

NOTE: RETAIN AND PROTECT EXISTING TREE ON COUNCIL VERGE (Refer to Arborists report for more detail)

NOTE: FUTURE CONSTRUCTION WORKS ON ADJOINING LOT No. 33. The adjoining lot is also zoned residential and will be cleared of most vegetation to make way for a proposed dwelling.

NOTE: FOR DETAILS OF ALL WALLS, STEPS PATHWAYS ETC REFER TO ENGINEERS PLANS

NOTE: RETAIN AND PROTECT EXISTING TREE ON COUNCIL VERGE (Refer to Arborists report for more detail)

NOTE: Add two Allocasuarina as per Council request

NOTE: FUTURE CONSTRUCTION WORKS ON ADJOINING LOT No. 31. The adjoining lot (No. 31) has been cleared in preparation for construction.

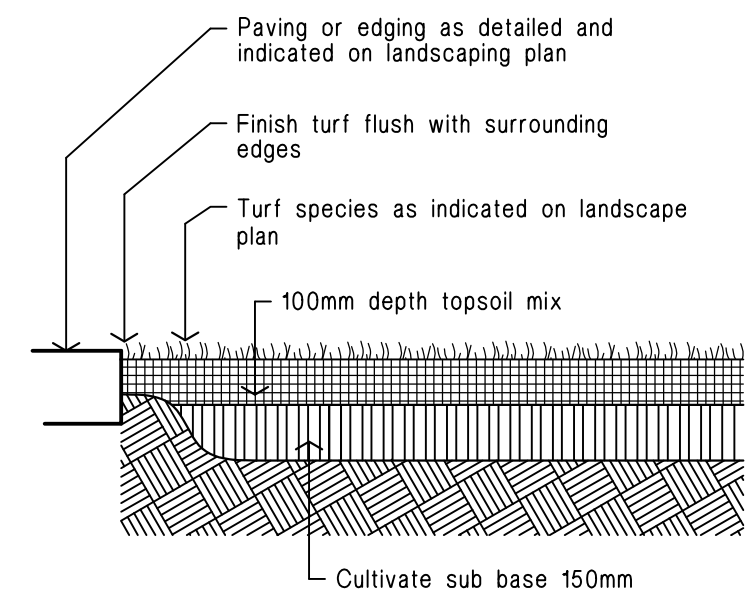
NOTE: MULCH TO REDUCE FIRE HAZARD All mulch to be 75mm depth, 40mm grade river pebble mulch laid on weedmat

NOTE: THE EXISTING PROPERTY TO THE EAST IS COVERED IN DENSE BUSHLAND AND ZONED 'C2' Environmental Conservation Management.

LANDSCAPE PLAN 1 : 100

LEGEND

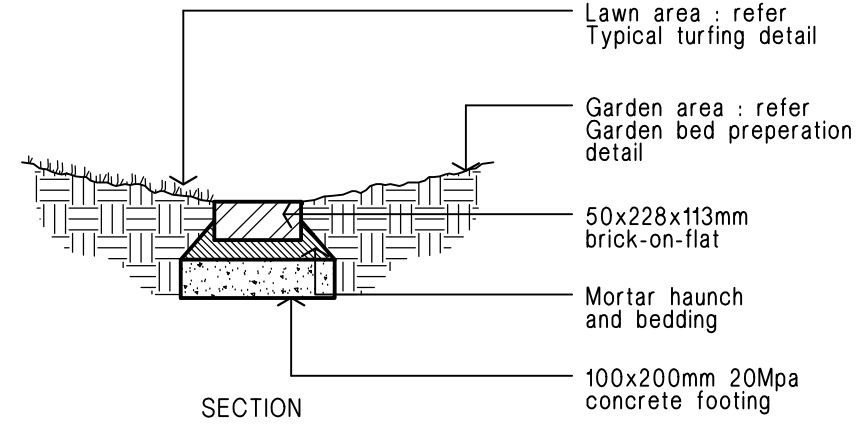
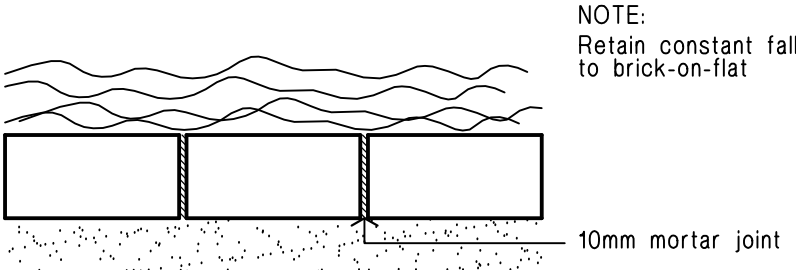
- turf
Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards inlet pits, kerbs etc. and away from buildings. Ensure that no ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No. 17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Kikuyu" turf rolls closely butted. Fill and small gaps with topsoil. Water thoroughly.
- brick garden edging
Lay a single course of paving bricks in a mortar haunch (200mm wide and 100mm deep). The edges are to be laid in even curves and straight lines as shown on the plan. Where tight curves are shown use half bricks to show a more even curve. The top of the edges to finish flush with the adjacent turf and mulch levels.
- sandstone boulders
...
- existing trees to be retained
...
- stepping stones
Precast concrete stepping stones in decorative pebble mulch
- planting areas
Ensure that the mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie. No clay). Install 75mm depth of selected mulch.
- maintenance:
All landscape works are to be maintained for a period of three months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.
- irrigation:
All planting areas on the landscape plan are to be covered by a fully automatic drip irrigation system. All pipework is to be PVC to satisfy AS 1477. All installation is to satisfy the Sydney Water Code and AS 3500. The system is to be installed by a suitable licenced contractor. All equipment and workmanship is to be guaranteed for a minimum period of 12 months.
- fencing:
For all fencing types and materials refer to the Architects plans.



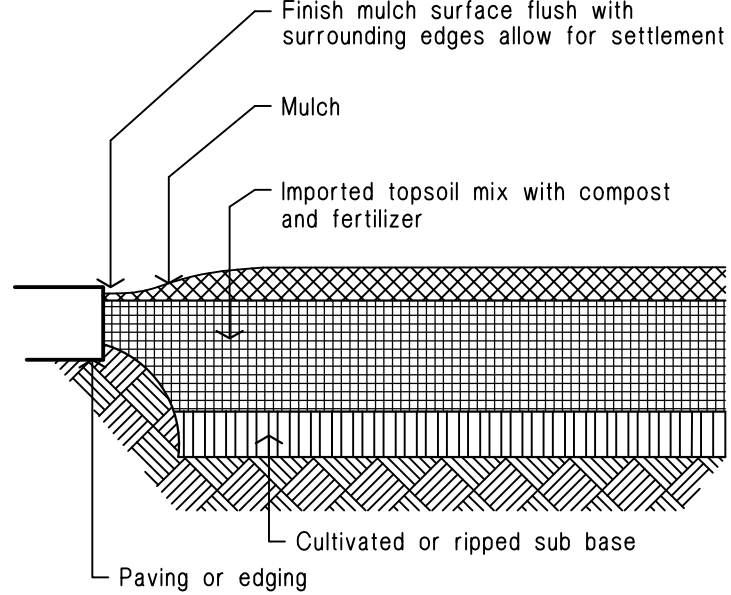
Ground preparation
Grassed area: turf using imported topsoil
Detail. Not.To.Scale.

PLANT SCHEDULE

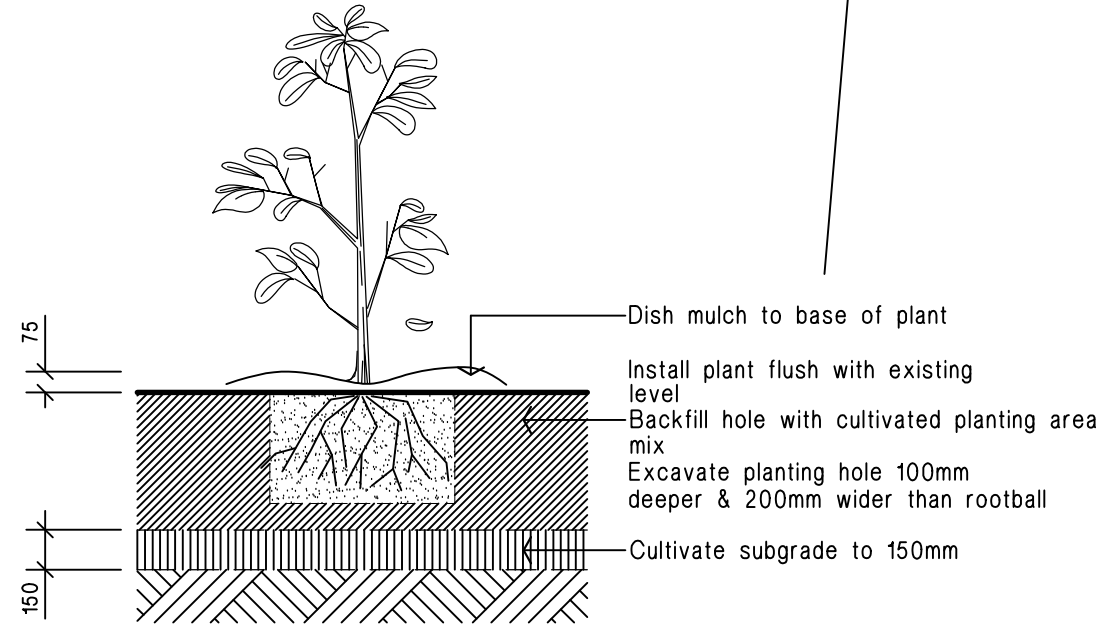
Code	Latin Name (Common Name - Mature Height)	Qty	Size	Stake
■ Trees				
C	Allocasuarina torulosa (Forest oak - 5-20m)	2	45 litre	yes
■ Shrubs				
Bo	Breytia oblongifolia (Willgar - 3m)	2	5 litre	-
Bsl	Blechnum 'Silver lady' (Water fern - 0.7m)	5	5 litre	-
Cci	Casuarina 'Cousin it' (Prostrate casuarina - 0.3m)	25	5 litre	-
De	Doryanthus excelsa (Gymea lilly - 1m)	4	15 litre	-
Ep	Eriostemon profusion (Free flowering wax flower - 1.3m)	1	5 litre	-
Gry	Grevillea Rhyolitica 'Deua Flame' (Grevillea - 1.5m)	1	5 litre	-
Lc	Leptospermum 'Cardwell' (Dwarf Tea Tree - 2m)	1	5 litre	-
Px	Philodendron xanadu (Dwarf philodendron - 0.5m)	4	5 litre	-
Re	Raphis excelsa (Parlour palm - 1.5m)	6	5 litre	-
Sre	Syzygium australe 'Resilience' (Lilly Pilly - 3m)	7	5 litre	-
Wmu	Westringia fruticosa 'Mundi' (Westringia - 0.6m)	2	5 litre	-
Xa	Xanthorrhoea australis (mature specimen by owner)	5	5 litre	-
■ Groundcovers				
Cpb	Carpobrotus glaucescens (Native pigface - 0.3m)	4	150mm pot	-



Brick garden edge
Detail.



Ground preparation
Planting area using imported topsoil
Detail. Not.To.Scale.



Planting in garden beds
Detail. Not.To.Scale.

BUSHFIRE RISK REDUCTION FOR LANDSCAPING

NOTE: Refer to 'Bushfire assessment' prepared by "BUSHFIRE PLANNING & DESIGN" Dated 03/09/2024

C.01 ASSET PROTECTION ZONES (APZs)

The site is to be managed as an inner APZ in accordance with PBP (2019) Appendix 4. To do this the following guidelines are to be applied :

TREE CANOPY TREATMENT

- Inner APZ tree canopy cover should be less than 15% at maturity;
- Inner APZ trees at maturity should not touch or overhang the building;
- Inner APZ lower limbs should be removed up to a height of 2m above the ground;
- Outer APZ tree canopy cover should be less than 30% at maturity;
- tree canopies should be separated by 2 to 5m; and
- preference should be given to smooth barked and evergreen trees.

SHRUBS

- create large discontinuities or gaps in the vegetation to slow down or break the progress of fire towards buildings should be provided;
- shrubs should not be located under trees;
- shrubs in the Inner APZ should not form more than 10% groundcover; and
- shrubs in the Outer APZ should not form more than 20% groundcover; and
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.

GRASS

grass should be kept mown (as a guide grass should be kept to no more than 100mm in height); and leaves and vegetation debris should be removed

14.07.25	Revised DA Issue to include 2 additional trees	D
04.06.25	Revised DA Issue to include additional canopy trees	C
04.03.25	Revised DA Issue	B
17.01.25	DA Issue	A
DATE	AMENDMENT	ISSUE

RFA + RAY FUGGLE ASSOCIATES
landscape architects
4/184 ARDEN STREET
COOGEE NSW 2034
email: RAY@fuggle.net.au
0412 294 712
0412 294 712
18 003 773 939

PROPOSED SINGLE DWELLING

No. 237 McCarrs Creek Road,
CHURCH POINT

Client:

Mr NIMA

Drawing Title:

LANDSCAPE PLAN

issue:	rev. DA	date:	14/07/25	issue no:	D
file name:	c:\			drawing No:	
drawn:	HK	scale:	1:100 @ A1		
checked:	RF	project No:	4928d		L-01