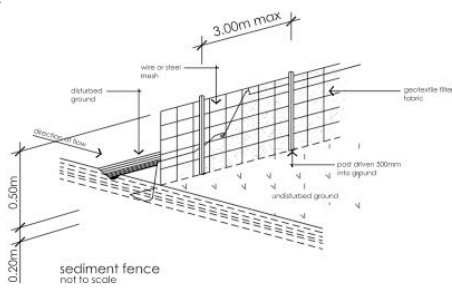


- Legend**
- Existing right-of-way concrete strip driveway
  - Existing structures to be demolished

- Replace existing rainwater tank
- Dashed line indicates extent of existing deck to be replaced
- Dashed line indicates extent of existing paved courtyard to be replaced with decking
- Proposed first floor addition. Metal roof sheeting as indicated
- Waste and recycling storage facilities
- Proposed garage with studio over
- 1000 rear building line
- 18.550m boundary
- Dashed line indicates extent of existing carport structure
- Proposed pool. Refer to Landscape Plan for details
- Location of construction waste, recycling and materials storage. Refer to waste management plan
- 1000 side building line
- 6.095m boundary
- 1075 side building line
- 32.265m boundary
- 10825 front building line
- 0.315
- 17.970m boundary
- 38.375m boundary
- 2940 side building line
- Approx. position 1500 sewer
- BURRENDONG PLACE

⊗ Proposed Site and Roof Plan Scale 1:200



- sediment control details**
- all erosion and sedimentation control measures, including revegetation and storage of soil and topsoil shall be implemented to the standards of the soil conservation of NSW.
  - all drainage works shall be constructed and stabilized as early as possible during development.
  - sediment traps shall be constructed around all inlet pits consisting of 300mm wide x 300mm deep trench.
  - all sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
  - all disturbed areas shall be revegetated as soon as the relevant works are completed.
  - soil and topsoil stockpiles shall be located away from drainage lines and areas where water may concentrate.
  - filter shall be constructed by stretching a filter fabric (propex or approved equivalent) between post at 2.0m centres. fabric shall be buried 150mm along its lower edge.

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**AMENDMENTS**

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15 BURRENDONG PLACE, AVALON

DEVELOPMENT APPLICATION ISSUE

SITE AND ROOF PLAN  
SCALE 1:200 @ A3

DRAWN  
LC

**DA.02(A)**

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.  
Do not scale from drawings. Verify all dimensions on site prior to construction.



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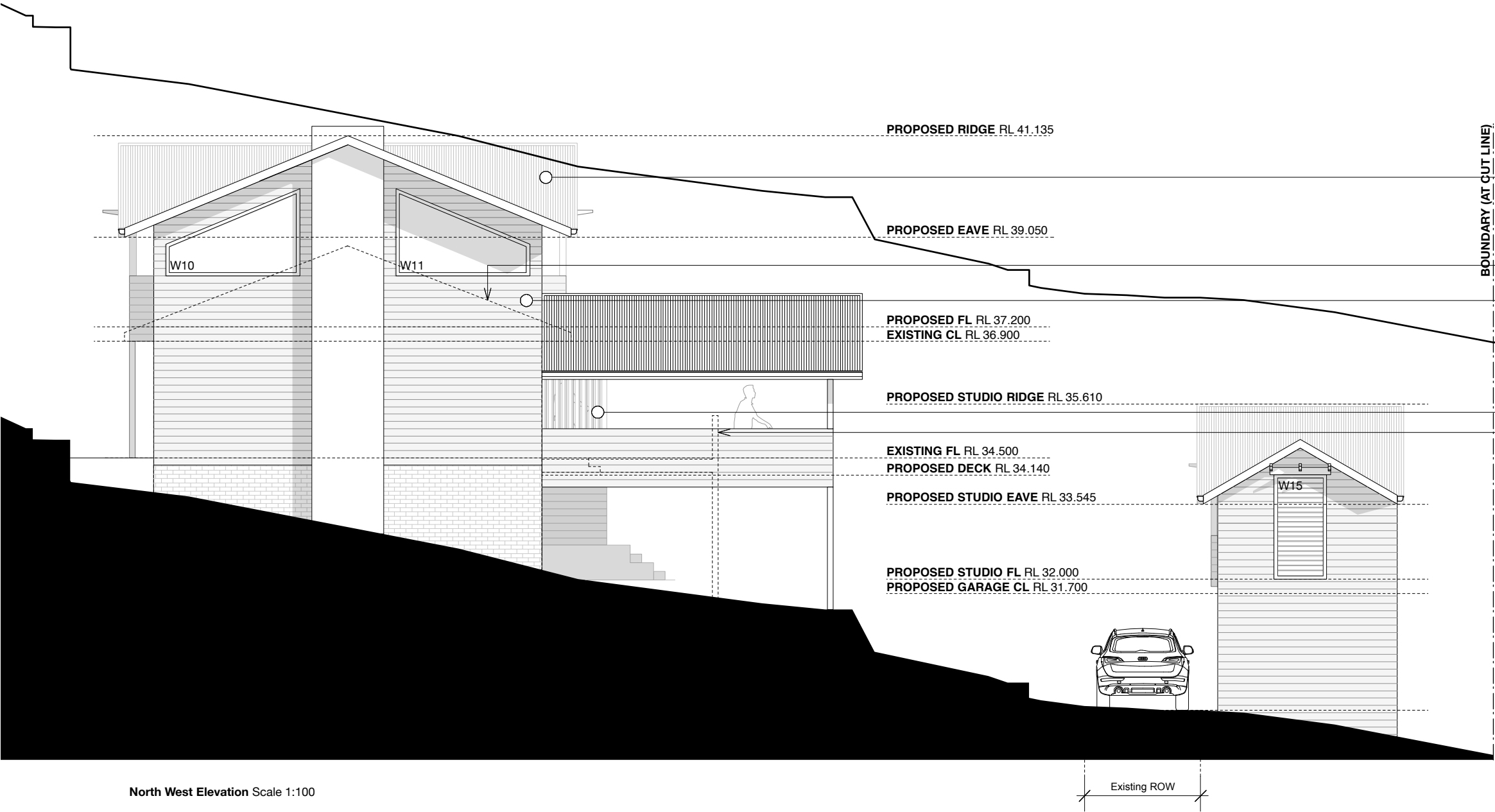
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DEVELOPMENT APPLICATION ISSUE

ELEVATION SCALE 1:100 @ A3 DRAWN LC DA.05(A)

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North West Elevation Scale 1:100

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DEVELOPMENT APPLICATION ISSUE

ELEVATION  
SCALE 1:100 @ A3

DRAWN  
LC

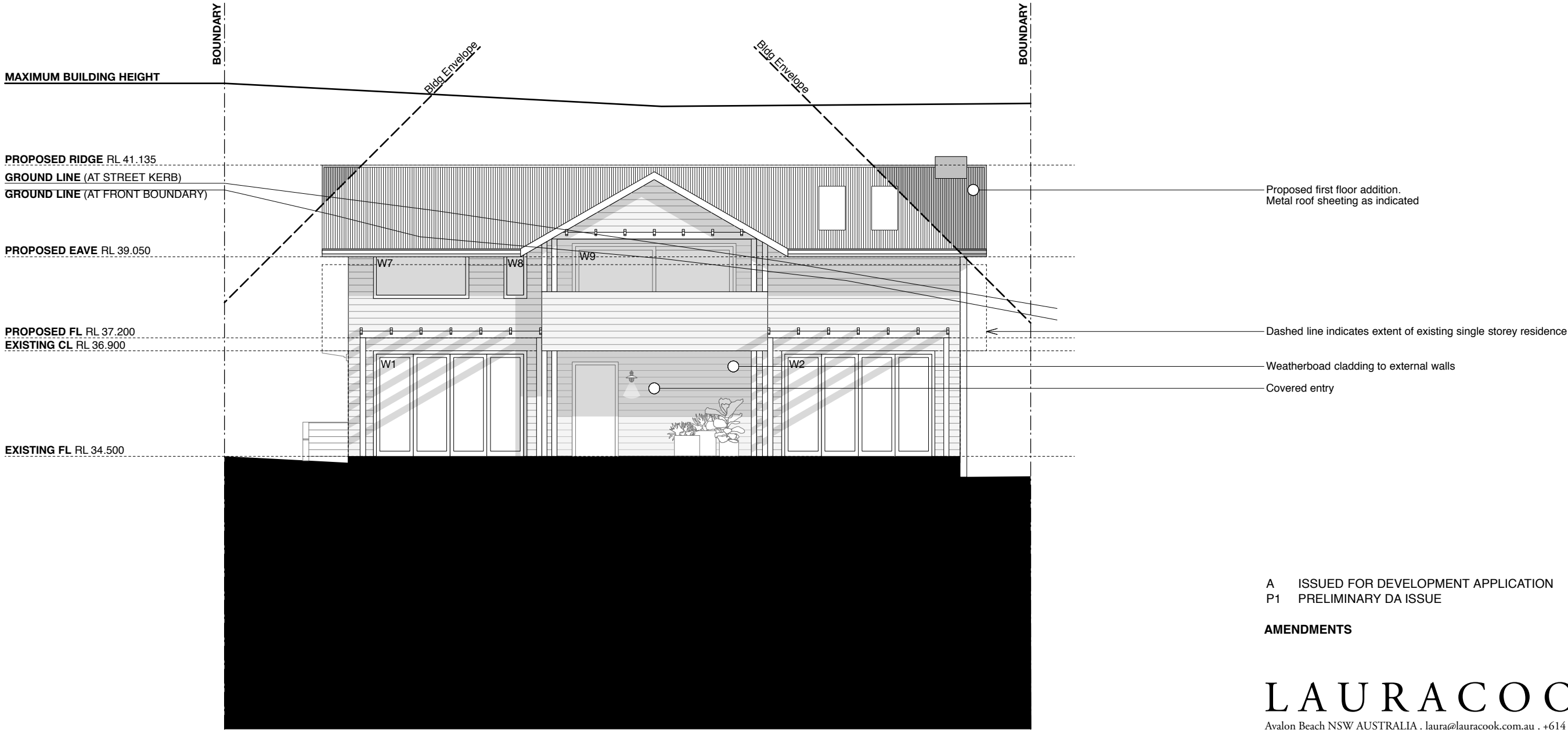
DA.06(A)

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Legend

Extent of proposal encroaching on building envelope



North East (front) Elevation Scale 1:100

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AMENDMENTS

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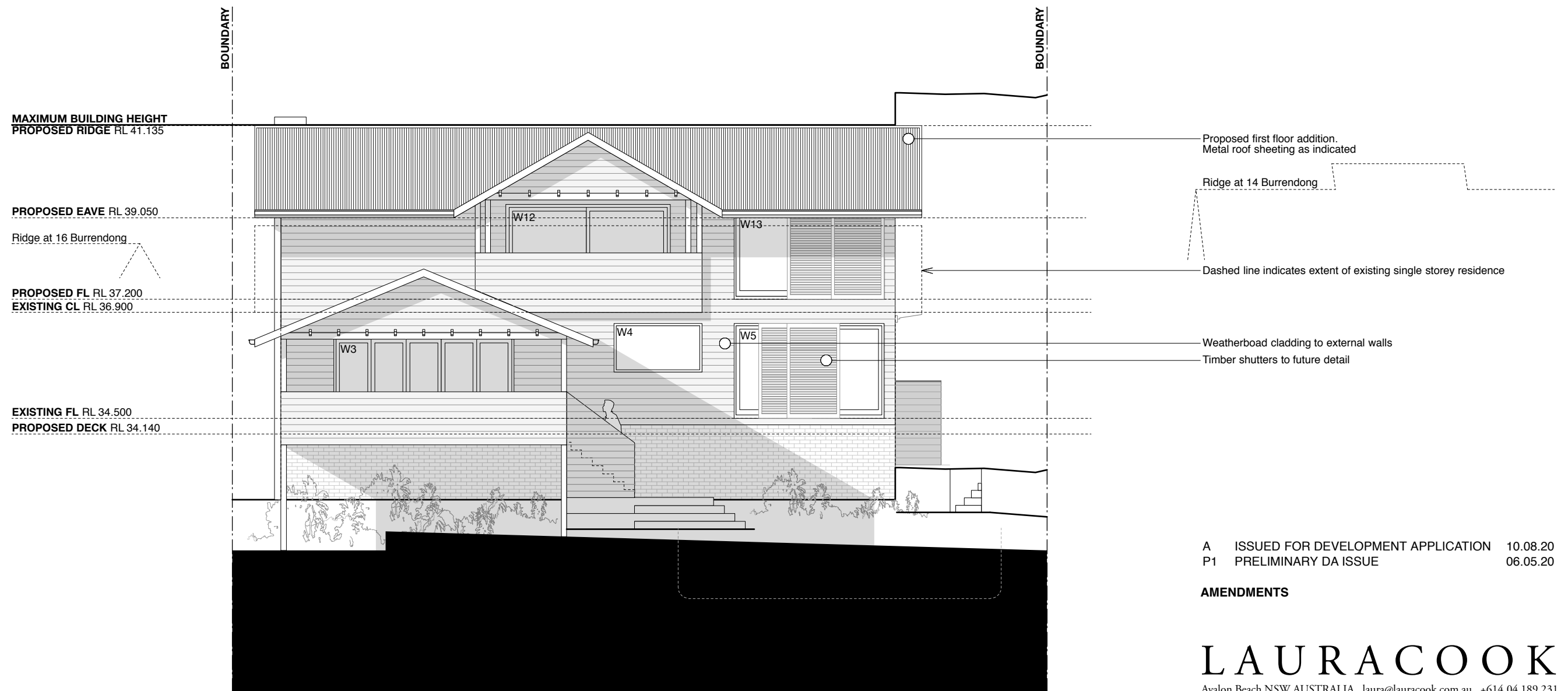
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DEVELOPMENT APPLICATION ISSUE

ELEVATION SCALE 1:100 @ A3 DRAWN LC DA.07(A)

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South West (rear) Elevation Scale 1:100

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ELEVATION  
SCALE 1:100 @ A3

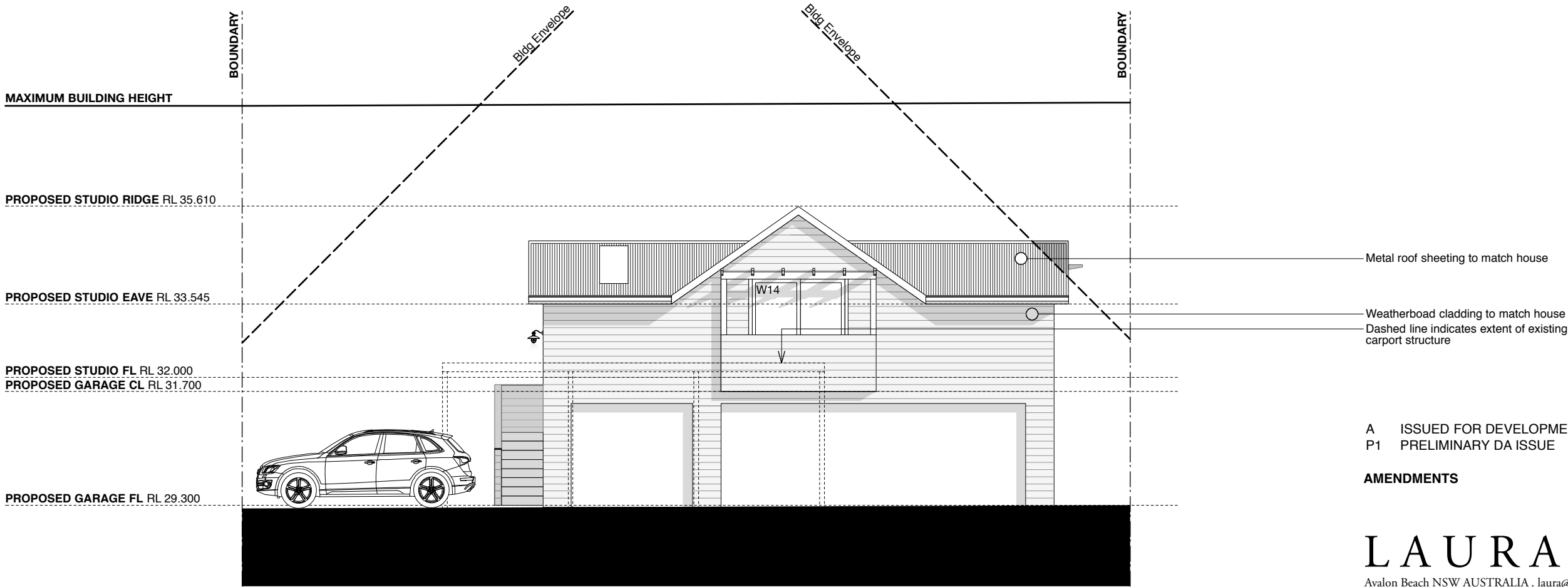
DRAWN  
LC

DA.08(A)

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Legend

Extent of proposal encroaching on building envelope



North East (studio) Elevation Scale 1:100

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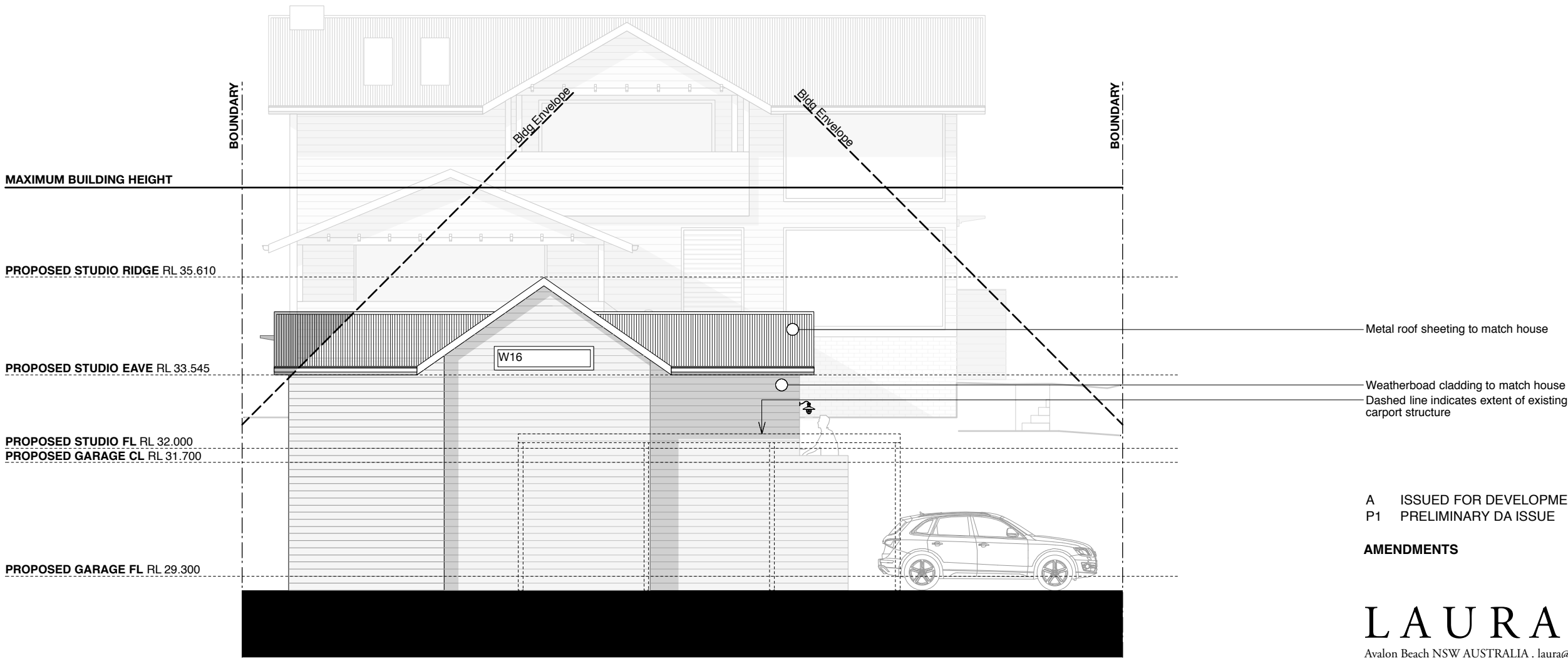
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ELEVATION SCALE 1:100 @ A3 DRAWN LC DA.09(A)

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Legend

Extent of proposal encroaching on building envelope



South West (studio) Elevation Scale 1:100

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