

Peter J Boyce & Associates

Ph 0412 928 500

Level 2/41 Rawson Street Epping 2121

P.O. Box 375. Strathfield 2135

Building Surveyor Acc. No **6395**

Ph 9868 2855

Fax 9868 2655

8th December 2006

The General Manager

Dear Sir,

Re: Submission of Construction Certificate
190 Barrenjoey Road Newport

Please find enclosed:

1. Letter & cheque for registration of CC
2. Completed Application Form
3. Construction Certificate
4. Long Service Levy Payment Form
5. Statement from Applicant that the CC plans are generally in accordance with the DA.
6. Memo re footway crossing
7. Architectural plans
8. Structural Engineers plans
9. Hydraulic Engineer Plans and Erosion Control Plan

Should any of the above documents not be received please advise me immediately.

Many thanks.



Peter Boyce

R. 207347 12/12/06 \$30-00

Peter J Boyce & Associates

Ph 0412 928 500

P.O. Box 375, Strathfield 2135
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc. No **6395**

Ph 9868 2855

Fax 9868 2655

Your ref D/A NO398/03

7th December 2006

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re: Copy of Construction Certificate
190 Barrenjoey Road Newport

Please find enclosed copy of Construction Certificate issued for the above property under D/A NO398/03.

Please find cheque enclosed for \$30.00 for registration of Construction Certificate.

Yours faithfully



Peter Boyce

Application for Construction Certificate

Issued under the Environmental Planning and Assessment Act 1997 Part 3 - Schedule 1

Local Council Area
City, Council or Shire

Pittwater Council.

Applicant

Name Gordon and Valich P/L Attn: Peter Bottero.
Address 105 Reservoir St. Sunny Hills 2010.
Phone 9212 1599.

Owner

Name I. W. Hogg.
Address
Phone 11 Keppel Road
#06-03 RCI Centre

Consent of all owner(s)

I/we consent to this application

Signature



Subject Land with lot & deposited plan number

Address 190 Barrenjoey Rd. NEWPORT. Lot 1, DP 940521.

Brief description of development

Type of Development
i.e. Dwelling. Addition Alterations and additions to dwelling.

Building code of Australia

Building Classification. Class 1a & 10a

Development Consent

Development consent number: N0398/03
Date of Determination: 22 December 2003.

Builder/Owner Builder

Name or Permit number FATHERS CONSTRUCTIONS
ABN : 6600 4015516
Address LICENCE NO : 6587C
35A BEACONSFIELD ST, NEWPORT, NSW, 2106

Value of Work \$ 208,377

Required attachments --- Copy of D/A approval with Conditions
Three copies of the plans & Specification.
Plan Nos. CC01 - CC07
List of supporting documents

Schedule --- The building schedule must be completed as part of this
application for the Australian Bureau of Statistics

Applicants Signature



Australian Bureau of Statistics

Particulars of Proposal ---What is the area of land (m²)2449 m².....
Gross Floor area of existing building (m²).....
What are the current use of all or part of the building(s)/land
(If vacant state vacant)Single dwelling.....
Location Use

Does the site contain a dual occupancy?.....No.....
What is the gross floor area of the proposal (m²).....
What are the proposed uses of the building?
Location Use
Single dwelling
How many stories will the building consist of ?2.....

Materials to be used

Place a tick in the box which best describes the material

Walls	code		Roof	code	
Brick veneer	12	☐	Aluminium	70	☐
full brick	11	☐	concrete	20	☐
single brick	11	☐	concrete tiles	10	☐
concrete block	11	☐	fibrous cement	30	☐
			fibreglass	80	☐
concrete/masonry	20	☐	masonry/terracotta shingle		
concrete		20	tiles	10	
☐					
steel	60	☐	slate	20	☐
fibrous cement	30	☐	steel	60	☒
hardiplank	30	☐	terracotta tile	10	☐
timber/weatherboard	40	☒	other	80	☐
cladding aluminium	70	☐	unknown	90	☐
curtain glass	50	☐			
other	80	☐			
unknown	90	☐			
Floor			Frame		
concrete	20	☐	timber	40	☒
timber	10	☒	steel	60	☒
other	80	☐	other	80	☐
unknown	90	☐	unknown	90	☐

Construction Certificate

Cert No. BP6411

Peter J. Boyce & Associates

Planning NSW Bldg Surveyor No **6395**

P.O. Box 375, Strathfield 2135

Mob.Ph 0412 928 500

Ph 9868 2855/ Fax 9868 2655

Issued:

8 - DEC 2003

To **I.W. Hogg**
c/- Gordon & Valich Pty Ltd
105 Reservoir Street
SURRY HILLS NSW 2010

Subject land

Lot 1 DP 940521 H/N 190 Barrenjoey Road Newport

Description of Development

Alterations and additions to the existing dwelling.

Development Consent

Development consent number: D/A NO398/03

Date of Determination: 22nd December 2003

Building Code of Australia

Building classification Class 1a – 10a

Determination

Pursuant to Section 109C (1) (b), 81A (2) and 81A (4) Of the Environmental Planning & Assessment Act, 1979 the construction certificate has been determined by approval in accordance with the stamped plans and specifications.

Plans and supporting documents

List Plans : Arch Plans: Gordon & Valich Pty Ltd

Date of determination:

8 - DEC 1999

Note:

Prior to commencement of work, Section 81A (2) (b) and/or 81A (4) (b) and (c) Of the Environmental Planning & Assessment Act, 1979 must be satisfied (see form 7 of the Regulation) i.e. name of the Principal Certifying Authority.

Certifying Authority

Peter Boyce
Planning NSW Acc Blding Surveyor No 6395
P.O. Box 375, Strathfield 2135
Mob. Ph 0412 928 500
Ph 9868 2855

Certificate

I certify that the work if completed in accordance with the documents, plans and specifications accompanying the application will comply with the requirements of this regulation as are referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979

Accredited Certifier



Peter Boyce
Planning NSW Accreditation No 6395



National Australia Bank Limited

North Sydney NSW
100 Miller & Mount Sts

Pay Pittwater Council

the sum of Four hundred and sixteen
dollars + 70 cents

AN W HOGG

⑈ 200575 ⑈ 082 ⑈ 401 ⑈ 03985 ⑈ 3406 ⑈

Date 16 / 2 / 04

\$ 416.70

MENT FORM

0736

TAILS USING CAPITALS

Town / Suburb SURRY HILLS

State NSW Postcode 2010 Business Hours Phone No. _____

Part B - ADDRESS OF BUILDING / CONSTRUCTION WORK

No. and Street 190 BARKENTLEY ROAD

Town / Suburb NEWPORT

State NSW Postcode _____

Estimated Start Date 1 / 1 / 04

Estimated Finish Date _____

Part C - DETAILS OF WORK - To be completed by consenting authority with whom plans lodged for approval

Local Council Area PITWATER

S.A./D.A./C.C./C.D.C. No. 348/03
(circle which)

Estimated value of work \$ 200,000.00 Levy Payable \$ 416.70

Signature of Officer _____

Name of Officer Peter Boyle

Date 1 / 1

Name of Private Certifier Peter Boyle

166-6395

Business Hours Phone No. 02 92850000

Part D - DETAILS - To be completed by Dept. / authority when plans not lodged with consenting authority

Dept. / Authority _____

Contract No. _____ Contract Amount \$ _____

Levy Payable \$ _____

Contact Person (Print) _____

Contact Phone Number _____

Signature _____

Date 1 / 1

Part E - DECLARATION - (To be signed by person liable to pay levy - or authorised officer if Company)

I declare that the information provided on this form
is true and correct to the best of my knowledge

Signature Andreas Valish

Date 17 / 5 / 04

Note: Any false or misleading information provided on this
form may result in prosecution under Section 58A

Print name Architects

Part F - TO BE COMPLETED BY LONG SERVICE PAYMENTS CORPORATION

Cheque forwarded to LSC Corporation
by Peter Boyle P.C.A. 18/5/04



0180736



22 April 2004

Principal Certifying Authority
Peter J Boyce and Associates
PO Box 375
STRATHFIELD NSW 2135

Attention: Mr. Peter Boyce

Dear Sir:

RE: Construction Certificate 190 Barrenjoey Rd NEWPORT
Subject: **PITTWATER COUNCIL – N0398/03**

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, I hereby certify that the above design is in accordance with normal building practice and meets the requirements of the Building Code of Australia, the Environmental Planning and Assessment Regulation, relevant Australian Standards and the Development Application as modified by the relevant conditions of Development Consent.

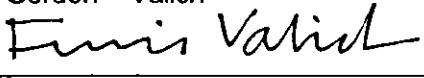
I am an appropriately qualified and competent person in this area being listed in the Board of Architects of New South Wales and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings. These drawings are substantially in accordance with the approved DA application endorsed on 23rd December 2003.

DA00C	Landscape Plan
C02	Site Plan Roof Plan
C03	Residence – Sub Floor Plan
C04	Residence - Ground Floor Plan
C05	Residence – First Floor Plan
C06	Residence – Section 1
C07	Residence – Section 2
C08	Residence – Section 3
C09	Residence – Section 4 & 5
C10	Walkway – Section 6 & 7
C11	Residence – East & West Elevation
C12	Residence – North Elevation
C13	Residence – South Elevation

Reference: cc0225-CC statement.doc

105-111 Reservoir Street Surry Hills NSW 2010
Telephone: (61-2) 9212 1599 Facsimile: (61-2) 9212 3053
E-mail: info@gordonvalich.com.au Website: www.gordonvalich.com.au
Gordon and Valich Pty Ltd. ACN 002 958 625 ABN 71 002 958 625

Gordon + Valich possess Indemnity Insurance to the satisfaction of the building owner or my principal.

Full Name of Designer:	Furio Valich
Qualifications:	Registered Architect No. 3317
Address of Designer:	105 Reservoir Street SURRY HILLS NSW
Contact Details:	Tel: 9212 1599 Fax: 9212 3053
Name of Employer:	Gordon + Valich
Signature:	

Sincerely,



Furio Valich
Principal

encls.

cc. Mr Ian Hogg

GORDON + VALICH
ARCHITECTS

3rd May 2004

Attention Peter Boyce
Peter J Boyce & Associates
PO Box 375
STRATHFIELD
NSW 2135

Dear Peter,

**Re: Construction Certificate for
190 Barrenjoey Rd. NEWPORT
CC**

Councils policy DCP E3 'driveways and internal Roadways' does not apply to 190 Barrenjoey Road due to the fact that the footway crossing exists and no changes will be made, hence no details are required to be submitted

We enclose digital photographs to confirm existence of crossing and conditions of crossing.

Full Name of Designer:	Furio Valich
Qualifications:	Registered Architect No. 3317
Address of Designer:	105 Reservoir Street SURRY HILLS NSW
Contact Details:	Tel: 9212 1599 Fax: 9212 3053
Name of Employer:	Gordon + Valich
Signature:	

Yours sincerely



Peter Bottero

Reference: cc0225-CC statement streetlevels.doc

105-111 Reservoir Street Surry Hills NSW 2010
Telephone: (61-2) 9212 1599 Facsimile: (61-2) 9212 3053
E-mail: info@gordonvalich.com.au Website: www.gordonvalich.com.au
Gordon and Valich Pty Ltd. ACN 002 958 625 ABN 71 002 958 625

GORDON — VALICH
ARCHITECTS

The accompanying photographs of the road reserve and footpath in front of the property 190 Barrenjoey Rd Newport are a true and accurate representation as they stand on Thursday 22nd of April 2004.

Peter Bottero



Reference: State of footpath.doc

105-111 Reservoir Street Surry Hills NSW 2010
Telephone: (61-2) 9212 1599 Facsimile: (61-2) 9212 3053
E-mail: info@gordonvalich.com.au Website: www.gordonvalich.com.au
Gordon and Valich Pty Ltd. ACN 002 958 625 ABN 71 002 958 625



STANDARDS
Current SAA Specification and Codes shall apply where not in conflict with this specification.

MATERIALS
Unless otherwise noted, all materials shall be new and of the best quality of their respective kinds. All items selected, stored and handled will be in accordance with manufacturer's current published instructions.

TERMITE PROTECTION
Provide protection to buildings under construction from subterranean termites. Comply with AS 2057 or AS 3680.1 for buildings with slab on ground construction. Comply with AS 1694 or AS 3600.1 for buildings with suspended floor structures.

DEMOLITION
Comply to AS 2601. Protect adjacent property from damage or interference. Reinstate or make good any damage. Provide temporary support to sections of the building to be retained which rely on work form sections to be demolished. Restrict dust to a minimum. Do not use explosives. Take possession of demolished materials and remove from the site. Comply with AS 2601 where filling is required. It shall be free of perishable material.

GROUNDWORKS
Groundworks for slab and footings to comply to AS 2870.1. Do not use explosives.

CONCRETE
Shall be in accordance with the document ACSE Concrete Specification 5th edition Document 1 and as modified by the standards set out below. AS 3600 Concrete Structures Code, AS 2870.1 Ground Slabs and Footings, AS 3610 Formwork for Concrete.

CARPENTRY
Shall comply with AS 1604, AS 1684 and ASK 130. Timber shall be of the species and grades normally used in the work for which the timber is intended. Hardwood for framing shall be minimum stress grade F11. Timber windows to AS 2047 and installation to AS 2147. Timber doors to AS 2688, timber frames and jamb lining to AS 2689.

ROOFING
Metal roofing shall comply with AS 1562.1. Provide all new fully weatherproof and birdproof roofing system of the type shown, complete with all necessary accessories, trims, flashings and roof plumbing. Flashings to AS 2904. Self drilling screws to AS 3566. Selection and installation of all metal rainwater goods to AS 2180, all joints to be sealed with silicone sealant.

INSULATION
The bulk insulation material shall be wool and comply to AWC/A202. The sarking material shall comply to AS 4200.1 and the installation to AS 4200.2. Supply and installation shall be in accordance with the manufacturer's specification.

WALL FINISHES
Cement rendering to comply to AS 3972, type GP Portland and Blended Cements Code.

FLOOR FINISHES
Carpet laying to comply to AS 2455. The minimum class to be domestic medium duty under the Australian Carpet Classification Scheme. Resilient finishes to comply to AS 1884.

TILING
Guidance given in AS 3958.1 and AS 3958.2. Adhesives to AS 2358 and mortar materials to AS 3972. Compliance with AS 3740 for wet areas.

GLAZING
Shall comply with AS 1170, AS 1288. Provide toughened or laminated glass as required.

ELECTRICAL
Comply with SAA electrical installation and wiring rules and Authority requirements. All wiring is concealed - no exposed conduits allowed. Provide smoke detectors to AS 3786. Mechanical Ventilation to AS 1668.2. Provide a consumer mains and connect to the main service.

HYDRAULICS
Comply with Australian Standards and Authorities requirements.

GAS
All gas work shall comply with the relevant Australian Standards and the requirements of the appropriate Authorities. Provide LPG Gas supply.

PLUMBING
Ensure that the installation of the plumbing does not effect the stability of the building. All plumbing shall comply with the relevant Australian Standards and the requirements of the appropriate Authorities. All wastes must be trapped and connected to drains. All internal works shall be done in copper tubing. External works shall be painted. All hot water pipes shall be insulated.

DRAINAGE
Provide sewerage and drainage to the specifications of the relevant Council and Water Board. Drain pipes not to be laid within 500mm of footings running parallel with the same and must not be taken through the footings of the building.

Ensure all vertical pipes between the ground and underside of the building occur 2m in from the perimeter of the works.
PAINTING
Follow guidance in AS 2311 and AS 2312. Comply to manufacturer's specification.

LEGEND

TERMS

GENERAL	
ADJ	ADJACENT
BLDG	BUILDING
BM	BENCHMARK
CHAM	CHAMFER
CL	CENTRELINE
CNR	CORNER
DM	DIMENSIONS
ELEC	ELECTRICAL
EQ	EQUAL
EXT	EXTERNAL
FEL	FINISHED FLOOR LEVEL
FG	FINISHED GROUND LEVEL
FIN	FINISH
FIN	FINISH
FIXT	FIXTURE
FL	FLOOR LEVEL
FR	FIRE RESISTANT
GND	GROUND
INT	INTERVAL
LVL	LEVEL
NTS	NOT TO SCALE
DA	OVERALL
OPP	OPPOSITE
RD	ROUND
RECT	RECTANGLE
SCHED	SCHEDULE
SL	SLIDING
SPEC	SPECIFICATION
SD	SQUARE
TYP	TYPICAL
UND	UNLESS NOTED OTHERWISE

MATERIALS &

FINISHES

AL	ALUMINIUM
AND	ANDICSED
BIF	BITUMEN IMPREGATED FIBREBOARD
BWK	BRICK
BK	BLOCK
BR	BUTYL MEMBRANE
BRS	BRASS
CAR	CARPET
CFC	COMPRESSED FIBRE CEMENT
CFT	CERAMIC FLOOR TILE
CONC	CONCRETE
CR	CEMENT RENDER
CT	CEMENT TOPPING
CWT	+EPOXY SEALER
FB	CERAMIC WALL TILE
FCB	FACE BRICK
FT	FIBRE CEMENT (THICKNESS)
G	FLOOR TILE
GALV	GLASS
HWD	GALVANISED
INS	HARDWOOD
MR	INSULATION
MS	MILD STEEL
OFC	OFF FORM CONCRETE
PERIO	PLASTERBOARD
PLY	PLYWOOD
POL	POLISHED
PS	PAVING SLAB
QT	QUARRY TILE

RC	REINFORCED CONCRETE
A	STEEL TROWELED
B	FLOATED
C	SCORED
D	SCATCHED
E	NON-SLIP CARBOPUNDUM
R	RENDER
SPP	SATIN CHROME PLATE
SP	SET PLASTER
SS(316)	STAINLESS STEEL (GRADE)
ST	STONE TILES
SWD	SOFTWOOD
T	TIMBER
TC	TEXTURE COATING
TZ	TERAZZO
WCT	WATERPROOF CEMENT TOPPING-EPOXY SEALER
WPB	WATERPROOF PLASTERBOARD
WT	WALL TILE
WB	WEATHER BOARD

CONSTRUCTIONS

& FITTINGS

ACS	ACUSTIC TILE SYSTEM
ALFO	ALUMINIUM FRAMED DOOR
ALFG	ALUMINIUM FRAMED GLAZING
ALFL	ALUMINIUM FRAMED LOUVRES
AP	ACCESS PANEL
BHD	BULKHEAD
CJ	CONSTRUCTION JOINT
COL	COLUMN
CYL	CYLINDER
D	DOOR
DPC	DAMPROOF COURSE
EJ	EXPANSION JOINT
MC	METAL CLADDING
FCTI	FIRE DOOR (HOURS)
FG	FIXED GLASS FLOOR
FLR	HORIZONTAL LOUVRES
HL	HANDRAIL
HR	INTERNAL GLAZED SCREEN
IGS	INSPECTION OPENING
ID	MIRROR
M	MANHOLE
MH	MOVEMENT JOINT
MJ	PERFORMED FLASHING
PFF	PARTITION
PTN	ROLLER SHUTTER
RS	SUSPENDED ACUSTIC
SAP	SKYLIGHTTYPE
SKY(T)	SKYLIGHTTYPE
SPB	SUSPENDED PLASTERBOARD
TFS	TIMBER FRAMED GLAZING
TR	TIMBER FRAMED DOOR
TR	TOWEL RAIL
UB	UNIVERSAL BEAM
UC	UNIVERSAL COLUMN
VL	VERTICAL LOUVE
VNT	VENT
W	WINDOW
WPM	WATERPROOF MEMBRANE
NEW HOT WATER SYSTEM TO HAVE A 35 STAR RATING	

CONSTRUCTION

NOTES

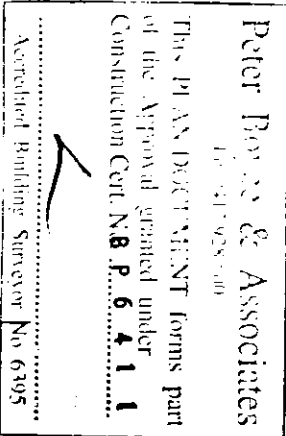
ALL EXTERNAL GLAZING IS TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%

ALL NEW WET AREAS TO BE FITTED WITH WATER CONSERVATION DEVICES WITH AAA RATING, INCLUDING TAP FLOW REGULATORS, SHOWER HEADS, AND DUAL FLUSH TOILETS.

SYMBOLS

	GRID REFERENCE
	SECTION BREAK
	LEVEL-PLAN GENERAL
	SPOT LEVEL -NEW
	SPOT LEVEL -EXISTING
	FOLDING LINE
	LEVEL -SECTION

NOTES - AS PER ON CONSTRUCTION ALL PLUMBING FIXTURES & FITTINGS WILL HAVE AN 'AAA' RATING & ALL HOT WATER SYSTEMS TO HAVE A MINIMUM RATING OF 3.5 STARS.



GORDON + VALLICH
ARCHITECTS
106 RESERVVOIR STREET
SUNSHINE HILLS NSW 2010
PH 9212 1608 FX 9212 3063
JOB NAME AND ADDRESS
ALTERATIONS AND ADDITIONS TO
190 BARRENDOEY RD.
NEWPORT

DRAWING TITLE

LEGEND

DRAWN	DATE	SCALE	REVISION NO.
TM	JAN 04	-	B
APPROVED	DATE	JOB NO.	DRAWING NO.
PB	04/05/04	0225	CC000

DO NOT SCALE OFF THIS DRAWING. Use figure dimensions only. Verify all dimensions on site. Any discrepancies shall be brought to the attention of the architect. This drawing is copyright and may not be used without written consent.
A.C.A. 002 998 625
A.B.N. 71 002 998 625

AMENDMENT NOTES
DATE
A PLUMINARY CONSULTANT ISSUE 18/02/04
B CONSTRUCTION CERTIFICATE 09/06/04
C CONSTRUCTION CERTIFICATE 2 (Sent 31/06/04 certifier)

192 BARRENJOEY RD

A X 0.000
B X 3.866
C X 4.976
TREE TO BE REMOVED

0
1

0
1

TIMBER RETAINING WALL

Y 0.000
Y 0.870

197°13'57"
9.027

2

2

190 BARRENJOEY RD
LOT 1 IN DP 940521

Y 4.490

DRIVEWAY

3

3

Y 7.940

BARRENJOEY ROAD

BENCH MARK
61.04

4
5

4
5

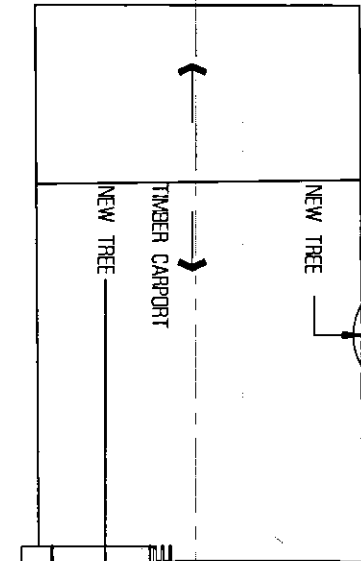
Y 10.180
Y 11.130

200°19'12"
9.027

STONE PAVING

A

B



PATHWAY

NEW TREE

A

B
C

188 BARRENJOEY RD

GORDON + VALICH
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1688 FX 8212 3068

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARRENJOEY RD.

NEWPORT

Peter Boyce & Associates

Ph 0412 928 800

THIS DRAWING AND DOCUMENT forms part
of the Approval granted under
C/SITE PLAN Cert. No. P 6 4 1 11

Accredited Building Surveyor No 6195

DRAWN DATE SCALE REVISION NO.

RM JAN04 1:10 C

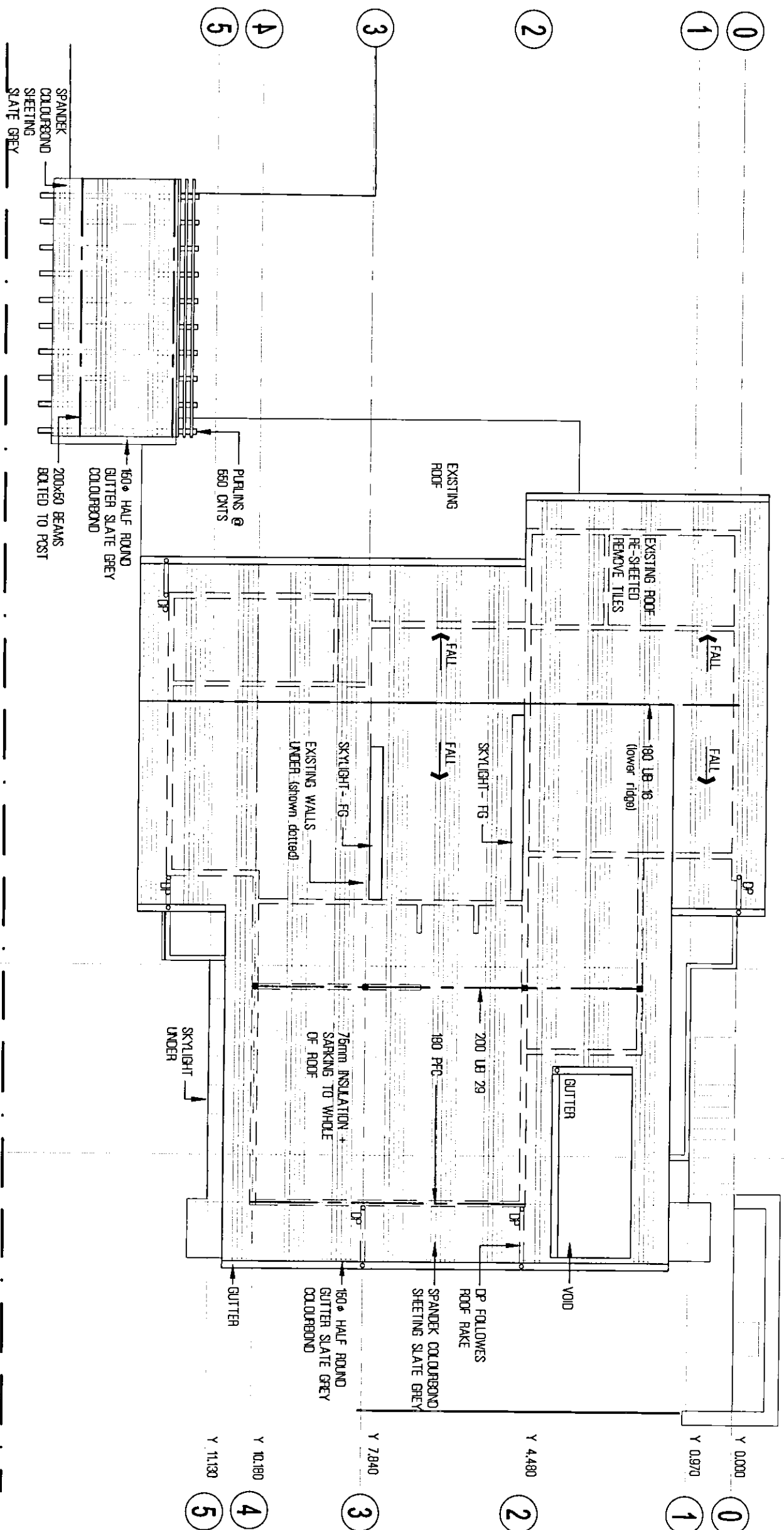
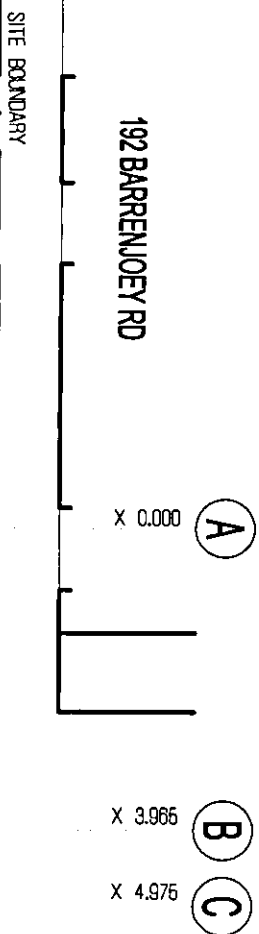
APPROVED DATE JOB NO. DRAWING NO.

FV 310604 0225 CC01

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SITE PLAN



ROOF PLAN



**ALTERATIONS AND ADDITIONS TO
190 BARRENOJOEY RD.**

JOB NAME AND ADDRESS

106 RESEAVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1688 FX 9212 3063

GORDON + VALLIGAN
ARCHITECTS

NEWPORT
Peter Boyce & Associates
Ph 0412 925 4100

TRAWING TIME / DOCK ATTENDANTS part
of the Approved group under 4 1 1
ROOF PLAN on Cert. No.

Accredited Building Surveyor No 6395

DRAWN	DATE	SCALE	REVISION NO.
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TS JUNE 04 1:00 A

APPROVED	DATE	JOB NO.	DRAWING NO.

FV 01/06/04 022500

C:\D:\5-a225_cx22_roof plan.dwg, PLOTTED DATE- 4.31pm, 23 Nov 05

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A.C.N. 002 958 625
ABN 71 002 958 625

ACU. 002 338 023
ABN. 71 002 958 625



106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1688 FX 9212 3063

JOB NAME AND ADDRESS

**ALTERATIONS AND ADDITIONS TO
190 BARENJOEY RD.**

NEWPORT.

Peter Boyce & Associates
Ph 01202 8569

Phonetic transcription

DRAWING TYPE
This **PLAN/DOCT/MENT** forms part
of the Approved ground under
SUB FLOOR PLAN Cert. No **B P 6 4 1 1**

Accepted Building Supervisor No 63025

DRAWN	DATE	SCALE	REVISION NO.
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TM JAN 04 1:100

APPROVED	DATE	JOB NO.	DRAWING NO.

P8
08/05/04
0225

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copyright and may not be used without written consent. A.C.M. 002 958 6

A.B.N. 71 002 958 6



No. 188
SINGLE STORY
WEATHERBOARD &
STONE

RL 47.86
BOTTOM OF
SILL

④

ⓑ



**No. 192
2 STORY
BRICK RESIDENCE**

A



AMENDMENT NOTES

A PRELIMINARY CONSULTANT ISSUE 18/02/04

B STRUCTURAL DRAWINGS 23/03/04

C CONSTRUCTION CERTIFICATE ISSUE 03/06/04

**ALTERATIONS AND ADDITIONS TO
190 BARENJOEY RD.**

NEWPORT Joyce & Associates

1112928

DRAWING TITLE	DATE	BY	CHECKED	APPROVED
1. General Notes	10/10/2023	J. Smith	M. Jones	D. Brown
2. Foundation Details	10/10/2023	J. Smith	M. Jones	D. Brown
3. Floor Slab Details	10/10/2023	J. Smith	M. Jones	D. Brown
4. Wall Details	10/10/2023	J. Smith	M. Jones	D. Brown
5. Roof Details	10/10/2023	J. Smith	M. Jones	D. Brown
6. Section A-A	10/10/2023	J. Smith	M. Jones	D. Brown
7. Section B-B	10/10/2023	J. Smith	M. Jones	D. Brown
8. Section C-C	10/10/2023	J. Smith	M. Jones	D. Brown
9. Section D-D	10/10/2023	J. Smith	M. Jones	D. Brown
10. Section E-E	10/10/2023	J. Smith	M. Jones	D. Brown
11. Section F-F	10/10/2023	J. Smith	M. Jones	D. Brown
12. Section G-G	10/10/2023	J. Smith	M. Jones	D. Brown
13. Section H-H	10/10/2023	J. Smith	M. Jones	D. Brown
14. Section I-I	10/10/2023	J. Smith	M. Jones	D. Brown
15. Section J-J	10/10/2023	J. Smith	M. Jones	D. Brown
16. Section K-K	10/10/2023	J. Smith	M. Jones	D. Brown
17. Section L-L	10/10/2023	J. Smith	M. Jones	D. Brown
18. Section M-M	10/10/2023	J. Smith	M. Jones	D. Brown
19. Section N-N	10/10/2023	J. Smith	M. Jones	D. Brown
20. Section O-O	10/10/2023	J. Smith	M. Jones	D. Brown
21. Section P-P	10/10/2023	J. Smith	M. Jones	D. Brown
22. Section Q-Q	10/10/2023	J. Smith	M. Jones	D. Brown
23. Section R-R	10/10/2023	J. Smith	M. Jones	D. Brown
24. Section S-S	10/10/2023	J. Smith	M. Jones	D. Brown
25. Section T-T	10/10/2023	J. Smith	M. Jones	D. Brown
26. Section U-U	10/10/2023	J. Smith	M. Jones	D. Brown
27. Section V-V	10/10/2023	J. Smith	M. Jones	D. Brown
28. Section W-W	10/10/2023	J. Smith	M. Jones	D. Brown
29. Section X-X	10/10/2023	J. Smith	M. Jones	D. Brown
30. Section Y-Y	10/10/2023	J. Smith	M. Jones	D. Brown
31. Section Z-Z	10/10/2023	J. Smith	M. Jones	D. Brown
32. Section AA-AA	10/10/2023	J. Smith	M. Jones	D. Brown
33. Section BB-BB	10/10/2023	J. Smith	M. Jones	D. Brown
34. Section CC-CC	10/10/2023	J. Smith	M. Jones	D. Brown
35. Section DD-DD	10/10/2023	J. Smith	M. Jones	D. Brown
36. Section EE-EE	10/10/2023	J. Smith	M. Jones	D. Brown
37. Section FF-FF	10/10/2023	J. Smith	M. Jones	D. Brown
38. Section GG-GG	10/10/2023	J. Smith	M. Jones	D. Brown
39. Section HH-HH	10/10/2023	J. Smith	M. Jones	D. Brown
40. Section II-II	10/10/2023	J. Smith	M. Jones	D. Brown
41. Section JJ-JJ	10/10/2023	J. Smith	M. Jones	D. Brown
42. Section KK-KK	10/10/2023	J. Smith	M. Jones	D. Brown
43. Section LL-LL	10/10/2023	J. Smith	M. Jones	D. Brown
44. Section MM-MM	10/10/2023	J. Smith	M. Jones	D. Brown
45. Section NN-NN	10/10/2023	J. Smith	M. Jones	D. Brown
46. Section OO-OO	10/10/2023	J. Smith	M. Jones	D. Brown
47. Section PP-PP	10/10/2023	J. Smith	M. Jones	D. Brown
48. Section QQ-QQ	10/10/2023	J. Smith	M. Jones	D. Brown
49. Section RR-RR	10/10/2023	J. Smith	M. Jones	D. Brown
50. Section SS-SS	10/10/2023	J. Smith	M. Jones	D. Brown
51. Section TT-TT	10/10/2023	J. Smith	M. Jones	D. Brown
52. Section UU-UU	10/10/2023	J. Smith	M. Jones	D. Brown
53. Section VV-VV	10/10/2023	J. Smith	M. Jones	D. Brown
54. Section WW-WW	10/10/2023	J. Smith	M. Jones	D. Brown
55. Section XX-XX	10/10/2023	J. Smith	M. Jones	D. Brown
56. Section YY-YY	10/10/2023	J. Smith	M. Jones	D. Brown
57. Section ZZ-ZZ	10/10/2023	J. Smith	M. Jones	D. Brown
58. Section AA-AA	10/10/2023	J. Smith	M. Jones	D. Brown
59. Section BB-BB	10/10/2023	J. Smith	M. Jones	D. Brown
60. Section CC-CC	10/10/2023	J. Smith	M. Jones	D. Brown
61. Section DD-DD	10/10/2023	J. Smith	M. Jones	D. Brown
62. Section EE-EE	10/10/2023	J. Smith	M. Jones	D. Brown
63. Section FF-FF	10/10/2023	J. Smith	M. Jones	D. Brown
64. Section GG-GG	10/10/2023	J. Smith	M. Jones	D. Brown
65. Section HH-HH	10/10/2023	J. Smith	M. Jones	D. Brown
66. Section II-II	10/10/2023	J. Smith	M. Jones	D. Brown
67. Section JJ-JJ	10/10/2023	J. Smith	M. Jones	D. Brown
68. Section KK-KK	10/10/2023	J. Smith	M. Jones	D. Brown

BP 6411.
Construction Cert. No. _____

GROUND FLOOR PLAN

Accredited Building Surveyor No 6395

GORDON + VALLIGH
ARCHITECTS

106 RESERVOLDIA STREET
SUNRAY HILLS NSW 2010
PH 0212 16900 FX 0212 3063

JOB NAME AND ADDRESS

DRAWN	DATE	SCALE	REVISION NO.
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APPROVED	DATE	JOB NO.	DRAWING NO.

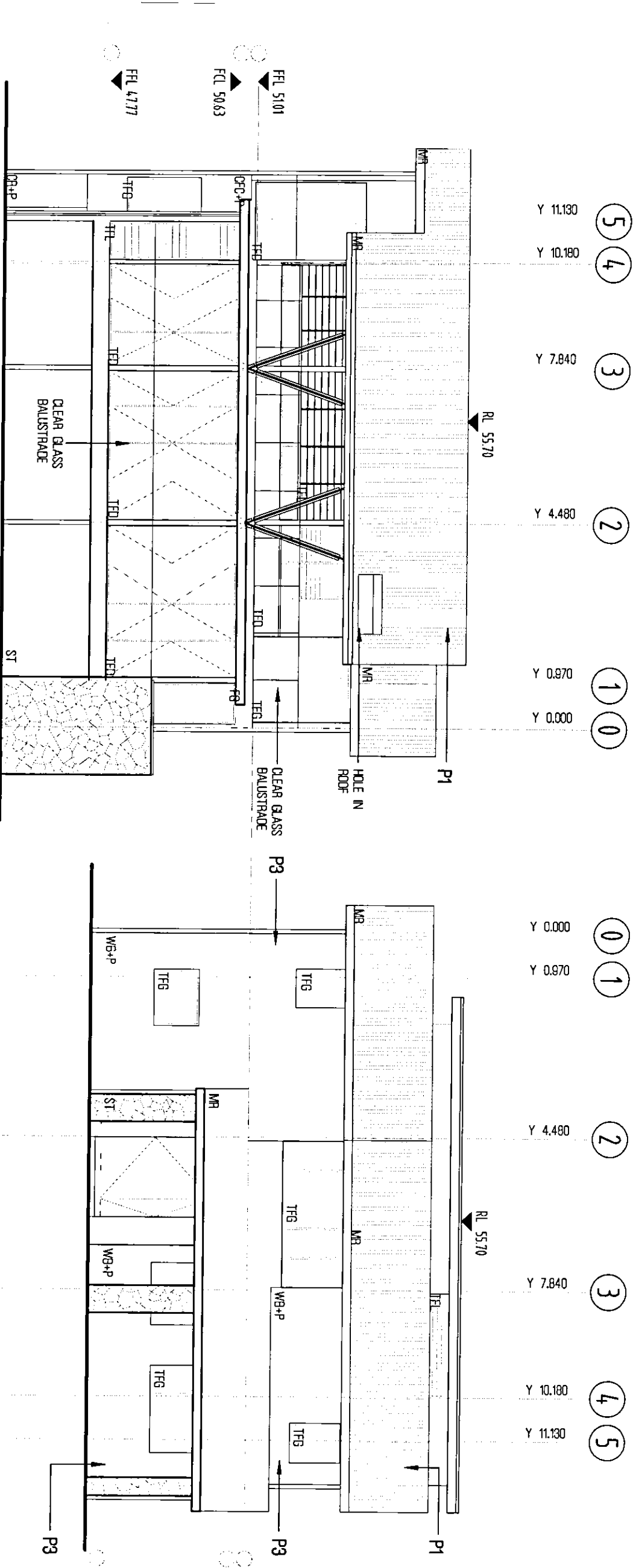
022-CC04

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A.C.N. 002 958 625
A.B.N. 71 002 958 625

AMENDMENT NOTES

- A PRELIMINARY CONSULTANT ISSUE 18/02/04
B CONSTRUCTION CERTIFICATE ISSUE 03/06/04



GORDON + VALICH
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
P H 8212 1688 F X 8212 3063

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARENJOEY RD

NEWPORT ROYCE & Associates
140 CHURCH ST

DRAWING TITLE
Construction Certificate
EAST ELEVATION
WEST ELEVATION
Approved Planning Supervisor No 6395

DRAWN	DATE	SCALE	REVISION NO.
PB/RM	FEB 04	1:100	B
APPROVED	DATE	JEB NO.	DRAWING NO.
PB	03/05/04	0225CC08	

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☐ C
 ☐ B

B CONSTRUCTION CERTIFICATE ISSUE 03/04/05

A

X 0.000



☐ B
 ☐ C

A

106 RESERV OIR STREET
SUNRY HILLS NSW 2010
PH 0212 1699 FX 0212 3063

ALTERATIONS AND ADDITIONS TO

WILLIAM C. HILL

DRAWING TITLE: 8 P 6 4 1 1
Construction Certificate

Accredited Building Surveyor No 6395

DRAWN	DATE	SCALE	REVISION NO.
RM	FEB 04	1/100	B
APPROVED	DATE	JOB NO.	DRAWING NO.
PB	03/05/04	0225	0000

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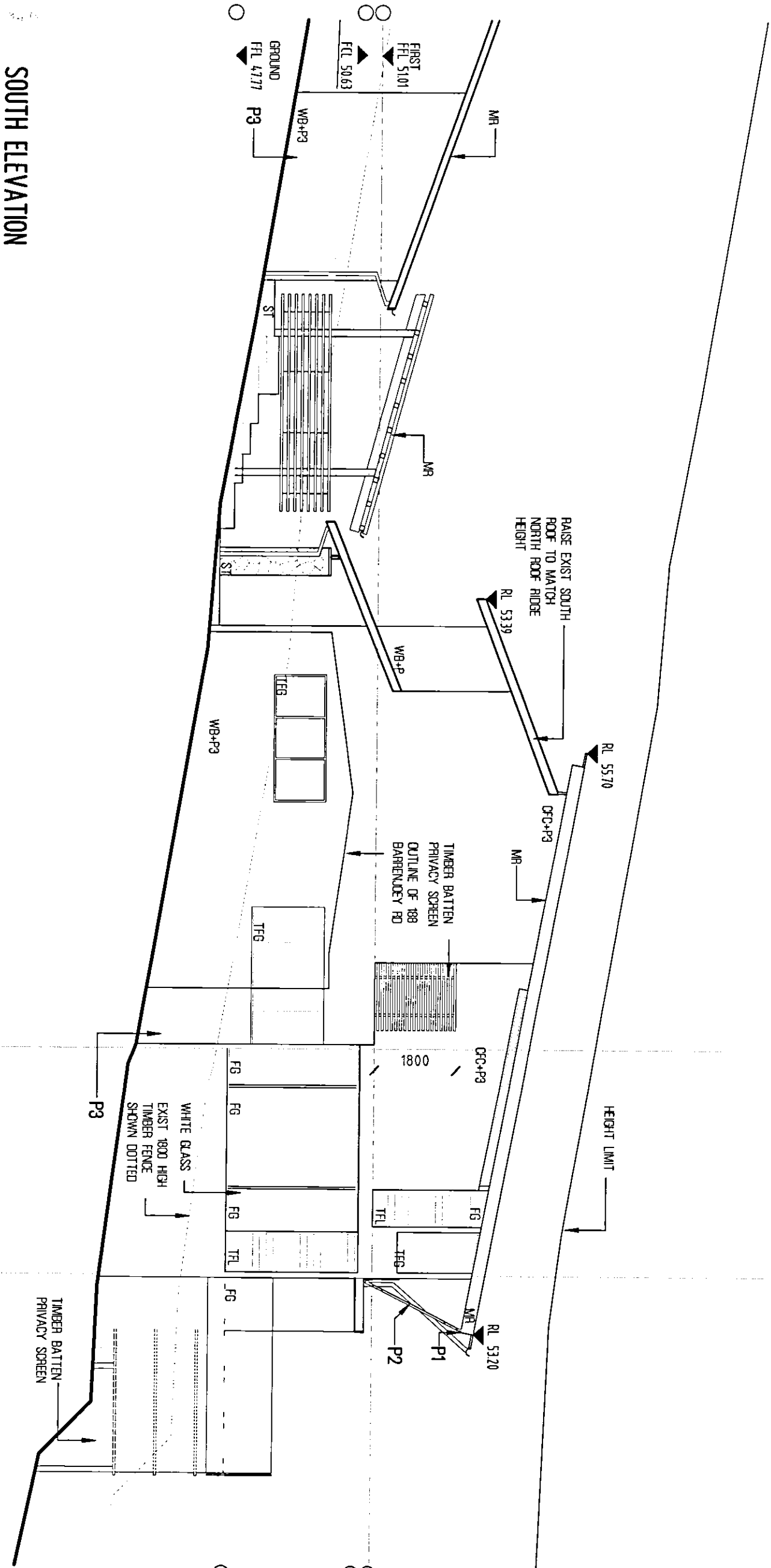
A.C.N. 002 958 625
A.B.N. 71 002 958 625

AMENDMENT NOTES

- A PRELIMINARY CONSULTANT ISSUE 18/02/04
B CONSTRUCTION CERTIFICATE ISSUE 03/05/04

A B C

X 0.000
X 3.886
X 4.976



SOUTH ELEVATION

GORDON + VALLIN
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 8212 1688 FX 8212 3063

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARENDEY RD

NEWPORT BOULEVARD ASSOCIATES
PO BOX 2000
SYDNEY NSW 1585

DRAWING TITLE
Construction Certificate
SOUTH ELEVATION

Approved by the Planning Supervisor No 6395

DRAWN	DATE	SCALE	REVISION NO.
RH	FEB 04	1:100	B
APPROVED	DATE	JOB NO.	DRAWING NO.
P8	03/05/04	0225	CC10

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A.B.N. 71 002 593 625

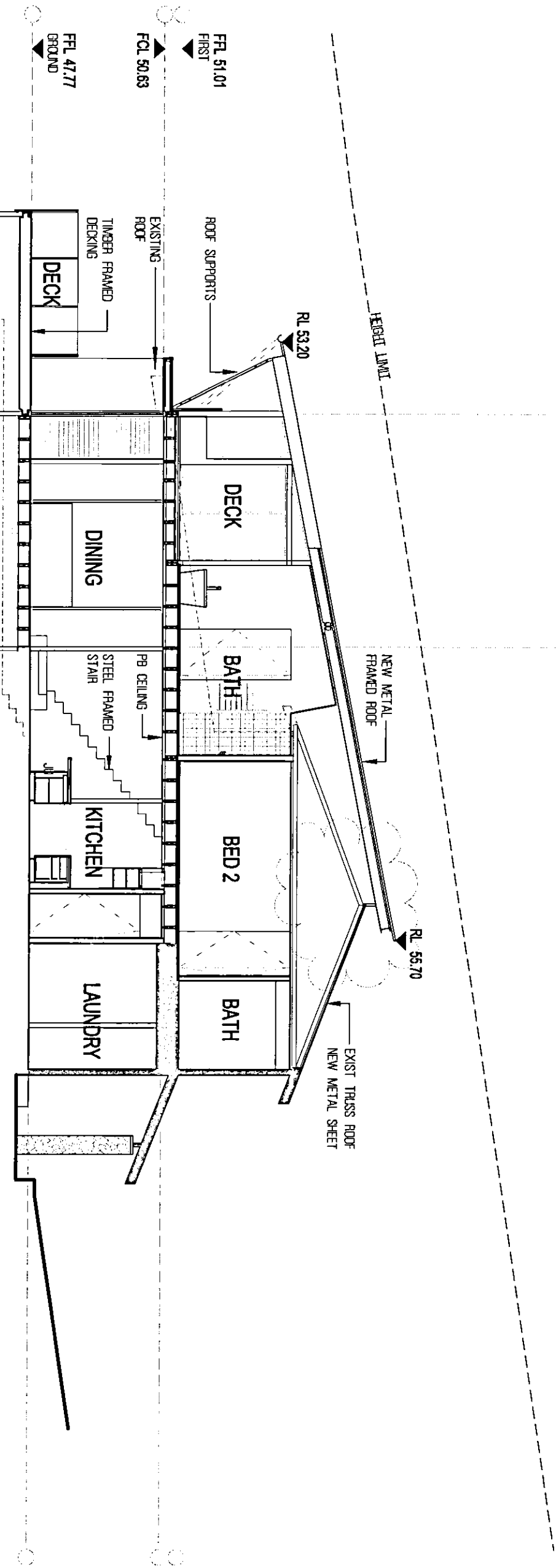
AMENDMENT NOTES

A	PRELIMINARY CONSULTANT ISSUE	05/04/04
B	CONSTRUCTION CERTIFICATE ISSUE	03/05/04

X 4.975
X 3.985
X 0.000

C B

A



SECTION 1

C B

A

CAD FILE- a225_cc06_section1.dwg; PLOTTED DATE- 12:47pm, 03 May 04

GORDON + VALICH
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 8212 1698 FX 9212 3063

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARENJOEY RD.

NEWPORT 2010 CC BY ASSOCIATES

10/12/2010

DRAWING TITLE: 10/12/2010

8 P 6 1 1

SECTION 1

Accepted Building Survey No 6495

DRAWN	DATE	SCALE	REVISION NO.
RM	JAN 04	1:100	B
APPROVED	DATE	JOB NO.	DRAWING NO.
PB	03/05/04	0225	CC11

00:001 SCALE OF THIS DRAWING: Use figure dimensions only. Verify all dimensions on site.
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A



X 0.000

CONSTRUCTION CERTIFICATE ISSUE



A

ⓑ



106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 0212 1688 FX 0212 3063

ALTERATIONS AND ADDITIONS TO

1991

DRAWING TITLE: APPROVED FOR CONSTRUCTION
CONSTRUCTED BY: CDR. JAMES B P 6 4 1 1

Completed: 2009-05-04

1

Accredited Institution No 6295

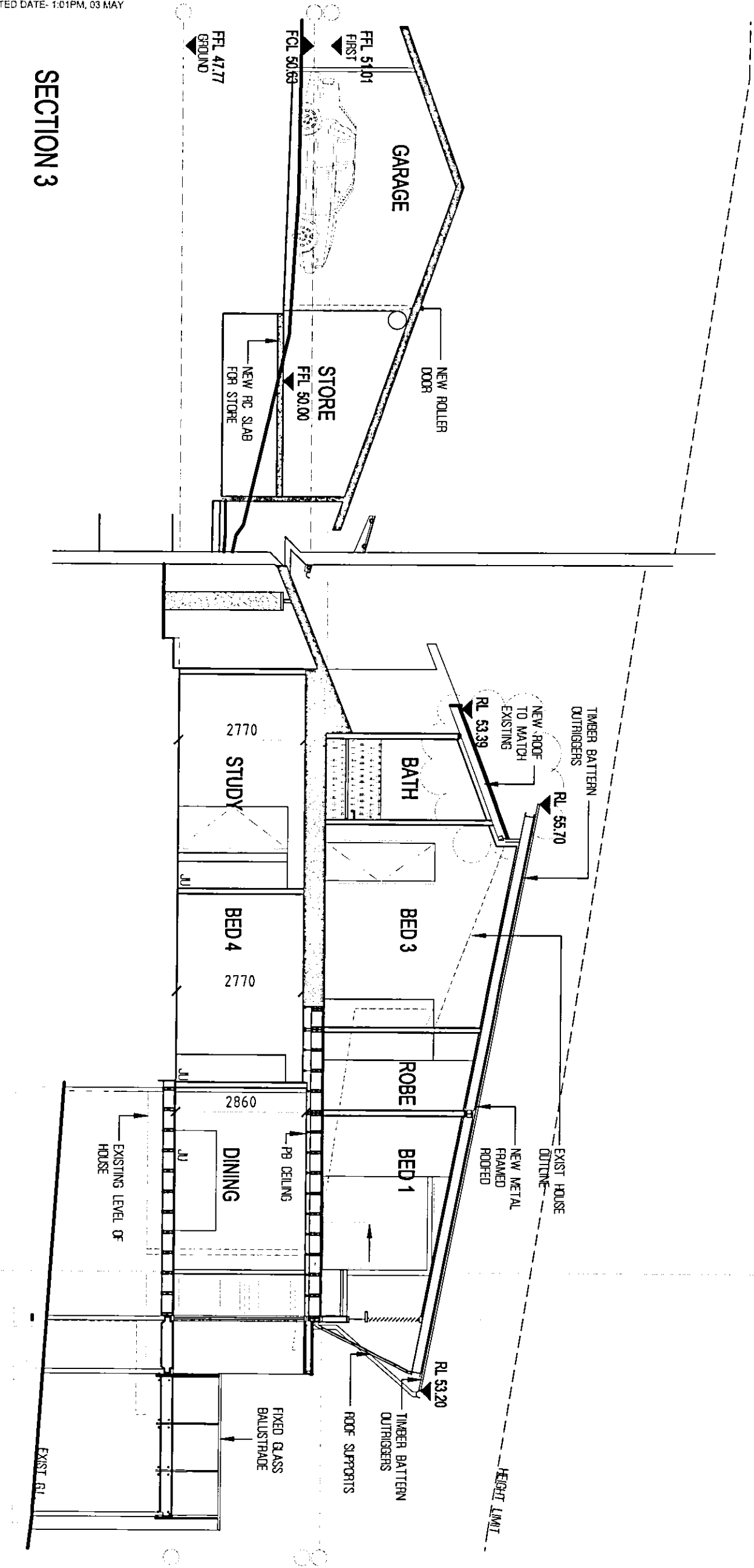
CGT2

A.B.N. 71 002 958 625

AMENDMENT NOTES

A	PRELIMINARY CONSULTANT ISSUE	06/04/04
B	CONSTRUCTION CERTIFICATE ISSUE	03/06/04

A	X 0.000
B	X 3.965
C	X 4.975



SECTION 3

GORDON VAUGHN ARCHITECTS
106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1699 FX 9212 9069

JOB NAME AND ADDRESS
**ALTERATIONS AND ADDITIONS TO
190 BARRENJOEY RD.
NEWPORT** *Proposed by Gordon & Vaughn Architects*

DRAWING TITLE: **Alterations and Additions to
Construction Certificate** **8 P 6 4 1 1**

THIS DRAWING IS A SECT 96(1) PART
DRAWING. IT IS NOT TO BE USED FOR
CONSTRUCTION.

SECTION 3

Approved Building Services No 6395

A **B** **C**

DRAWN	DATE	SCALE	REVISION NO.
RM	JAN 04	1:100	B
APPROVED	DATE	JOB NO.	DRAWING NO.
PB	03/05/04	0225	CC13

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A.B.N. 71 002 558 625



GORDON + VALE

ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2011
PH 9212 1688 FX 9212 306

JOB NAME AND ADDRESS

**ALTERATIONS AND ADDITIONS TO
190 BARRENOEY RD.
NEWPORT**

DRAWING TITLE

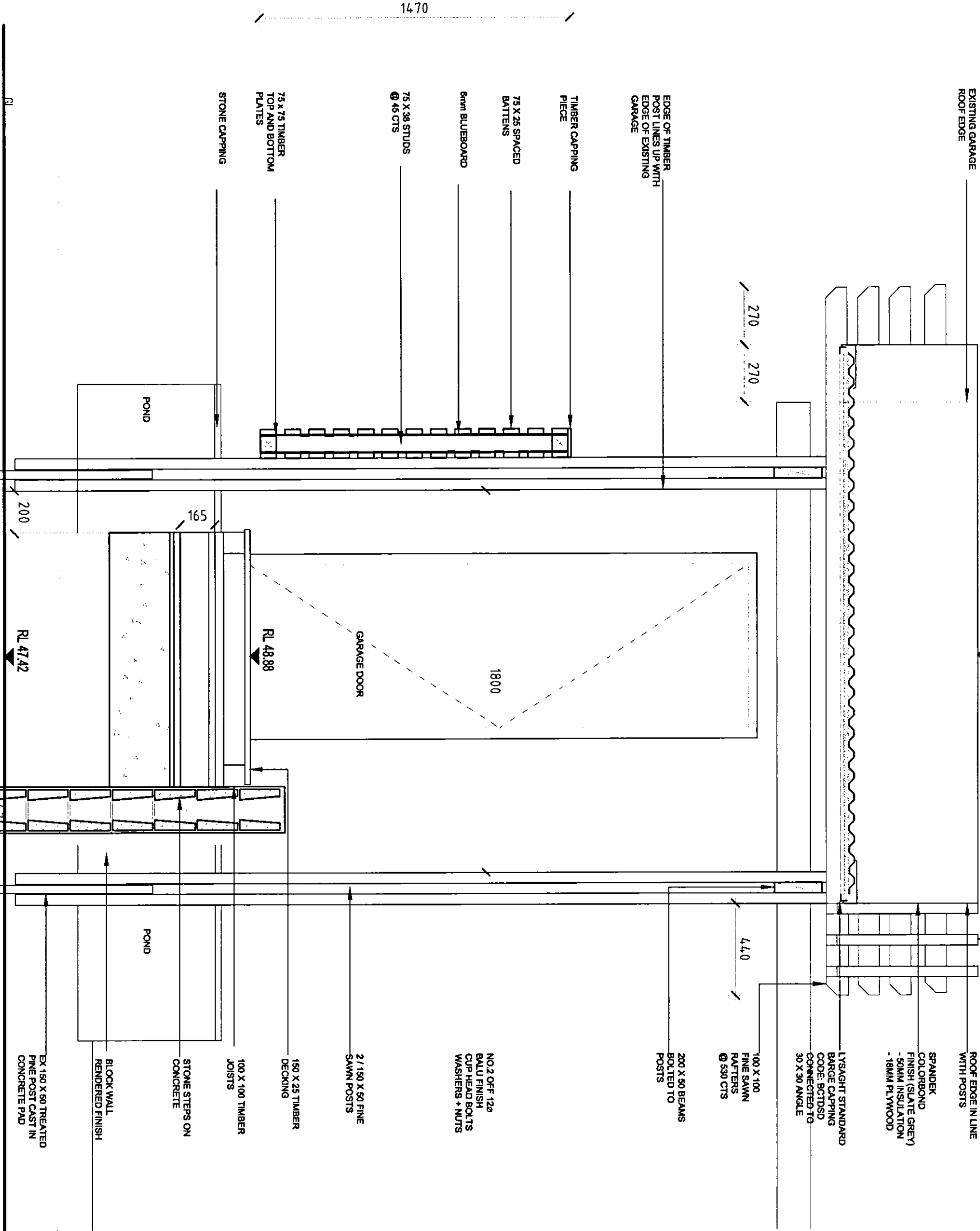
CANALISING A CREEK
SECTIONS 4&5

B.P. 5 4 1 1

Approved Building Engineer No. 6395

AMENDMENT NOTES

A	PRELIMINARY CONSULTANT ISSUE	14/04/04
B	CONSTRUCTION CERTIFICATE ISSUE	03/05/04



SECTION 7

DRAWN	DATE	SCALE	REVISION NO.
RM	APRIL 14	1:20	B
APPROVED	DATE	JOB NO.	DRAWING NO.
PB	03/05/04	0225	CC16

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AS/NZS 17: 002 534 525

DRAWING TITLE: **SECTION 7**
Construction Certificate: **B.P. 6411**

Accepted by: **Paul New** Surveyor No. 6365

JOB NAME AND ADDRESS:
**ALTERATIONS AND ADDITIONS TO
190 BARENDJOEY RD.
NEWPORT**

GORDON + VALICH
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
P H 0 2 1 2 1 6 9 9 F X 0 2 1 2 3 0 6 3

KITCHEN

APPLIANCES

FRIDGE	
PROPRIETARY ITEM	WHIRLPOOL GRL247NI
FINISH	SS
DISHWASHER	
PROPRIETARY ITEM	FISHER & PAYKAL DISHWASHER DRAWER DD6031
FINISH	INTEGRATED FINISH
COOKTOP	
PROPRIETARY ITEM	SMEG PA106SX
FINISH	SS
MICROWAVE	
PROPRIETARY ITEM	SMEG SA985CX
FINISH	70cm STAINLESS STEEL TRIM KIT
OVEN	
PROPRIETARY ITEM	SMEG SA22X
FINISH	SS
RANGEHOOD	
PROPRIETARY ITEM	SMEG SA480T
FINISH	SS
FIXTURES	
SPOUT & TAPSET	
PROPRIETARY ITEM	?
FINISH	
SINK	
PROPRIETARY ITEM	OMEGA UNDERMOUNT SINKS
FINISH	SS
JOINERY	
BENCHTOP	
MATERIAL	CESAR STONE
THICKNESS	20MM
EDGE	70MM
BENCH & CABINET SHELF DIVISION, CARCASSES	
MATERIAL	HMR
THICKNESS	18MM
FINISH	MELAMINE ?
COLOUR	WHITE ?
CABINET DOORS	
THICKNESS	18mm
FINISH	AL. FRAMED GLASS DOORS
COLOUR	WHITE
OPEN SHELVES	
MATERIAL	HMR
THICKNESS	18MM
FINISH	MELAMINE
COLOUR	WHITE
EDGE	ALUMINIUM FRONT EDGE STRIP
EXPOSED SHELF ALUMINIUM EDGE	
PROPRIETARY ITEM	CAPRAL 60X3MM ALUMINIUM FLAT
FINISH	E20049MF605400
	MILL FINISH
SKIRTING	
MATERIAL	LAMINATE SKIRTING
THICKNESS	18mm
FINISH	AL. FINISH

LAUNDRY

APPLIANCES

WASHING MACHINE/DRYER COMBINATION	
PROPRIETARY ITEM	AEG OKO LAVAMAT 86820 +
STACK KIT	57720 DRYER
NOTE:	TRZ 900 WM REUSE EXIST
WASHING MACHINE COCKS	
PROPRIETARY ITEM	GROHE 22965
FINISH	CHROME
FIXTURES	
TAPSET & SPOUTS	
PROPRIETARY ITEM	GROHE WALL SINK MIXER 1/2" 31139CB
FINISH	CHROME
SINK	
PROPRIETARY ITEM	CLARK FLUSHLINE 9510
SHOWER ROSE	
PROPRIETARY ITEM	GROHE RELEXA PLUS SHOWER SET EXHUSIT 28669 AAAB WITH SOAP DISH
FINISH	CHROME
SHOWER MIXER	
PROPRIETARY ITEM	GROHE EURODISC 33966 + 19549
FINISH	CHROME
SHOWER SCREEN	
MATERIAL	CLEAR GLASS TO A.S.
FRAME	CAPRAL
FINISH	E03052 GLAZING CHANNEL
HINGES	TBC
FINISH	CDS PATCH FITTINGS
HANDLE	(2) CDS 126 CP
HANDLE	MADINOZ MDZ SH600/E
HANDLE FINISH	(2) BACK TO BACK PSS
FLOOR WASTE	
PROPRIETARY ITEM	INCWARE RIMO INC 001 08 18 03
FINISH	SATIN CHROME
FLOOR WASTE	
PROPRIETARY ITEM	STORMTECH 65A ARCHITECTURAL GRATE
FINISH	STAINLESS STEEL
VENTILATION SYSTEM	
PROPRIETARY ITEM	VENT-AXIA TX6PL
PANEL EXHAUST FAN	A501 EGGRATE GRILL
DUCTING	A101
JOINERY	
BENCHTOP	
MATERIAL	HMR TO FORM 60MM FRONT
TOP FINISH	ALUMINIUM FRONT EDGE STRIP
COLOUR	VINYL WHITE

BENCHTOP & SHELF LEDGE ALUMINIUM EDGE

PROPRIETARY ITEM	CAPRAL 60X3MM ALUMINIUM FLAT
	E20049MF605400
FINISH	MILL FINISH
DOORS AND END DIVISIONS	
MATERIAL	HMR
THICKNESS	18MM
FINISH	2 PACK POLYUREATHANE
COLOUR	WHITE

INTERNAL SHELVES, DIVISIONS, CARCASSES

MATERIAL	HMR
THICKNESS	18MM
FINISH	MELAMINE
COLOUR	WHITE

EXPOSED SHELVES

MATERIAL	HMR
THICKNESS	18MM
FINISH	MELAMINE
COLOUR	WHITE
EDGE	0.5MM LAMINATE
EDGE COLOUR	WHITE

SHELF LEDGE

MATERIAL	HMR
THICKNESS	22MM
FINISH	MELAMINE
COLOUR	WHITE
EDGE	ALUMINIUM FRONT EDGE STRIP

KICKBOARD

MATERIAL	HMR
THICKNESS	18MM
FINISH	LAMINEX
COLOUR	OYSTER GREY FLINT FINISH

SPLASHBACK

PROPRIETARY ITEM	GROSVENOR GLASS G30-3087
	DISTANT HAZE
	OPAQUE MONOCOAT
THICKNESS	COLOUR TBC 6mm

HARDWARE

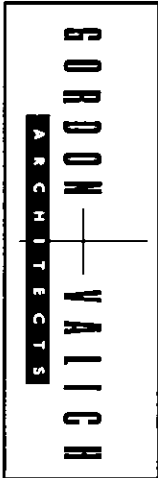
CONCEALED HINGES

TYPE	HETTICH INTERMAT 9944
	FAST ASSEMBLY HINGE SERIES
	TYPICALLY

NOTE: WHITE RUBBER DOORSTOPS
IN CARCASS TO EACH DOOR

DRAWER SLIDES

TYPE	HETTICH ROLLER RUNNER SYSTEM
	FR 602/500
	EPOXY COATED STEEL
CAPACITY	SELF CLOSING
EXTENSION	35KG FULL



105 RESERV OIR STREET
SURREY HILLS NSW 2010
PH 9 2 1 2 1 5 9 9 FX 9 2 1 2 3 0 5 3

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARENDSEY RD.
NEWPORT

This drawing is to not form part
of the contract documents.

DRAWING TITLE	8 P 6 4 1 1
DATE	8 P 6 4 1 1
APPROVED BY	
SCHEDULE	

DRAWN	DATE	SCALE	REVISION NO.
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TM	MAY 04		A
APPROVED	DATE	JOB NO.	DRAWING NO.
FV		0225	CC17

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A.S.N. 71 002 998 625

HARDWARE

SHELF SUPPORTS	?
TYPE	
FINISH	
HANDLES	?
PROPRIETARY ITEM	
FINISH	
FLOURESCENT SHELF LIGHT	?
PROPRIETARY ITEM	
MISCELLANEOUS	
TOWEL RAIL	?
PROPRIETARY ITEM	
FINISH	

GUEST BATH
FIXTURES

BASIN TAPSET & SPOUT	
PROPRIETARY ITEM	
FINISH	ROGER SELLER LOGIC 31104, +31106 CHROME
BASINS	
PROPRIETARY ITEM	DURAVIT BALI 0473340000
WC	
PROPRIETARY ITEM	DURAVIT ARCHITEC 0192090000 WALL HUNG
CISTERN	
PROPRIETARY ITEM	VASIR EVOLUT TBC
PUSH PLATE	TBC
PUSH PLATE FINISH	TBC

FINISHES ?

FLOOR TILES	
PROPRIETARY ITEM	TILE
COLOUR	TBC
SIZE	TBC
WALL TILES (FULL HEIGHT)	
PROPRIETARY ITEM	TILE
COLOUR	TBC
SIZE	TBC
CEILING	
PROPRIETARY ITEM	PAINT WHITE SEMI GLOSS ENAMEL 13MM WP PLASTERBOARD CORNIC

SHELF LEDGE

MATERIAL	HMR
THICKNESS	22MM
FINISH	MELAMINE
COLOUR	WHITE
EDGE	ALUMINIUM FRONT EDGE STRIP

SHELF LEDGE ALUMINIUM EDGE

PROPRIETARY ITEM	CAPRAL 60X3MM ALUMINIUM FLAT E2004,9MF6054,09
FINISH	MILL FINISH

SPLASHBACK

PROPRIETARY ITEM	CERAMIC MOSAIC TILE
COLOUR	
SIZE	COLOUR TBC

HARDWARE

CONCEALED HINGES

TYPE	HETTICH INTERMAT 9944, FAST ASSEMBLY HINGE SERIES TYPICALLY
------	--

NOTE: WHITE RUBBER DOORSTOPS
IN CARCASS TO EACH DOOR

DRAWER SLIDES

TYPE	HETTICH ROLLER RUNNER SYSTEM FR 602/500
FINISH	EPOXY COATED STEEL SELF CLOSING 35KG FULL

CABINET DOOR TRACK

PROPRIETARY ITEM	COWDROY ALUMINIUM ROLLER BEARING TRACK SINGLE TRACK TT720 TT475
FINISH	CLEAR ANNOIDISED

SHELF SUPPORTS

TYPE	HETTICH 016 181 PUSH-IN SHELF SUPPORT CHROME
FINISH	

HANDLES

PROPRIETARY ITEM	MADINOZ MDZ 19/C
FINISH	PC

FLOURESCENT SHELF LIGHT

PROPRIETARY ITEM	CONCORD SLIMLITE 15 SERIES (1) 50027 SLIMLITE 28
------------------	--

MISCELLANEOUS

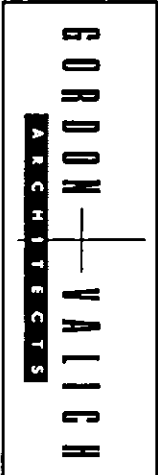
TOILET ROLL HOLDER	
PROPRIETARY ITEM	MADINOZ MDZ TRH40
FINISH	PSS

TOWEL RAIL

PROPRIETARY ITEM	MADINOZ MDZ TR606/E
FINISH	PSS

FINISHES

FLOOR	
PROPRIETARY ITEM	STONE TILE
COLOUR	TBC
SIZE	TBC
WALL	
(FULL HEIGHT)	
PROPRIETARY ITEM	STONE TILE
COLOUR	TBC
SIZE	TBC
CEILING	
PROPRIETARY ITEM	PAINT WHITE SEMI GLOSS ENAMEL 13MM WP PLASTERBOARD ROND0 P50
CEILING LINING	
CORNICE	



105 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9 212 1599 FX 9 212 3053

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARRENDEY RD

NEWPORT

DRAWING TITLE	ALTERATIONS AND ADDITIONS TO 190 BARRENDEY RD
DATE	03/05/04
BY	B.P. 6.4.1.1
CHECKED	
APPROVED	
SCHEDULE	
Accepted For Payment No 6365	

DRAWN	DATE	SCALE	REVISION NO
TH	MAY 04		A
APPROVED	DATE	JOB NO.	DRAWING NO.
FV		0225	CC18

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A.S.N. 71 002 926 625

FLOOR WASTE (SHR)
PROPRIETARY ITEM

STORMTECH
65A ARCHITECTURAL GRATE
STAINLESS STEEL

FINISH

SHELF SUPPORTS
TYPE

HETTICH
016 181 PUSH-IN SHELF SUPPORT
CHROME

VENTILATION SYSTEM

PROPRIETARY ITEM
TX6PL
PANEL EXHAUST FAN
GRILLE
DUCTING
A101

VENT-AXIA

TX6PL
A501 EGGRATE GRILL

FLOOR HEATING

PROPRIETARY ITEM
FLOOR HEAT AUSTRALIA

GLASS SHELF SUPPORT

PROPRIETARY ITEM
HAFFELE
GLASS SHELF SUPPORT
CAT. NO. 28220.715

JOINERY

VANITY TOP

MATERIAL
THICKNESS
20MM
CARRARA MARBLE
60MM SQUARE PENCIL ROUNDED
EDGE

FLOURESCENT SHELF LIGHT (FL)

PROPRIETARY ITEM
CONCORD
SLIMLITE T5 SERIES
(2) 50020 SLIMLITE 21

VANITY DOORS

MATERIAL
THICKNESS
6MM
OPAQUE GLASS

MISCELLANEOUS

TOILET ROLL HOLDER

PROPRIETARY ITEM
MADINOZ
MDZ TRH&Q
PSS

VANITY AND CABINET SHELVES, DIVISIONS,
CARCASES, DRAWERFRONTS

MATERIAL
THICKNESS
18MM
HMR
FINISH
MELAMINE
COLOUR
WHITE

HEATED TOWEL RAIL

PROPRIETARY ITEM
HYDROTHERM
TR2 ELECTRIC (ON TIMER)
500MM
FINISH
CHROME PLATE

CABINET DOORS

MATERIAL
THICKNESS
PILKINGTON 'TWINKOTE'
6MM CLEAR MIRROR

SPLASHBACK

PROPRIETARY ITEM
CERAMIC MOSAIC TILE
COLOUR
TBC
SIZE
TBC

FINISHES

FLOOR

PROPRIETARY ITEM

STONE TILE

HARDWARE

DRAWER SLIDES

TYPE

HETTICH

ROLLER RUNNER SYSTEM

FINISH

FR 602/500

EPOXY COATED STEEL

SELF CLOSING

35KG

FULL

WALL

PROPRIETARY ITEM

STONE TILE

COLOUR
SIZE

TBC
TBC

CEILING

PROPRIETARY ITEM

COLOUR

CEILING LINING

CORNICE

PAINT

WHITE SEMI GLOSS ENAMEL

13MM WP PLASTERBOARD

RONDO P50

CABINET & VANITY DOOR TRACK

PROPRIETARY ITEM

COWDROY

ALUMINIUM ROLLER BEARING

TRACK, SINGLE TRACK

TT20

TT45

FINISH

CLEAR ANNOODISED



105 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1599 FX 9212 3053

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

NEWPORT

190 BARENJIDEY RD.

DRAWN DATE SCALE REVISION NO.

TH MAY 04

APPROVED DATE

FV

0225

CC20

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A.B.N. 71 002 898 825

FEL 5101

1

0

C

B

5

4

B

C

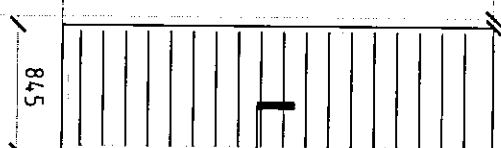
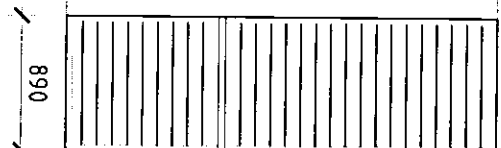
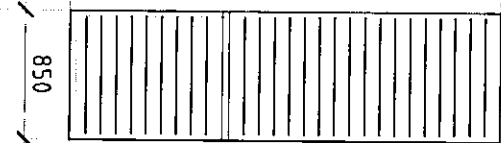
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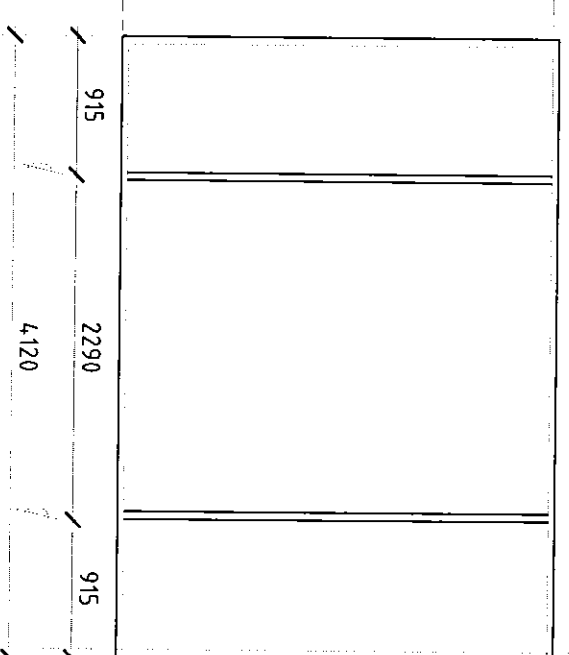
FEL 5063

2860

GFL 4777



DOOR
F03



W
G01

TYPE 100 LOUVERS

FRAME ALUMINIUM FRAMED

FINISH SATIN CLEAR ANODISED

W
G02

100mm GLASS LOUVRES

FRAME ALUMINIUM FRAMED

FINISH SATIN CLEAR ANODISED

W
G03

150mm GLASS LOUVRES

FRAME ALUMINIUM FRAMED

FINISH SATIN CLEAR ANODISED

W
G04

150mm GLASS LOUVRES

FRAME ALUMINIUM FRAMED

FINISH SATIN CLEAR ANODISED

W
G05

FIXED GLASS

FRAME ALUMINIUM FRAMED

FINISH WHITE GLASS

GROUND FLOOR

B

C

B

SILICON JOINT

2835

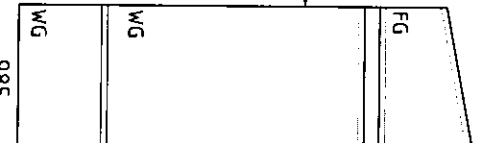
2290

445

100

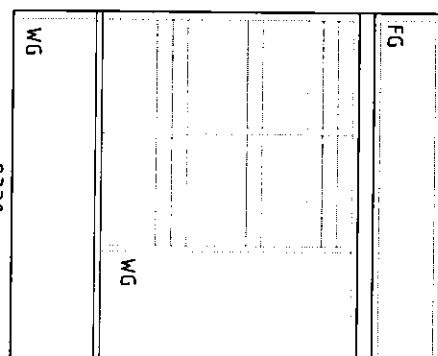
100 FOLDED
AL. COVER

3025



FEL 5101

FEL 5063



100 FOLDED
AL. COVER

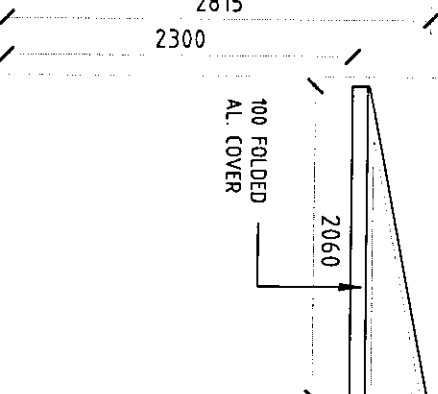
2290

2835

SILICON JOINT

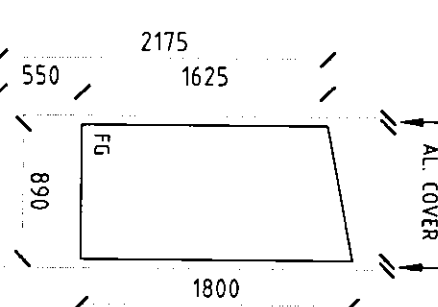
2815

2300



100 FOLDED
AL. COVER

2060



100 FOLDED
AL. COVER

W
F06

TYPE

FRAME

FINISH

NOTES

FIXED GLASS

ALUMINIUM FRAMED

SATIN CLEAR ANODISED

WHITE GLASS

W
F07

FIXED GLASS + LOUVRES

ALUMINIUM FRAMED

SATIN CLEAR ANODISED

CLEAR GLASS LOUVRES

W
F08

FIXED GLASS HIGHLIGHT WINDOW ABOVE D/F05

ALUMINIUM FRAMED

SATIN CLEAR ANODISED

W
F09

FIXED GLASS

ALUMINIUM FRAMED

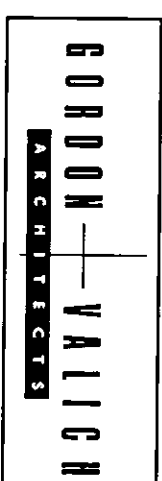
SATIN CLEAR ANODISED

FIRST FLOOR

A CONSTRUCTION CERTIFICATE 03/05/04
ISSUE

NOTE:

- DIMENSIONS ARE A GUIDE ONLY
CHECK ALL DIMENSIONS ON
SITE PRIOR TO FABRICATION
- ALL HARDWARE TO BE
APPROVED BY ARCHITECT



105 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9 212 1599 FX 9 212 3053

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO

190 BARENJOEY RD.

NEWPORT

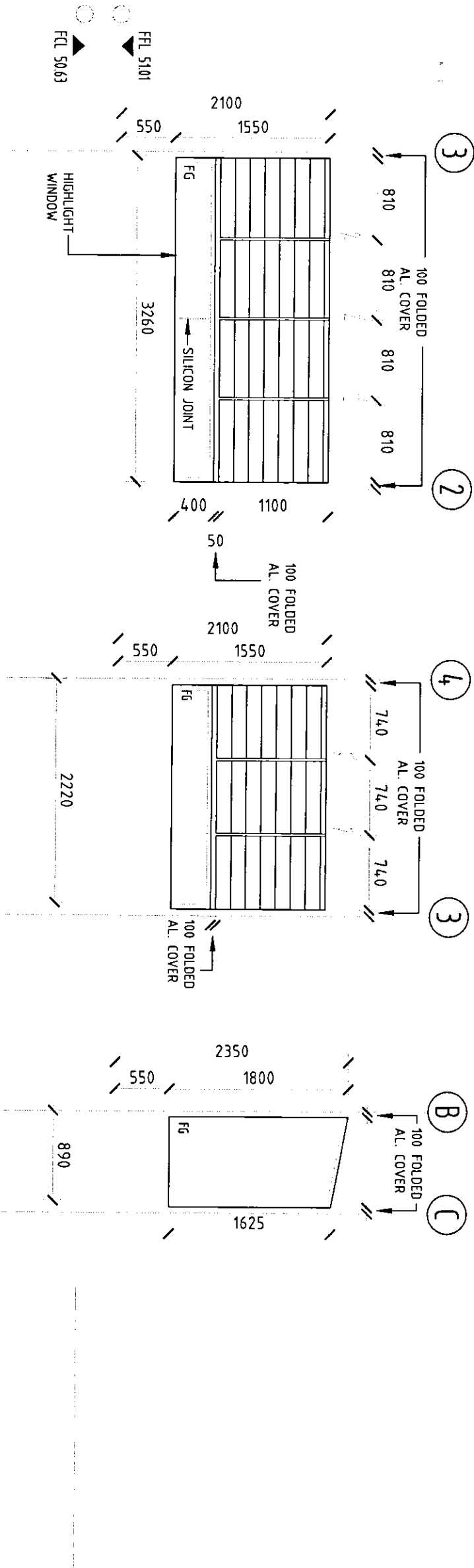
DRAWING TITLE
WINDOW SCHEDULE FOR B.P. 6.4.1.1
GROUND FLOOR
FIRST FLOOR

Drawn By: [Signature]
Checked By: [Signature]
Survey No: 6105

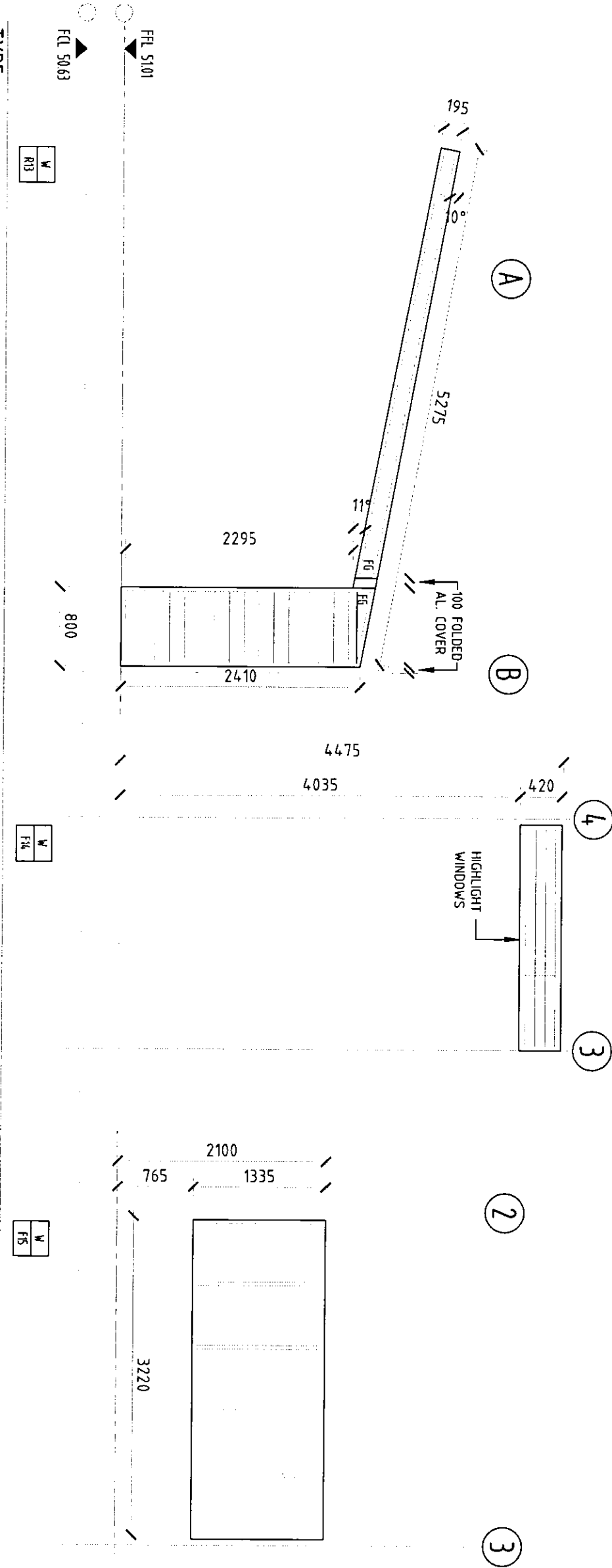
DRAWN DATE SCALE REVISION NO.
15 MAY 04 150 A

APPROVED DATE JOB NO. DRAWING NO.
0225 CC21

DO NOT SCALE OFF THIS DRAWING. Use figured dimensions only. Verify all dimensions on site.
All dimensions shall be brought to the attention of the Architect. This drawing is
copyright and may not be used without written consent.
A.B.K. 71 002 538 023

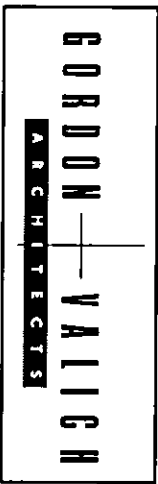


TYPE	FIXED GLASS	FIXED GLASS	FIXED GLASS
FRAME	ALUMINIUM FRAMED	ALUMINIUM FRAMED	ALUMINIUM
FINISH	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED
NOTES	150mm GLASS LOUVRES	150mm GLASS LOUVRES	



TYPE	FIXED GLASS	150mm GLASS LOUVRES	100mm GLASS LOUVRES	FIXED GLASS
FRAME	ALUMINIUM FRAMED	ALUMINIUM FRAMED	ALUMINIUM FRAMED	ALUMINIUM FRAMED
FINISH	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED
NOTES				

- NOTE:
- DIMENSIONS ARE A GUIDE ONLY
CHECK ALL DIMENSIONS ON
SITE PRIOR TO FABRICATION
 - ALL HARDWARE TO BE
APPROVED BY ARCHITECT



105 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9 212 1599 FX 9 212 3053

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO
190 BARENDJEY RD.
NEWPORT

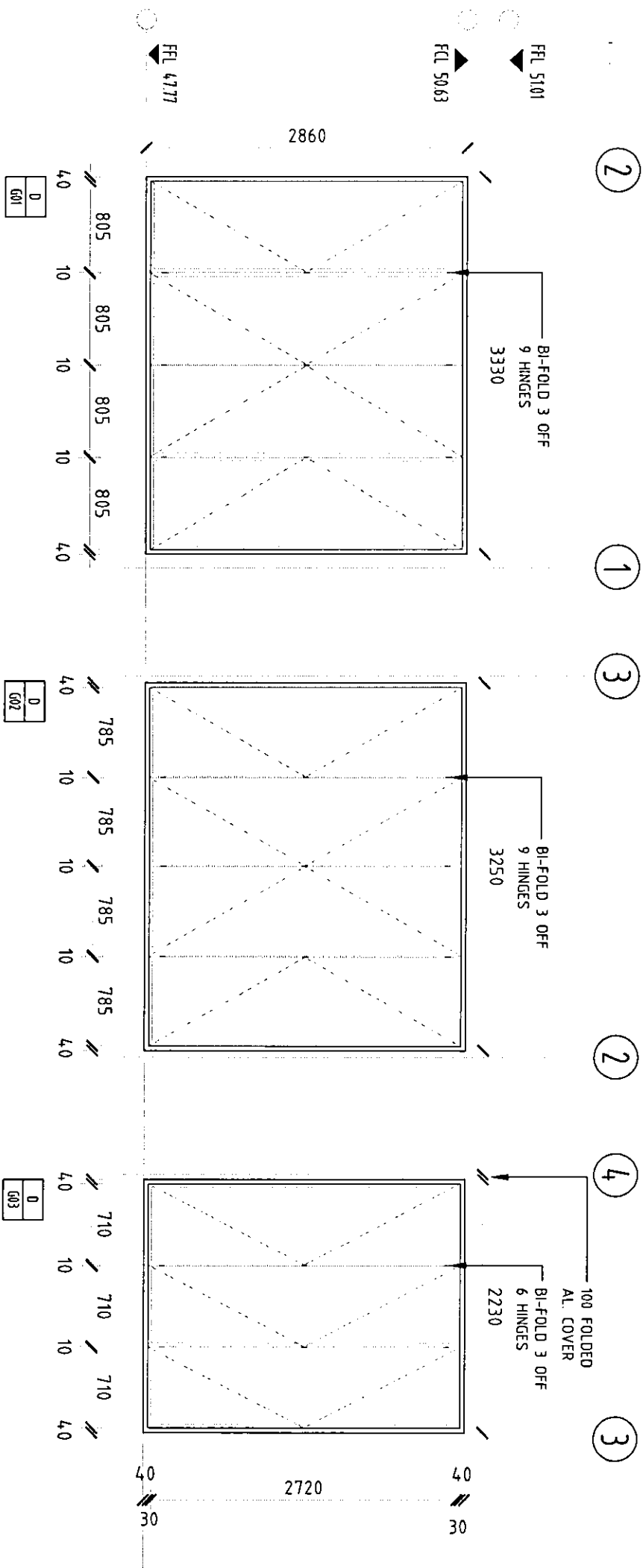
DRAWING TITLE
WINDOW SCHEDULE FOR
FIRST FLOOR & HIGHLIGHT

Approved For Construction By GVS

DRAWN DATE SCALE REVISION NO.
TS MAY 04 150 A
APPROVED DATE JOB NO DRAWING NO.

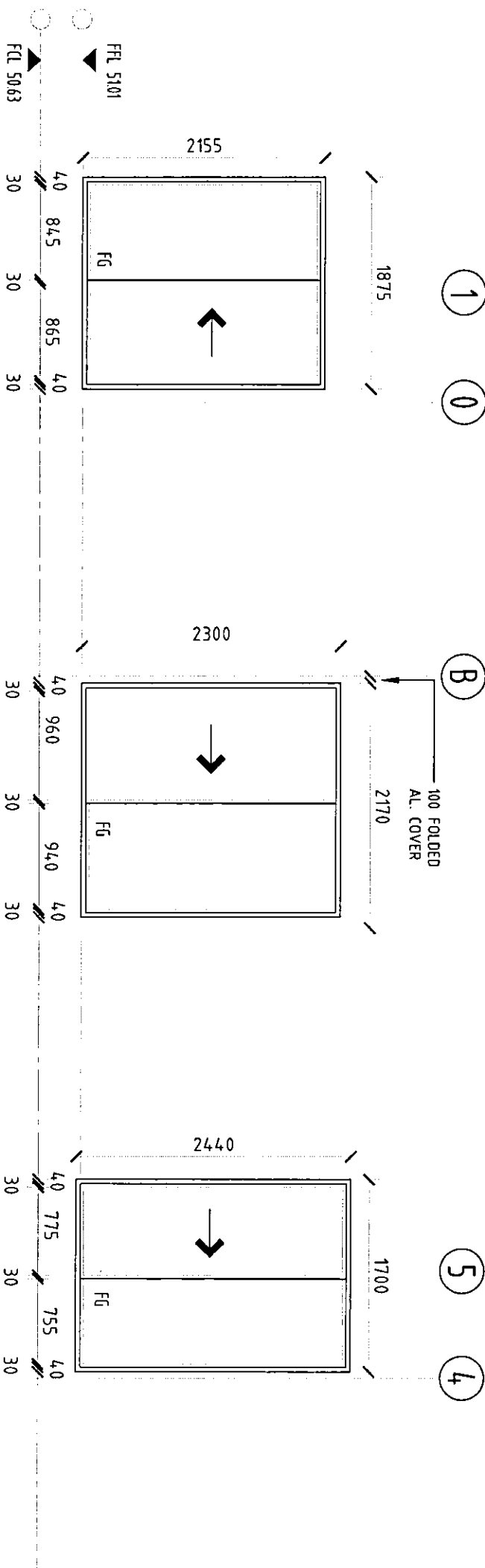
0225CC22

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TYPE	BI-FOLD DOORS	BI-FOLD DOORS	BI-FOLD DOORS
FRAME	ALUMINIUM FRAMED	ALUMINIUM FRAMED	ALUMINIUM FRAMED
FINISH	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED

GROUND FLOOR



TYPE	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR
FRAME	ALUMINIUM FRAMED	ALUMINIUM FRAMED	ALUMINIUM FRAMED
FINISH	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED	SATIN CLEAR ANODISED

FIRST FLOOR

LEGEND

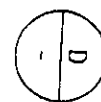
- STORMWATER DRAINAGE
- SUBSOIL DRAINAGE
- EXISTING STORMWATER DRAINAGE

450x450 STORMWATER PIT

Ø100 DOWNPIPE

VERTICAL PIPE

DETAIL REFERENCE



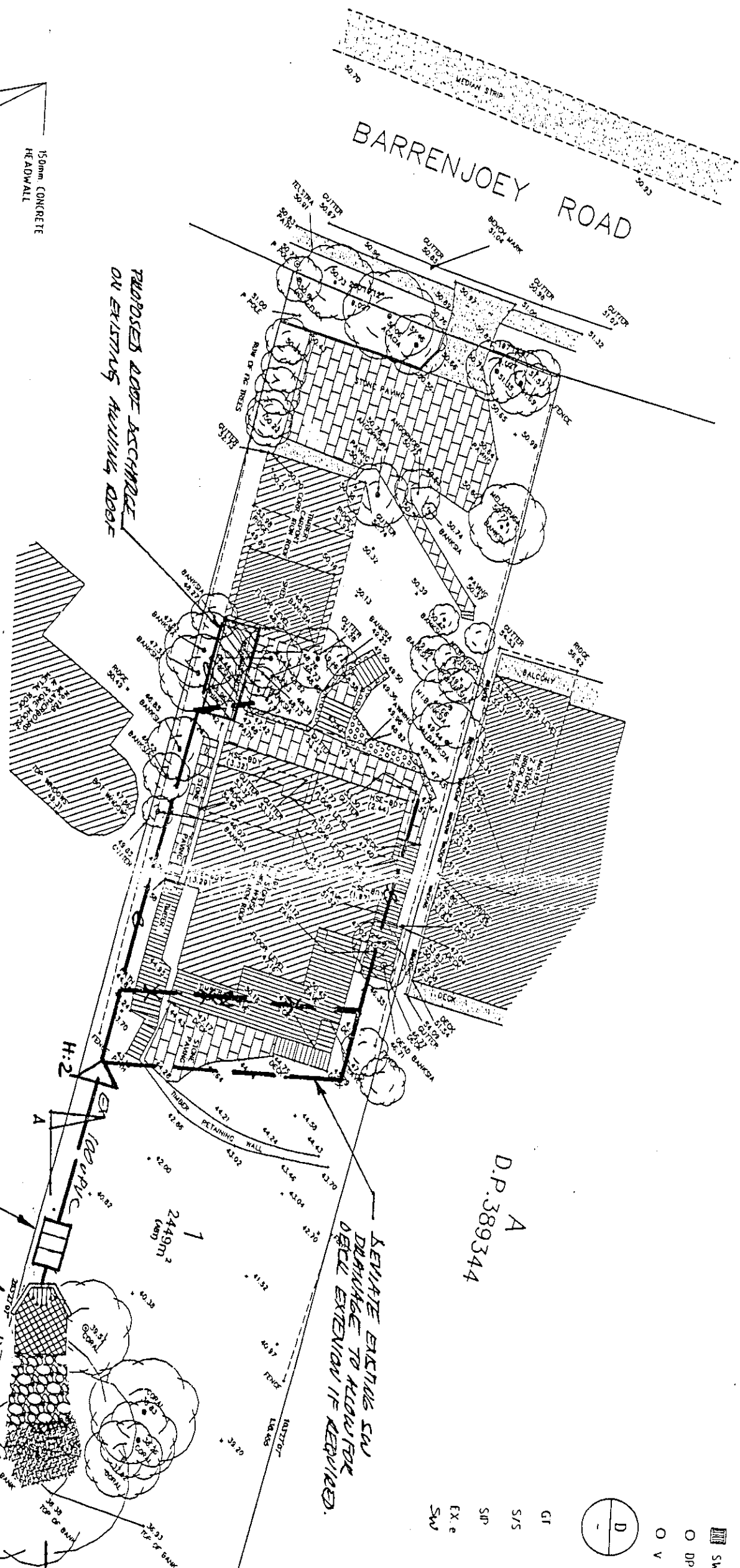
GRATED TRENCH
SUBSOIL DRAINAGE
WITH GEOTEXTILE SOCK
SEWER INSPECTION PIT

EXISTING
STORMWATER DRAINAGE

EX. e

SW

SEWAGE EXISTING SW
DRAINAGE TO ALLOW FOR
DEPT. EXTENSION IF REQUIRED.



D.P. 940520

D.P. 389344

2449m²

H:2

A

1000mm PVC

LOCATE END OF EXISTING PIPE AND
HORIZONTAL DISSIPATOR

LOCATE DISSIPATOR STRUCTURE TO
SUIT NATURAL FALL OF THE LAND
WITHIN HEAD OF NATURAL GULLY

500L CAPACITY
GEOS. POLYURETHANE TRAP
EQUATE TO 1000mm RAINFALL
MODEL GPTD

Peter Doyle & Associates

10/10/2005

This plan is a preliminary design
of the proposed stormwater
construction. It is not to be used
for construction.

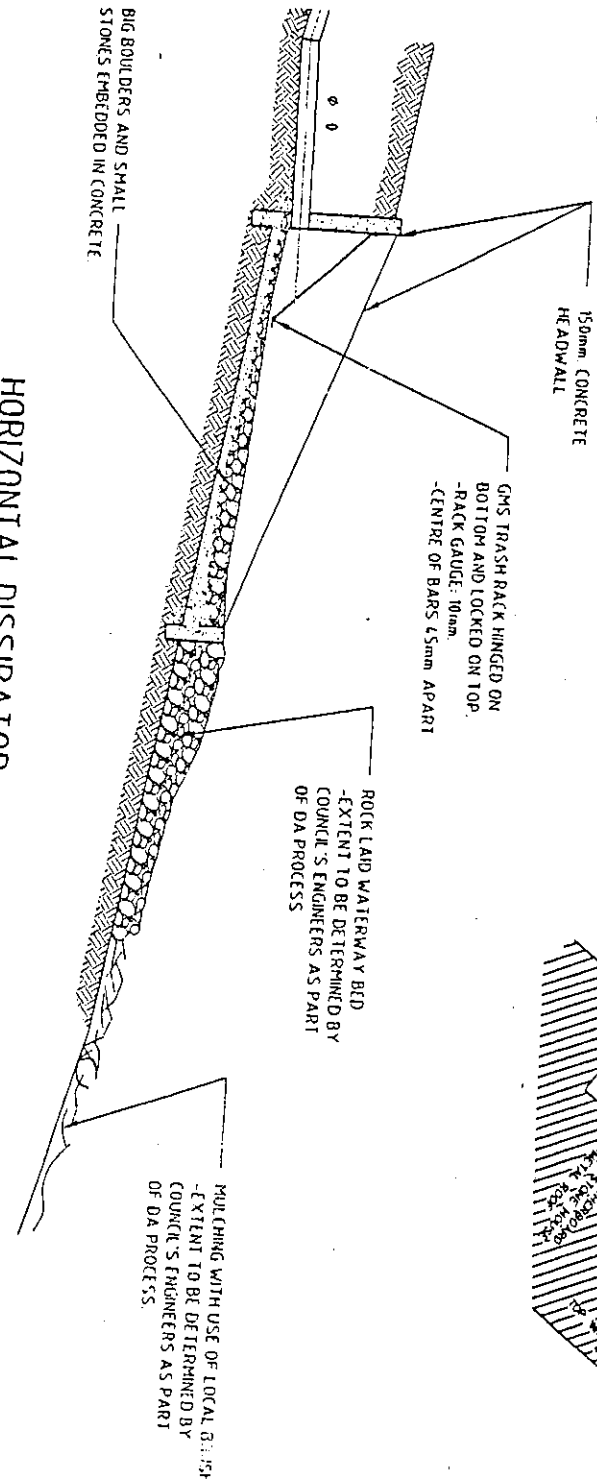
Construction Certificate No. 8.0.6.4.1.1

Approved by the Council of the City of Sydney

HORIZONTAL DISSIPATOR

SECTION A-A

NTS



TRASH RACK HINGED ON
BOTTOM AND LOCKED ON TOP
- BACK GAUGE: 100mm
- CENTRE OF BARS 15mm APART

ROCK Laid WATERWAY BED
- EXTENT TO BE DETERMINED BY
COUNCIL'S ENGINEERS AS PART
OF DA PROCESS

POUING WITH USE OF LOCAL GULLY
- EXTENT TO BE DETERMINED BY
COUNCIL'S ENGINEERS AS PART
OF DA PROCESS

SITE PLAN

STORMWATER
DRAINAGE

HSK-1

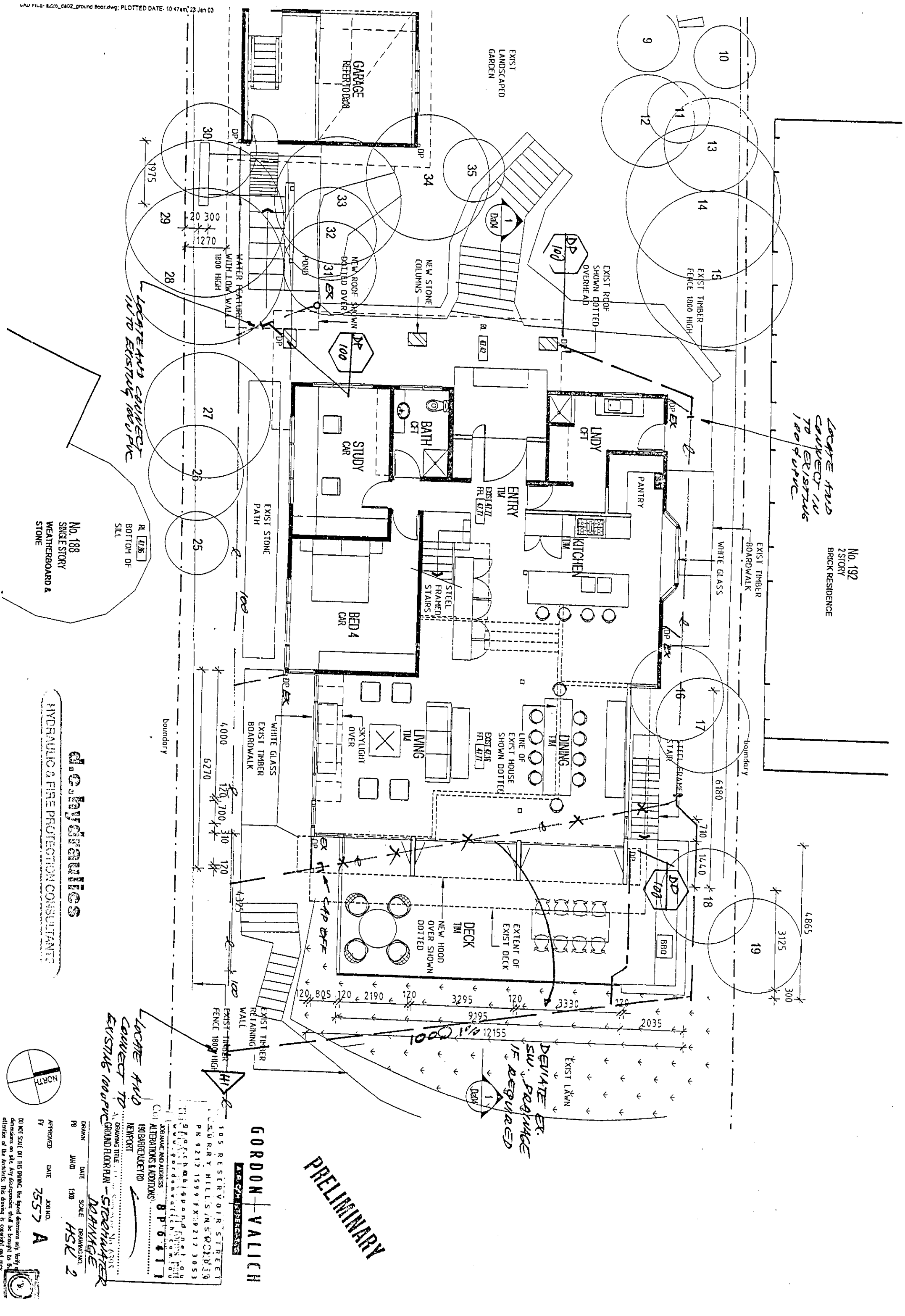
7557 A

PRELIMINARY

d.o.h. hydraulics

HYDRAULIC & FIRE PROTECTION CONSULTANTS





LOCATE AND
CONNECT TO
EXISTING
100 PUPC

No. 192
2 STORY
BRICK RESIDENCE

LOCATE AND
CONNECT
TO EXISTING
100 PUPC

No. 188
SINGLE STORY
WEATHERBOARD &
STONE

DEVIATE EX.
SW. PRONGAGE
IF REQUIRED

PRELIMINARY

GORDON VALICH

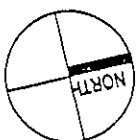
ARCHITECT

105 RESERVOIR STREET
SUNBURY HILLS NSW 2578
PH 9212 1599 FAX 9212 3053
WWW.GORDONVALICH.COM.AU
GORDON VALICH ARCHITECT
ALTERNATIONS & ADDITIONS
8 P 6 4 1 1
190 BARRACLOUGH RD
NEWPORT
DRAWING TIME: 1.5 HOURS
DATE: 29 JAN 03
SCALE: AS SHOWN
DRAWING NO.: HSR 2

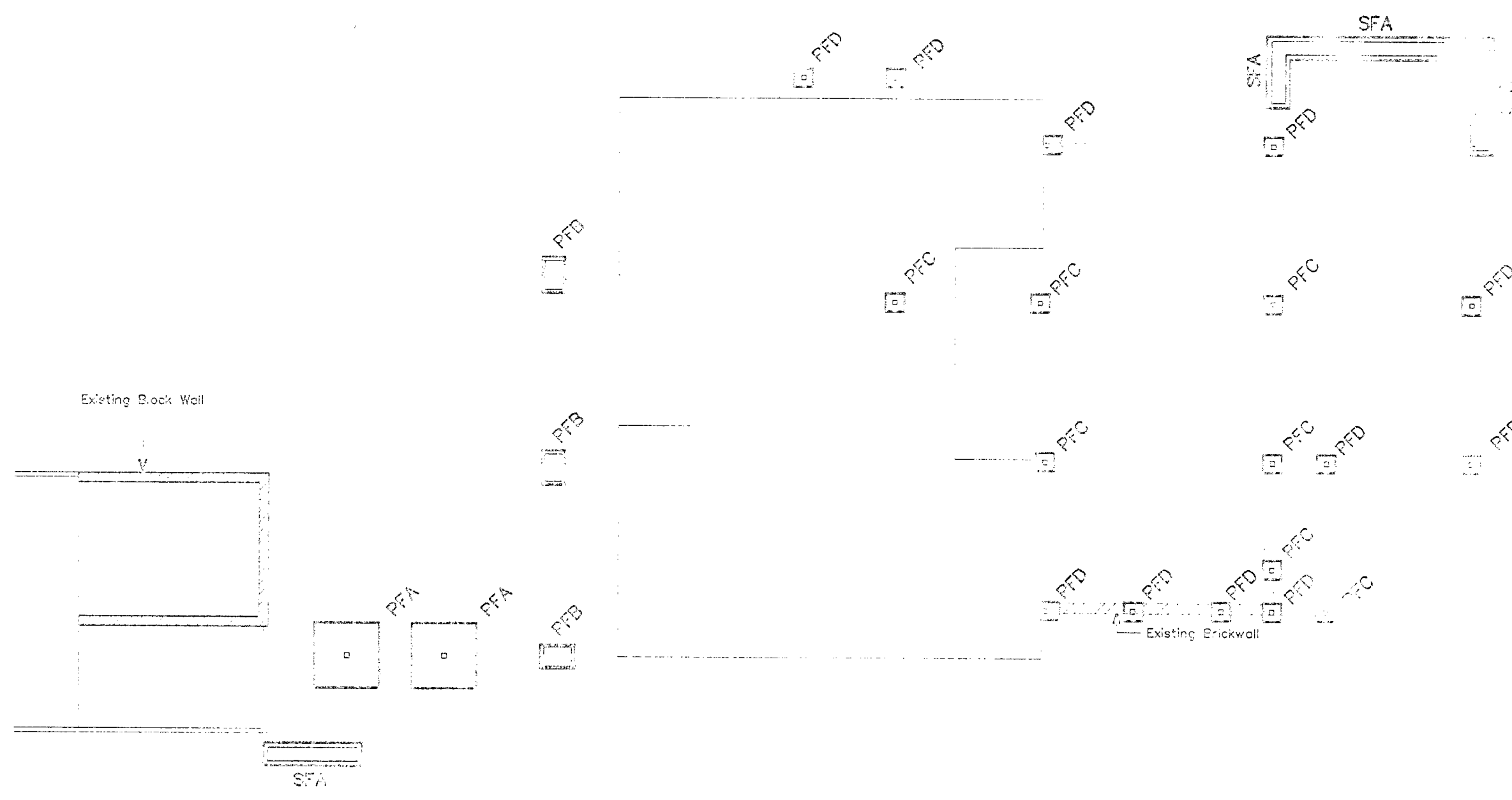
LOCATE AND
CONNECT TO
EXISTING 100 PUPC
GROUND FLOOR PLAN - STEAKHOUSE
DRAWING

d.c. hydraulics

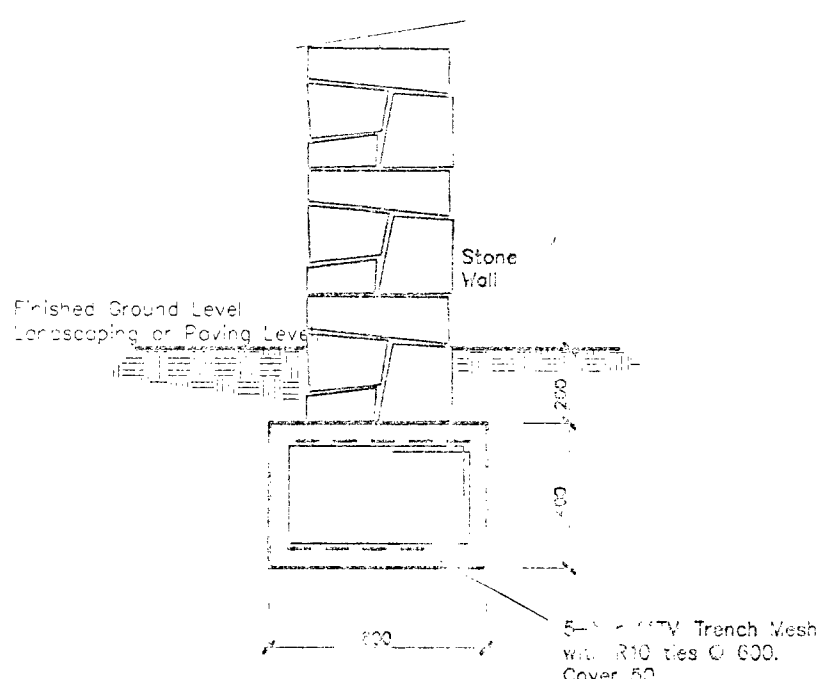
HYDRAULIC & FIRE PROTECTION CONSULTANTS



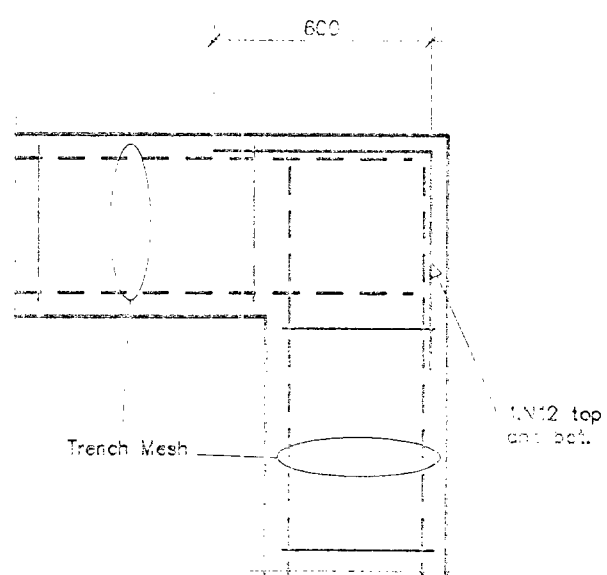
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ACN 002 528 525
APPROVED DATE JOB NO.
RV 7557 A
DRAWN DATE SCALE DRAWING NO.
RB JAN 03 1:00 HSR 2



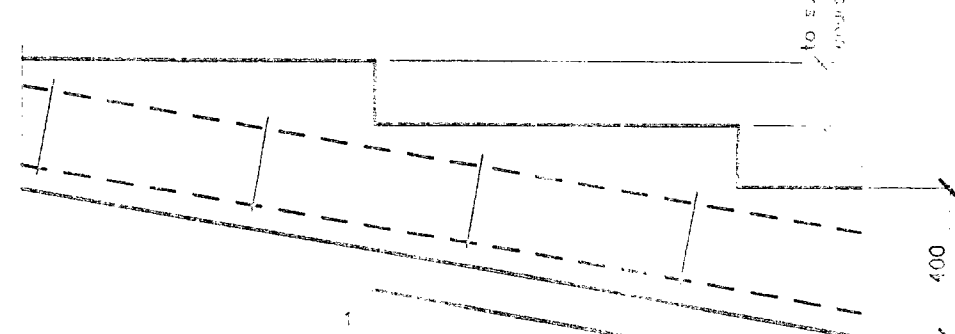
FOOTING PLAN



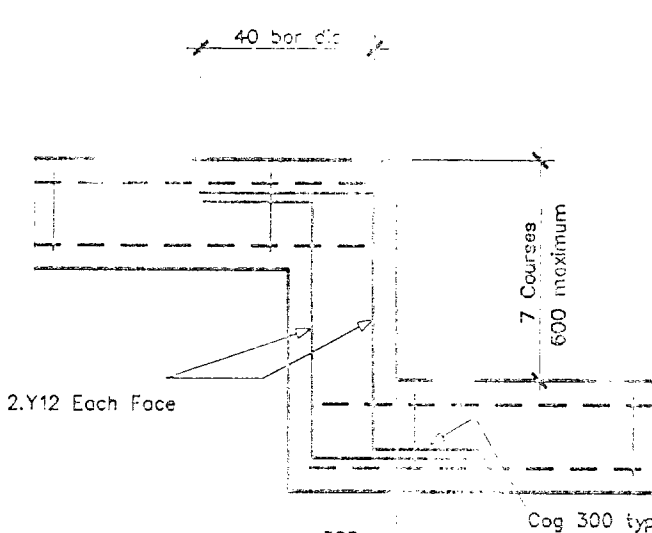
600 x 400 Deep
STEP FOOTING DETAIL - PFA
Scale 1:20



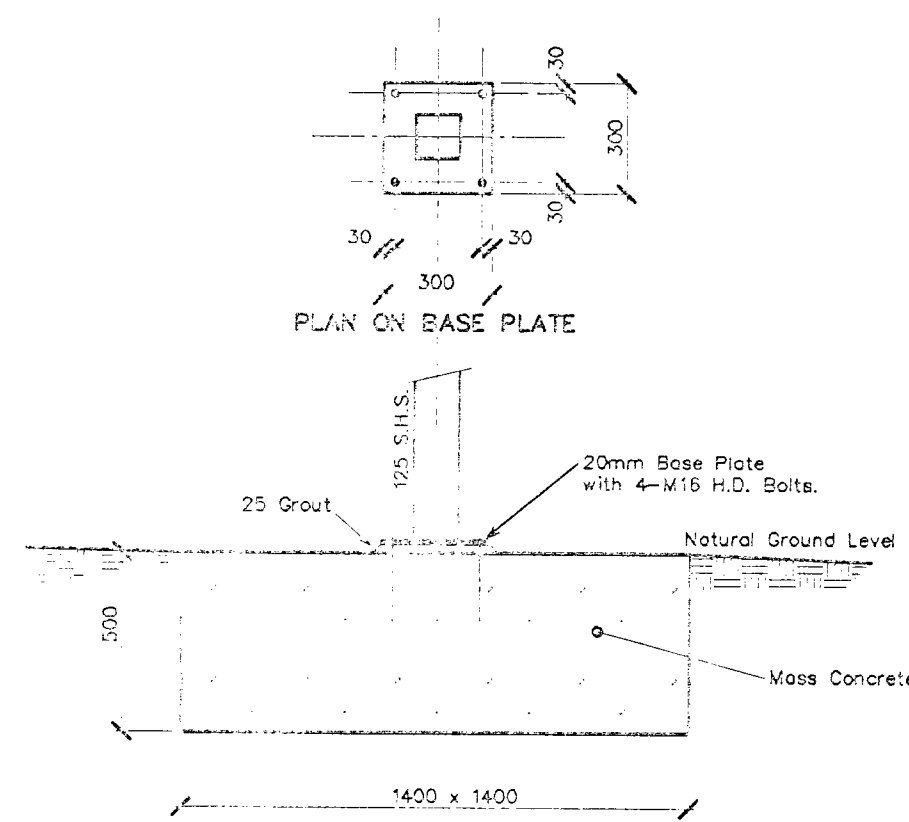
CORNER DETAIL



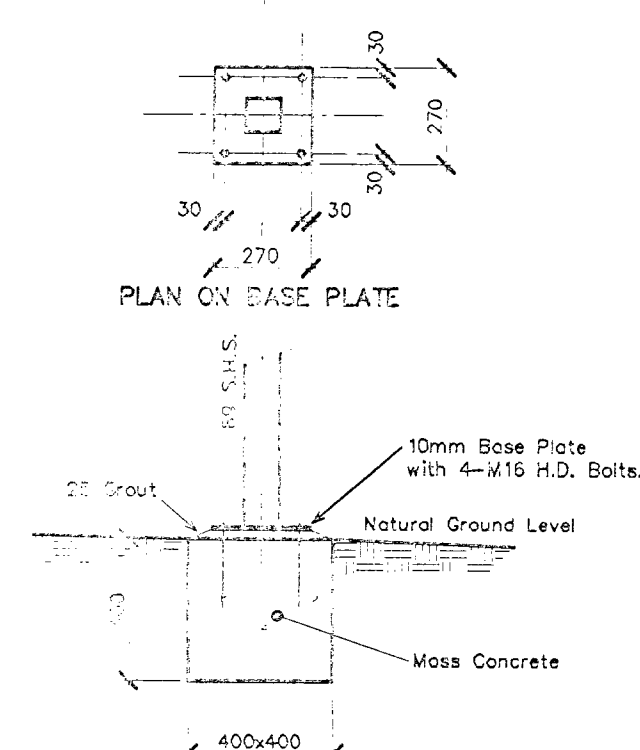
STEP DETAIL FOR GENTLE SLOPES



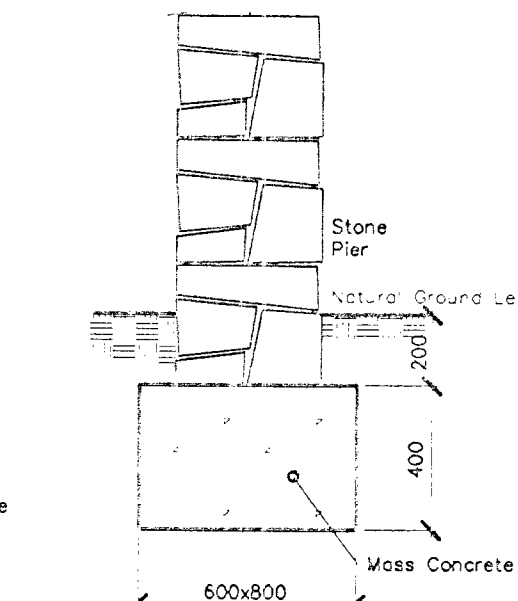
STEP DETAIL



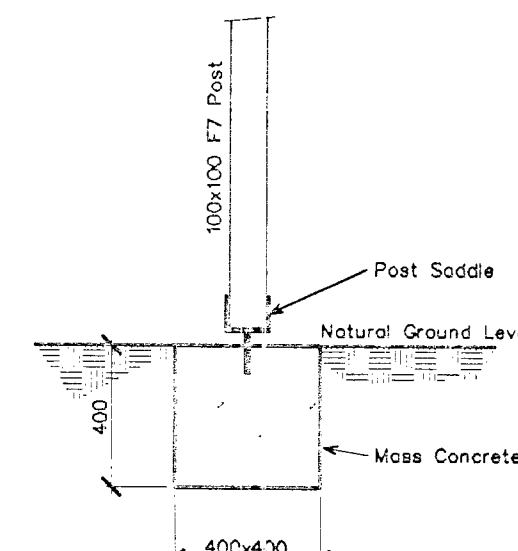
PAD FOOTING DETAIL - PFA



PAD FOOTING DETAIL - PFC



PAD FOOTING DETAIL - PFB



PAD FOOTING DETAIL - PFD

- CONCRETE NOTES:
- All concrete work to be in accordance with AS 3600.
 - F/c refer to table.
 - Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 800mm ctr to ctr spacing.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class).
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork (not Bonddeck or similar). Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roofing Rib.
 - Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.

Element	Cover (mm)		F/c at 28 Days	
	Internal	External	Internal	External
Piers				
Footings				
Block Filling	50		32	
Slab on Ground				
- Top				
- Bottom				
Beams				
Columns				
Slabs	30	45	40	40
Walls				

The minimum clear cover is to reinforcement ties and stirrups.

- STEELWORK NOTES:
- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Crip all welds free of slag.
 - All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
 - Unless otherwise noted use:
 - 6mm continuous fillet weld
 - 10mm thick gusset, fin and end plates, weld all round.
 - 16mm dia. 4.6/s bolts.
 - Minimum end bearing 150mm.

- TIMBER NOTES:
- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 1684.2/AS 1720.1 & the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of Gum veins, pockets, knots holes or splits within 255mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.
 - All F7 timber shown are nominal sizes only.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100
Jack D. Hodgson
Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

FOOTING PLAN AND DETAILS

PROPOSED ALTERATIONS AND ADDITIONS
190 BARRENJOEY ROAD
NEWPORT

IAN HOGG
Accepted (Signature) Date

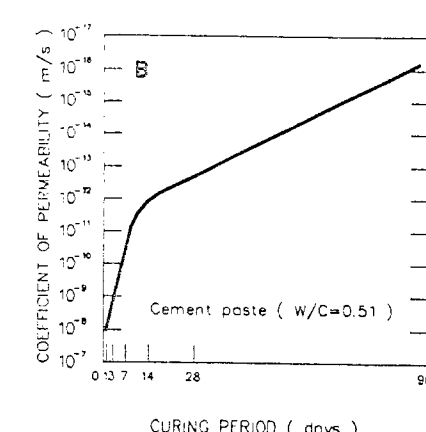
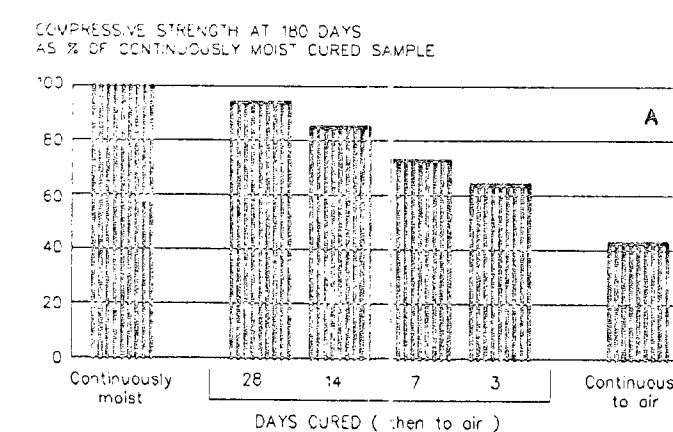
Our drawings are based on the information provided by:-
(Architects name or similar, Owner's sketches etc.)
Drawing No:- Date:-
Amendment:- Date:-

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

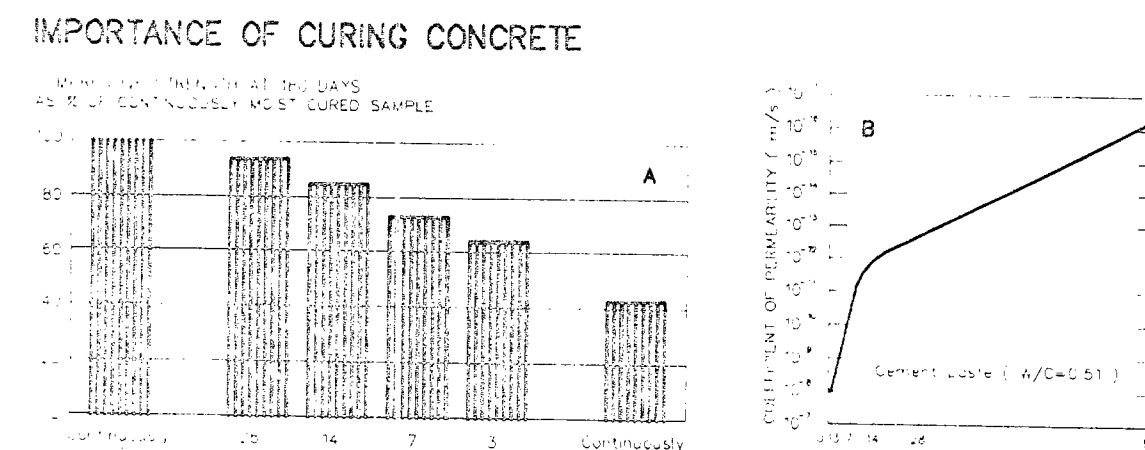
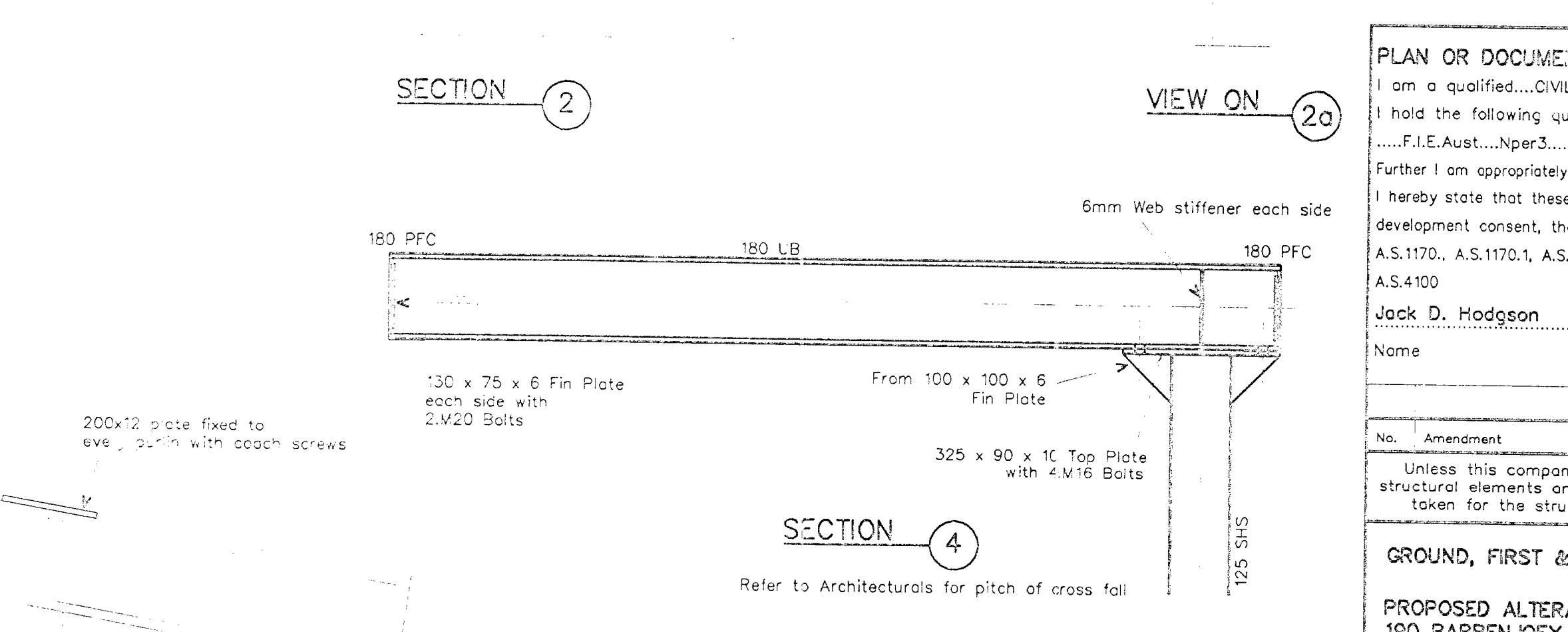
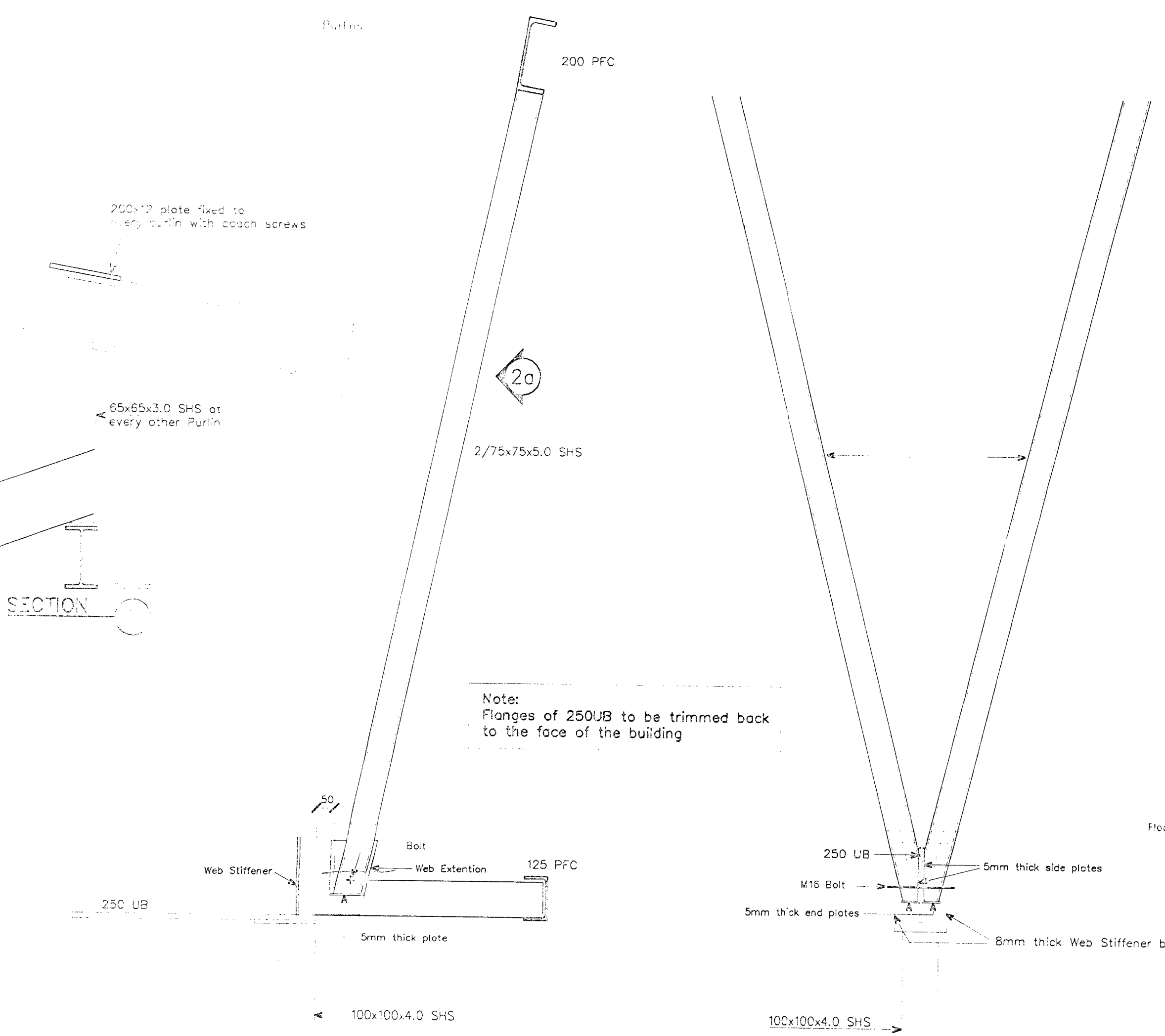
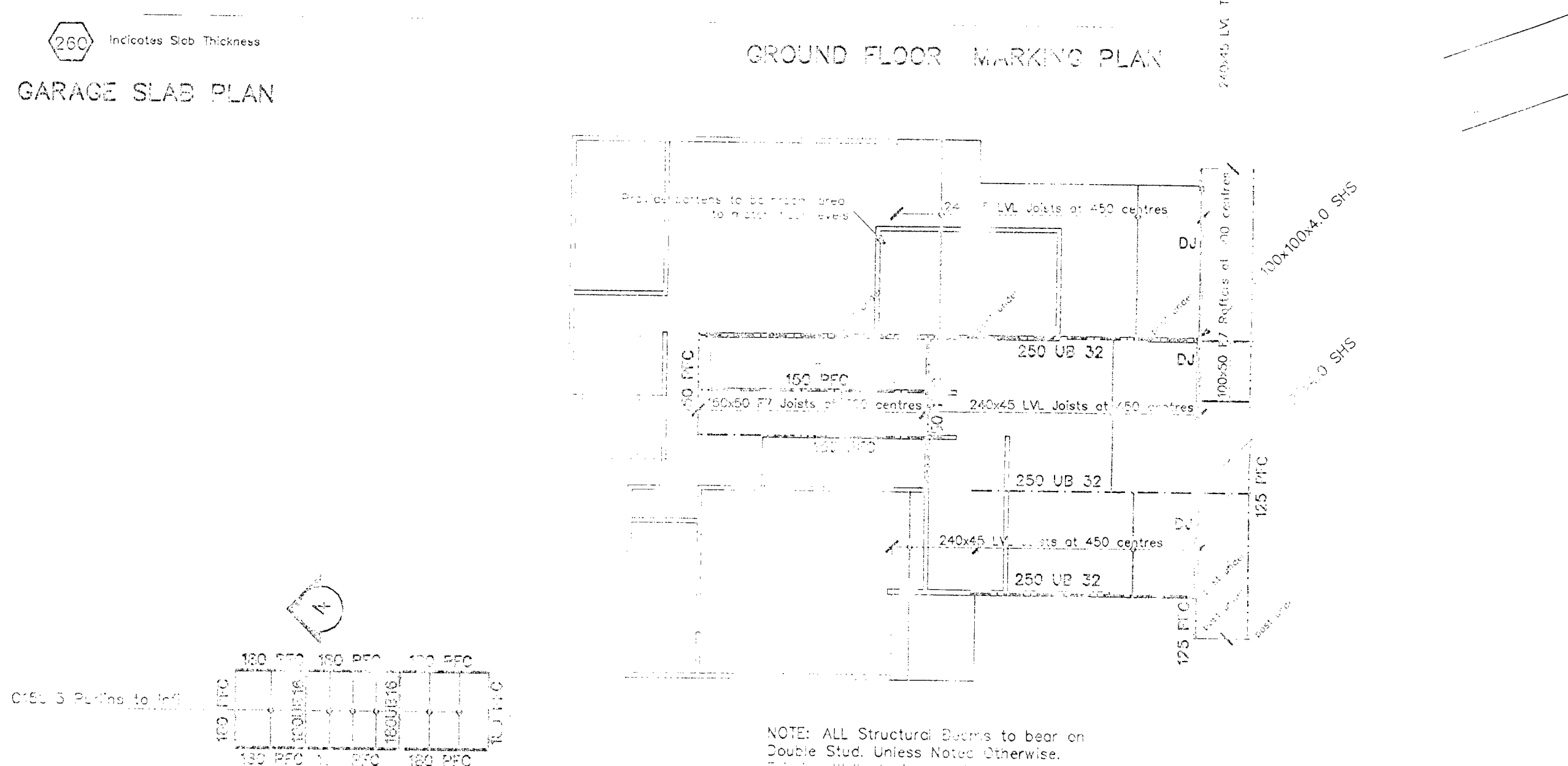
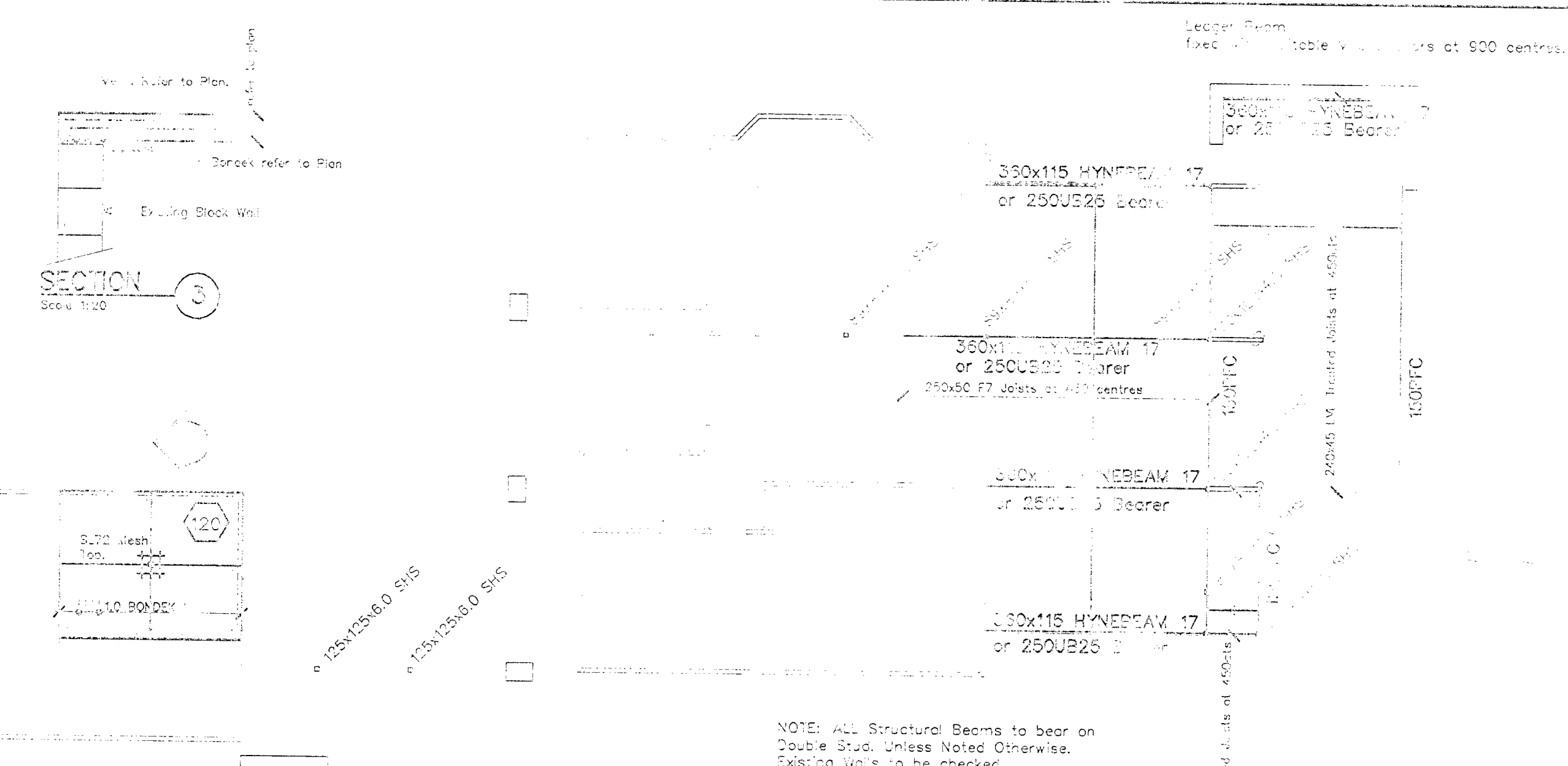
JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungen Street, MONA VALE, P.O. Box 388, Post Code 2103.
Telephone (02) 9979 6733, Facsimile (02) 9979 6928. A.C.N. 053 405 011

Designed JDH Drawn SG Job No. Drawing No.
Checked JDH Scale 1:100, 20, und. 20628-1
Date 23 MARCH 2004

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on: (A) compressive strength; and (B) concrete permeability
Acknowledgement: Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1996)



PLAN OR DOCUMENT CERTIFICATION		
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...		
I hold the following qualifications or licence No.....M.Eng.Sc.....		
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....		
Further I am appropriately qualified to certify this component of the project.		
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.		
A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100		
Jack D. Hodgson		
Name	Date	Signature
No. Amendment Drawn Date		
Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.		
GROUND, FIRST & ROOF MARKING PLANS & DETAILS		
PROPOSED ALTERATIONS AND ADDITIONS		
190 BARRENJOEY ROAD		
NEWPORT		
IAN HOGG		
Our drawings are based on the information provided by:-		
(Architects name or similar, Owners sketches etc.)		
Drawing No.:-	Date:-	Amendment:-
The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing.		
JACK HODGSON CONSULTANTS PTY. LIMITED.		
Consulting Civil, Geotechnical, and Structural Engineers.		
11 Bungun Street, MONA VALE, P.O. Box 369, Post Code 2103.		
Telephone (02) 9979 6733. Facsimile (02) 9979 6926.		
Designed JDH	Drawn SG	Job No.
Checked JDH	Scale 1:100, 20:1, un.	Drawing No.
Date 23 MARCH 2004		20628-2