

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Certificate No 2008/3082

Council	Pittwater
Determination date of issue	Approved 17 November 2008
Subject land Address Lot No, DP No	41 Attunga Road, Newport Lot 105 DP 752046
Applicant Name Address Contact No	Mr L & Mrs R Puddy 41 Attunga Road, Newport NSW 2106 0418 921 087
Owner Name Address Contact No	Mr Lawrence & Mrs Rosemary Puddy 41 Attunga Road, Newport NSW 2106 0418 921 087
Description of Development Type of Work	Swimming Pool including reinforced concrete access stairs
Builder or Owner/Builder Name Contractor Licence No/Permit	Premier Pools Pty Ltd 34971
Value of Work Building	\$151 552 00
Attachments	
<ul style="list-style-type: none"> • Copy of completed Construction Certificate Application Form • BASIX Certificate No A45748 dated 17 October 2008 • Pittwater Council receipt no 249672 for payment of Long Service Levy 	

Rec-249829

830

17-11-08

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Site Plan Pool Plan & Section reference no MLS-0000-1A 2 & 3 prepared by Premier Pools dated 12 November 2008 including Sediment and Erosion Control Details & Pool Safety Fencing Details
- Structural Details reference no 08-1105 Drawing nos P01(A) P02(A) & P03(A) prepared & endorsed by Peninsula Consulting Engineers dated 13 November 2008
- Amended Landscape Plan reference no MLS-0000-4B prepared by Premier Pools dated 12 November 2008
- Copy of Sydney Water Approval

Certificate

I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed


 17 NOV 2008

Date of endorsement
Certificate No

2008/3082

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

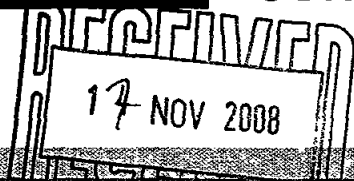
N0641/04
18 February 2005 (modified 4 November 2008)

BCA Classification

10b

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Construction Certificate ☒
Modified Construction Certificate ☐



1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible.

Mr ☐ Mrs ☐ Ms ☐ Dr ☐ Other ☐

Given Names (or ACN) Family Name (or Company)

LAWRENCE & ROSEMARY PUDDY

Postal Address (we will post all mail to this address)

41 ATTUNGA ROAD

NEWPORT

Post Code

Daytime telephone Alternate no. Mobile no.

0418 921 087

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Owners Corporation or the appointed Managing Agent.

Owner(s)

Address

NEWPORT

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no. Street name

Suburb Post code

NEWPORT 2106

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no. DP no.

105 752046

4. Description of work

What type of work do you propose to carry out?
Please describe briefly everything that you want approved.

Swimming Pool

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review.
Estimated cost of work: \$ 151,552

6. Development Consent

Council Consent no: N0641/04 Date of Determination: 18/2/05

7. Building Code of Australia classification

This can be found on the development consent. BCA Classification: 10B

8. Builder's details

If known, to be completed in the case of residential building work.
Name: PREMIER POOLS PTY LTD Licence no: 34971
Owner/builder permit no:

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that the above Development Consent is valid and that no building works associated with this application have commenced. To the best of knowledge, all the information in this application and checklist is true and correct.

Signature: [Signature] Date: []
X [Signature]
X [Signature]

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes [X] No []

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes [X] No []

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION

B ALL PROPOSALS (has the following required information been submitted?)

Yes No Not Applicable

[X] [] []

[X] [] []

[] [] []

[] [] []

[] [] []

[] [] []

[] [] []

[X] [] []

[] [] []

[X] [] []

In the case of an application for a Construction Certificate for building work

Three (3) copies of detailed architectural plans and specifications

The plan for the building must consist of a general plan drawn to a scale not less than 1 100 and a site plan drawn to a scale not less than 1 200 The general plan of the building is to

- a) show a plan of each floor section
- b) show a plan of each elevation of the building
- c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- d) indicate the height design and full construction details
- e) indicate the provision for fire safety and fire resistance (if any)

Where the proposed building work involves any alteration or addition to or rebuilding of an existing building all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration addition or rebuilding with a separate letter listing the proposed changes being submitted

3 copies of a specification

- a) to describe the construction and materials of which the building is to be built and the method of drainage sewerage and water supply
- b) state whether the materials proposed to be used are new or second hand and give particular

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent has the original Development Consent been modified by Council?

Except in the case of an application for or in respect of domestic building work

- a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated and
- b) if the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated This list must specify the standard of design of each of those fire safety measures to which they were originally installed
- c) This list must describe the extent capability and basis of design of each of the measures concerned

Copy of BASIX Certificate & Schedule of BASIX Commitments

Copy of signed BASIX Compliance Statement

All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12 000 require insurance as specified in the Home Building Act 1989

Owner Builders require Property Owner Builder s Permit issued by the Department of Fair Trading for all projects over \$5 000 In addition to this permit all projects valued in excess of \$12 000 may also require a contract of insurance under the provisions of the Home Building At 1989 as amended This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21 Astra House 227 Elizabeth Street Sydney (ph 133220)

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25 000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non-profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed
What are the current uses of all or parts of the building(s)/land?	Location Use
Does the site contain a dual occupancy?	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land?	Number of pre-existing dwellings
Number of dwellings to be demolished	How many dwellings proposed?
How many storeys will the building consist of?	Will the new building be attached to the existing building? Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	<input type="checkbox"/>	Concrete	<input checked="" type="checkbox"/>	Aluminium	<input type="checkbox"/>	Timber	<input type="checkbox"/>
Full brick	<input type="checkbox"/>	Timber	<input type="checkbox"/>	Concrete		Steel	<input checked="" type="checkbox"/>
Single brick	<input type="checkbox"/>	Other	<input type="checkbox"/>	Concrete tile	<input type="checkbox"/>	Other	<input type="checkbox"/>
Concrete block	<input type="checkbox"/>	Unknown	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Concrete/masonry	<input type="checkbox"/>			Fibreglass	<input type="checkbox"/>		
Concrete	<input checked="" type="checkbox"/>			Masonry/terracotta shingle	<input type="checkbox"/>		
Steel	<input type="checkbox"/>			Tiles	<input type="checkbox"/>		
Fibrous cement	<input type="checkbox"/>			Slate	<input type="checkbox"/>		
Hardiplank	<input type="checkbox"/>			Steel	<input type="checkbox"/>		
Timber/weatherboard	<input type="checkbox"/>			Terracotta tile	<input type="checkbox"/>		
Cladding aluminium	<input type="checkbox"/>			Other	<input type="checkbox"/>		
Curtain glass	<input type="checkbox"/>			Unknown	<input type="checkbox"/>		
Other	<input type="checkbox"/>						
Unknown	<input type="checkbox"/>						

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A45748

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director General
Date of issue Friday 17 October 2008



Description of project

Project address	
Project name	41 Attunga
Street address	41 Attunga Road Newport 2106
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 752046
Lot number	105
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is less than \$50,000, but includes a pool (and/or spa) with a combined capacity of 40,000 litres or more

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1848 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 120 square metres of roof area		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors	✓	✓	✓
The swimming pool must not have a capacity greater than 75 kilolitres	✓	✓	✓
The swimming pool must have a pool cover		✓	✓
The applicant must install a pool pump timer for the swimming pool		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: gas		✓	✓

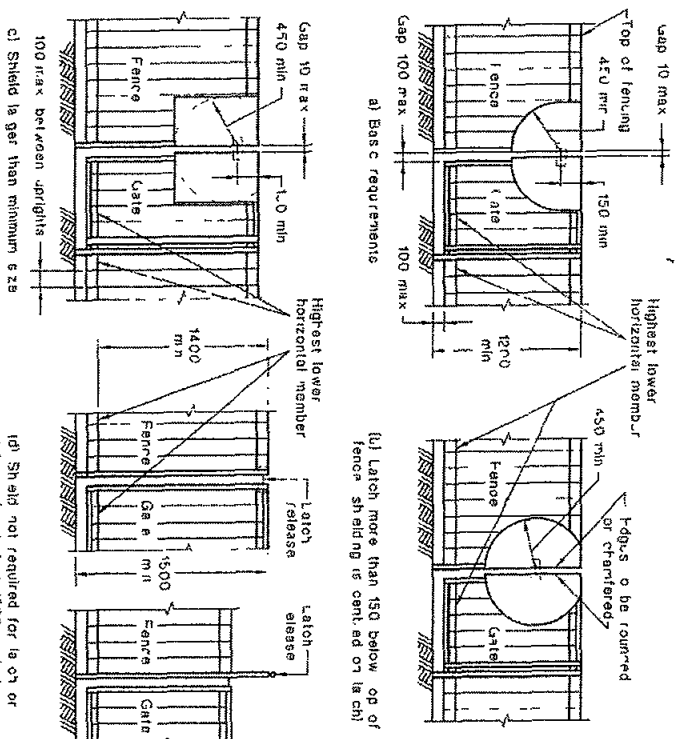
Legend

In these commitments, "applicant" means the person carrying out the development

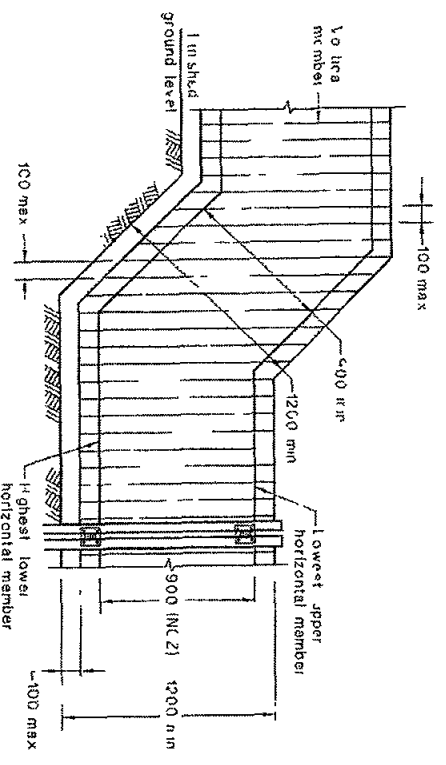
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued

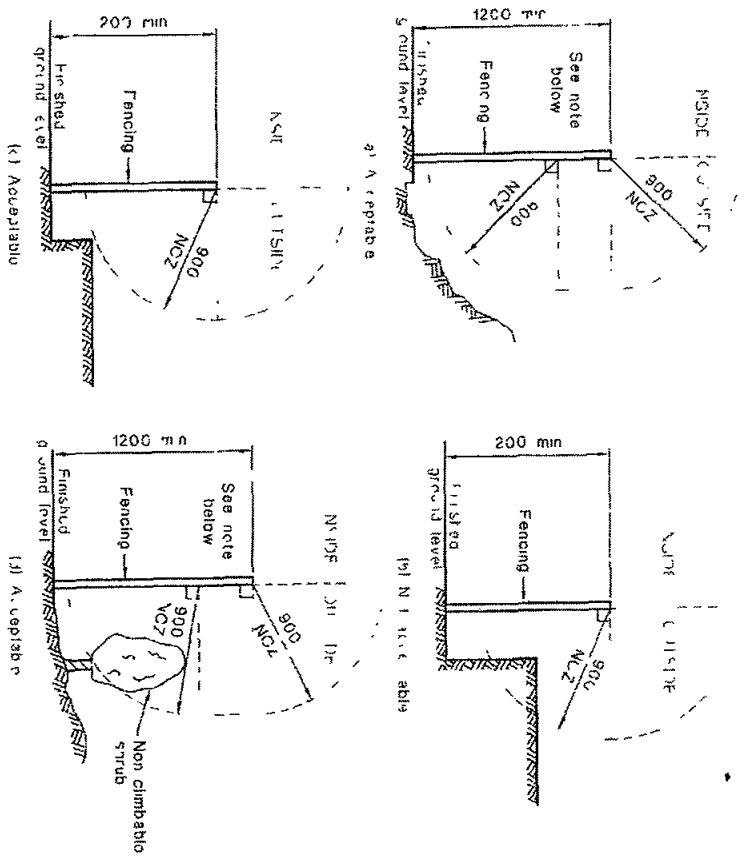


LATCHING POSITION & SHIELDING REQUIREMENTS

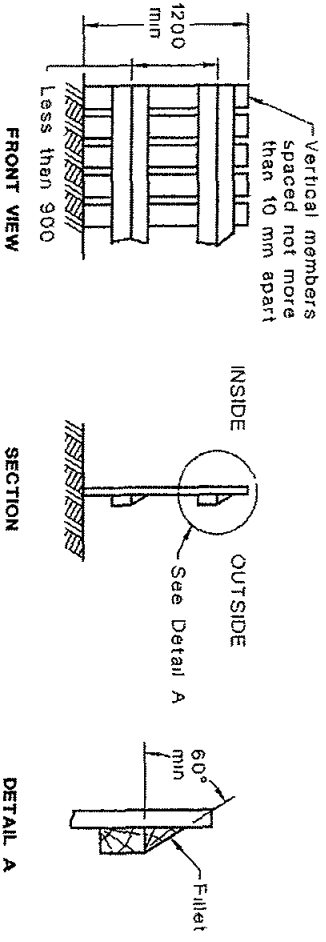


NOTE: On sloping sites, the fence height is to be measured perpendicular to the ground line.

PERPENDICULAR FENCING DIMENSIONS ON SLOPING GROUND



EFFECTIVE FENCE HEIGHT



FENCE WITH HORIZONTAL MEMBERS NOT ACTING AS A HOLD FOR CLIMBING

SWIMMING POOL SAFETY FENCE DETAILS

41 ATTUNGA ROAD, NEWPORT

Reference no SPFD-01 Date 17 November

Pittwater Council
ABN 61340837871

REPRINTED

TAX INVOICE
OFFICIAL RECEIPT

14/11/2008 Receipt No 249672

To Karin Christochowitz
41 Attunga Rd
Newport

Qty/	Reference	Amount
1	QLSL-Builders TSL	\$530.25
Qty 1	COAST CARD	\$0.00
+GST		
1		
GST		\$0.00

Total Amount: \$530.25

Includes GST of \$0.00

Amounts Tendered

Db/Cr Card	\$530.25
Total	\$530.25
Rounding	\$0.00
Change	\$0.00
Nett	\$530.25

Printed 17/11/2008 12 56 10 PM
Cashier JCurran



Insurance services

YOUR INSURANCE PARTNER

23 OCT 2008

vero

VERO WARRANTY

Certificate of Insurance

Premier Pools Pty Ltd
PO Box 173
LINDFIELD NSW 2070
Australia

Builder's Copy

Policy Number **RCW76458514**

Date of Issue **21/10/2008**

Broker Payment Reference **ZDA P3120**

Builder's Job Number **5186**

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract of Insurance Complies With	Section 92
Of The	Home Building Act 1989
Issued By	Vero Insurance Limited ABN 48 005 297 807

Building Contract Details

Contract Date	16/10/2008
Declared Building Contract Value	\$151 552 00 (Refer policy for indemnity limit)
Carried out By	Premier Pools Pty Ltd
Trading As	
ABN	49 002 664 048
Licence Number	34971
For	Lawrence & Rosemary Puddy
In Respect Of	Swimming Pools
At	House Number 41 Attunga Road NEWPORT NSW 2106

Permit Authority **Pittwater Council**

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

COI000503457

Generated

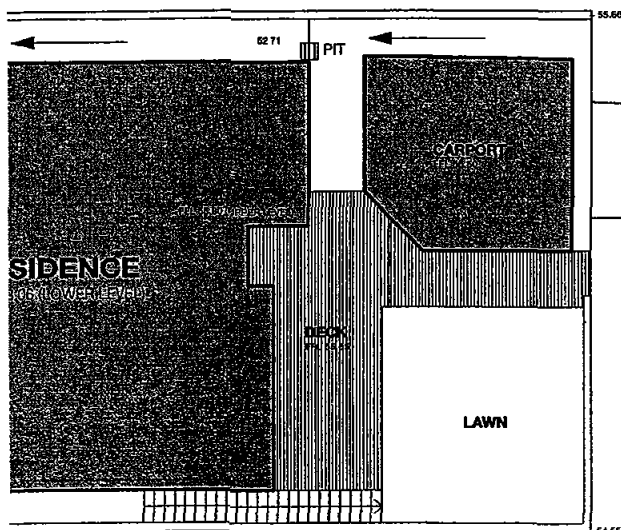
21/10/2008

Signed for and on behalf of the Insurer

Insurer Vero Insurance Limited ABN 48 005 297 807
Vero Warranty is a division of Vero Insurance Limited

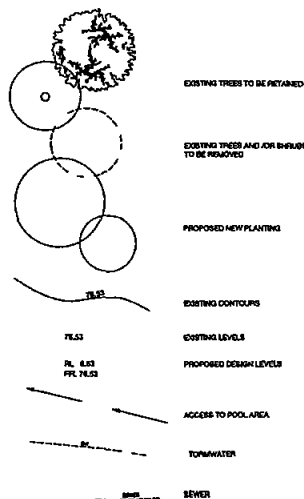
3 2 30 23615

NEIGHBOURING
RESIDENCE



LEGEND

SYMBOL



Swimming Pool Stamp

Permits are required to fill all new swimming pools with a capacity greater than 10 000L. Contact Sydney Water on 13 20 92 during business hours. Fines of \$220 will apply for filling pools without a permit.

SYDNEY WATER APPROVED

- 1 Position of structure in relation to Sydney Water's assets is satisfactory
- 2 Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drafter
- 3 It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer
- 4 Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice
- 5 Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony Verandah, Floor or other cover unless otherwise approved by Sydney Water
- 6 Property No

Reece St Leonards
Quick Check Agent on behalf of
SYDNEY WATER

Per

Reece

17.11.08

Premier Pools THE POOL PROFESSIONALS

Builders Licence No 34971

Premier Pools Pty Ltd ACN 002 664 048
9/303 Pacific Highway Lindfield NSW 2070

Telephone 9415 8888 Facsimile 9415 8899

project

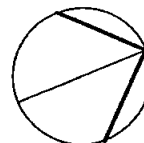
41 ATTUNGA ROAD, NEWPORT

drawing title

SITE PLAN

client

Mr Puddy



scale 1:200

date SEPTEMBER 2008

ref puddy_210908

DWG NO **MLS-0000-1A**

Mahony Landscapes Pty Ltd
m 0447 476 683

e design@mahonylandscapes.com.au
w www.mahonylandscapes.com.au

DRAWN PI

CHECKED

DATE

REVISIONS Council Condition - RWT Included

DATE 12/11/08

drawings copyright mahony landscapes 2008. figured dimensions shall be taken in preference to scaling. the contractor shall check all dimensions before commencing work, please notify mahony landscapes of any inconsistencies.

WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve

- The applicant's responsibility to obtain approval from Sydney Water or other utilities
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project
- The Applicant's responsibility to ensure that all structural details are consistent with the structural construction

NEIGHBOURING RESIDENCE

insight building certifiers pty ltd

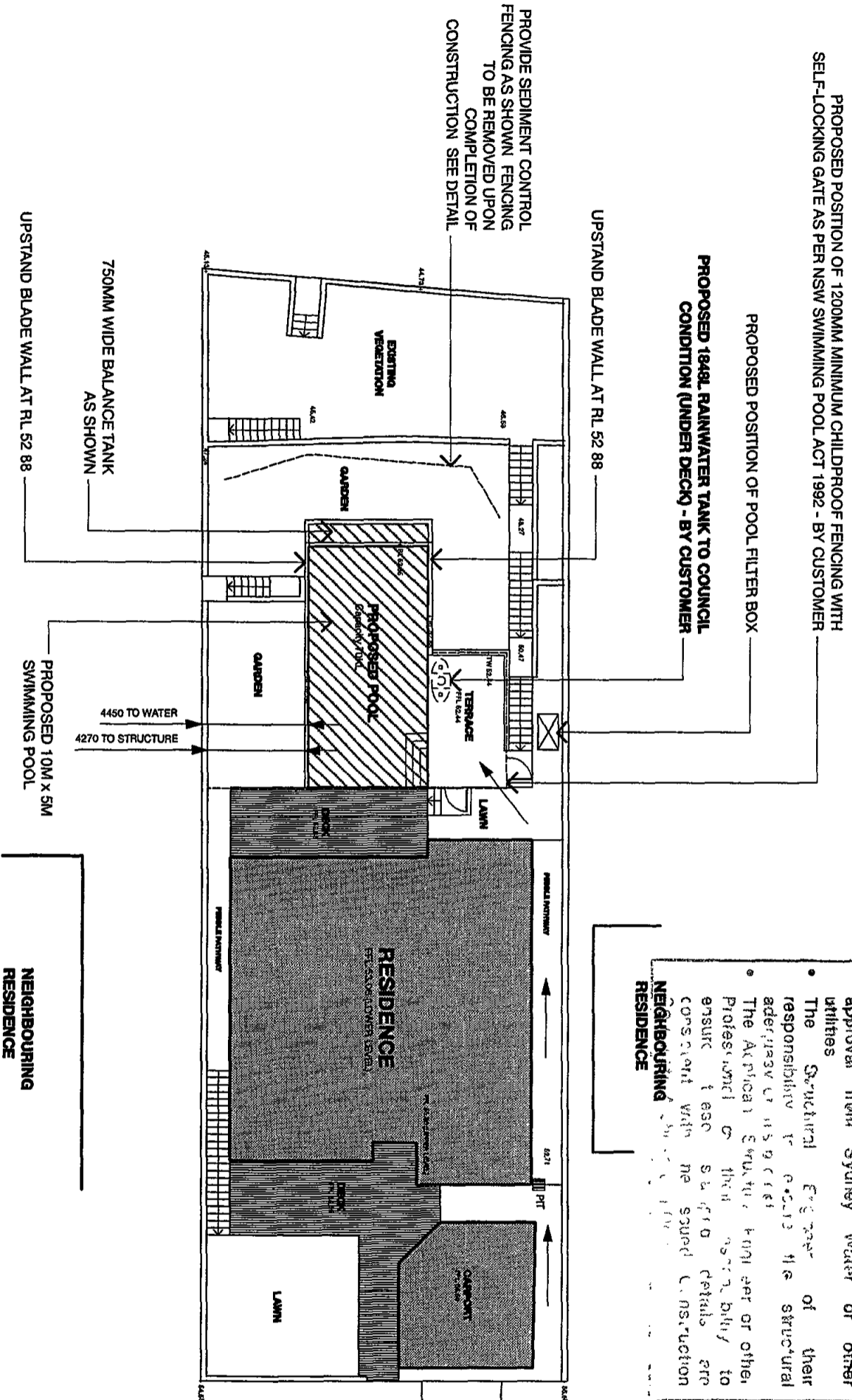
CONSENT NO NO64104 DATE 18/205
CONSTRUCTION CERT NO 2008/3082

CERTIFICATE PLANS

CONSTRUCTION

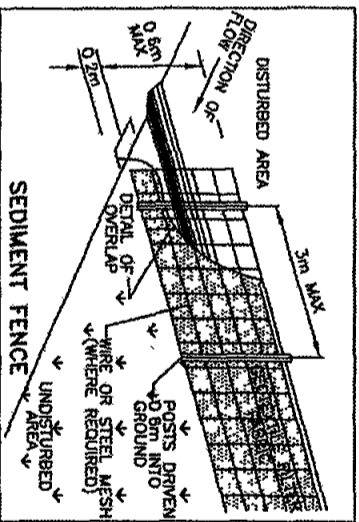
17 NOV 2008

T Bowden Accreditation No BPB 0042



NOTES

- 100 DENOTES APPROXIMATE HEIGHT OF STRUCTURAL COPING ABOVE / BELOW EXISTING GROUND LEVEL.
- ALL WORKS NOTED 'BY CUSTOMER' ARE NOT INCLUDED IN WORKS UNDER PREMIER POOLS CONTRACT OR CONSTRUCTION CERTIFICATE
- ENGINEERING DETAILS BY STRUCTURAL ENGINEER TO BE PROVIDED AT CONSTRUCTION CERTIFICATE STAGE
- THIS DRAWING IS NOT BE SCALED. DIMENSIONS TO BE RECOGNISED OVER SCALING
- DIMENSIONS AND LEVELS TO BE CHECKED ON SITE



Premier Pools

THE POOL PROFESSIONALS

Builders Licence No 34977

Premier Pools Pty Ltd ACN 002 664048

9/303 Pacific Highway Lindfield NSW 2070

Telephone 9415 8888 Facsimile 9415 8899

project

41 ATTUNGA ROAD, NEWPORT

drawing title

SITE PLAN

client

Mr Puddy

scale 1:200 date SEPTEMBER 2008

ref puddy.210908

designer MLS-0900-1A

Mahony Landscape Pty Ltd

designer mahonylandscapes.com.au

mls.0447 479 683

mls.0447 479 683

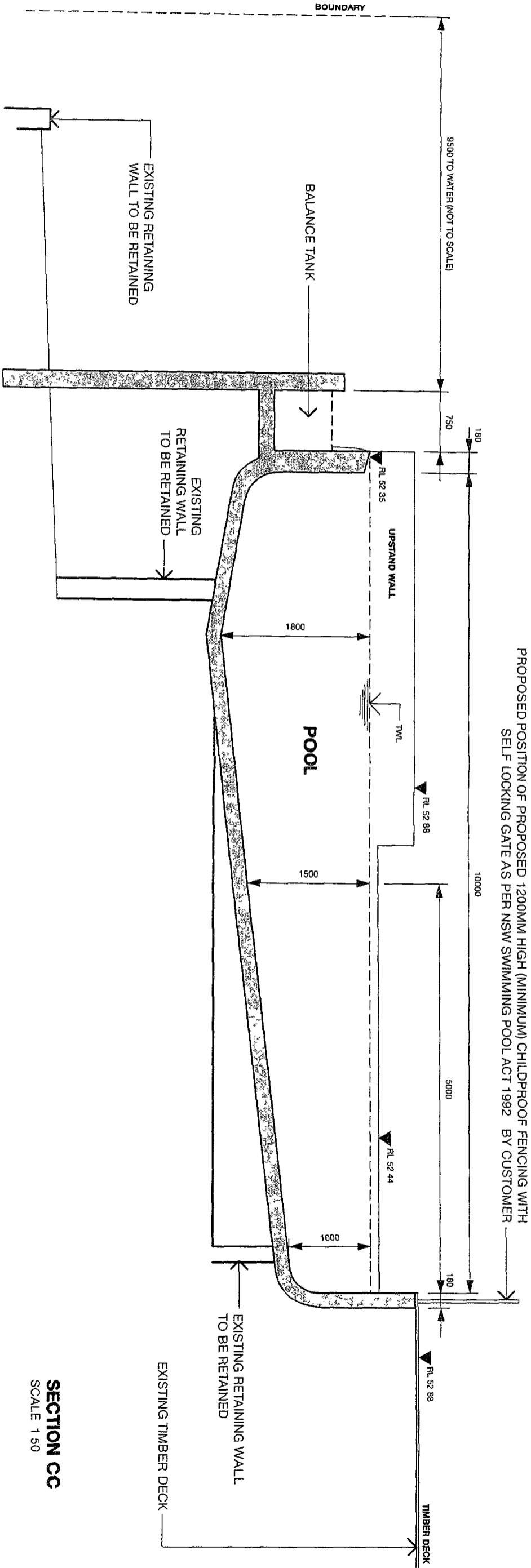
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DATE DATE

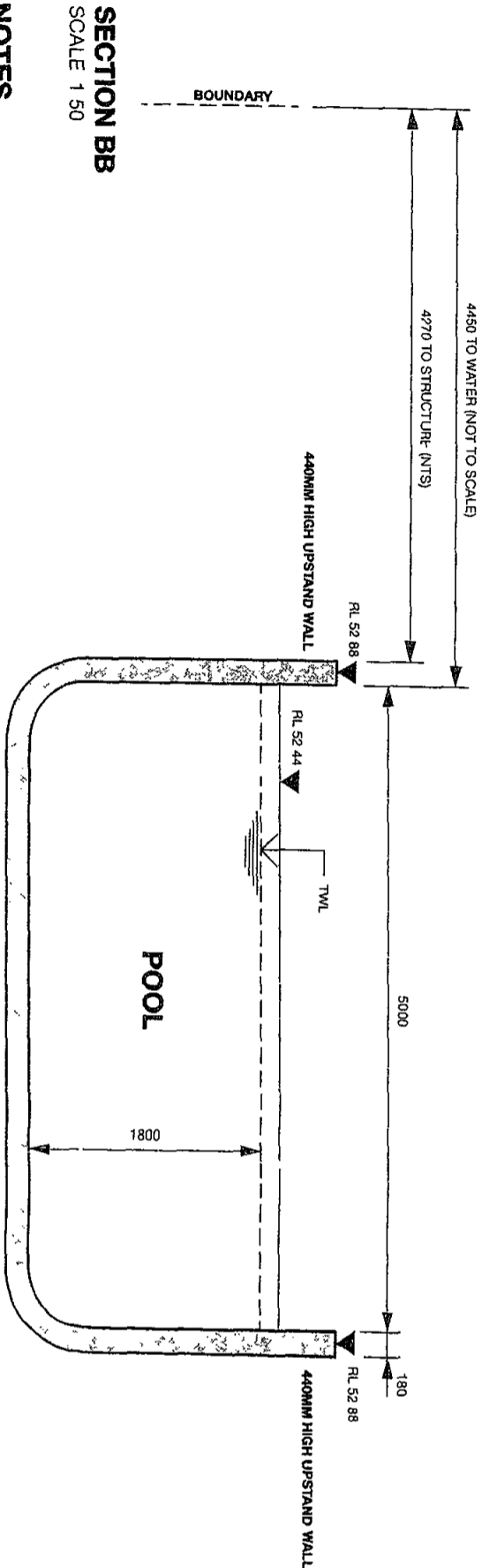
REVISIONS

DATE 12/10/8

drawings and all building Landscapes 2008. All dimensions shall be taken in preference to scaling the contractor shall check all dimensions before commencing work, please notify mahony landscapes of any inconsistency.



SECTION CC
SCALE 1:50



SECTION BB
SCALE 1:50

NOTES

+100 DENOTES APPROXIMATE HEIGHT OF STRUCTURAL COPING ABOVE / BELOW EXISTING GROUND LEVEL

ALL WORKS NOTED BY CUSTOMER ARE **NOT** INCLUDED IN WORKS UNDER PREMIER POOLS CONTRACT OR CONSTRUCTION CERTIFICATE
ENGINEERING DETAILS BY STRUCTURAL ENGINEER TO BE PROVIDED AT CONSTRUCTION CERTIFICATE STAGE
THIS DRAWING IS NOT BE SCALED DIMENSIONS TO BE RECOGNISED OVER SCALING
DIMENSIONS AND LEVELS TO BE CHECKED ON SITE

Premier Pools

THE POOL PROFESSIONALS

Builder's Gold Licence No 34477
Premier Pools Pty Ltd ACN 002 664048
9/209, Pacific Highway, Lindfield NSW 1580
Telephone 9415 8888 Facsimile 9415 8899

Project
41 ATTUNGA ROAD, NEWPORT

NOTE: THIS DRAWING MUST BE USED IN CONJUNCTION WITH THE POOL PROFESSIONALS' CONSTRUCTION CERTIFICATE

Scale 1:50 date SEPTEMBER 2008
ref puddy_210908 DWG NO **MLS-0000-3**

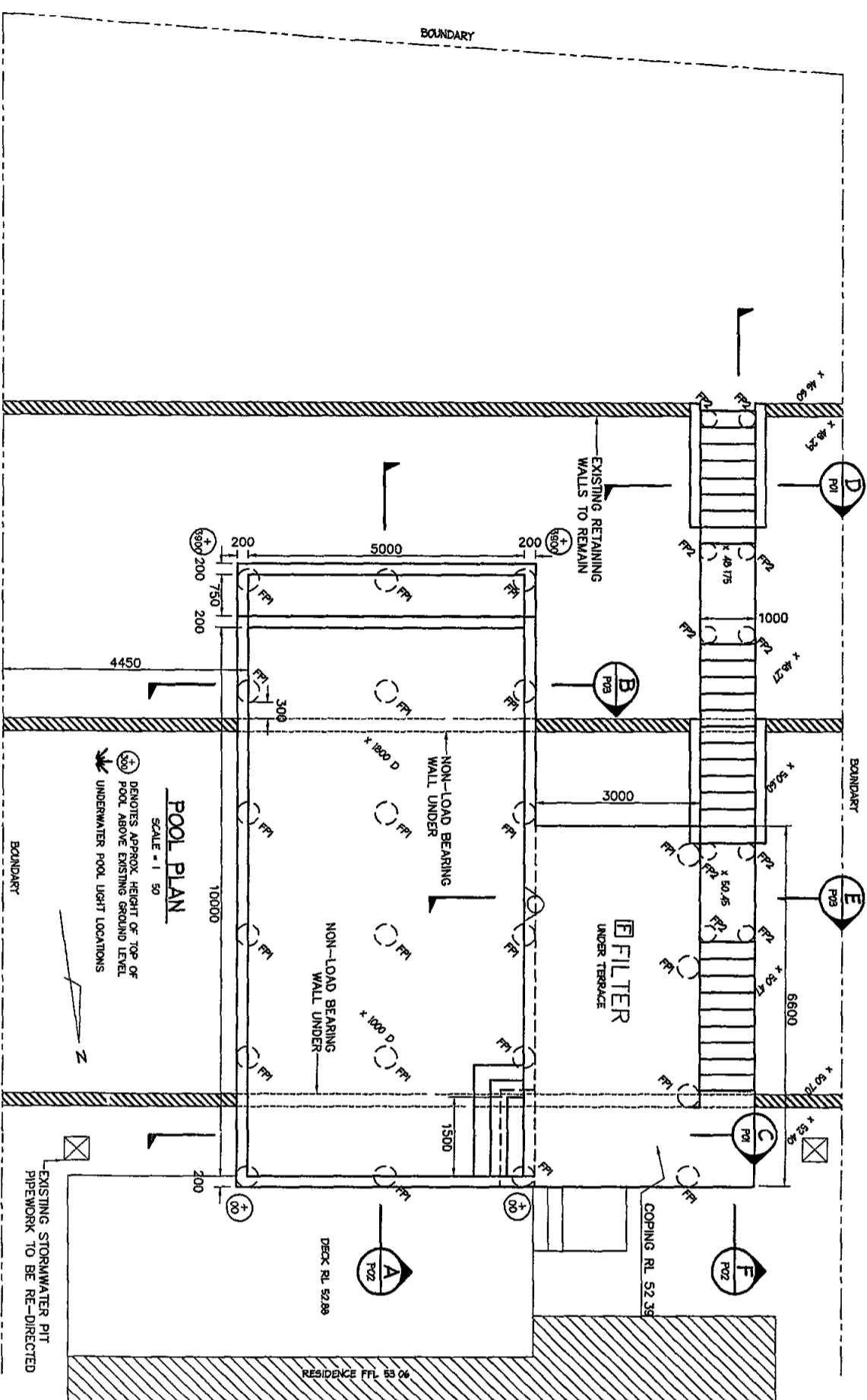
Mahony Landscapes Pty Ltd e design@mahonylandscapes.com.au
m 0447 476 883 w www.mahonylandscapes.com.au

DRAWN PI	CHECKED	DATE
REVISIONS		

drawings copyright mahony landscapes 2008. signed dimensions shall be taken in preference to scaling. the contractor shall check all dimensions before commencing work. please notify m. mahony if any errors are noted.

POOL NOTES

- GENERAL NOTES:**
- Pool design and construction to be in accordance with AS 2703 (1994) and all other relevant Australian Standards
 - Site plan dimensions are to the outer face UNO & do not include finishes
 - The foundation details must be uniform, suitable natural ground with a minimum 500mm depth to the existing ground level. The Engineer shall be responsible for the design of the foundation. The Geotechnical Engineer is to inspect all excavations to determine their suitability.
 - Excavations have been designed for a distributed load of 2 kPa. No additional loads are permitted without prior approval from the Engineer. The walkways have not been designed to support masonry walls unless noted otherwise.
 - Excavation is not permitted within 2 m of an existing structure without the prior approval of the Engineer unless showing &/or underpinning details have been provided.
 - The excavation base is to be lined with a 75 mm blue metal drainage layer with vertical membranes over. If base of excavation is entirely on sand, (or on sand and gravel) the drainage layer shall be installed at the base of the excavation. The drainage layer shall be installed at the base of the excavation with the metal all round. Refer to typical details.
 - CONCRETE NOTES:**
 - All workmanship and materials shall be carried out in accordance with AS 3600 & AS 2703. Concrete design strength (f_{cu}) at 28 days to be 32 MPa.
 - Concrete aggregate size is to be 10 mm (max. slump 90 mm). Cement type A.
 - Concrete placed in contact with the (existing) ground to have 60mm minimum cover to reinforcement. Concrete placed in contact with the under face to have 60mm minimum cover to reinforcement. Concrete placed in contact with the side to have 60mm minimum cover to reinforcement. Plumbing pipe work to be located behind reinforcement and to have minimum 65 mm cover.
 - Reinforcing steel rods derived S12 are 12mm diameter 2605 grade deformed bars. Provide 60mm minimum lap to all S12 bars. Stagger laps minimum 75 mm.
 - Provide S12-300 reinforcement, UNO to be used as a minimum of 1000 mm continuous to support all reinforcement. Plastic tipped wire clasp are to be used in all out of ground walls & coping.
 - After concreting, the pool is to be cured for a minimum of 7 days by thoroughly wetting all concrete surfaces a minimum of twice each day. Ten days curing required in summer.
 - Earthling of reinforcement is required to meet AS3600.
 - Piers - If pool floor is partially founded on solid rock provide 400mm x 400mm concrete piers at 1500mm maximum centres to remainder of pool floor. All piers to be founded on rock. Piers up to 10m deep to be mass concrete. Piers between 10m and 20m deep, provide S12 bars with 18 Ties at 300mm centres. Any piers over 20m deep to Engineers detail for any internal piers under pool floor provide S12 bars (1500mm long) at 300mm centres each way directly over the pier.
 - CHIEF NOTES:**
 - The position of abutments, lights, return lines, etc. on this drawing is indicative only and the final positions are to be determined in situ.
 - Safety fencing to meet SAA Standards is required prior to filling pool.
 - The pool is not designed for diving. Provide safety signage to SAA Standards.
 - Holly Engineer: If pool is to be emptied after completion of pool.
 - Underwater pool lights require full immersion during use.
 - Work noted By Others are not included in the works.



ASSIGNED FOUNDATION CLASSIFICATION FOR DESIGN PURPOSES - A
ASSURED BEARING STRATA FOR DESIGN PURPOSES
ROCK 400 kPa
FOUNDING MATERIAL TO BE CONFIRMED BY GEOTECHNICAL CONSULTANT REFER TO REPORT BY JACK HODGSON CONSULTANTS, REF VPS446, DATED MAY 30, 2005

Premier Pools
THE POOL PROFESSIONALS

DOCUMENT CERTIFICATION

I, Bruce Lewis, am a qualified Structural & Civil Engineer with the following qualifications:

BE(Civil) CPRE, PEASAK, NEPS

Institute of Engineers Membership No. 07934

I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

Date: 15-11-05

By: Bruce Lewis

(Principal - Professional Consulting Engineers)

Date: 15-11-05

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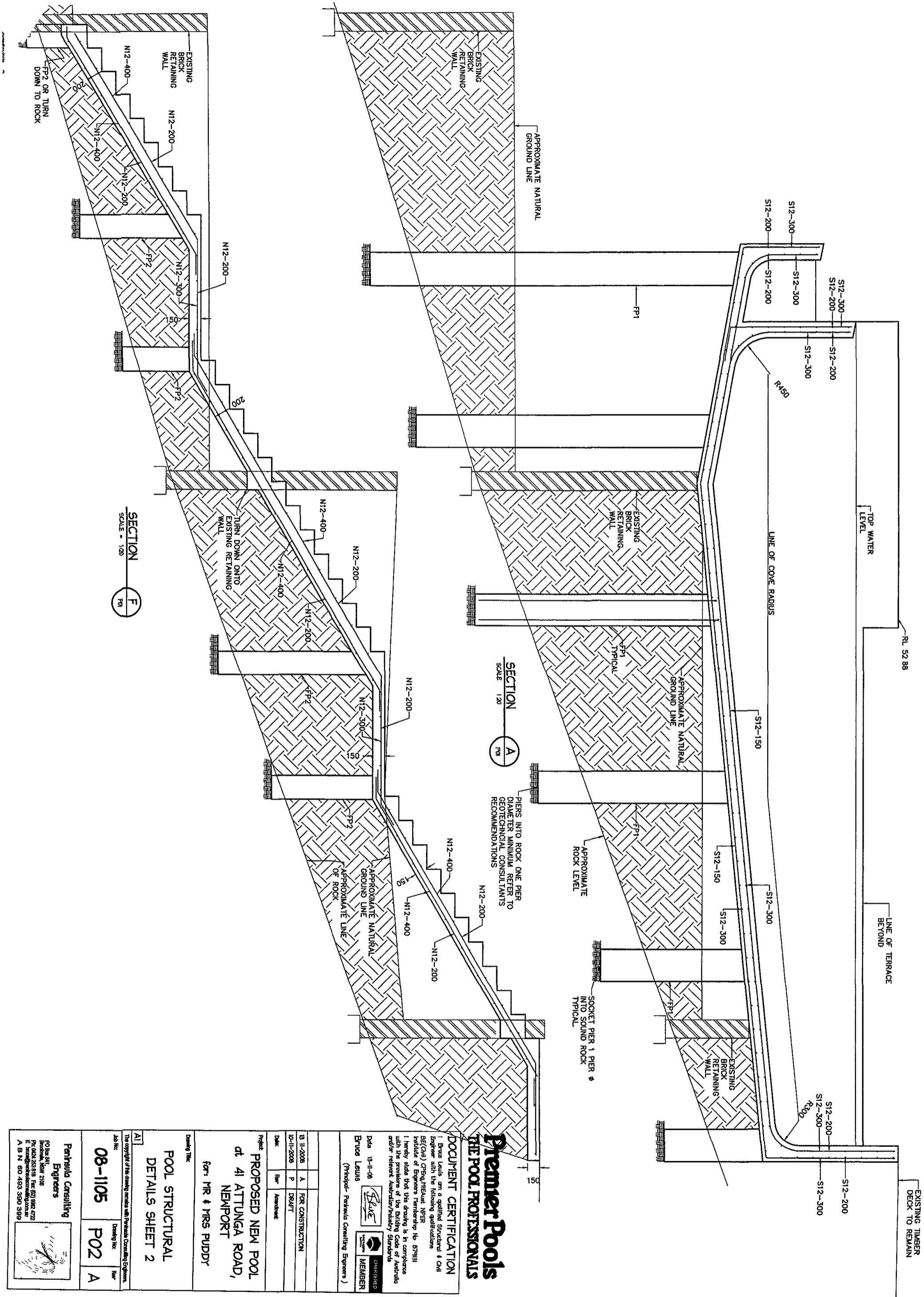
By: Bruce Lewis

Date: 15-11-05

By: Bruce Lewis

Date: 15-11-05

By: Bruce Lewis



Premier Pools
THE POOL PROFESSIONALS

DOCUMENT CERTIFICATION

I, Bruce Leulis, am a qualified Structural & Civil Engineer with the following qualifications:

BE(Civ) (CEng), MIEAust (NFER)

Member of Engineers' Federation No. 879181

I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian/National Standards

Date: 13-11-08

Bruce Leulis

(Principal - Peninsula Consulting Engineers)

13-11-2008 A FOR CONSTRUCTION

10-11-2008 P DRAFT

Date: Rev: Approved:

Project: PROPOSED NEW POOL

at 41 ATTUNGA ROAD,

NEWPORT

for: MR & MRS PUDDY

Drawing Title: POOL STRUCTURAL

DETAILS SHEET 2

Job No: 08-1105

Drawing No: P02

Rev: A

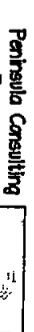
Peninsula Consulting Engineers

PO Box 841, Brooklyn, NSW 2100

Ph: (02) 223 8118 Fax: (02) 982 4722

E: info@peninsulaconsulting.com.au

A B N 60 483 390 399



PROPOSED POSITION OF POOL FILTER BOX

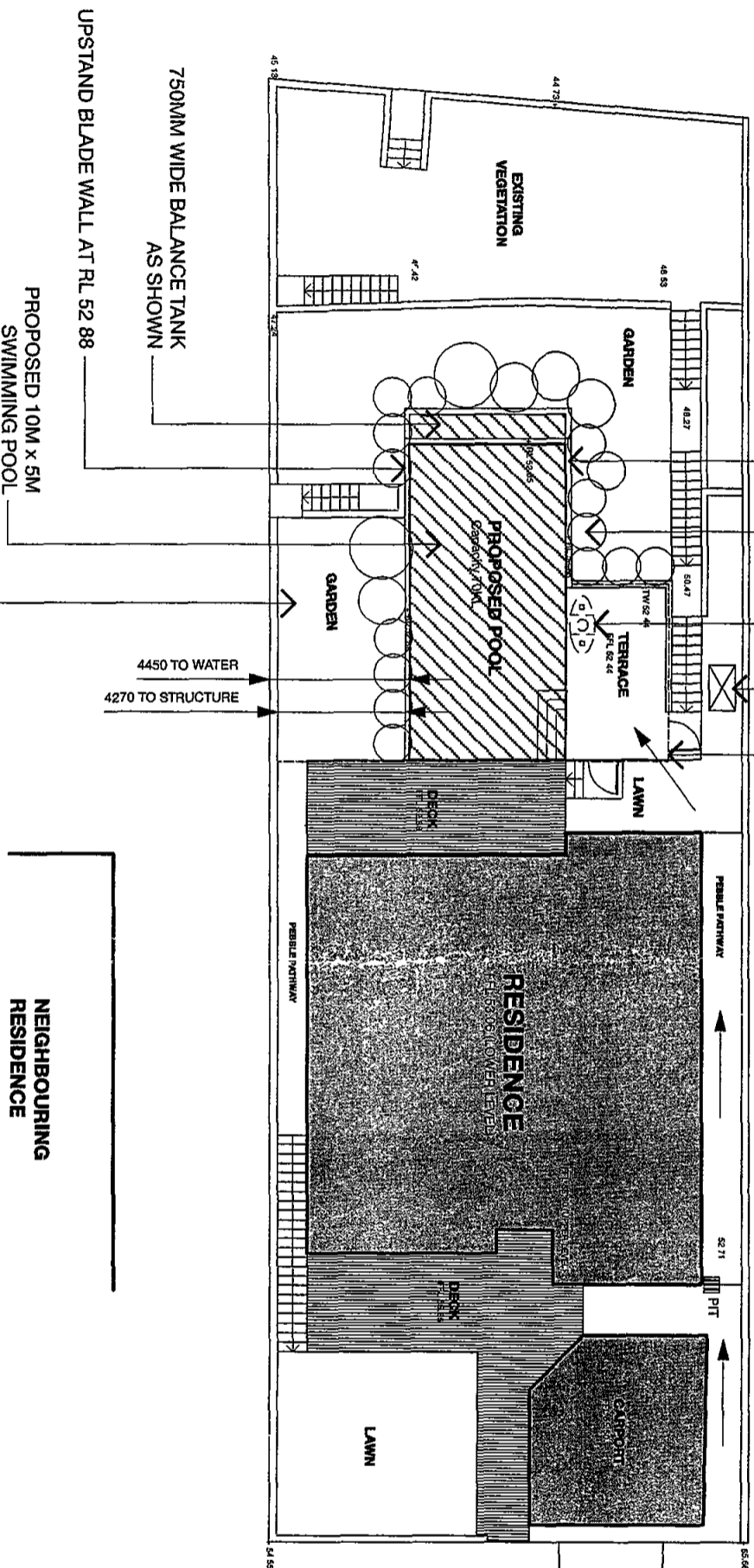
**PROPOSED 1848L RAINWATER TANK TO COUNCIL
CONDITION (UNDER DECK) - BY CUSTOMER**

**PROPOSED NATIVE SPECIES AS PER COUNCIL
CONDITIONS TO FUTURE SCHEDULE**

UPSTAND BLADE WALL AT RL 52.88

PROPOSED POSITION OF 1200MM MINIMUM CHILDPROOF FENCING WITH SELF-LOCKING GATE AS PER NSW SWIMMING POOL ACT 1992 - BY CUSTOMER

NEIGHBOURING RESIDENCE



NEIGHBOURING RESIDENCE

NOTES

(+100) DENOTES APPROXIMATE HEIGHT OF STRUCTURAL COPING ABOVE / BELOW EXISTING GROUND LEVEL

ALL WORKS NOTED BY CUSTOMER ARE NOT INCLUDED IN WORKS UNDER PREMIER POOLS CONTRACT OR CONSTRUCTION CERTIFICATE

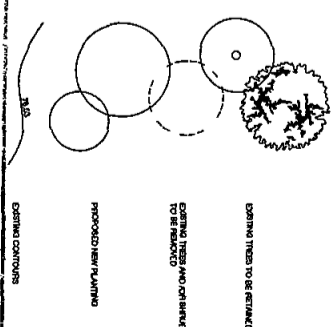
ENGINEERING DETAILS BY STRUCTURAL ENGINEER TO BE PROVIDED AT CONSTRUCTION CERTIFICATE STAGE

THIS DRAWING IS NOT BE SCALED DIMENSIONS TO BE RECOGNISED OVER SCALING

DIMENSIONS AND LEVELS TO BE CHECKED ON SITE

LEGEND

SYMBOL



U.S. FILING

The Secretary of ^{THE} ~~N.B.A.~~ plan by
August Builders Committee Pay-Lite Association

[illegible]

Premier Pools

THE POOL PROFESSIONALS

Builders Licence No 34971

Premier Pools Pty Ltd ACN 002 664048
9/303 Pacific Highway Lindfield NSW 2070

Telephone 9415 8888 Facsimile 9415 8899

project

41 ATTUNGA ROAD, NEWPORT

drawing title

LANDSCAPE PLAN

client
Mr Puddy

scale 1 200 date SEPTEMBER 2008
ref puddy_210908
DWG NO. **MLS-1000-4B**

Mahony Landscapes Pty Ltd

m 0447 47

DRAWN BY

REVISIONS

Council Conditions

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