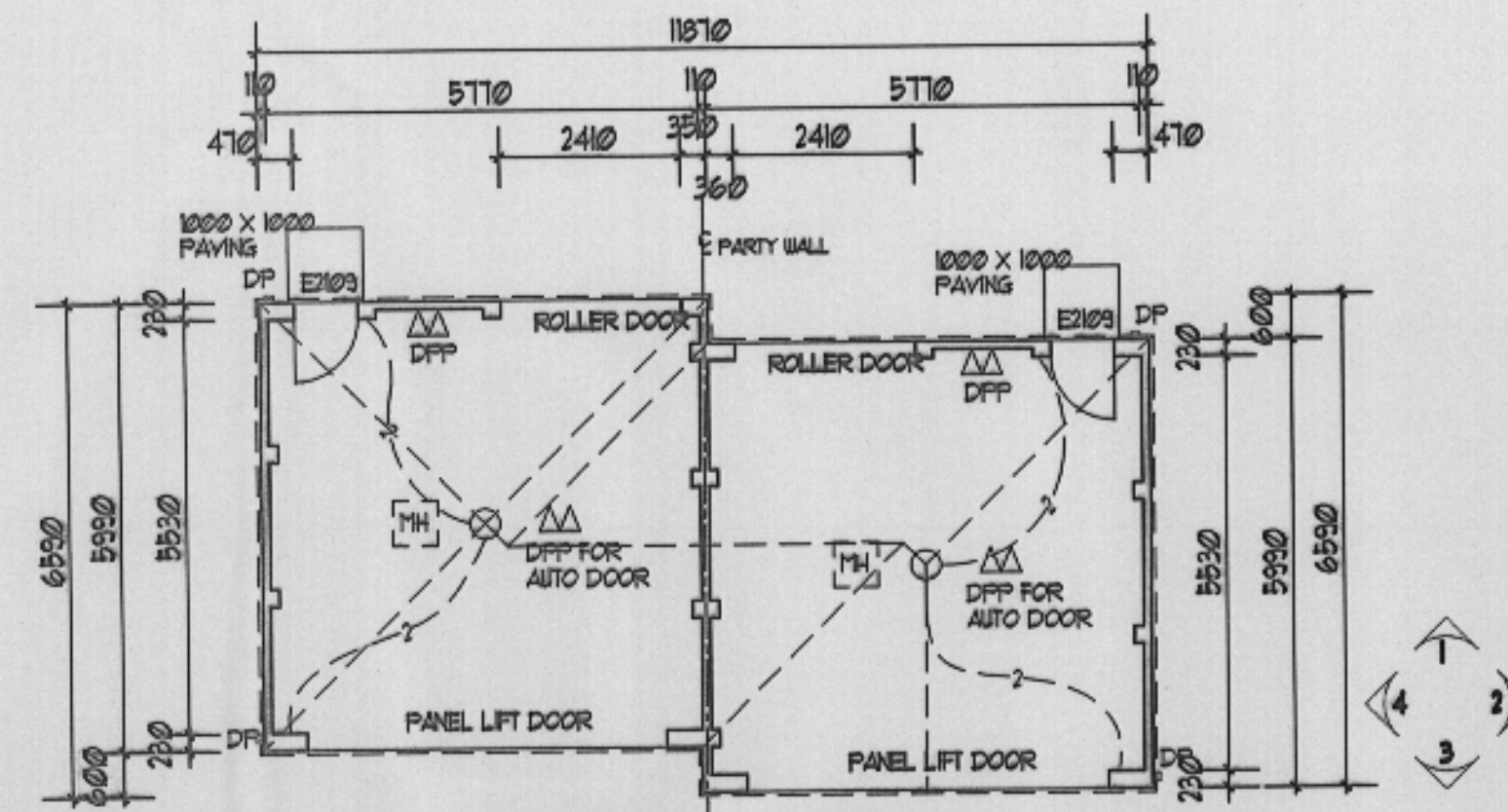
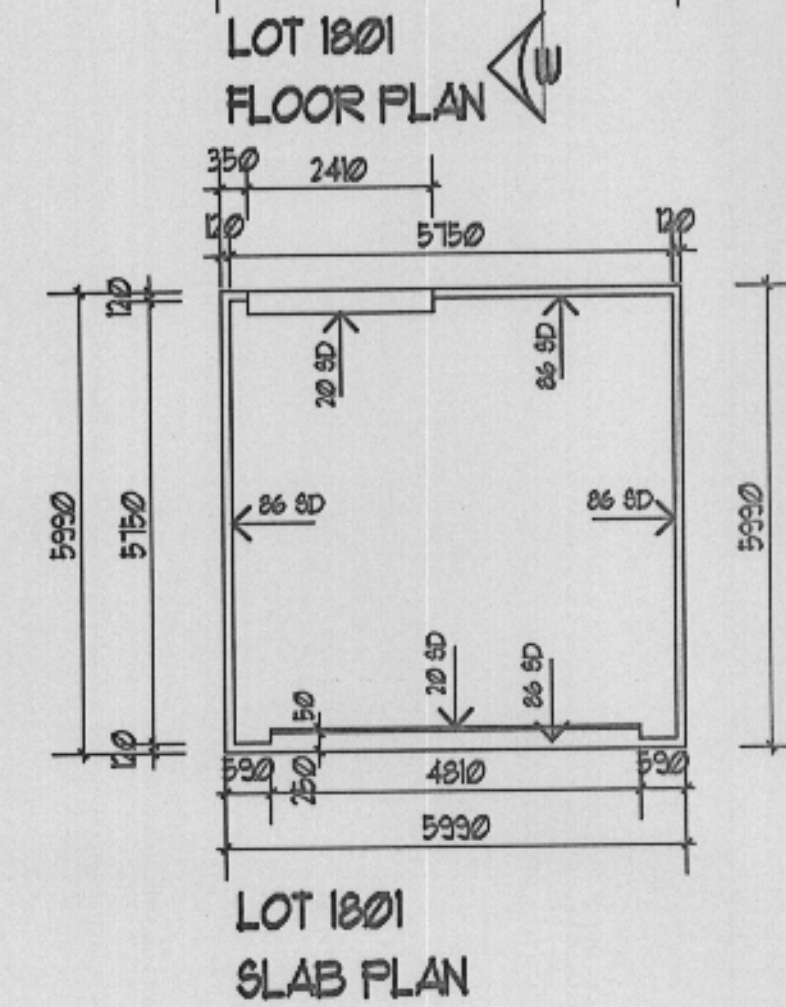
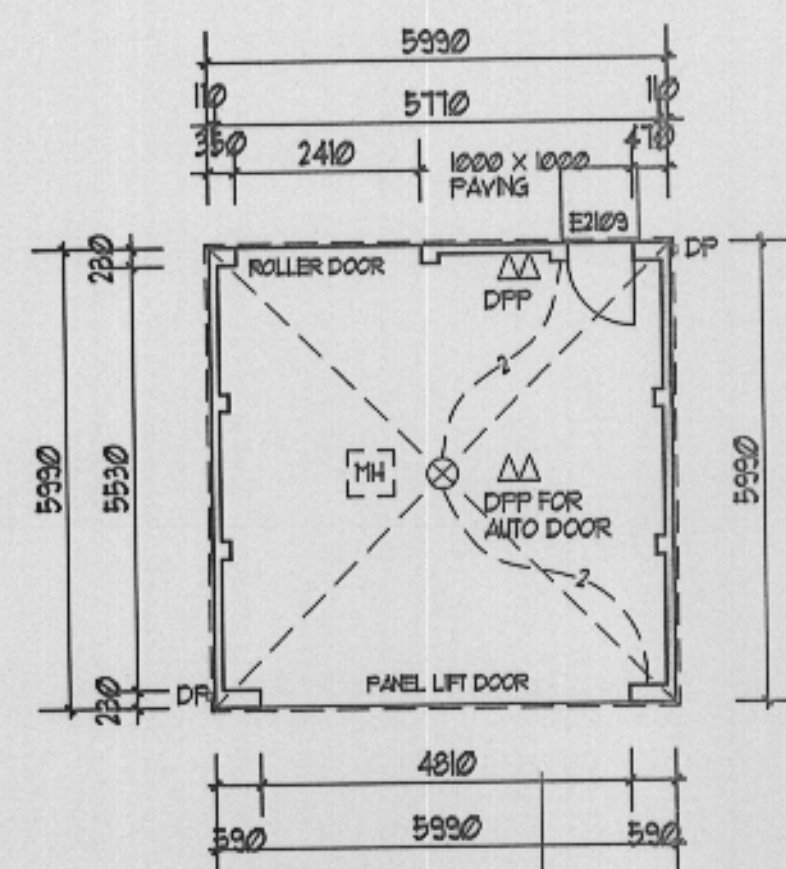
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DRAWN	XXX		











LEVEL			
REV	BY	REVISION DESCRIPTION	DATE

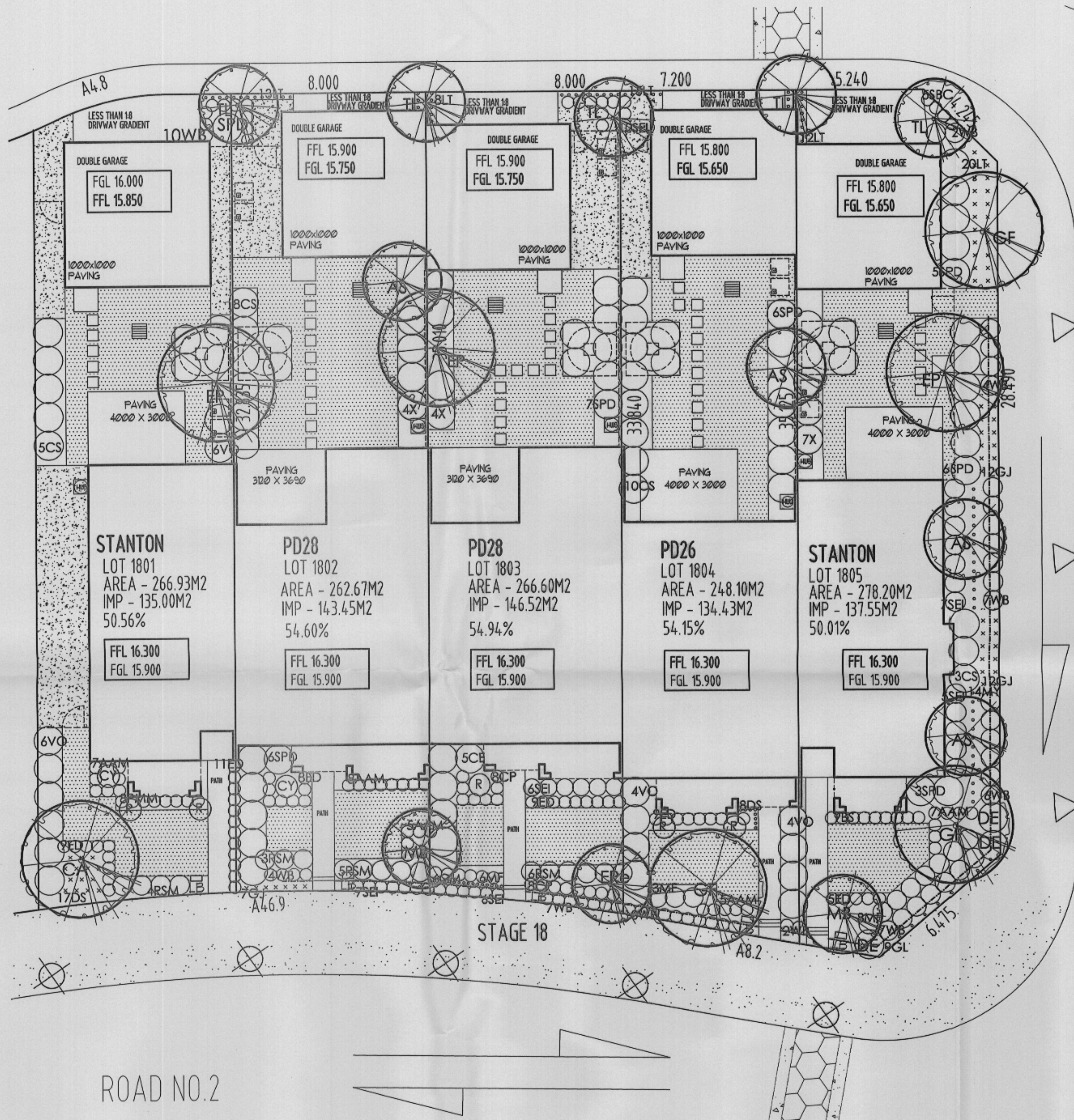
DUG  
GARAGES, STAGE 18  
WARRIEWOOD SECTOR 8

PROJECT  
LOTS 1801 to 1805  
CALLISTEMON WAY  
WARRIEWOOD  
CLIENT  
RYLEHALL PTY LTD

DATE 06/01/04	DRAWING NUMBER
SCALE 1:100	CC07
DRAWN JH	REVISION

**AUSTRALAND**  
AUSTRALAND HOLDINGS LIMITED AEN 81 003 470 551  
LEVEL 3, 10 WATERSHAY BAY DRIVE, RANCOES NSW 2238  
LOCKED BAG 2826, NORTH RYDE, NSW 1610  
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PLANT SCHEDULE

Code	Plant Name	Size	Qty	1	2	3	4	5
AS	Acacia senilis	25lt	18		1			1
CA	Cupressus anacardiacoides	75lt	18	1				
ER	Eucalyptus melliodora	75lt	18				1	
EP	Eucalyptus punctata	25lt	12	1			1	
GF	Grevillea robusta	75lt	18					1
MB	Myrsine laevis	45lt	18		1			
TL	Tillandsia usneoides	25lt	18	1	1	1	1	1
AAH	Acacia 'Alyce Magic'	8lt	400	2	13			8
BS	Buxus sempervirens	5lt	200					
CB	Callistemon 'Red Sunset'	25lt	18				5	
CS	Cassia sesamea	25lt	18	5	5			8
CP	Colocynthis palustris	5lt	400				8	
CV	Cyperus rotundus	25lt	1000	1	1			
CE	Cyperus setosus	45lt	250					
ED	Eucalyptus 'Pink Pearl'	5lt	12	20	5			5
MF	Metrosideros 'Fiji Fire'	25lt	500					3
RBH	Raphanoglottis 'Snow Maiden'	25lt	500	5	5			
R	Rosa 'White Iceberg'	25lt	12	2			1	2
SBH	Syaglum 'Bush Christmas'	25lt	12					
SD	Syaglum 'Edge It'	5lt	400			5		10
SPD	Syaglum paniculatum 'Snow'	25lt	12	1	5	5	5	5
VO	Viburnum obtusifolium	25lt	500	10				5
WB	Wendlandia brevifolia	25lt	500	10	4	5	5	13
X	Xylocarpus parlatorei	25lt	12		5	4		
GL	Grevillea longipes	150mm						
DS	Dianella 'Silver Snow'	150mm		12				8
UJ	Ureca 'Silver Snow'	150mm			3			
LT	Lamandra 'Fanta'	150mm			12	8		22

Notes: • All dimensions and locations are to be checked on site and confirmed by site supervisor before commencement of works.  
• Location and levels of walls are indicative only, final site levels to be determined on site.  
• Do not scale from drawings. Dimensions take preference.  
• Refer to detail drawings by engineer for structural information.  
• Contractor to confirm location of underground services before commencement.  
• Landscape Plans to read in conjunction with Architectural Drawings.  
• ©2005 All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without written permission of Anna King Landscape Architects Pty Limited.

## Construction Notes

Notes for street tree planting information and details refer to documentation prepared by Meter and Associates

### Retaining Walls - by client

### Drainage - by client

### Soil

All soil used is to be sourced from a recognised commercial supplier. Site topsoil will only be considered suitable where the material has a high organic content and where the Landscape Supervisor approves it for use.

Minimum soil depths:	
Garden Beds	300mm
Turf Areas	50mm

### Mulch

Pine bark Horticultural Grade with particle size 15mm free of soil, weeds and sticks. Spread evenly to a depth of 75mm, tapered at edges to finished levels.

### Planting

As specified, the Landscape Supervisor will accept no substitutes without written approval. All plants must be true to type free from disease, pests and in a vigorous well-developed condition without being root bound.

Fertilise and water at time of planting.

### Turfing

Turf is "SANTA ANNA COUCH", with an even thickness not less than 30mm. Turf to be obtained from an approved grower, and shall be free from weeds. Lay turf along the land contours with staggered, close-butted joints and flush with adjacent finishes and fall evenly to drainage points. Water thoroughly.

### Paver Edging

The paver is to be selected by client. Paver edge to areas as indicated on landscape plan, curves shall form a continuous line without deviation from the design intent. All edging shall finish level with adjoining turf and/or garden areas.

### Maintenance

The nominated Maintenance period is for 12 months. During the maintenance period the Contractor shall continue to water, fertilise, weed and mow to allow best possible growth rates. The Contractor is to ensure mulched areas are spread evenly and in a tidy condition, remove rubbish, prune and replace dead, damage, stolen and/or falling plant material.

### Inspection

The Landscape Architect is to inspect the site on a 3 monthly basis from the date of the Occupation Certificate. Following the inspection, the landscape architect is to issue a report to the owner/occupier certifying that the plant material is healthy and performing to expectation. A copy of this report is to be forwarded to Council or the accredited certifier. Where a private certifier, is supervising the project for the purposes of keeping a public record, copy of the letter of the confirmation is to be forwarded by the certifier to Council within 5 working days of the date of issue.



Date	Item	Amendment



anna king landscape architects pty ltd

"Woll"

C/- Berrima Post Office, BERRIMA 2577  
Mobile: 0427 771 384 Phone: 4877 1384 Fax: 4877 1385

Client:

**AUSTRALAND**

Title:

Sector 8 Stage 18  
SEAGREEN VIEW ESTATE  
WARRIEWOOD  
LANDSCAPE PLAN

Sheet No.

L001- 18

No. of Sheets

1 of 1

Scale:

1:100

Job Number:

A.AL1102.05

Designed:

AK

Date:

29.09.2005

Drawn:

AK

Date:

29.09.2005

Checked:

Date:

Approved:

Date:



A. GENERAL

A.1 THIS SET OF DRAWINGS IS TO BE READ IN CONJUNCTION WITH THE AUSTRALAND ARCHITECTURAL DRAWINGS.

A.2 ALL SET OUT DIMENSIONS ARE TO BE OBTAINED FROM THE AUSTRALAND ARCHITECTURAL DRAWINGS UNLESS SPECIFIC DIMENSIONS ARE GIVEN ON THE ENGINEERING DRAWINGS. THE ENGINEERING DRAWINGS SHOULD NOT BE SCALED.

A.3 ALL MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH ANY RELEVANT S.A. CODE RELATING TO THEIR APPLICATION. CERTIFICATES TO THIS EFFECT FROM A N.A.T.A. APPROVED TESTING LABORATORY SHALL BE FURNISHED ON REQUEST.

A.4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART OF THE STRUCTURE SHALL BE OVER STRESSED.

A.5 STRUCTURAL ELEMENTS HAVE BEEN DESIGNED FOR RESIDENTIAL DESIGN LIVE LOADS UNLESS NOTED TO THE CONTRARY.

RESIDENCE: 15 kPa	GARAGE: 3.0 kPa
-------------------	-----------------

A.6 IF THE SITE HAS BEEN THE SUBJECT OF A GEOTECHNICAL INVESTIGATION REQUIRING ADHERENCE TO PARTICULAR CONSTRUCTION PROCEDURES AND/OR TECHNIQUES, THE REQUIREMENTS OF THE APPROPRIATE GEOTECHNICAL ENGINEER'S REPORT SHALL BE COMPLIED WITH IN FULL.

A.7 IF THE SITE CONDITIONS ENCOUNTERED APPEAR TO DIFFER SUBSTANTIALLY FROM THE CONDITIONS DEPICTED ON THESE PLANS OR REPORTED IN THE GEOTECHNICAL REPORT, THE STRUCTURAL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.

B. SITE CLASSIFICATION

B.1 THIS SLAB DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH AS2870-1996, RESIDENTIAL SLABS AND FOOTINGS.

B.2 THE SLAB AND FOOTINGS DESIGN PROCEDURE HAS BEEN CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF SECTION 4 OF AS2870-1996 AND AS3600-CONCRETE STRUCTURES CODE.

B.3 THE CLASSIFICATION FOR THIS SITE IS  $P \rightarrow M$  BASED ON GEOTECHNICAL REPORTS BY 'GEOENVIRO CONSULTANCY PTY LTD'.

C. SITE PREPARATION

C.1 ALL EXCAVATION AND BACKFILL SHALL BE CARRIED OUT NEATLY TO THE LINES, LEVELS AND GRADES SPECIFIED.

C.2 ANY BACKFILL MATERIAL REQUIRED OR SPECIFIED SHALL BE COMPACTED GENERALLY TO A DENSITY EQUIVALENT TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY (TEST METHOD IN ACCORDANCE WITH AS1289-E11 - STANDARD COMPACTIVE EFFORT).

C.3 THE CUT AREA IS TO BE MACHINE TYNNED TO A MINIMUM DEPTH OF 200 mm BELOW FINISHED EXCAVATION BENCH LEVEL.

C.4 THE GROUND BENEATH ALL FOOTINGS IS TO BE LOOSENEED BY MACHINE TYNNING TO A MINIMUM DEPTH OF 200 mm BELOW FOOTING TRENCH LEVEL.

C.5 A 1.0m WIDE PERIMETER APRON IS TO BE PROVIDED AROUND THE SLAB FINISHED WITH A 25 mm CROSS FALL AWAY FROM THE SLAB EDGE.

D. PERFORMANCE CRITERIA

D.1 THE FOOTING SYSTEM SPECIFIED ON THESE DRAWINGS WILL MEET THE PERFORMANCE REQUIREMENTS SET OUT IN CLAUSE 1.3 OF AS2870-1996, RESIDENTIAL SLABS AND FOOTINGS CODE. THE FOOTING SYSTEM IS INTENDED TO FACILITATE ACCEPTABLE PROBABILITIES OF SERVICEABILITY AND SAFETY OF THE BUILDING DURING ITS DESIGN LIFE.

D.2 APPENDIX B OF AS2870-1996 PROVIDES INFORMATION AND GUIDANCE ON THE MAINTENANCE OF FOUNDATION SITE CONDITIONS. SUBJECT TO ADOPTION OF THESE RECOMMENDATIONS THE BUILDING MAY EXPERIENCE MINOR DAMAGE BUT OF A SEVERITY NOT EXCEEDING THE LEVELS DEFINED IN APPENDIX C OF AS2870-1996.

D.3 IT IS THE OWNERS RESPONSIBILITY TO ENSURE THE SITE IS PROPERLY MAINTAINED.

D.4 THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED. WHILST EVERY CARE HAS BEEN TAKEN TO VERIFY THAT THE INFORMATION SHOWN IS CORRECT, APPEYARD FORREST CONSULTING ENGINEERS PTY LTD TAKES NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.

E. PILING REQUIREMENTS

E.1 ALL FOOTINGS AND DROP PANELS AS NOTED ARE TO BE PILED AS DETAILED.

E.2 PILING SPECIFICATIONS:

PILE DETAILS		
MINIMUM DRIVEN DEPTH OF PILE, m (SEE NOTE)	PILE SPACING	Ø125, CCA TREATED
MASONRY VEEBEE	MASONRY VEEBEE	ONE STOREY DOUBLE STOREY
S - CLASS 1 000		2.1 1.5
H - CLASS 2 000		
I - CLASS 3 000		
THE LOAD CARRYING CAPACITY OF THE DRIVEN PILES SHOULD BE CONFIRMED DURING INSTALLATION BY MEANS OF APPROPRIATE DYNAMIC FORMULAE.		
INDICATIVE PILE LOAD = 70 kN		
PROVIDE INTERNAL PILING LOCATIONS AS DEPICTED PLAN ON FLOOR SLAB		

E.3 INDICATIVE PILE DEPTHS ARE PROVIDED IN REPORT No. J104337E-r2 BY GEOENVIRO CONSULTANCY PTY LTD DATED NOVEMBER 2005.

E.4 CONFIRMATION OF PILE CAPACITIES ARE TO BE PROVIDED BY PILING CONTRACTOR.

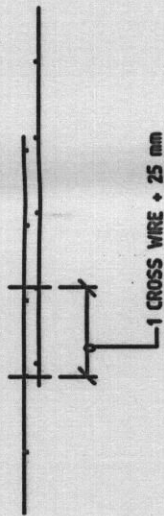
FOOTINGS AND FLOOR SLAB

F.1 A NOMINAL 50 mm THICK SCREEDED SAND LEVELLING LAYER IS TO BE PROVIDED. DROP PANELS ARE TO FORMED UP IN THE SAND SCREED. ENSURE THAT THE TOPS OF ALL PIERS ARE CLEAN.

F.2 THE SLAB IS TO BE ENTIRELY UNDERLAIN WITH 0.2 mm POLY-ETHYLENE VAPOUR BARRIER. ALL JOINTS AND PENETRATIONS ARE TO BE LAPPED AND TAPED.

F.3 FOOTING REINFORCEMENT IS TO BE LAPPED 500 mm AT SPLICES AND PLACED ON CHAIRS TO GIVE 40 mm CLEAR COVER ALL ROUND.

F.4 SLAB FABRIC IS TO BE LAPPED ONE FULL SQUARE PLUS 25 mm AT SPLICES - SEE DIAGRAM BELOW



ALTERNATIVE LAPS - SEE DIAGRAMS BELOW



F.5 THE FABRIC IS TO BE PLACED ON 50 mm CHAIRS AT 800mm CENTRES BOTH WAYS. IN THE GARAGE SLAB SL92 FABRIC IS TO BE PLACED ON 50mm CHAIRS AT 600mm CENTRES BOTH WAYS.

F.6 AT GARAGE AND PATIO STEP DOWNS THE FULL FABRIC LAP MUST BE PROVIDED, BENDING THE GARAGE AND VERANDAH FABRIC TO ACHIEVE THIS RESULT. THE BENT UP EDGE OF FABRIC MUST REMAIN CLEAR OF THE MEMBRANE AND IS TO BE TIED TO THE UPPER LEVEL FABRIC FOR SUPPORT.

F.7 ENSURE THAT AN INTACT EDGE WIRE OF THE FABRIC RUNS PARALLEL TO, AND NOMINALLY 20 mm FROM, BUT NOT MORE THAN 30 mm FROM THE TOP FORM BOARD AROUND THE ENTIRE SLAB PERIMETER.

F.8 WHERE SLAB FABRIC IS CUT TO PERMIT A DRAINAGE PENETRATION, A N12 BAR 850 mm LONG IS TO BE SPLICED ADJACENT TO EACH WIRE CUT, OR A 600 x 600 mm PIECE OF FABRIC OFF CUT IS TO BE SPLICED OVER THE PENETRATION.

F.9 WHEREVER RE-ENTRANT CORNER TRIMMERS ARE SPECIFIED, PROVIDE 2000 mm LENGTHS OF 3-11TM OR 2-N12 BARS AT 45 DEGREES TIED BENEATH THE SLAB FABRIC

F.10 CONCRETE IS TO BE STRENGTH GRADE N20 WITH A 20 mm MAXIMUM AGGREGATE SIZE AND A 80 mm SLUMP. WATER MUST NOT BE ADDED TO CONCRETE ON SITE.

EQUIVALENT REINFORCING BAR SIZES

IN ACCORDANCE WITH TABLE 3.2 - AS2870-1996

TRENCH MESH	REINFORCING BAR	TRENCH MESH ALTERNATIVE
2-11TM	2N12	4-8TM
3-11TM	3N12	6-8TM
4-11TM	4N12	8-8TM
2-12TM	2N16	3-11TM
3-12TM	3N16	4-11TM
4-12TM	4N16	5-11TM

G. CURING

G.1 THE CONCRETE SLAB SHALL BE CURED USING AN APPROVED CURING COMPOUND AND IN ACCORDANCE WITH CLAUSE 19.1.5 OF AS3600-1994. CURING OF THE CONCRETE SHALL START IMMEDIATELY AFTER FINISHING.

G.2 ON DAYS WHEN THE AMBIENT TEMPERATURE WILL EXCEED 30° AT TIME OF FINISHING, ENSURE THAT THE ABOVE CURING PROCEDURES ARE ADHERED TO AS A MINIMUM REGIME. ADDITIONAL CURING PROCEDURES MAY NEED TO BE FOLLOWED IN PERIODS OF PROLONGUED HOT DRY WEATHER.

H. CONTROL OF PLASTIC SHRINKAGE

CRACKING

THE FOLLOWING NOTES HAVE BEEN EXTRACTED FROM APPENDIX B OF AS 2870-1996.

"SHRINKAGE CRACKING CAN BE EXPECTED IN CONCRETE FLOORS.

THE TIME OF ATTACHMENT OF FLOOR COVERINGS AND THE SELECTION OF THE ADHESIVE FOR THEM SHOULD TAKE INTO ACCOUNT THE MOISTURE IN THE CONCRETE FLOOR AND THE POSSIBLE EFFECT ON ADHESION. CONCRETE FLOORS CAN TAKE A CONSIDERABLE TIME TO DRY (THREE TO NINE MONTHS).

FLOOR COVERINGS AND THEIR ADHESIVES CAN BE DAMAGED BY MOISTURE IN THE CONCRETE AND BY THE SHRINKAGE THAT OCCURS AS THE CONCRETE DRIES. DRYING COULD TAKE THREE MONTHS OR MORE. THE TIME OF FIXING OF FLOOR COVERINGS AND THE SELECTION OF THE ADHESIVE SHOULD TAKE THESE FACTORS INTO ACCOUNT."

I. PLUMBING

L1 PIPES SHALL BE PLACED A MINIMUM 450 mm TOP OF SLAB TO TOP OF PIPE, WITH EXCEPTION OF EB3. ALTERNATIVELY, PENETRATIONS OF EDGE OR STIFFENING BEAMS SHALL BE PERMITTED THROUGH THE MIDDLE THIRD.

COUNCIL COPY

GREENFIELD ACCREDITED CERTIFICATE

Structural Details C.C. No. 20-0-6-7-3-0-5

Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Greenfield Accredited Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

REV	ISSUED FOR CONSTRUCTION	AMENDMENTS	APPROVED	DATE
A	LDA/2006/0130808.02.06			
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PROJECT  
SECTOR 8, STAGE 18 - SEAGREEN VIEWS  
LOTS 1801-1805 CALLISTEMON WAY,  
WARRIEWOOD

DRAWING  
STRUCTURAL NOTES

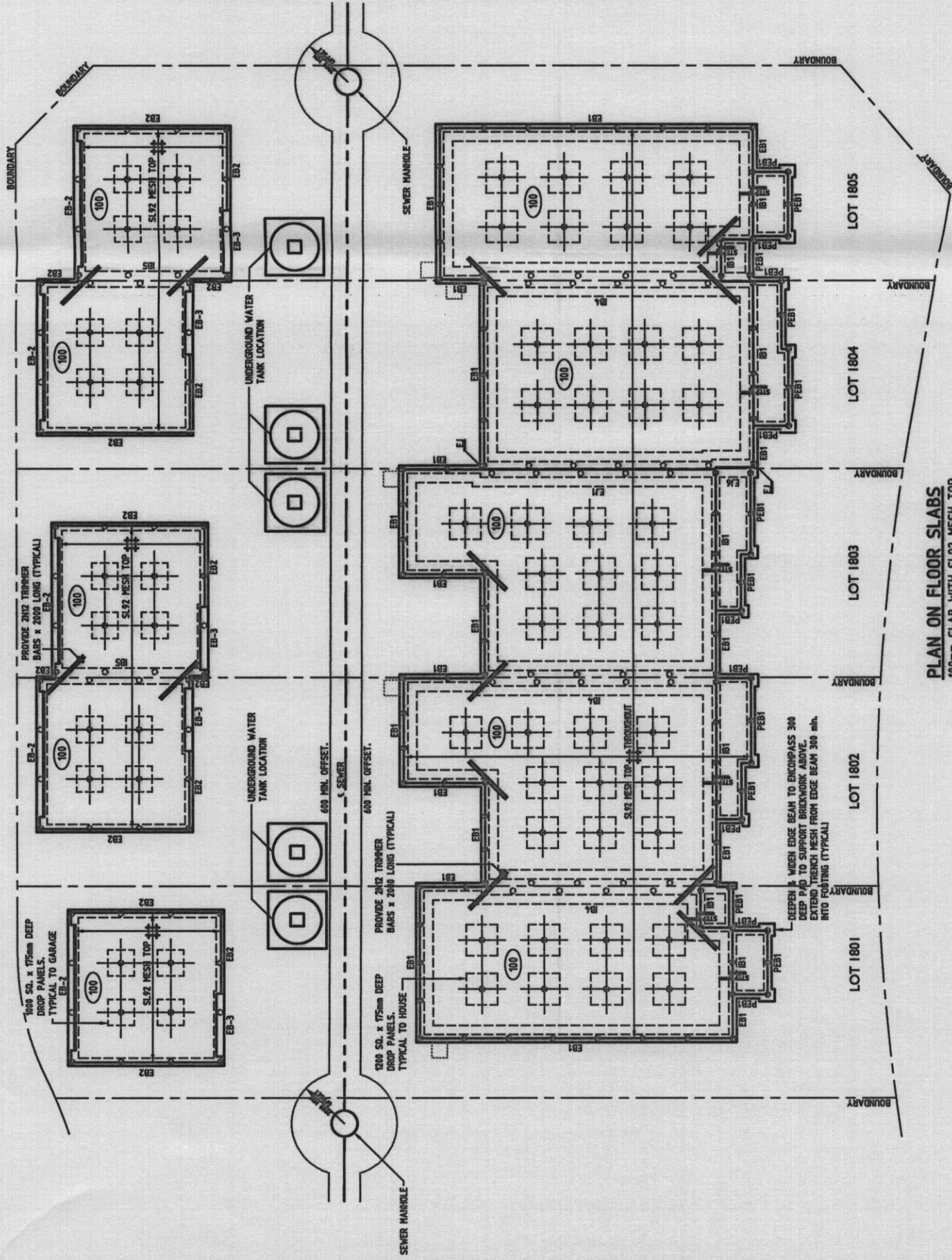
YOUR REF :

DRAWN A.D.J.	DATE 08.02.06	JOB No.
DESIGNED L.D.A.	SCALE NTS	362167
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**PLAN ON GARAGE SLABS**

100mm SLAB WITH SL92 MESH TOP  
NOTE:  
SLAB PERIMETER SETOUT DIMENSIONS MUST COMPLY WITH THE PARTY WALL LOCATIONS AS SHOWN ON THE AUSTRALAND ARCHITECTURAL DETAILS.



**PLAN ON FLOOR SLABS**

100mm SLAB WITH SL92 MESH TOP  
NOTE:  
SLAB PERIMETER SETOUT DIMENSIONS MUST COMPLY WITH THE PARTY WALL LOCATIONS AS SHOWN ON THE AUSTRALAND ARCHITECTURAL DETAILS.

ALL CONCRETE FOR THE SLAB CONSTRUCTION TO BE COMPACTED WITH A MECHANICAL VIBRATOR

REFER FILL & PILING NOTES - SHEET 1

**REINFORCEMENT NOTES**

VERTICAL ARTICULATION JOINTS MUST BE PROVIDED IN ACCORDANCE WITH CLAUSE 3.3.1.8 OF BCA 96 - HOUSING PROVISIONS

**SEWER ZONE OF INFLUENCE NOTE**

MAXIMUM SEWER DEPTH = APPROX. 1.65m (FROM PROPOSED FINISHED SURFACE LEVEL). THE MINIMUM PILE DEPTH TO BEARING STRATUM FOR STAGE 1B IS 4.5m (GEOTECHNICAL CONSULTANCY LTD REF No. J704337E-42 DATED NOVEMBER 2005). HENCE, SEWER ZONE OF INFLUENCE REQUIREMENTS WILL BE MET.

**UNDERGROUND WATER TANK ZONE OF INFLUENCE NOTE**

MAXIMUM WATER TANK DEPTH = APPROX. 1.9m (FROM PROPOSED FINISHED SURFACE LEVEL). THE MINIMUM PILE DEPTH TO BEARING STRATUM FOR STAGE 1B IS 4.5m (GEOTECHNICAL CONSULTANCY LTD REF No. J704337E-42 DATED NOVEMBER 2005). HENCE, UNDERGROUND WATER TANK ZONE OF INFLUENCE REQUIREMENTS WILL BE MET.

PILES DEPICTED ON THIS DETAIL ARE ADEQUATE TO SUPPORT THE STRUCTURE IN THE EVENT OF THE EASEMENTS BEING EXCAVATED, PROVIDED THAT A MINIMUM PILE CAPACITY OF 70 kN HAS BEEN VERIFIED AT THE TIME OF CONSTRUCTION BY THE CONSULTING ENGINEER.

LDA/2006/0138

L.D. APPEYARD REAULT, (PEB-3) (CIVIL/STRUCTURAL)

**GREENFIELD ACCREDITED CERTIFICATE**  
Structural Details C.C. 20.0.6-7.3.0.5

Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Greenfield Accredited Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

REV	ISSUED FOR CONSTRUCTION	DATE	APPROVED	DATE
1	ISSUED FOR CONSTRUCTION	13/12/2006	APPROVED	13/12/2006

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L.D. APPEYARD REAULT (CIVIL/STRUCTURAL)

PROJECT

SECTOR & STAGE 1B - SEAGREEN VIEWS

LOTS 1801-1805 CALLISTEMON WAY,

WARRENWOOD

DRAWING

SLAB PLANS

YOUR REF:

DATE

362167

362167

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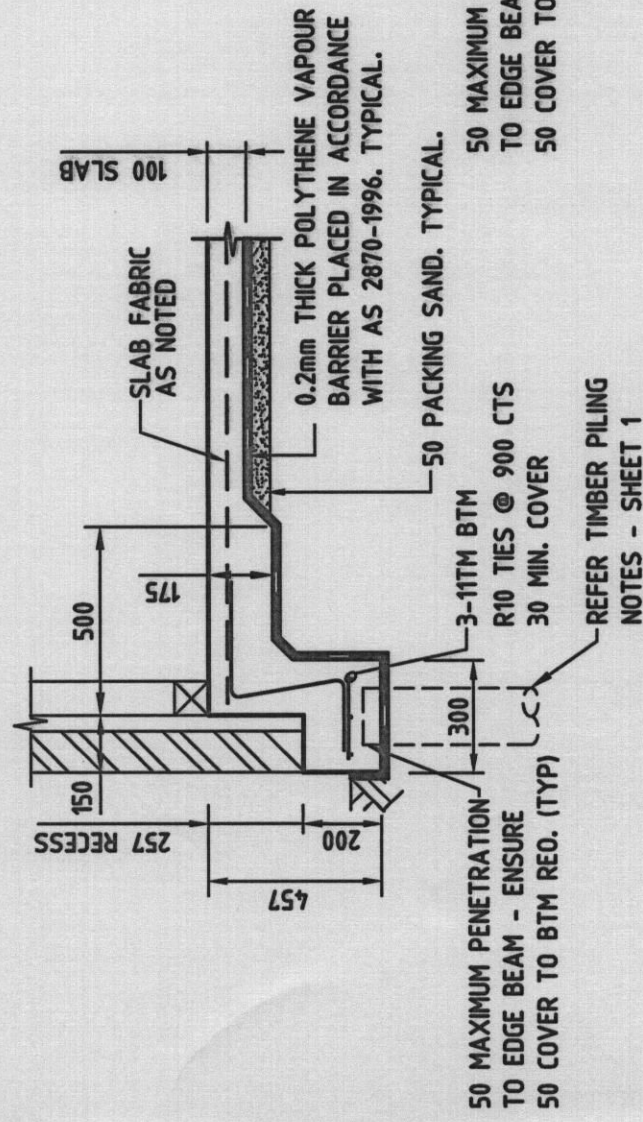
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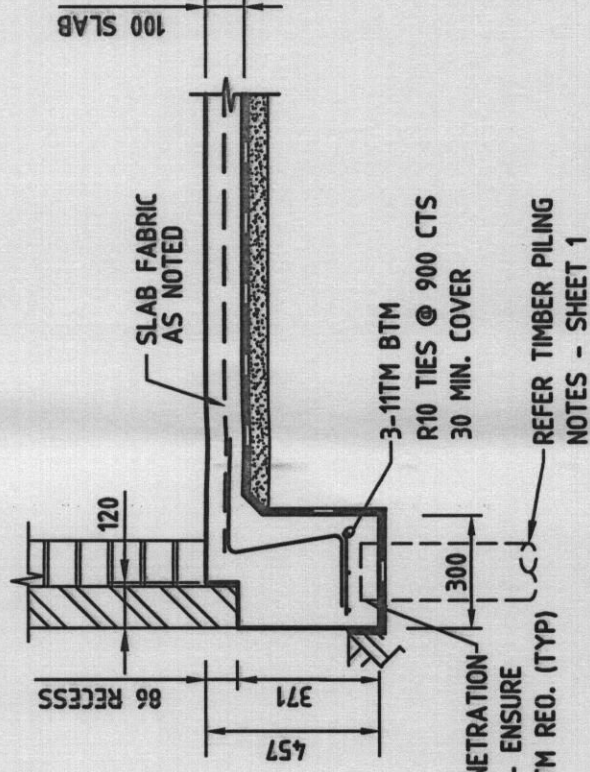
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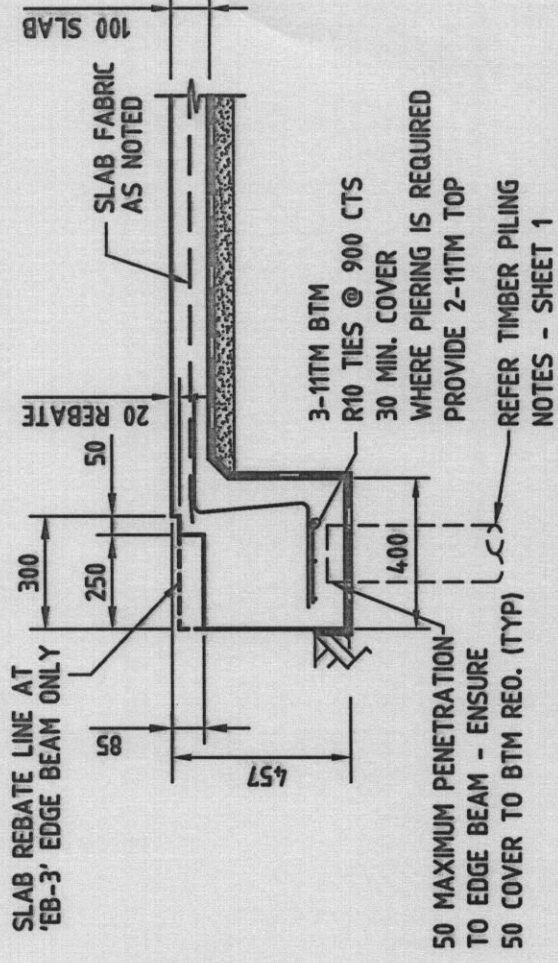




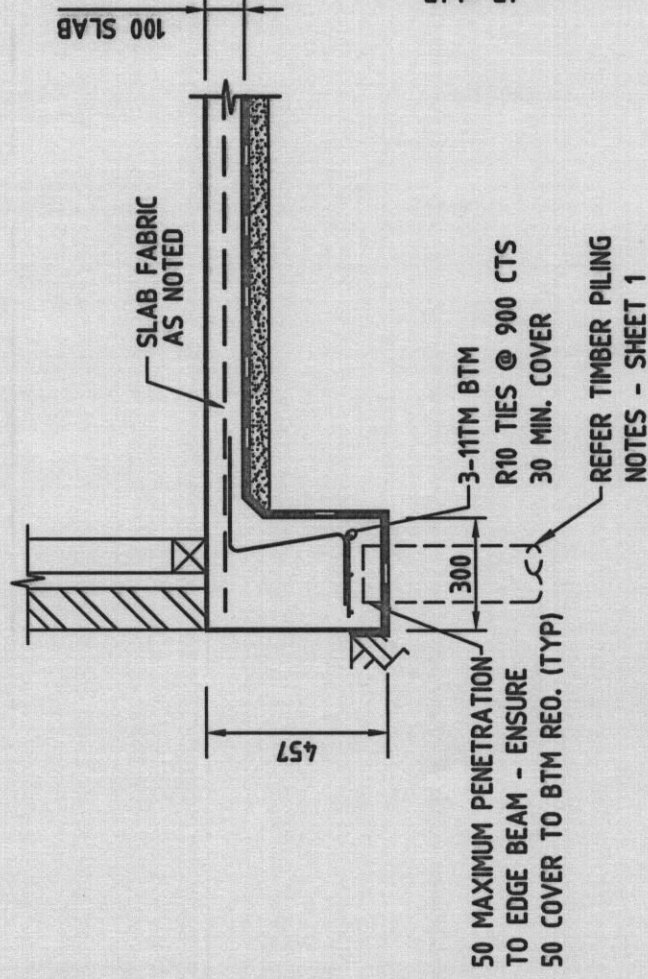
**EDGE BEAM DETAIL**  
**257 RECESS (EBI)**



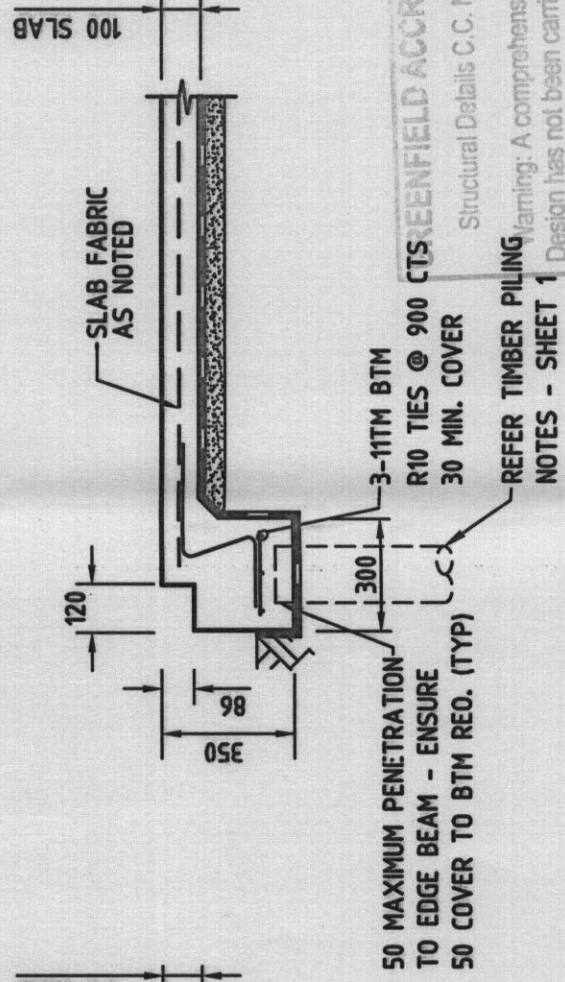
**GARAGE EDGE BEAM DETAIL**  
**86 RECESS (EB2)**



**GARAGE EDGE BEAM DETAIL**  
**REBATE (EB-2) - AS DRAWN, (EB-3) - AS NOTED**



**GARAGE EDGE BEAM DETAIL**  
**NO RECESS (EB-2A)**



### PATIO EDGE BEAM DETAIL (PEBI)

[illegible]

# Appleyard Forrest

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LD. APPLEYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)



# AUSTRALAND

PROJECT

SECTOR 8. STAGE 18 - SEAGREEN VIEWS

LOTS 1801-1805 CALLISTEMONI WAY

LOIS 1001-1003  
WARRIEWOOD

WALKER

## DRAWING

SHEET 1 LEHS

**YOUR REF:**

DRAWN

08.02.06

SCALE

1:20 (A3)

SHEET No.

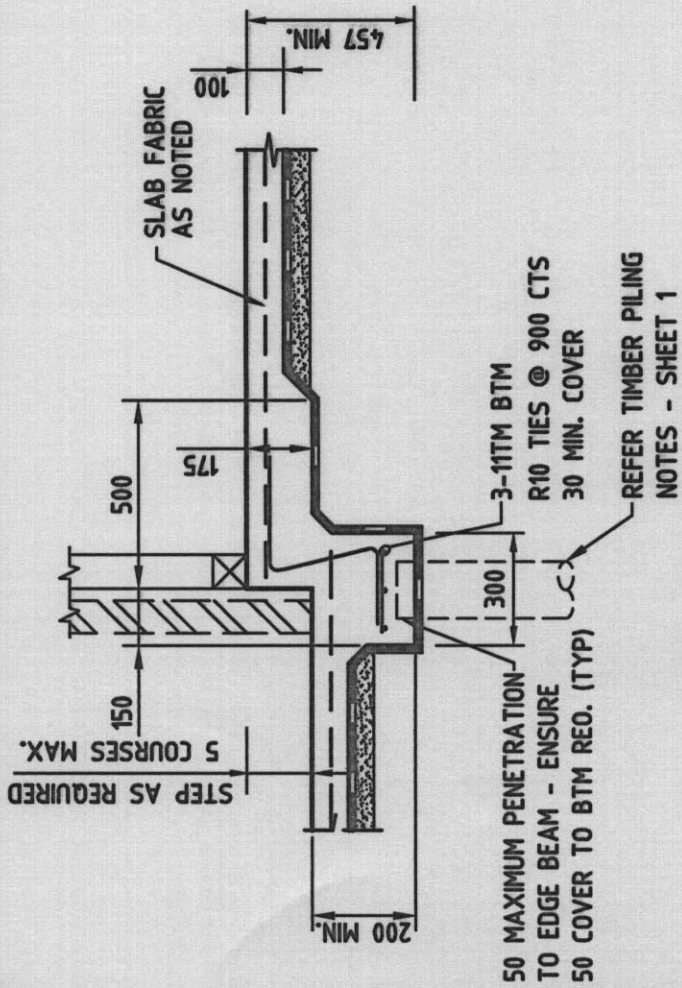
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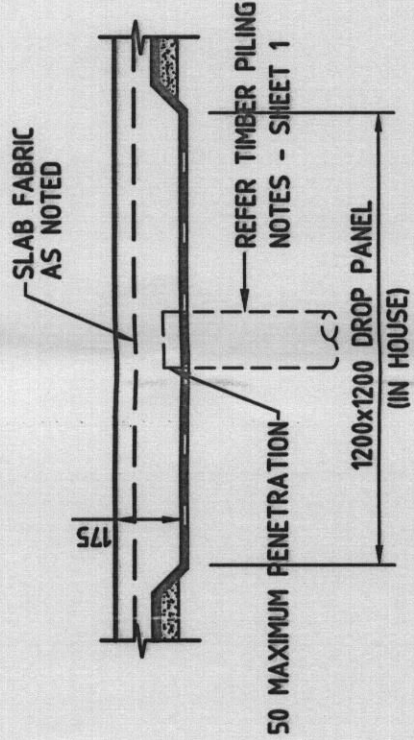
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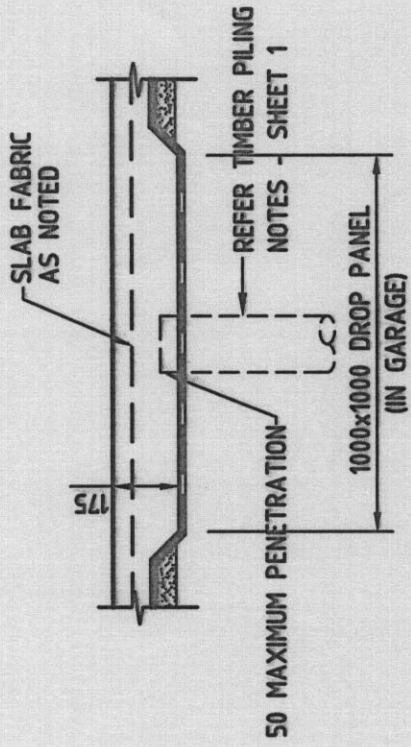




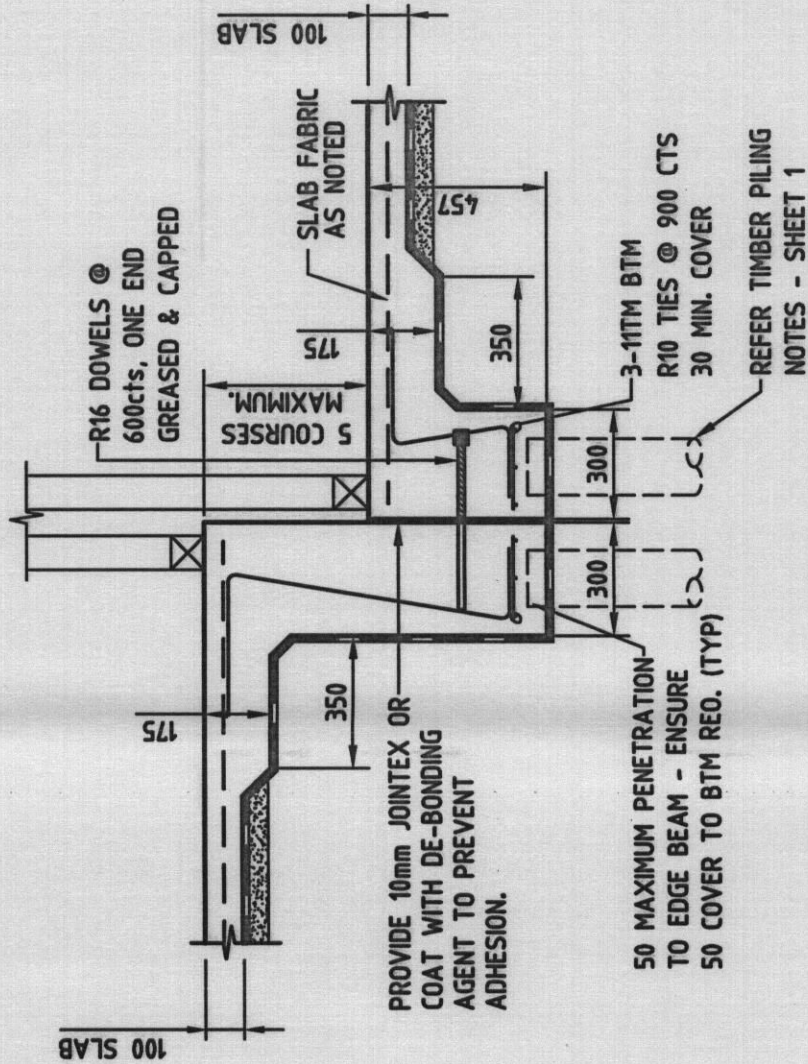
**STEP DETAIL (IBI)**



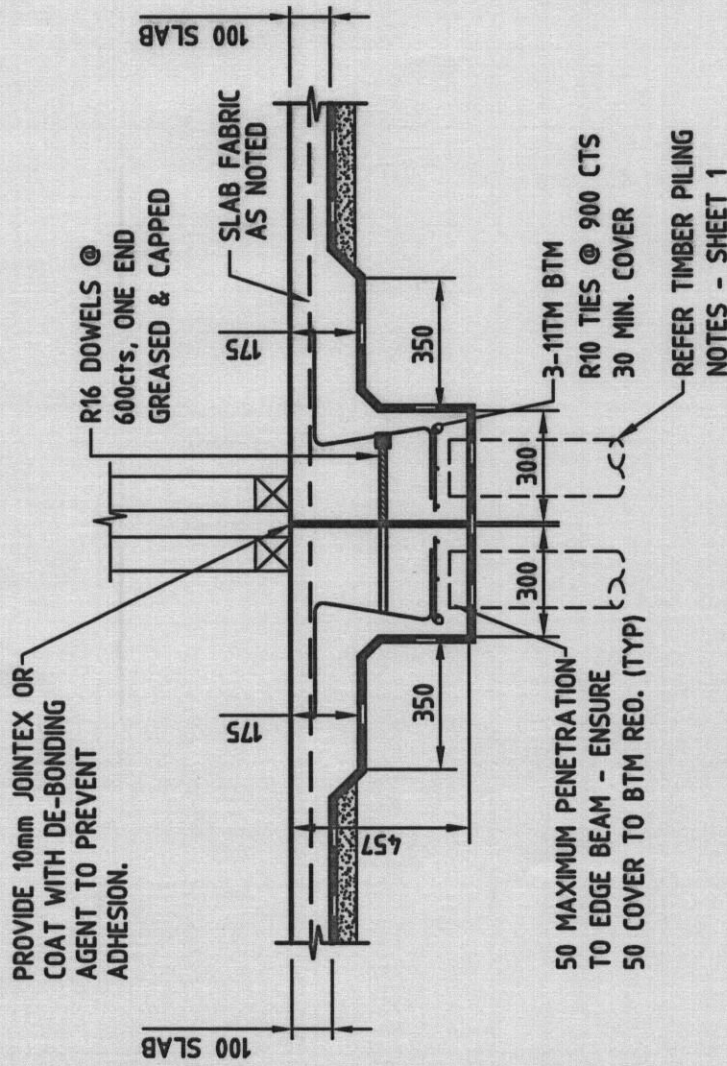
**HOUSE DROP PANEL (DPI)**



**GARAGE DROP PANEL (DP2)**



**EXPANSION JOINT DETAIL (EJ2)**



**EXPANSION JOINT DETAIL (EJ1)**

REV	AMENDMENTS	APPROVED	DATE
A	ISSUED FOR CONSTRUCTION	LDA/2006/01E0808.02.06	

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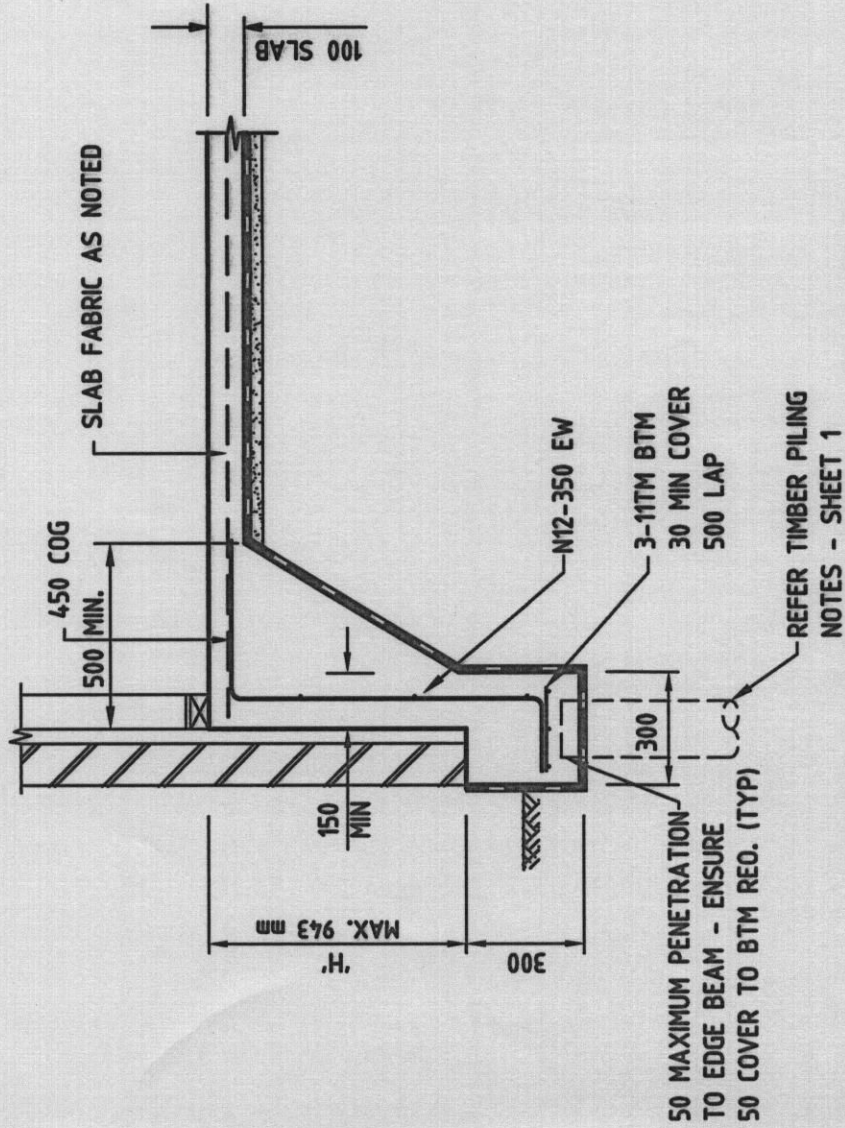
**PROJECT**

SECTOR 8, STAGE 18 - SEAGREEN VIEWS EXHIBITION  
LOTS 1801-1805 CALLISTEMON WAY, 6 - 7 3 0 5  
WARREWOOD

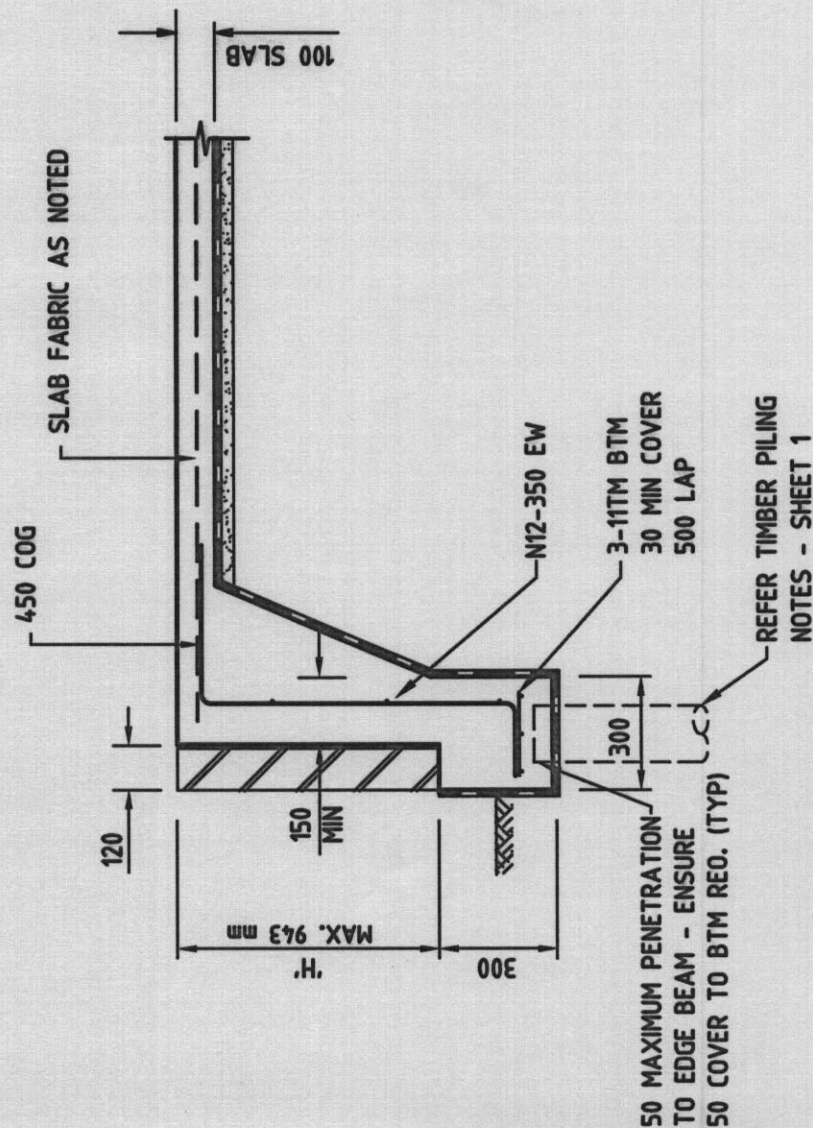
DRAWING WARNING: A comprehensive check of the Structural SLAB DETAILS has not been carried out & the approval of the SHEET 2 drawings by Greenfield Accredited Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

DRAWN	DATE	JOB No.
A.D.J.	08.02.06	362167
DESIGNED	SCALE	
L.D.A.	1:20 (A3)	
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	4 OF 8	S4 A
PRINT ISSUED		

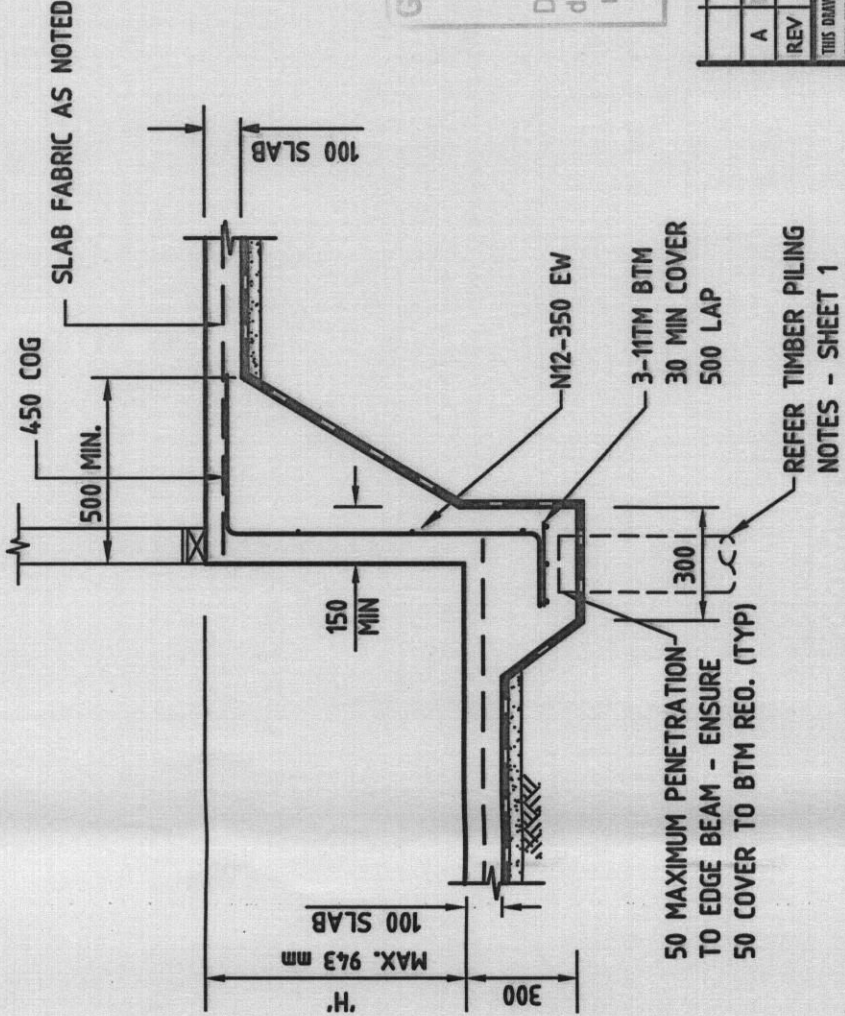




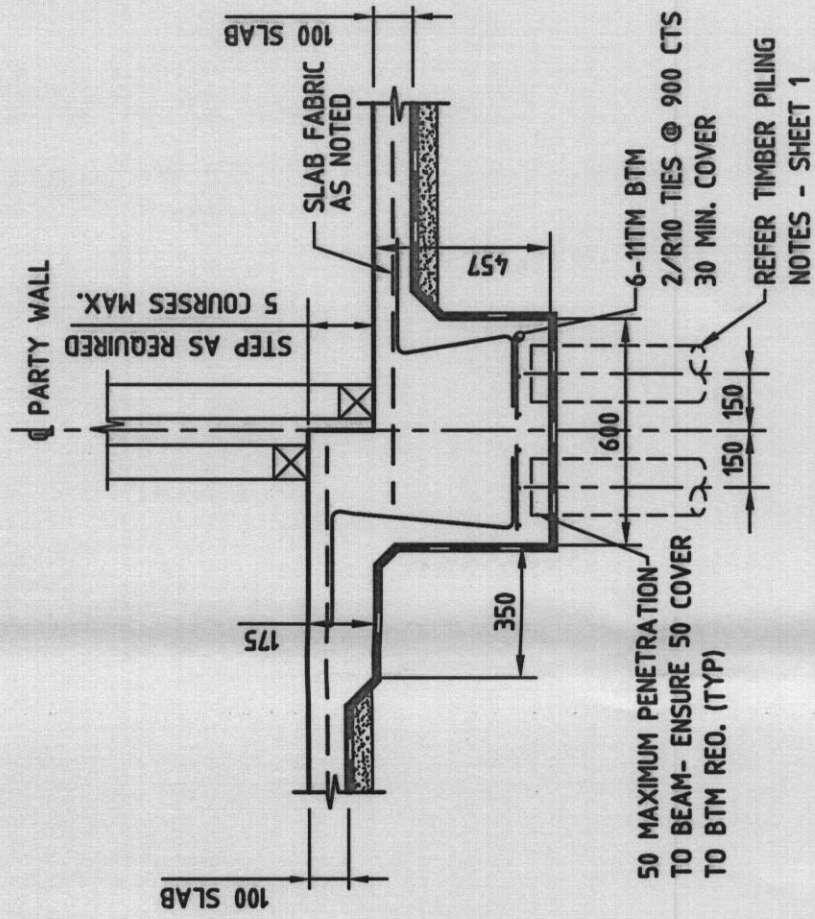
**DROPPED EDGE BEAM DETAIL (EB3)**



**DROPPED PATIO EDGE  
BEAM DETAIL (PEB3)**



**ALTERNATIVE STEP DETAIL (IB3)**



**STEP DETAIL (IB7)**

**GREENFIELD ACCREDITED CERTIFICATION**  
Structural Details C.C. No 2.0.0.6 - 7.3.0.5  
Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Greenfield Accredited Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

REV	AMENDMENTS	APPROVED	DATE
A	ISSUED FOR CONSTRUCTION	LDA/2006/01808.02.06	

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## Appleyard Forrest

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L.D. APPEYARD M.I.E. AUSTRALIAN (CIVIL AND STRUCTURAL)



## PROJECT

SECTOR 8, STAGE 18 - SEAGREEN VIEWS

LOTS 1801-1805 CALLISTEMON WAY,

WARRIEWOOD

## DRAWING

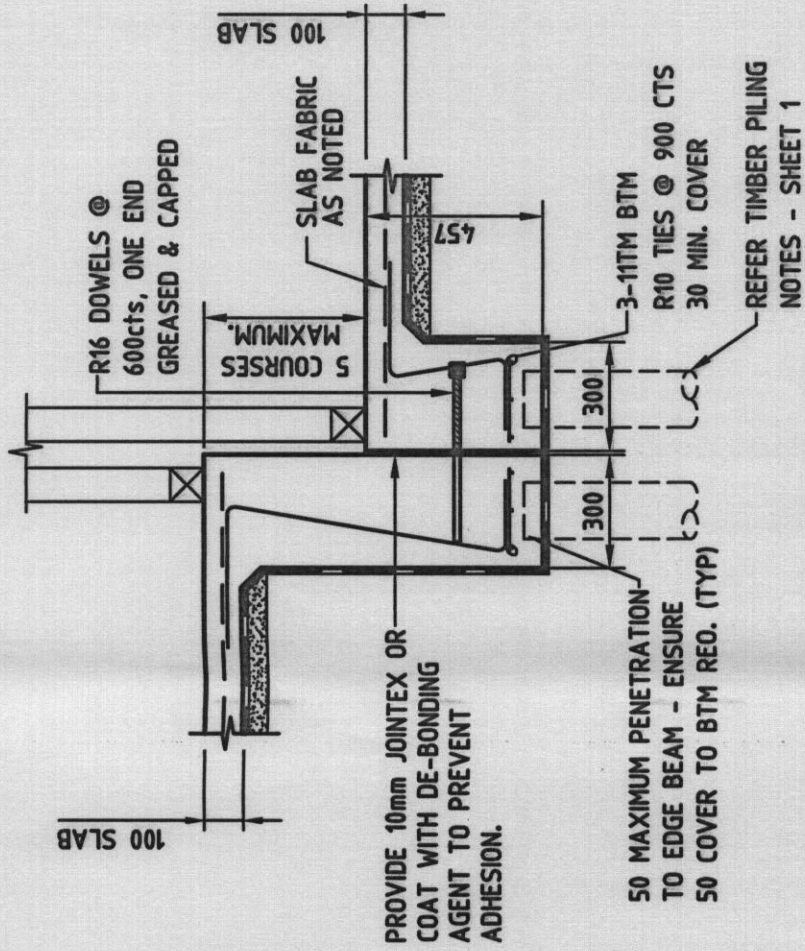
SLAB DETAILS

SHEET 3

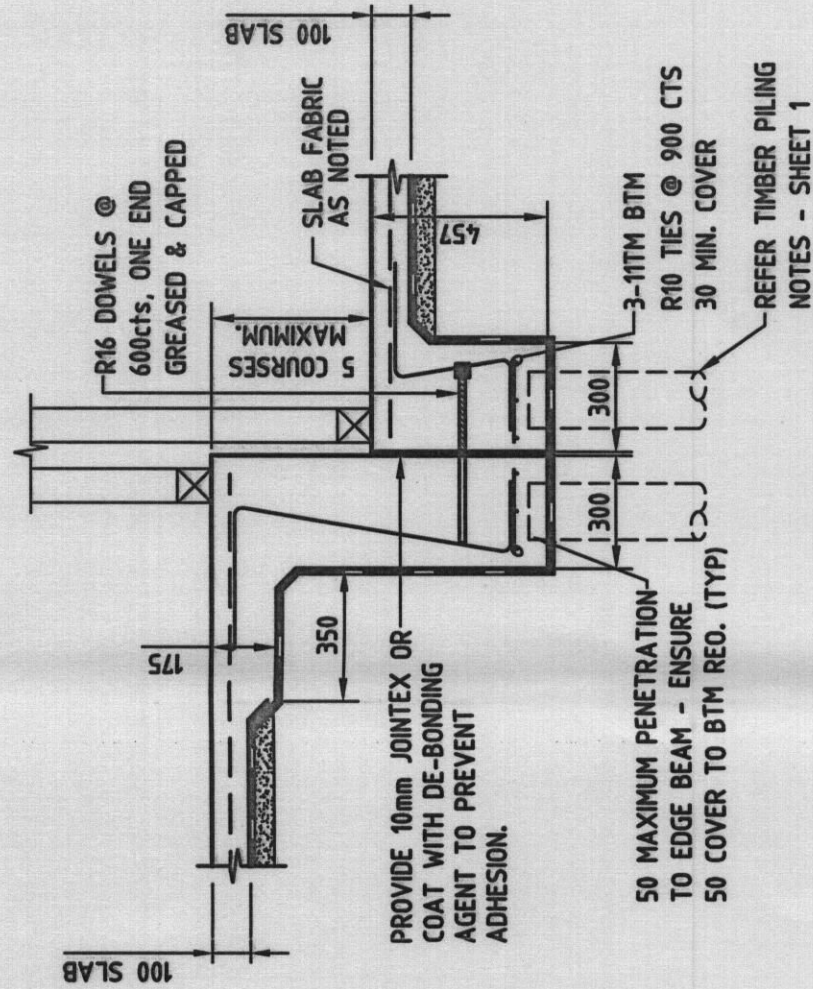
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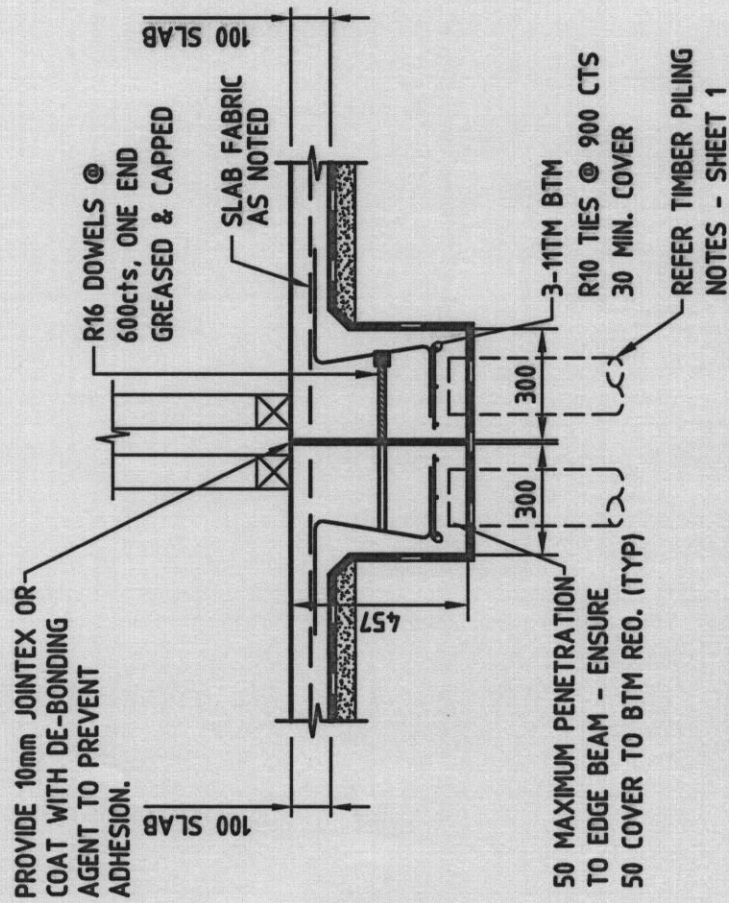




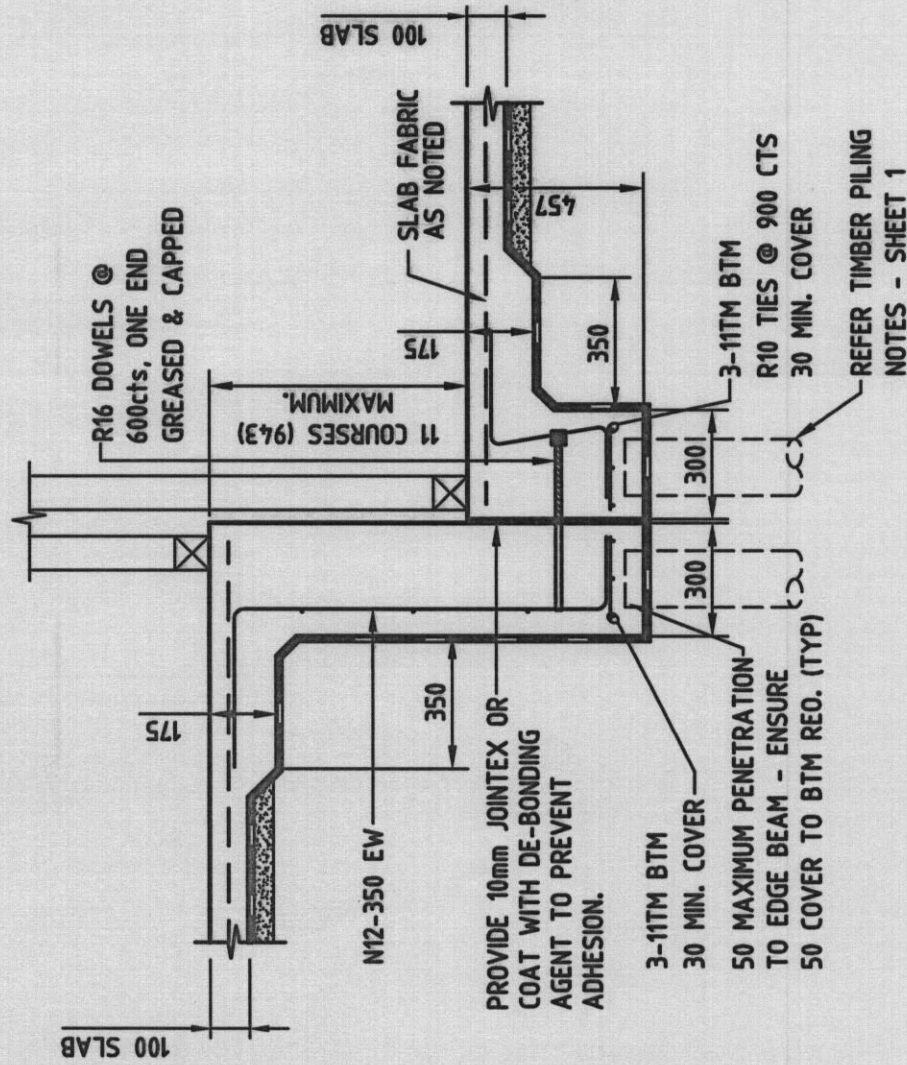
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EXPANSION JOINT DETAIL (EJ6)



EXPANSION JOINT DETAIL (EJ3)



EXPANSION JOINT DETAIL (EJ5)

GREENFIELD ACCREDITED CERTIFICATE

Structural Details C.C. No. 20-0-6-7-3-0-5

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ACN No. 023 403 522  
ABN No. 46 152 475 606

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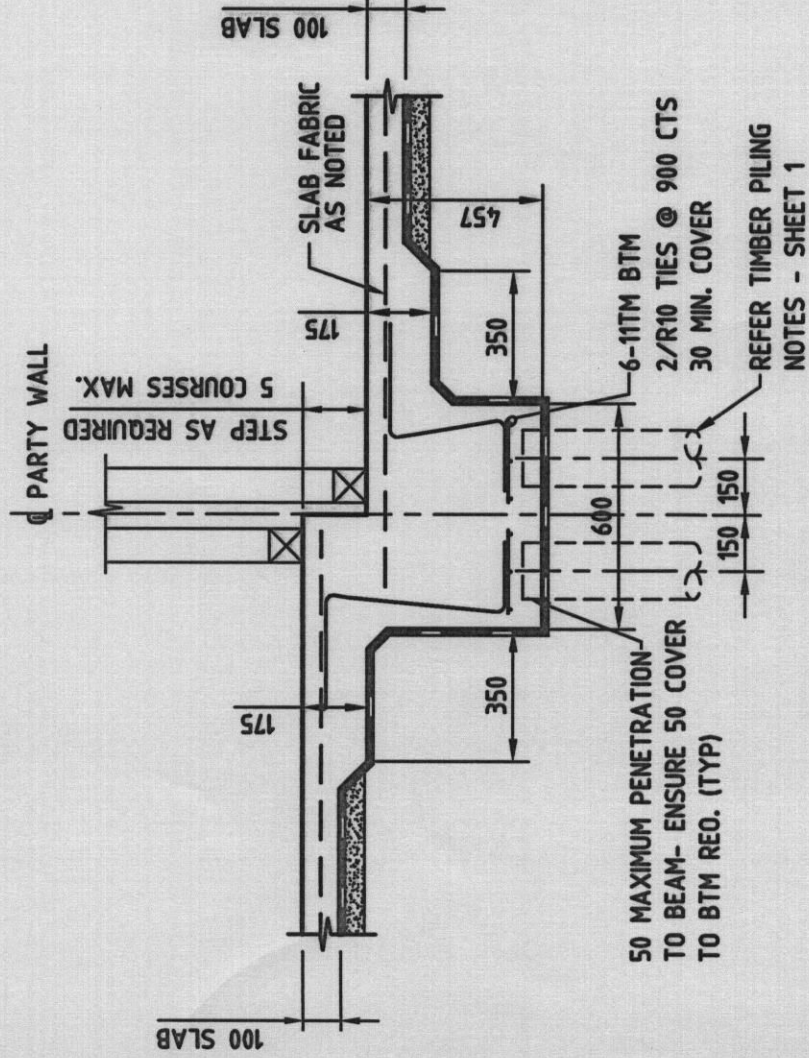
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SECTOR 8, STAGE 18 - SEAGREEN VIEWS  
LOTS 1801-1805 CALLISTEMON WAY,  
WARRIEWOOD

DRAWING  
SLAB DETAILS  
SHEET 4

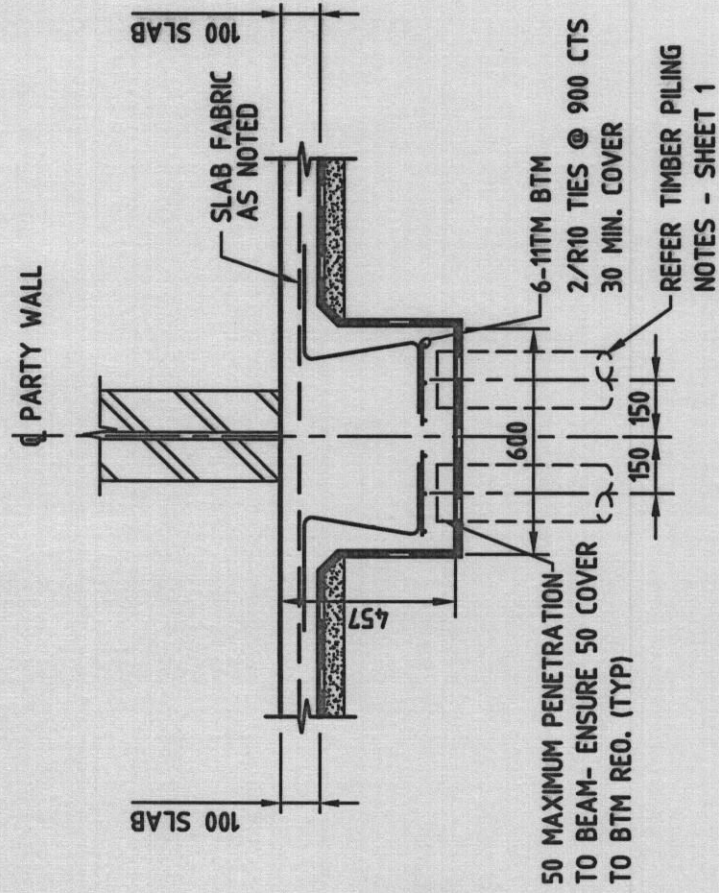
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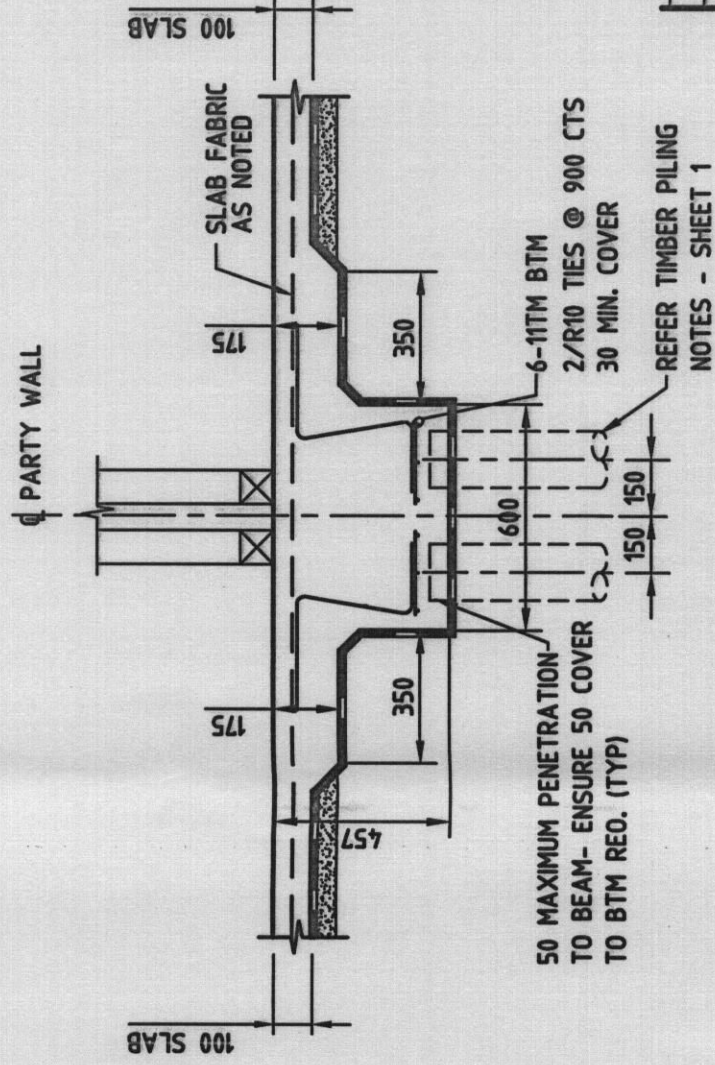




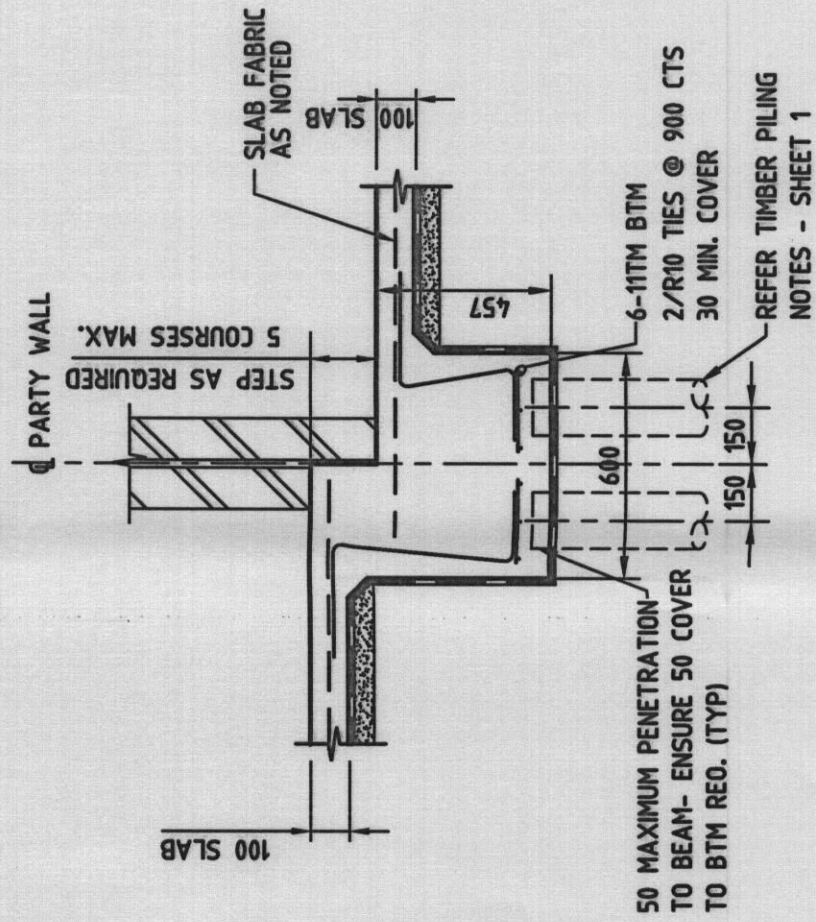
STEP DETAIL (IB2)



INTERNAL BEAM DETAIL (IB5)



INTERNAL BEAM DETAIL (IB4)



STEP DETAIL (IB6)

**GREENFIELD ACCREDITED CERTIFICATE**  
Structural Details C.C. No 2006-6-7-30-5  
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L.D. APPEYARD M.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)



PROJECT  
SECTOR 8, STAGE 18 - SEAGREEN VIEWS  
LOTS 1801-1805 CALLISTEMON WAY,  
WARRIEWOOD

DRAWING  
SLAB DETAILS  
SHEET 5

YOUR REF:

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DESIGNED	SCALE	
L.D.A.	1:20 (A3)	
CHECKED	No. OF SHEETS	SHEET No.
	7 OF 8	
PRINT ISSUED	REVISION	
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JOB NO.	ADDRESS OF PROPERTY	HOUSE TYPE
0047-00-031	LOT 1801 SECTOR 8 WARRIEWOOD	STANTON

ITEM	STANDARD RANGE	SELECTION
Bagged brickwork	Taubmans	Colour: Twiggy
Feature bagged brickwork	Taubmans	Colour: Green Dynasty
Lightweight paint	Taubmans	Colour: Bower Bird
Feature bricks		Company: Austral Bricks: Millennium Brown Qld
Mortar Joint	Raked/Ironed/Flush/Sponged flush joint	Raked
Mortar Colour	Natural/Off White/Sydney sand mix	Cream
Windows	White/Primrose/Matt Stone Beige/Satin Black	Stone Beige
Roof cladding	Concrete tiles Boral Colorbond roof sheeting	Material: Tiles Colour: Gunmetal Grey Profile: Windsor
Colorbond Garage Door	Hampton/Oxford/Tuscan	Colour: Bushland Profile: Tuscan
Front door	Newington – XN1 or XN5 satin lite glazing	Profile:
External balcony/handrail	Powdercoated aluminium	Colour: Precious Silver Pearl
Driveway & Integrated Front Path	Brick paved, when specified	Company: Austral Paving Brick: Coolangatta Pattern: 45° herringbone w/- header
Rear Patio	Brick paved/Tiled	Company: Austral Paving Brick: Coolangatta Pattern: 90° herringbone w/- header
Grated Drain	Black / Terracotta	Black
Retaining wall	C & M	Charcoal
Turf	Front & Rear	Front & Rear
Landscaping	As specified by Australand	As specified by Australand
Fencing	As specified by Australand	As specified by Australand
EXTERIOR PAINTING	STANDARD FINISH TAUBMANS/BRISTOL	COLOUR SELECTION
Front Door, Side Light, External Doors	2 x Tradecote Undercote + 1 x Supreme Gloss Enamel	Hazel Snow
Slotted gutter	Colorbond	Slate Grey
Fascia, Barge & Barge Gutter	Colorbond	Slate Grey
Eaves	2 x Speed Vinyl Flat	Burlap Beige
Downpipes	2 x All Weather Gloss	To match
Gable / entry louvre	Sikkens	Natural Oak
Hardiplank	2 x Sunproof Acrylic Satin	
Balcony posts	2 x All Weather Gloss	Slate Grey
Steel truss	Powdercoated	Slate Grey
Roof Flashing	1 x Primer + 1 x Sunproof Butex	Black Earth
ADDITIONAL ITEMS		
Patio tiles		Gasparre Ash
<b>NOTE: REFER TO TAUBMANS/BRISTOL TECHNICAL SPECIFICATION FOR THE APPROPRIATE PAINT FOR EACH APPLICATION.</b>		





# EXTERIOR SELECTION FORM – STOCK HOUSING

## SCHEME B

JOB NO.	ADDRESS OF PROPERTY	HOUSE TYPE
0047-00-031	LOT 1802 SECTOR 8 WARRIEWOOD	PD28

ITEM	STANDARD RANGE	SELECTION
Bagged brickwork	Taubmans	Colour: Twiggy
Feature bagged brickwork	Taubmans	Colour: Green Dynasty
Lightweight paint	Taubmans	Colour: Bower Bird
Feature bricks		Company: Austral Bricks: Millennium Brown Qld
Mortar Joint	Raked/Ironed/Flush/Sponged flush joint	Raked
Mortar Colour	Natural/Off White/Sydney sand mix	Cream
Windows	White/Primrose/Matt Stone Beige/Satin Black	Stone Beige
Roof cladding	Concrete tiles Boral Colorbond roof sheeting	Material: Tiles Colour: Gunmetal Grey Profile: Windsor
Colorbond Garage Door	Hampton/Oxford/Tuscan	Colour: Bushland Profile: Tuscan
Front door	Newington – XN1 or XN5 satin lite glazing	Profile:
External balcony/handrail	Powdercoated aluminium	Colour: Precious Silver Pearl
Driveway & Integrated Front Path	Brick paved, when specified	Company: Austral Paving Brick: Coolangatta Pattern: 45° herringbone w/- header
Rear Patio	Brick paved/Tiled	Company: Austral Paving Brick: Coolangatta Pattern: 90° herringbone w/- header
Grated Drain	Black / Terracotta	Black
Retaining wall	C & M	Charcoal
Turf	Front & Rear	Front & Rear
Landscaping	As specified by Australand	As specified by Australand
Fencing	As specified by Australand	As specified by Australand
EXTERIOR PAINTING	STANDARD FINISH TAUBMANS/BRISTOL	COLOUR SELECTION
Front Door, Side Light, External Doors	2 x Tradecote Undercote + 1 x Supreme Gloss Enamel	Hazel Snow
Slotted gutter	Colorbond	Slate Grey
Fascia, Barge & Barge Gutter	Colorbond	Slate Grey
Eaves	2 x Speed Vinyl Flat	Burlap Beige
Downpipes	2 x All Weather Gloss	To match
Gable / entry louvre	Sikkens	Natural Oak
Hardiplank	2 x Sunproof Acrylic Satin	
Balcony posts	2 x All Weather Gloss	Slate Grey
Steel truss	Powdercoated	Slate Grey
Roof Flashing	1 x Primer + 1 x Sunproof Butex	Black Earth
ADDITIONAL ITEMS		
Patio tiles		Gasparre Ash
NOTE: REFER TO TAUBMANS/BRISTOL TECHNICAL SPECIFICATION FOR THE APPROPRIATE PAINT FOR EACH APPLICATION.		



## EXTERIOR SELECTION FORM – STOCK HOUSING

## SCHEME B

JOB NO.	ADDRESS OF PROPERTY	HOUSE TYPE
0047-00-031	LOT 1803 SECTOR 8 WARRIEWOOD	PD28

ITEM	STANDARD RANGE	SELECTION
Bagged brickwork	Taubmans	Colour: Twiggy
Feature bagged brickwork	Taubmans	Colour: Green Dynasty
Lightweight paint	Taubmans	Colour: Bower Bird
Feature bricks		Company: Austral Bricks: Millennium Brown Qld
Mortar Joint	Raked/Ironed/Flush/Sponged flush joint	Raked
Mortar Colour	Natural/Off White/Sydney sand mix	Cream
Windows	White/Primrose/Matt Stone Beige/Satin Black	Stone Beige
Roof cladding	Concrete tiles Boral Colorbond roof sheeting	Material: Tiles Colour: Gunmetal Grey Profile: Windsor
Colorbond Garage Door	Hampton/Oxford/Tuscan	Colour: Bushland Profile: Tuscan
Front door	Newington – XN1 or XN5 satin lite glazing	Profile:
External balcony/handrail	Powdercoated aluminium	Colour: Precious Silver Pearl
Driveway & Integrated Front Path	Brick paved, when specified	Company: Austral Paving Brick: Coolangatta Pattern: 45° herringbone w/- header
Rear Patio	Brick paved/Tiled	Company: Austral Paving Brick: Coolangatta Pattern: 90° herringbone w/- header
Grated Drain	Black / Terracotta	Black
Retaining wall	C & M	Charcoal
Turf	Front & Rear	Front & Rear
Landscaping	As specified by Australand	As specified by Australand
Fencing	As specified by Australand	As specified by Australand
EXTERIOR PAINTING	STANDARD FINISH TAUBMANS/BRISTOL	COLOUR SELECTION
Front Door, Side Light, External Doors	2 x Tradecote Undercote + 1 x Supreme Gloss Enamel	Hazel Snow
Slotted gutter	Colorbond	Slate Grey
Fascia, Barge & Barge Gutter	Colorbond	Slate Grey
Eaves	2 x Speed Vinyl Flat	Burlap Beige
Downpipes	2 x All Weather Gloss	To match
Gable / entry louvre	Sikkens	Natural Oak
Hardiplank	2 x Sunproof Acrylic Satin	
Balcony posts	2 x All Weather Gloss	Slate Grey
Steel truss	Powdercoated	Slate Grey
Roof Flashing	1 x Primer + 1 x Sunproof Butex	Black Earth
ADDITIONAL ITEMS		
Patio tiles		Gasparre Ash
NOTE: REFER TO TAUBMANS/BRISTOL TECHNICAL SPECIFICATION FOR THE APPROPRIATE PAINT FOR EACH APPLICATION.		



# EXTERIOR SELECTION FORM – STOCK HOUSING

## SCHEME B

<b>JOB NO.</b> 0047-00-031	<b>ADDRESS OF PROPERTY</b> LOT 1804 SECTOR 8 WARRIEWOOD	<b>HOUSE TYPE</b> PD26
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ITEM	STANDARD RANGE	SELECTION
Bagged brickwork	Taubmans	Colour: Twiggy
Feature bagged brickwork	Taubmans	Colour: Green Dynasty
Lightweight paint	Taubmans	Colour: Bower Bird
Feature bricks		Company: Austral Bricks: Millennium Brown Qld
Mortar Joint	Raked/Ironed/Flush/Sponged flush joint	Raked
Mortar Colour	Natural/Off White/Sydney sand mix	Cream
Windows	White/Primrose/Matt Stone Beige/Satin Black	Stone Beige
Roof cladding	Concrete tiles Boral Colorbond roof sheeting	Material: Tiles Colour: Gunmetal Grey Profile: Windsor
Colorbond Garage Door	Hampton/Oxford/Tuscan	Colour: Bushland Profile: Tuscan
Front door	Newington – XN1 or XN5 satin lite glazing	Profile:
External balcony/handrail	Powdercoated aluminium	Colour: Precious Silver Pearl
Driveway & Integrated Front Path	Brick paved, when specified	Company: Austral Paving Brick: Coolangatta Pattern: 45° herringbone w/- header
Rear Patio	Brick paved/Tiled	Company: Austral Paving Brick: Coolangatta Pattern: 90° herringbone w/- header
Grated Drain	Black / Terracotta	Black
Retaining wall	C & M	Charcoal
Turf	Front & Rear	Front & Rear
Landscaping	As specified by Australand	As specified by Australand
Fencing	As specified by Australand	As specified by Australand
<b>EXTERIOR PAINTING</b>	<b>STANDARD FINISH TAUBMANS/BRISTOL</b>	<b>COLOUR SELECTION</b>
Front Door, Side Light, External Doors	2 x Tradecote Undercote + 1 x Supreme Gloss Enamel	Hazel Snow
Slotted gutter	Colorbond	Slate Grey
Fascia, Barge & Barge Gutter	Colorbond	Slate Grey
Eaves	2 x Speed Vinyl Flat	Burlap Beige
Downpipes	2 x All Weather Gloss	To match
Gable / entry louvre	Sikkens	Natural Oak
Hardiplank	2 x Sunproof Acrylic Satin	
Balcony posts	2 x All Weather Gloss	Slate Grey
Steel truss	Powdercoated	Slate Grey
Roof Flashing	1 x Primer + 1 x Sunproof Butex	Black Earth
<b>ADDITIONAL ITEMS</b>		
Patio tiles		Gasparre Ash
<b>NOTE: REFER TO TAUBMANS/BRISTOL TECHNICAL SPECIFICATION FOR THE APPROPRIATE PAINT FOR EACH APPLICATION.</b>		





# EXTERIOR SELECTION FORM – STOCK HOUSING

## SCHEME B

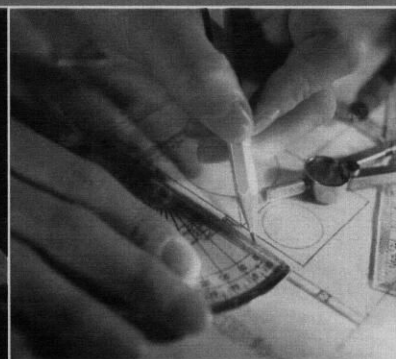
JOB NO.	ADDRESS OF PROPERTY	HOUSE TYPE
0047-00-031	LOT 1805 SECTOR 8 WARRIEWOOD	STANTON

ITEM	STANDARD RANGE	SELECTION
Bagged brickwork	Taubmans	Colour: Twiggy
Feature bagged brickwork	Taubmans	Colour: Green Dynasty
Lightweight paint	Taubmans	Colour: Bower Bird
Feature bricks		Company: Austral Bricks: Millennium Brown Qld
Mortar Joint	Raked/Ironed/Flush/Sponged flush joint	Raked
Mortar Colour	Natural/Off White/Sydney sand mix	Cream
Windows	White/Primrose/Matt Stone Beige/Satin Black	Stone Beige
Roof cladding	Concrete tiles Boral Colorbond roof sheeting	Material: Tiles Colour: Gunmetal Grey Profile: Windsor
Colorbond Garage Door	Hampton/Oxford/Tuscan	Colour: Bushland Profile: Tuscan
Front door	Newington – XN1 or XN5 satin lite glazing	Profile:
External balcony/handrail	Powdercoated aluminium	Colour: Precious Silver Pearl
Driveway & Integrated Front Path	Brick paved, when specified	Company: Austral Paving Brick: Coolangatta Pattern: 45° herringbone w/- header
Rear Patio	Brick paved/Tiled	Company: Austral Paving Brick: Coolangatta Pattern: 90° herringbone w/- header
Grated Drain	Black / Terracotta	Black
Retaining wall	C & M	Charcoal
Turf	Front & Rear	Front & Rear
Landscaping	As specified by Australand	As specified by Australand
Fencing	As specified by Australand	As specified by Australand
EXTERIOR PAINTING	STANDARD FINISH TAUBMANS/BRISTOL	COLOUR SELECTION
Front Door, Side Light, External Doors	2 x Tradecote Undercote + 1 x Supreme Gloss Enamel	Hazel Snow
Slotted gutter	Colorbond	Slate Grey
Fascia, Barge & Barge Gutter	Colorbond	Slate Grey
Eaves	2 x Speed Vinyl Flat	Burlap Beige
Downpipes	2 x All Weather Gloss	To match
Gable / entry louvre	Sikkens	Natural Oak
Hardiplank	2 x Sunproof Acrylic Satin	
Balcony posts	2 x All Weather Gloss	Slate Grey
Steel truss	Powdercoated	Slate Grey
Roof Flashing	1 x Primer + 1 x Sunproof Butex	Black Earth
ADDITIONAL ITEMS		
Patio tiles		Gasparre Ash
<b>NOTE: REFER TO TAUBMANS/BRISTOL TECHNICAL SPECIFICATION FOR THE APPROPRIATE PAINT FOR EACH APPLICATION.</b>		

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the best in the business



# General Housing Specifications



**ADDRESS OF PROPERTY: STAGE 18 SECTOR 8 MACPHERSON ST WARRIEWOOD**

**GENERAL HOUSING SPECIFICATIONS BETWEEN:**

**OWNER: AUSTRALAND HOLDINGS LTD**

**AND**

**CONTRACTOR: RYLEHALL PTY LTD**

**CONTRACTOR LICENCE NO: 43484**

This is the plan/spec referred to in Greenfield Accredited Certifiers Certificate
2006-7305
Cert No: .....
Officer: Kieran Tobin Accreditation No: 44

**INDEX**  
**GENERAL HOUSING SPECIFICATIONS**  
**(Revised September 2000)**

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## **1.0 INTRODUCTIONS**

### **1.1 General**

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

### **1.2 Preliminary Use**

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

### **1.3 Prevailing Documents**

Where there is a difference between Plan and Specification the Plan will take precedence. The Contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

### **1.4 Size and Dimensions**

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

### **1.5 Prime Cost Items**

Prime cost items listed in this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract's final progress claim.

### **1.6 Definitions**

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

## **2.0 STATUTORY REQUIREMENTS**

### **2.1 The Works**

The Works shall be constructed in accordance with the Building Code of Australia (BCA) Housing Provisions together with any amendment or replacement of the code.

### **2.2 Regulations, Notices and Fees**

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities.

Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

### **2.3 Insurance**

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

### **2.4 Labour and Materials**

The Contractor is to provide all labour and materials to construct and complete the Building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

### **2.5 Electricity**

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

### **2.6 Sanitary Accommodation**

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

## **3.0 OWNER'S OBLIGATIONS**

### **3.1 Surveyor's Certificate**

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.



### 3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

### 3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

### 3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

### 3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

### 3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

### 3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

## 4.0 PLANS, PERMITS AND APPLICATION FEES

### 4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

### 4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

#### 4.3 Setting Out

The Contractor shall accurately set out the Works in accordance with the Site Plan and within the boundaries of the Site.

### 5.0 EXCAVATIONS

- 5.1 Subject to Clause 3.7 the Site covered by the Building and an area at least 1,000mm wide around the Building or to boundaries of the Site – whichever is the lesser, shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA Housing Provisions.

### 6.0 FOUNDATIONS AND FOOTINGS

#### 6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA Housing Provisions.

#### 6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA Housing Provisions or AS 3660.1.

#### 6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA Housing Provisions.

#### 6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

#### 6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on Site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pouding of water on the surface, or as directed by the Engineer.

#### 6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

#### 6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's recommendations.

#### 6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

#### 6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

#### 6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

#### 6.11 Curing

All slabs shall be cured in accordance with AS 3600.

### 7.0 RETAINING WALLS

#### 7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

### 8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewered and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

#### 8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

#### 8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drains to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building. If the Authority's requirements give rise to a variation, any additional cost plus Builder's margin is to be borne by the Owner.



## **9.0 TIMBER FRAMING GENERALLY**

### **9.1 Timber Framing**

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

### **9.2 Floor Framing**

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

### **9.3 Wall Framing**

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

### **9.4 Heads Over Opening (Lintels)**

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

### **9.5 Roof Trusses**

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

### **9.6 Bracing**

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

### **9.7 Flooring**

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

## 9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

## 9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

## 9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

## 9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

# 10.0 STEEL FRAMING GENERALLY

## 10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA Housing Provisions.

# 11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA Housing Provisions and be installed as per the manufacturer's requirements.

## 11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

## 11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

## 11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

## 11.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

## 11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

## 11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA Housing Provisions.

# 12.0 MASONRY

## 12.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

## 12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733.

Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

## 12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

#### 12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or Clause 3.3.4.3 of the BCA Housing Provisions.

#### 12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

#### 12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

#### 12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA Housing provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

#### 12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

### 13.0 CLADDING AND LININGS

#### 13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

#### 13.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS 3740 or Part 3.8.1 BCA Housing Provisions. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

#### 13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA Housing Provisions.

## **14.0 JOINERY**

### **14.1 General**

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

### **14.2 Door Frames**

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

### **14.3 Door and Doorsets**

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets shall be manufactured in accordance with AS 2688 and AS 2689.

### **14.4 Window and Sliding Doors**

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions.

All glazing shall comply with AS 1288 or Part 3.6 BCA Housing Provisions.

### **14.5 Architraves and Skirting**

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

### **14.6 Cupboards/Kitchens/Bathroom**

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

### **14.7 Stairs, Balustrades and other Barriers**

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

## **15.0 SERVICES**

### **15.1 Plumbing**

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.



## 15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

## 15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

## 15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA Housing Provisions.

# 16.0 TILING

## 16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

## 16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

## 16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

## 16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

# 17.0 PAINTING

## 17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

## 18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances

Kitchen and Vanity Cupboards (kitchen sink included)		\$.....
Stove/Wall Oven/Hot Plates		\$.....
Bath per item	per item	\$.....
W.C. Suites	per item	\$.....
Laundry Tub		\$.....
Entry Door		\$.....
Door Furniture		\$.....
Garage Door		\$.....
Hot Water System		\$.....
Shower Screen		\$.....
Wall and Floor Tiles supply only		\$...../m
Bricks		\$...../ ,000

## 19.0 SIGNATURES

This is the specification referred to in the Building Agreement No. .... Date: .....

Signed by the said

Owner in the

Presence of .....

*Witness*

*Owner's Signature*

*Date*

.....

*Witness*

.....

*Owner's Signature*

...../...../.....

*Date*

Signed by the said

Contractor in the

Presence of .....

*Witness*

*Contractor's Signature*

...../...../.....

*Date*

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