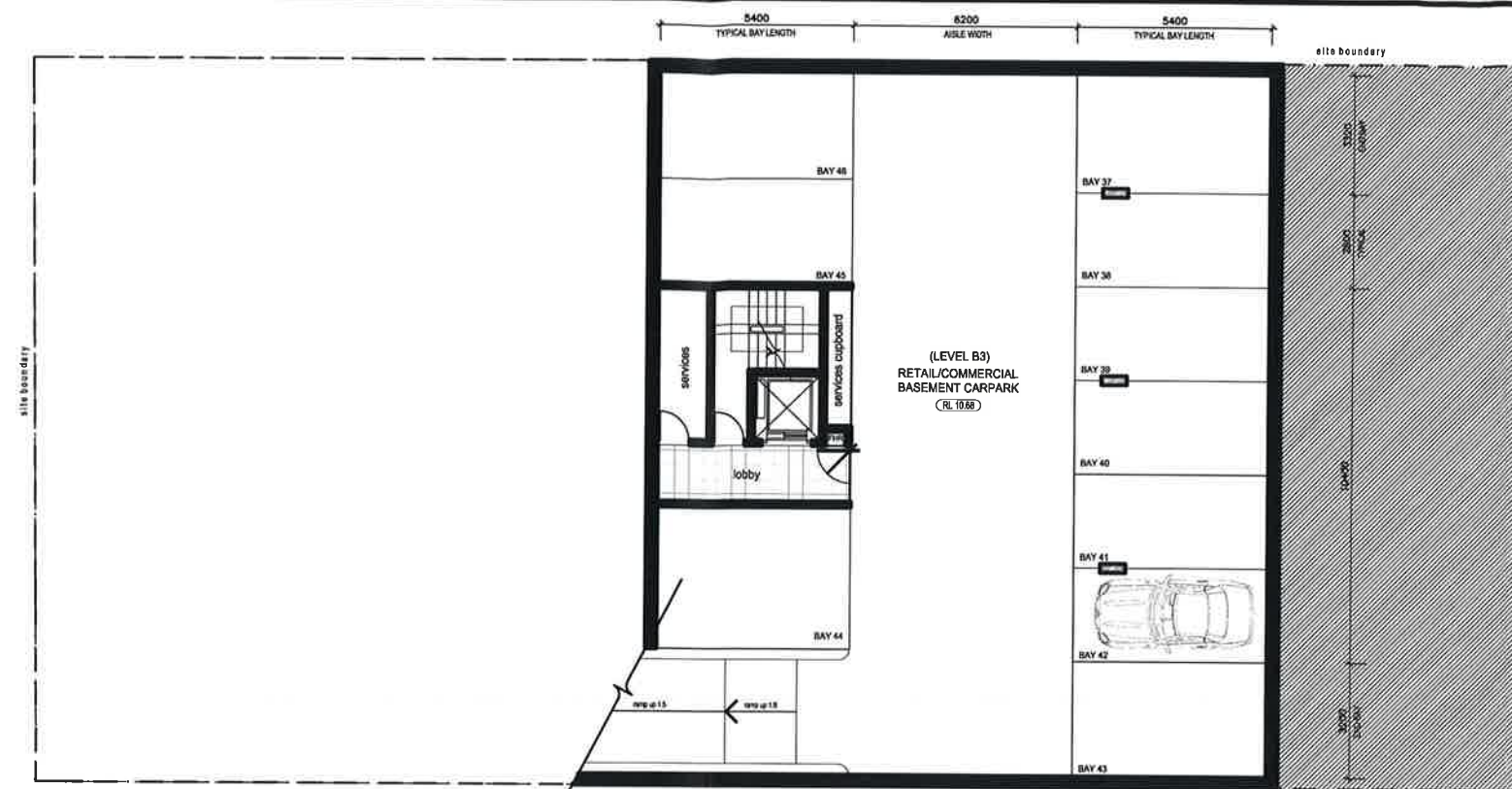
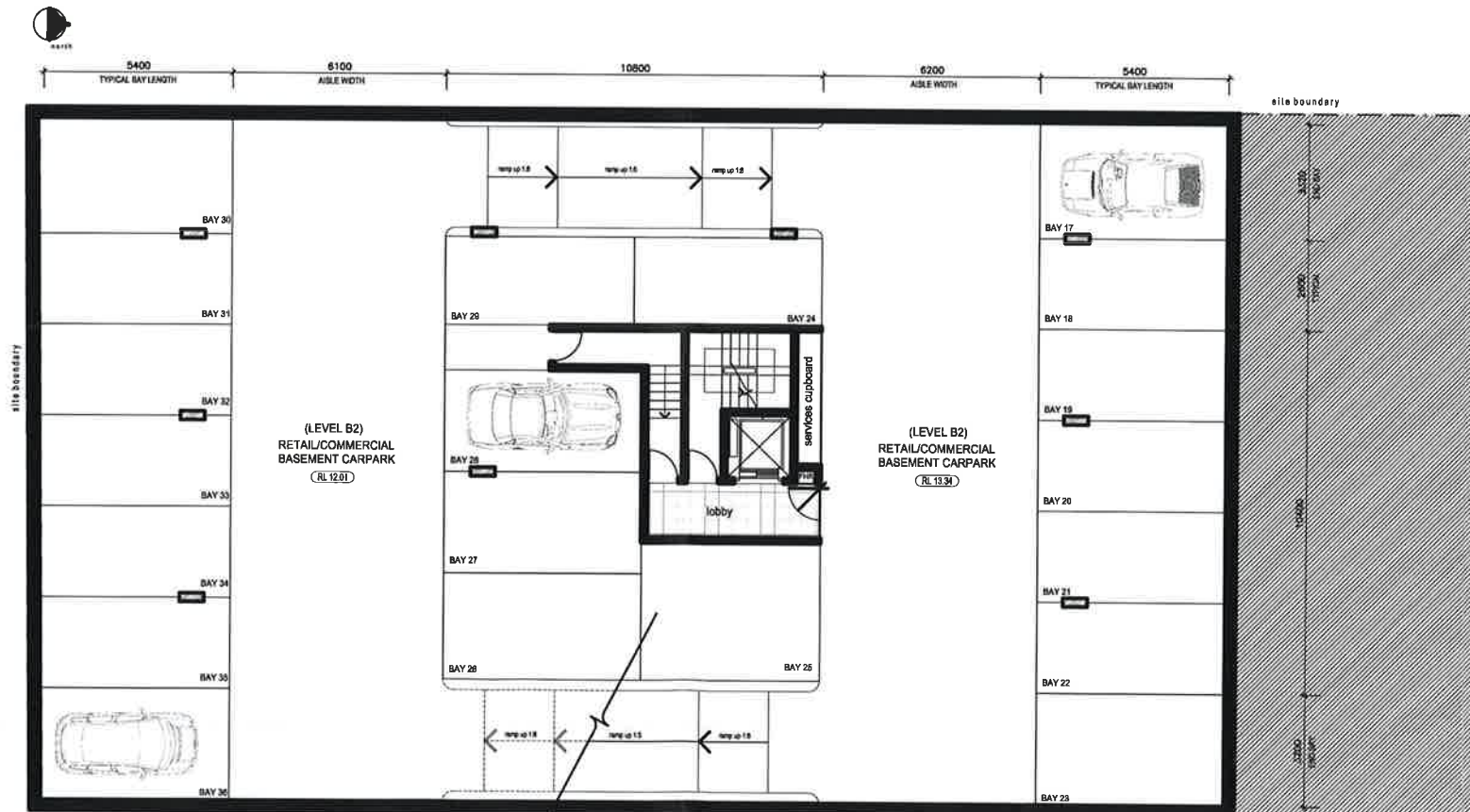




RETAIL/COMMERCIAL
BASEMENT CARPARK (LEVEL B3)

SCALE 1 : 100



RETAIL/COMMERCIAL
BASEMENT CARPARK (LEVEL B2)

SCALE 1 : 100

LEGEND

ACU	air conditioner condenser units
FS	fixed privacy screening to commercial building, operable for maintenance purposes only
GB	glass balustrade with rail to future architect's details
GC	glass canopy roof
HA	operable hatch
LS	landscaping refer to landscape architect's detail drawings
NGL	natural ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony
RB	render unto masonry wall with bending
RC	reinforced concrete
RW	render & paint finish unto masonry wall
RS	roof skylight
SA	stainless steel frames with 'rill' to future architect's details
SG	stainless steel / glass opening
SW	selected stone finish, fixed to masonry wall
TE	existing tree
TR	organic stone roofing to manufacturers specification

+0.50 existing r/s / levels
 (RL 13.30) new r/s / levels

NOTES

All vent areas to be tied and mechanically ventilated

Building B
 One instantaneous hot water
 External walls insulation: R1.0
 Unit 1 & 2 Floors insulation (new above carpark only): R1.5
 Unit 4 Ceiling insulation (with roof above): R1.5
 Unit 6 Ceiling insulation: R2.5

Building C
 One instantaneous hot water
 External walls insulation: R1.0
 Unit 6 & 7 Floors insulation: R1.5
 Unit 9 Ceiling insulation (with roof above): R1.5
 Unit 10 Ceiling insulation: R2.5

Building D
 One instantaneous hot water
 External walls insulation: R1.0
 Ceiling insulation: R2.5

ISSUE	DATE	ISSUE TO	DESCRIPTION
-------	------	----------	-------------

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BLACKMORE design group
 Architects & Project Managers

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 E-mail: info@blackmoredesign.com.au
 Website: www.blackmoredesign.com.au

CLIENT
 Mr. Frank Minnici
 PO Box 5112
 Wheeler Heights NSW 2097

PROJECT
 Proposed mixed use development:
 16 Marmora Street
 Freshwater NSW

DRAWING
 RETAIL / COMMERCIAL
 BASEMENT CARPARK
 (LEVEL B3 & B2)

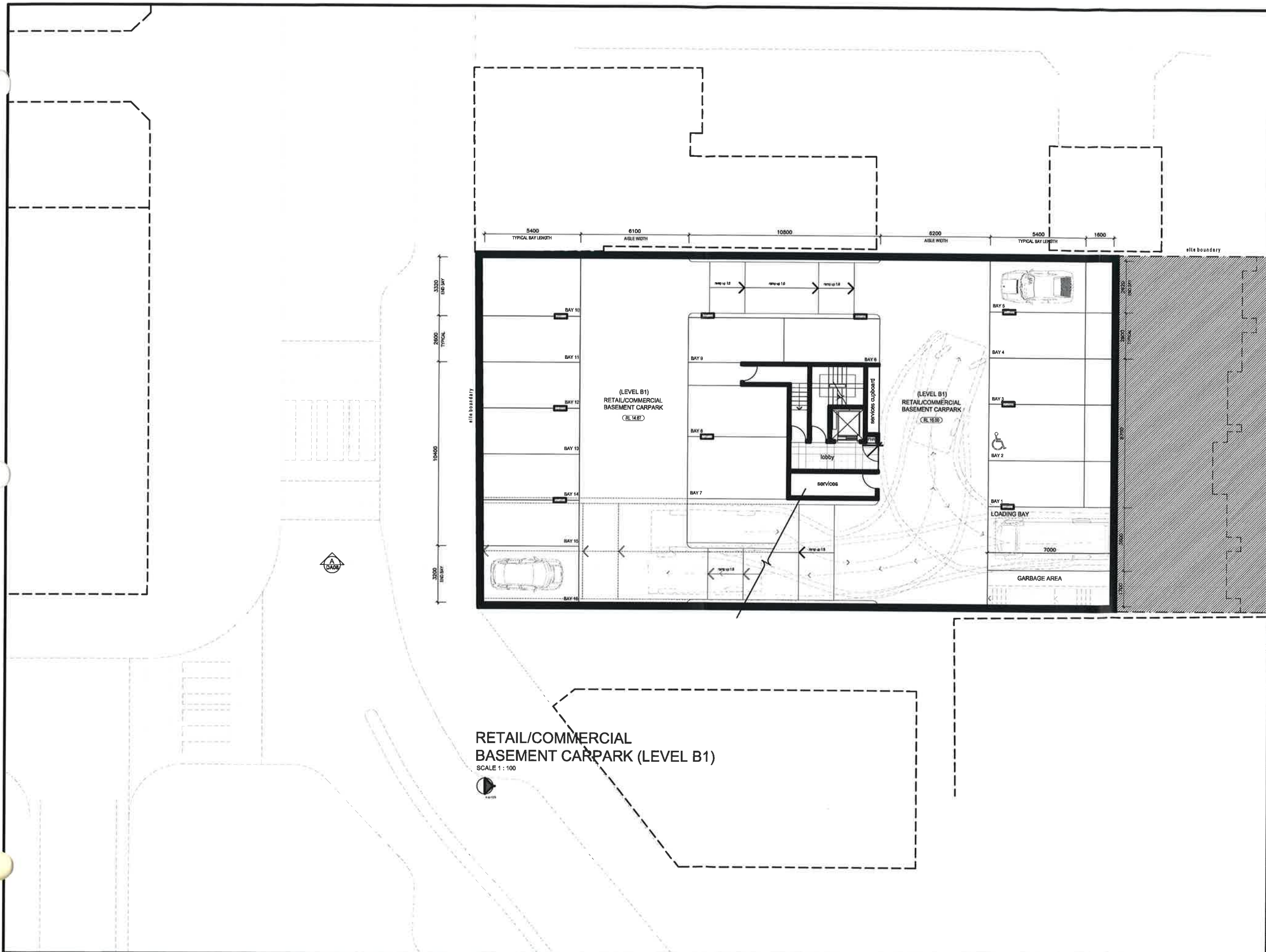
SCALE 1:100 @ A1 NEW 06.LSH.02

DATE 08.2007 DRAWN BY TL

CHECKED BY PB

DA02

A



LEGEND

ACU	air conditioner condenser units
FS	fixed privacy screening to commercial building, operable for maintenance purpose only
GB	glass balustrade with rail to future architect's details
GC	glass canopy roof
HA	openable hatch
LS	landscaping; refer to landscape architect's detail drawings
NGL	natural ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony
RB	render onto masonry wall with banding
RC	reinforced concrete
RW	render & paint finish onto masonry wall
RS	roof skylight
SA	stainless steel frames with 'infill' to future architect's details
SG	stainless steel / glass paving
SW	selected stone finish fixed to masonry wall
TE	existing tree
TR	ceramic tile roofing to manufacturers specification
+1.0.30 existing r/f's / levels	
RL 3.20 new r/f's / levels	

NOTES

All wet areas to be tiled and mechanically ventilated

Building B
Gas instantaneous hot water
External walls insulation: R1.0
Unit 1 & 2 Floors insulation (area above carpark only): R1.5
Unit 4 Ceiling insulation (with roof above): R1.5
Unit 5 Ceiling insulation: R2.5

Building C
Gas instantaneous hot water
External walls insulation: R1.0
Unit 6 & 7 Floors insulation: R1.5
Unit 8 Ceiling insulation (with roof above): R1.5
Unit 10 Ceiling insulation: R2.5

Building D
Gas instantaneous hot water
External walls insulation: R1.0
Ceiling insulation: R2.5

A	August 2007	Issue for DA	
1	ISSUE	DATE	DESCRIPTION

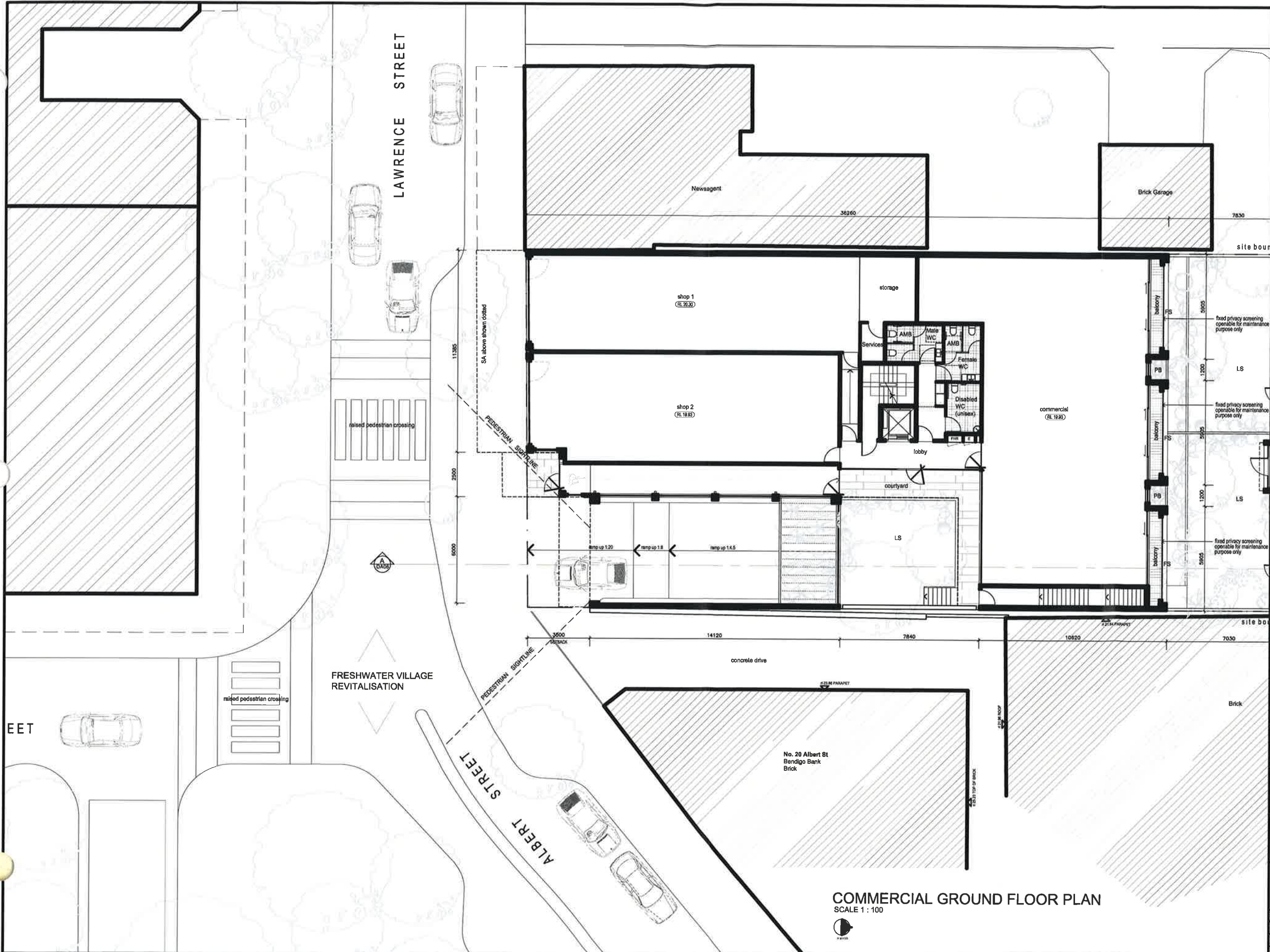
Blackmore Design Group Pty. Limited
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CLIENT
Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2087

PROJECT
Proposed mixed use development:
18 Marmora Street
Freshwater NSW

DRAWING
RETAIL / COMMERCIAL
BASEMENT CARPARK
(LEVEL B1)

SCALE	1:100 @ A1	JOB	06.LSH.02
DATE	08.2007	DWG. NO.	DA03
DRAWN BY	TL	CHECKED	A
CHKD. BY	PB		



LEGEND

ACU	air conditioner condenser units
FS	fixed privacy screening to commercial building, operable for maintenance purpose only
GB	glass balustrade with rail to future architect's details
GC	glass canopy roof
HA	operable hatch
LS	landscaping: refer to landscape architect's detail drawings
NGL	natural ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony
RB	render units masonry wall with banding
RC	reinforced concrete
RW	render & paint finish units masonry wall
RS	roof skylight
SA	stainless steel frames with 'fin' to future architect's details
SG	stainless steel / glass awning
SW	selected stone finish fixed to masonry wall
TE	existing tree
TR	ceramic tile roofing to manufacturers specification

RL 100 existing r/s / levels
RL 100 new r/s / levels

NOTES

All wet areas to be tiled and mechanically ventilated.

Building B
Gas instantaneous hot water
External walls insulation: R1.0
Unit 1 & 2 Floors insulation (area above carpark only): R1.5
Unit 4 Ceiling insulation (with roof above): R1.5
Unit 5 Ceiling insulation: R2.5

Building C
Gas instantaneous hot water
External walls insulation: R1.0
Unit 6 & 7 Floors insulation: R1.5
Unit 8 Ceiling insulation (with roof above): R1.5
Unit 10 Ceiling insulation: R2.5

Building D
Gas instantaneous hot water
External walls insulation: R1.0
Ceiling insulation: R2.5

ISSUE	August 2007	Issue by CA
DATE		DESCRIPTION

CONSTRUCTION TO VERIFY ALL DIMENSIONS ON THIS DRAWING. DIMENSIONS OF WORK SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS OF WORK SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS OF WORK SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

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Website: www.blackmoredesign.com.au

CLIENT

Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2087

PROJECT

Proposed mixed use development:
18 Mamora Street
Freshwater NSW

DRAWING

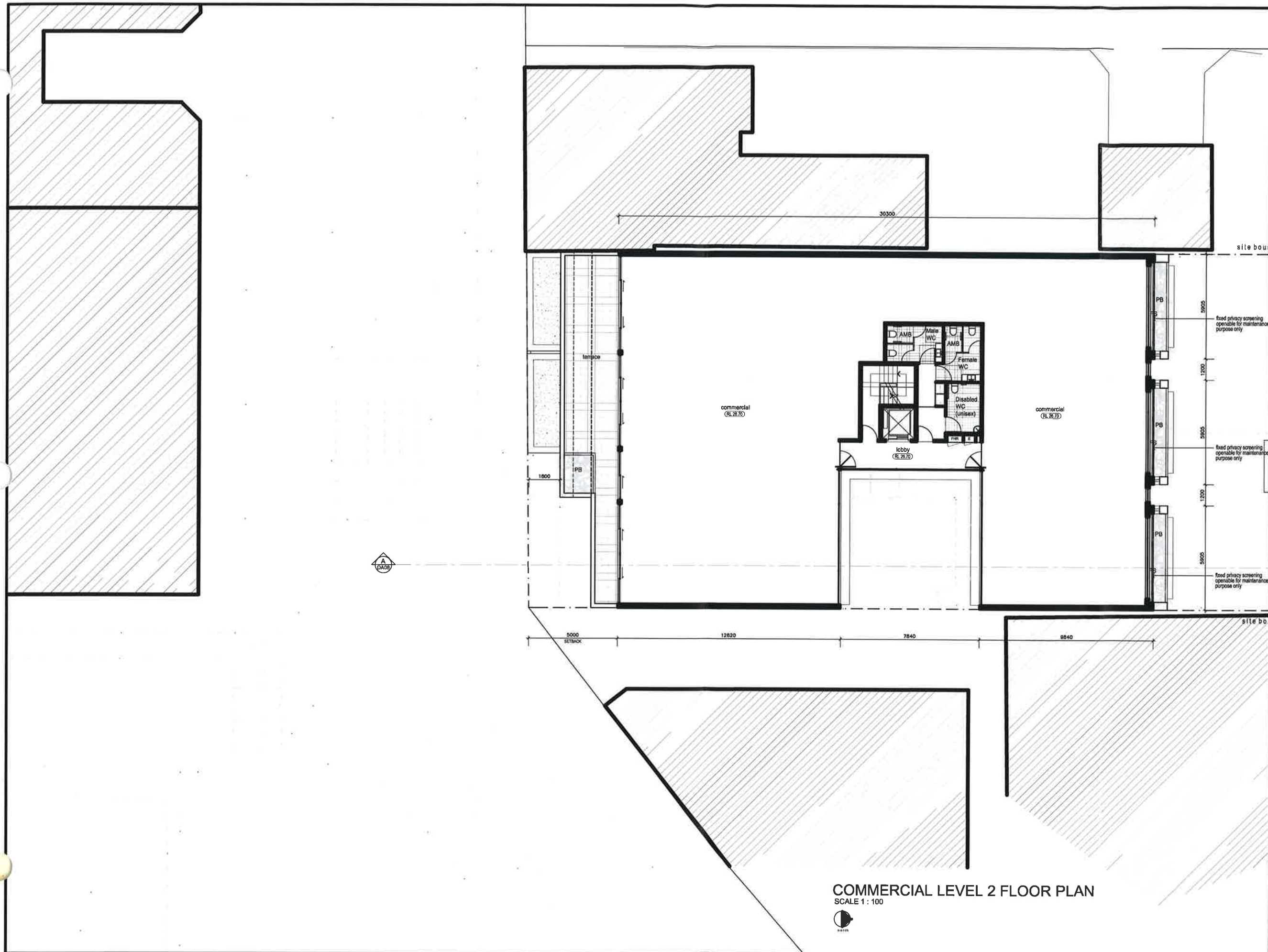
COMMERCIAL GROUND FLOOR PLAN

SCALE	1:100 @ A1	DATE	06.LSH.02
DATE	06.2007	DRAWN BY	TL
DRAWN BY	TL	CHECKED BY	PB
CHECKED BY	PB		

DA04A

COMMERCIAL GROUND FLOOR PLAN
SCALE 1 : 100





LEGEND

ACU	air conditioner condenser units
FS	fixed privacy screening to commercial building, operable for maintenance purpose only
GB	glass balustrade with rail to future architect's details
GC	glass canopy roof
HA	operable hatch
LS	landscaping: refer to landscape architect's detail drawings
NGL	natural ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony
RB	render onto masonry wall with banding
RC	reinforced concrete
RW	render & paint finish onto masonry wall
RS	roof skylight
SA	stainless steel frames with 'infill' to future architect's details
SG	stainless steel / glass awning
SW	selected stone finish fixed to masonry wall
TE	existing tree
TR	generic steel roofing to manufacturers specification
+99.00 existing r/s / levels	
+113.30 new r/s / levels	

NOTES

All wet areas to be tiled and mechanically ventilated

Building B
Gas instantaneous hot water
External walls insulation: R1.0
Unit 1 & 2 Floors insulation (area above carpark only): R1.5
Unit 4 Ceiling insulation (with roof above): R1.5
Unit 5 Ceiling insulation: R2.5

Building C
Gas instantaneous hot water
External walls insulation: R1.0
Unit 6 & 7 Floors insulation: R1.5
Unit 8 Ceiling insulation (with roof above): R1.5
Unit 10 Ceiling insulation: R2.5

Building D
Gas instantaneous hot water
External walls insulation: R1.0
Ceiling insulation: R2.5

ISSUE	DATE	ISSUE TO	DESCRIPTION
A	August 2007	Issue to DA	

BLACKMORE design group
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Website: www.blackmoredesign.com.au

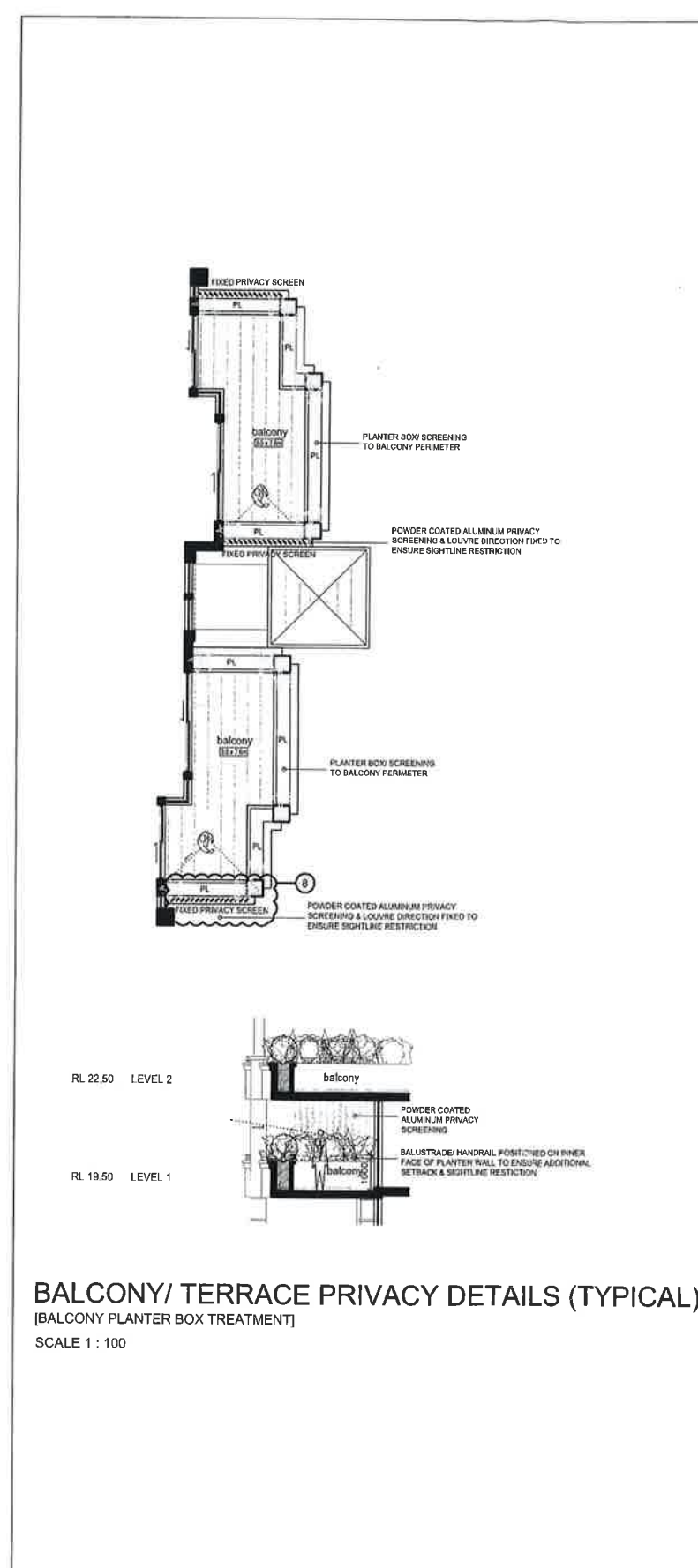
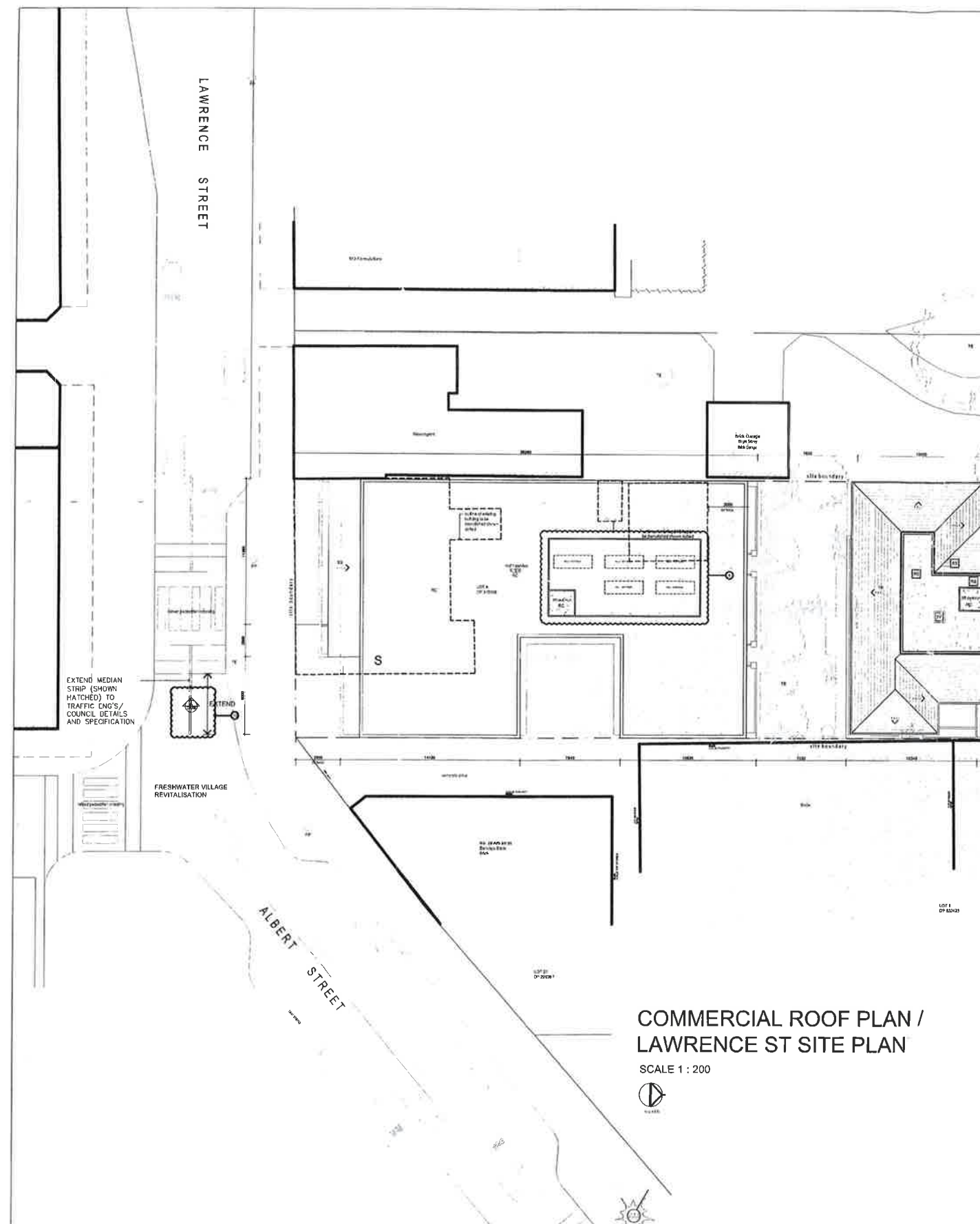
CLIENT
Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2087

PROJECT
Proposed mixed use development:
18 Marmora Street
Freshwater NSW

DRAWING
COMMERCIAL LEVEL 2
FLOOR PLAN

SCALE	1:100 @ A1	JOB	06.LSH.02
DATE	08.2007	DWG NO	
DRAWN BY	TC	DATE	
CHKD. BY	PB	DATE	

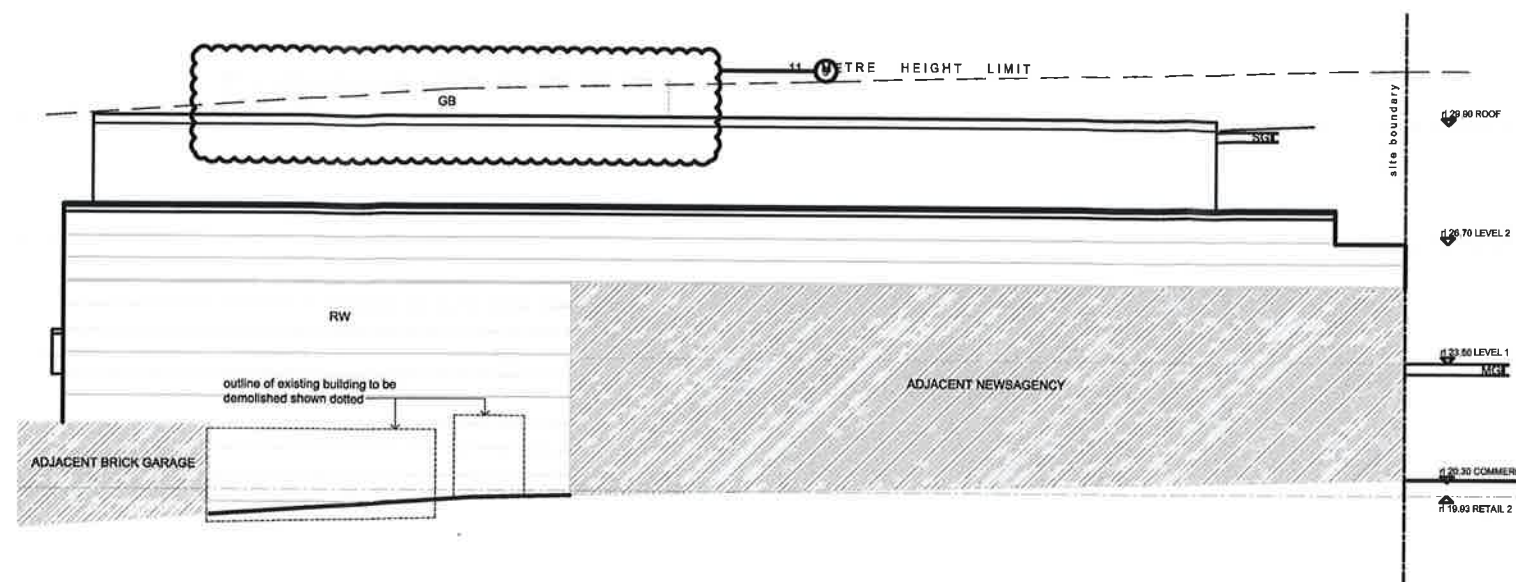
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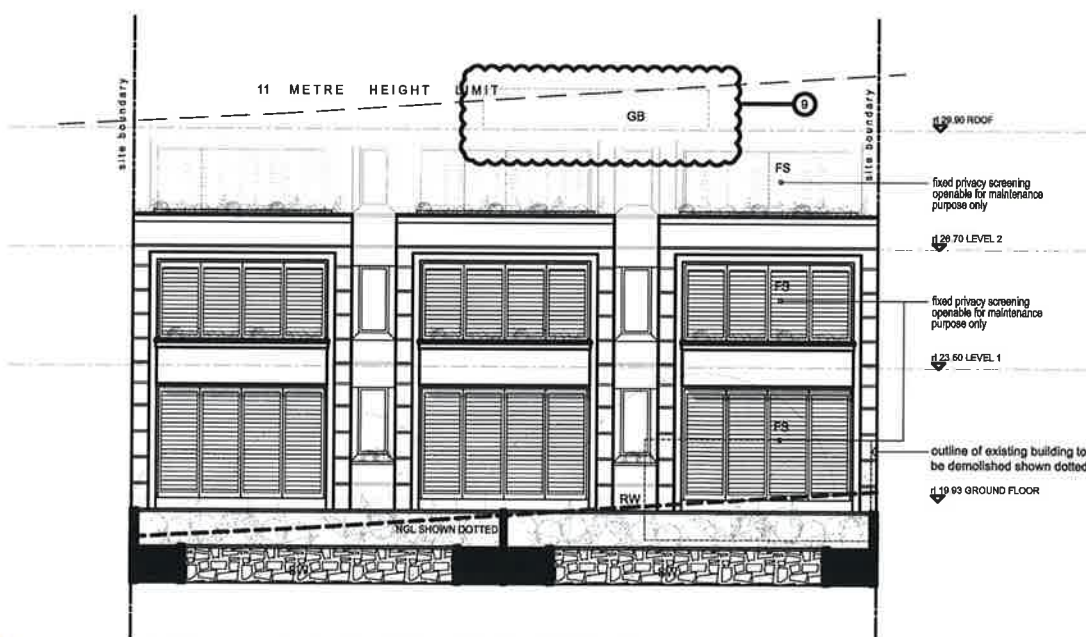
LEGEND			
ACU	air conditioner condenser units		
FS	fixed privacy screening to commercial building, operable for maintenance purposes only		
GB	glass balustrade with rail to future architect's details		
GC	glass canopy roof		
HA	operable hatch		
LS	landscaping: refer to landscape architect's detail drawings		
MG	metal / glass awning to future architect's details		
NGL	natural ground level		
PB	planterbox		
PP	power pole		
PS	privacy screening to residential units balcony to future details		
RB	render onto masonry wall with banding		
RC	reinforced concrete		
RW	render & paint finish onto masonry wall		
RS	roof skylight		
SG	stainless steel / glass awning		
SW	selected stone finish fixed to masonry wall		
TE	existing trim		
TR	ceramic slate roofing to manufacturers specification		
+	existing r/s / levels		
CL	new r/s / levels		
NOTES			
All wet areas to be tiled and mechanically ventilated			
Building B Gas instantaneous hot water External walls insulation: R1.0 Unit 1 & 2 Floor insulation (area above carpark only): R1.5 Unit 4 Ceiling insulation (with roof above): R1.5 Unit 5 Ceiling insulation: R2.5			
Building C Gas instantaneous hot water External walls insulation: R1.0 Unit 6 & 7 Floor insulation: R1.5 Unit 9 Ceiling insulation (with roof above): R1.5 Unit 10 Ceiling insulation: R2.5			
Building D Gas instantaneous hot water External walls insulation: R1.0 Ceiling insulation: R2.5			
ISSUE C Amendment list (Addressing issues raised post-DA modification) 1. communal open space landscaping reconfigured 2. increased setback screening to garage area and entry portico 3. parking bay/ loading area reconfigured and size increased 4. additional setback to building & eastern boundary and internal reconfigured to suit 5. balcony detail and highlight window added 6. additional setback screening to boundary 7. planter box screening provided to balcony perimeter 8. fixed privacy screen to balcony 9. fit overmen reduced to minimum manufacturers specifications, 1m high safety balustrade to future detail 10. Median strip extended			
BLACKMORE design group Architects & Project Managers Blackmore Design Group Pty. Limited ACN 003 699 356 Level 4, 60 York Street, Sydney, NSW 2000 Australia Ph: (02) 9299 3100 Fax: (02) 9299 3766 E-mail: info@blackmoredesign.com.au Website: www.blackmoredesign.com.au			
CLIENT Mr. Frank Minnici PO Box 5112 Wheeler Heights NSW 2087			
PROJECT Proposed mixed use development: 5-7 Lawrence Street & 18 Marmora Street Freshwater NSW			
DRAWING COMMERCIAL ROOF PLAN/ BALCONY & TERRACE PRIVACY SCREENING DETAILS			
SCALE 1:200 @ A1		JOB 06.LSH.02	
DATE 27.02.2009	DATE PLO	REBUS	
DRAWN BY TL	DA07		D
CHECKED BY PB			



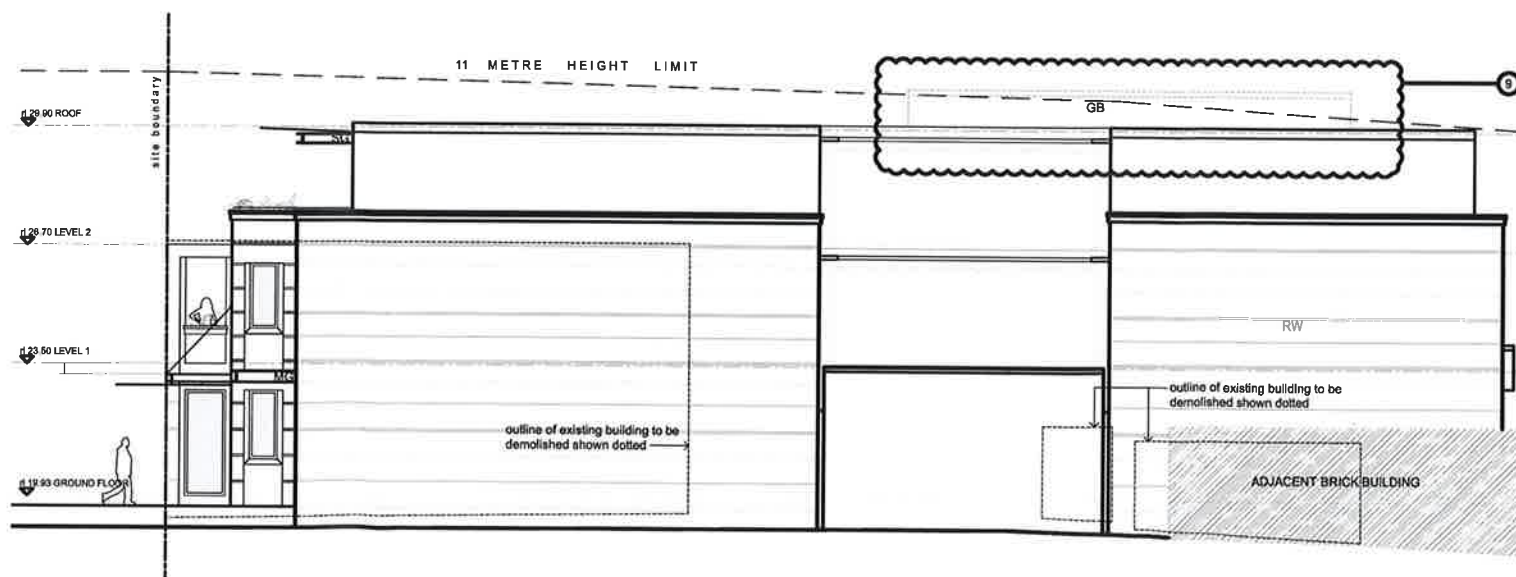
LAWRENCE (SOUTH) ELEVATION (BUILDING A)
SCALE 1 : 100



WEST ELEVATION (BUILDING A)
SCALE 1 : 100



NORTH ELEVATION (BUILDING A)
SCALE 1 : 100



EAST ELEVATION (BUILDING A)
SCALE 1 : 100

LEGEND	LEGEND
ACU	air conditioning unit
FS	fixed privacy screening operable for maintenance purpose only
GB	glass balustrade with glass panels and stainless steel handrails
GC	glass canopy
HA	operable hatch
LS	landscaping
MS	metal / glass screen
NGL	natural ground level
PS	planter box
PP	power pole
PS	privacy screening operable for maintenance purpose only
RB	reinforced concrete
RC	reinforced concrete
RW	reinforced concrete
RS	roof skylight
SG	stainless steel
SW	selected stone
TE	existing tree
TR	ceramic tile

NOTES

- All west areas to be fixed and mechanical ventilation.
- Building B Building B
Gas instantaneous hot water
External walls insulation: R1.0
Unit 1 & 2 Floors insulation: R1.0
Unit 4 Ceiling insulation: R1.5
Unit 5 Ceiling insulation: R2.5
- Building C Building C
Gas instantaneous hot water
External walls insulation: R1.0
Unit 6 & 7 Floors insulation: R1.5
Unit 9 Ceiling insulation: R1.5
Unit 10 Ceiling insulation: R2.5
- Building D Building D
Gas instantaneous hot water
External walls insulation: R1.0
Ceiling insulation: R2.5
- ISSUE C
Amendment list
- (Addressing issues raised post DA mediation)
1. external open space landscaping reconfigured
 2. increased external screening to boundary and entry
 3. passing bay/ loading passing bay/ loading area and also increased
 4. additional external screening to boundary and entry
 5. balcony deleted and replaced with window added
 6. additional external screening to boundary
 7. planter box screening to balcony perimeter
 8. fixed privacy screening to balcony
 9. lift overrun reduced to balcony perimeter

ISSUE	DATE	DESCRIPTION
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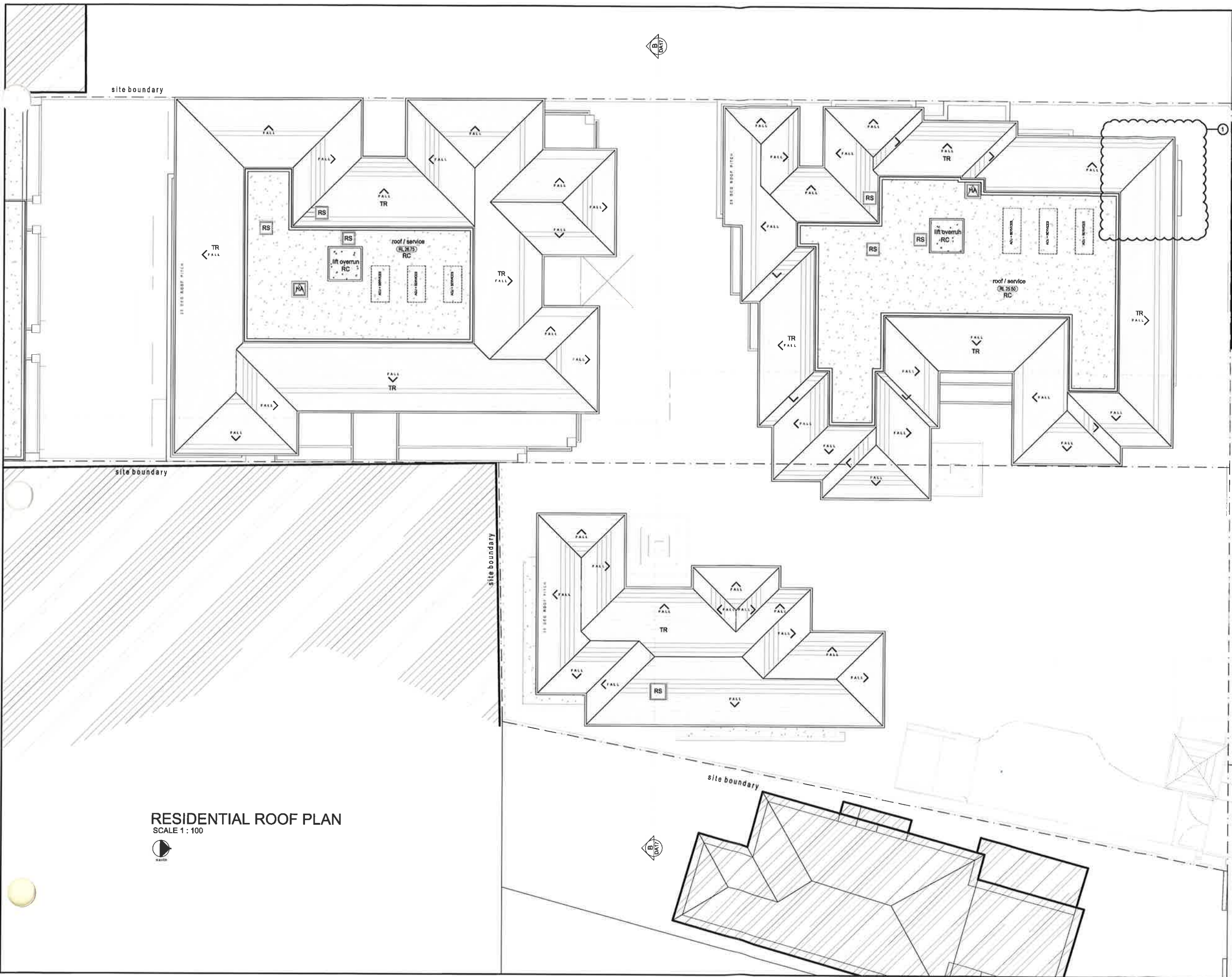
CLIENT
Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2097

PROJECT
Proposed mixed use development:
5-7 Lawrence Street & 18 Marmora Street
Freshwater NSW

DRAWING

COMMERCIAL ELEVATIONS
(BUILDING A)

SCALE	1:100 @ A1	JOB	06.LSH.02
DATE	27.02.2009	DWG. NO.	DA09
DRAWN BY	TL	ISSUE	C
CHKD. BY	PB		



RESIDENTIAL ROOF PLAN
SCALE 1 : 100



LEGEND	
ACU	air conditioner condenser units
FS	fixed privacy screening to commercial building, operable for maintenance purpose only
GB	glass balustrade with rail to future architect's details
GC	glass canopy roof
HA	operable hatch
LS	landscaping: refer to landscape architect's detail drawings
MO	Metal / glass awning to future architect's details
NGL	natural ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony to future details
RB	render unto masonry wall with banding
RC	reinforced concrete
RW	render & paint finish unto masonry wall
RS	roof skylight
SG	stainless steel / glass awning
SW	selected stone finish fixed to masonry wall
TE	existing tree
TR	ceramic slate roofing to manufacturers specification
+0.00 existing r/s / levels	
(RL 25.0) new r/s / levels	

NOTES	
All well areas to be used and mechanically ventilated	
Building B Gas instantaneous hot water External walls insulation: R1.0 Unit 1 & 2 Floor insulation (area above carpark only): R1.5 Unit 4 Ceiling insulation (with roof above): R1.5 Unit 5 Ceiling insulation: R2.5	
Building C Gas instantaneous hot water External walls insulation: R1.0 Unit 6 & 7 Floor insulation: R1.5 Unit 9 Ceiling insulation (with roof above): R1.5 Unit 10 Ceiling insulation: R2.5	
Building D Gas instantaneous hot water External walls insulation: R1.0 Ceiling insulation: R2.5	
ISSUE 8 Amendment list (Addressing issues in council correspondence dated 14.01.08) 1. building setback increased to 3m from northern boundary (for lateral planning adjustments & elevation amendments to suit) 2. highlight windows added for cross ventilation to apartments 3. screen planter added to length of northern terrace of apartment 10 4. deep screen landscaping added to area between building C and northern boundary 5. grade of pedestrian pathway amended to suit accessibility/access 6. setback dimensions clarified as 300m (building D) 7. privacy screen added (to future detail)	

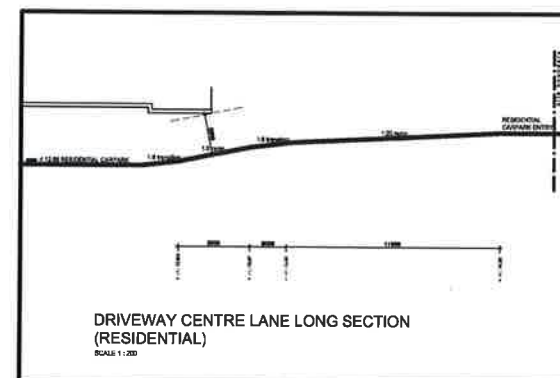
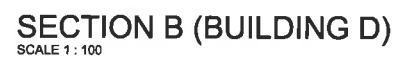
ISSUE	DATE	DESCRIPTION
8	February 2008	Issue to DA
CONTRADICTION TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. FOUNDED DIMENSIONS GIVEN ARE TO BE TAKEN IN PREFERENCE TO SCALE. SUFFICIENCY OF DIMENSIONS WITHIN HEADLINE IS RETAINED BY THE OFFICE. AUTHORITY IS REQUIRED FOR ANY REVISIONS.		

BLACKMORE design group
Architects & Project Managers
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CLIENT
Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2097

PROJECT
Proposed mixed use development:
5-7 Lawrence Street & 18 Marmora Street
Freshwater NSW

DRAWING			
RESIDENTIAL ROOF PLAN			
SCALE	1:100 @ A1	JOB NO	06.LSH.02
DATE	02.2008	DWG NO	DA14
DRAWN BY	TL	SHEET	B
CHKD. BY	PB		



NOTES
All wet areas to be tiled and mechanically ventilated
Building B Gas instantaneous hot water External walls insulation: R1.0 Unit 1 & 2 Floor insulation (area above carpark only): R1.5 Unit 4 Ceiling insulation (with roof above): R1.5 Unit 5 Ceiling insulation: R2.5
Building C Gas instantaneous hot water External walls insulation: R1.0 Unit 6 & 7 Floor insulation: R1.5 Unit 8 Ceiling insulation (with roof above): R1.5 Unit 10 Ceiling insulation: R2.5
Building D Gas instantaneous hot water External walls insulation: R1.0 Ceiling insulation: R2.5

A **ISSUE** **DATE** **ISSUE NO** **DEFINITION**

CONTRACTORS TO VERIFY ALL DIMENSIONS AND DATE BEFORE COMMENCING WORK.
DIMENSIONS ARE APPROXIMATE AND NOT TO SCALE. MATERIALS TO BE SUPPLIED BY CONTRACTOR.
SCHEDULE OF FINISHES TO BE SUBMITTED. MATERIALS TO BE USED TO BE APPROVED BY THE ARCHITECT.
CONTRACTOR TO BE RESPONSIBLE FOR ALL MATERIALS AND LABOUR.

BLACKMORE design group

Architects & Project Managers

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CLIENT
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Wheeler Heights NSW 2097

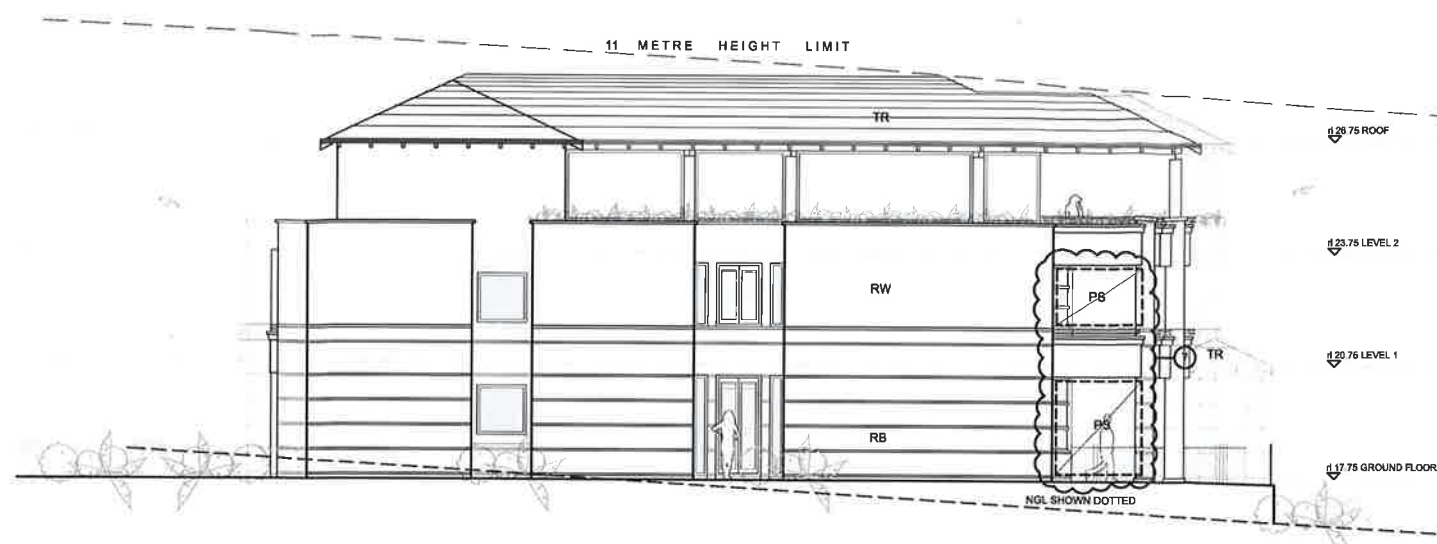
PROJECT
Proposed mixed use development:
18 Marmora Street
Freshwater NSW

DRAWING
RESIDENTIAL SECTION B
(BUILDING D)
DRIVEWAY SECTIONS

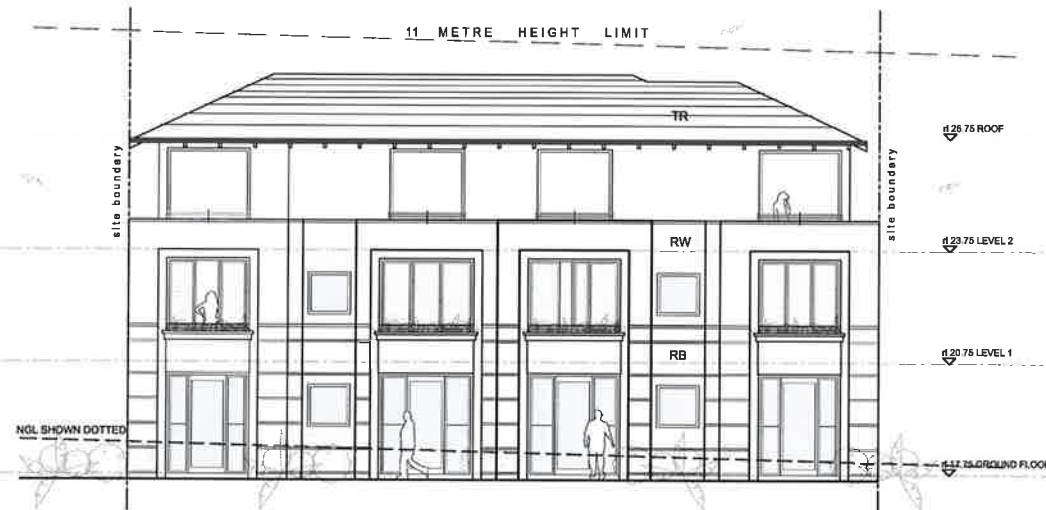
SCALE 1:100, 1:200 @ A1		JOB 06.LSH.02	
DATE 08.2007		CAD NO.	ISSUE
DRAWN BY TL		DA17	A
CHKD. BY PG			



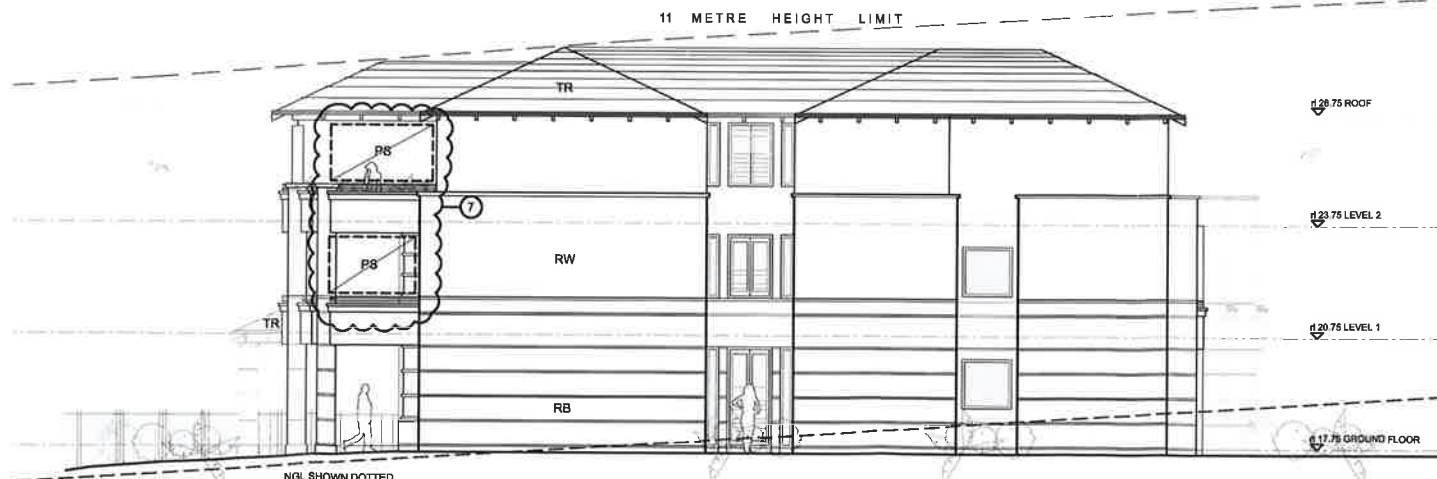
NORTH ELEVATION (BUILDING B)
SCALE 1:100



EAST ELEVATION (BUILDING B)
SCALE 1:100



SOUTH ELEVATION (BUILDING B)
SCALE 1:100

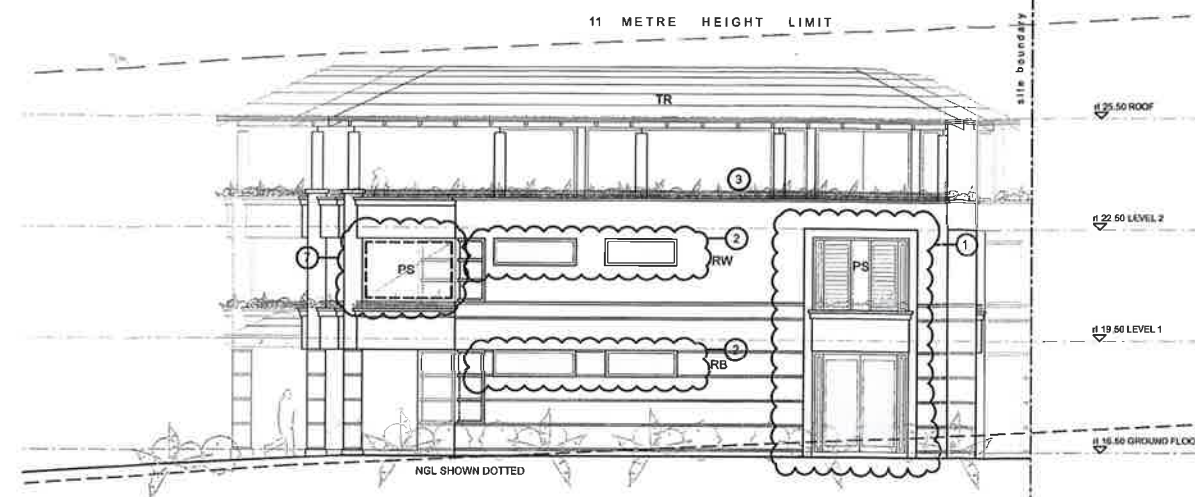


WEST ELEVATION (BUILDING B)
SCALE 1:100

LEGEND		
ACU	air conditioner condenser units	
FS	fixed privacy screening to commercial building, operable for maintenance purpose only	
GB	glass balustrade with rail to future architect's details	
GC	glass canopy roof	
HA	operable hatch	
LS	landscaping: refer to landscape architect's detail drawings	
MG	Metal / glass opening to future architect's details	
NGL	natural ground level	
PB	planterbox	
PP	power pole	
PS	privacy screening to residential units balcony to future details	
RB	render unto masonry wall with banding	
RC	reinforced concrete	
RW	render & paint finish unto masonry wall	
RS	roof skylight	
SG	stainless steel / glass opening	
SW	selected stone finish bond to masonry wall	
TE	existing tree	
TR	ceramic tiles roofing to manufacturers specification	
+0.00	existing d/s / levels	
(CHES)	new d/s / levels	
NOTES		
All wet areas to be tiled and mechanically ventilated		
Building B Gas instantaneous hot water External walls insulation: R1.0 Unit 1 & 2 Floor insulation (area above carpark only): R1.5 Unit 4 Ceiling insulation (with roof above): R1.5 Unit 5 Ceiling insulation: R2.5 Building C Gas instantaneous hot water External walls insulation: R1.0 Unit 6 & 7 Floor insulation: R1.5 Unit 9 Ceiling insulation (with roof above): R1.5 Unit 10 Ceiling insulation: R2.5 Building D Gas instantaneous hot water External walls insulation: R1.0 Ceiling insulation: R2.5 ISSUE 8 Amendment list: (Addressing issues in council correspondence dated 14.01.08) 1. building c setback increased to 5m from northern boundary (internal planning adjustments & elevation amendments to suit) 2. highlight windows added for cross ventilation to apartments 3. screen planter added to length of northern terrace of apartment 10 4. deep screen landscaping added to area between building C and northern boundary 5. grade of pedestrian pathway amended to suit accessibility/access 6. setback dimensions clarified as 900m (building D) 7. privacy screen added (to future detail)		
8	February 2008	Issue for DA
ISSUE	DATE	DESCRIPTION
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. DIMENSIONS SHOWN ARE TO BE TAKEN IN PREFERENCE TO REALITY. COPYRIGHT OF GRAPHIC DESIGN HEREIN IS RESERVED BY THIS OFFICE. AUTHORITY IS REQUESTED FOR ANY REPRODUCTION.		
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CLIENT Mr. Frank Minnici PO Box 5112 Wheelers Heights NSW 2097		
PROJECT Proposed mixed use development: 5-7 Lawrence Street & 18 Marmora Street Freshwater NSW		
DRAWING RESIDENTIAL ELEVATIONS (BUILDING B)		
SCALE	1:100 @ A1	JOB 06.LSH.02
DATE	02.2008	DWG NO
DRAWN BY	TL	DA18
CHKD BY	PB	B



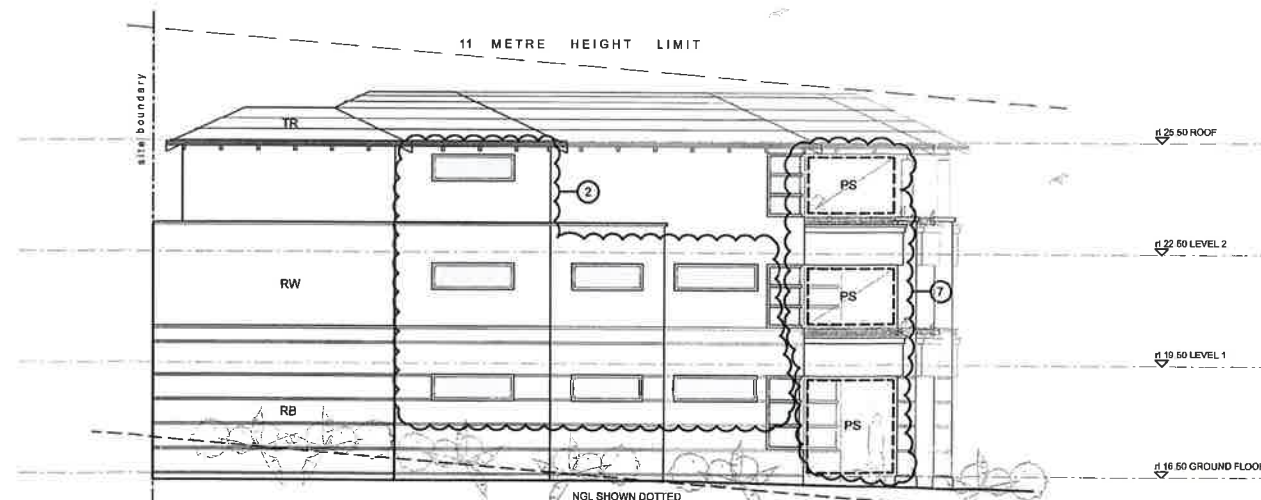
EAST ELEVATION (BUILDING C)
SCALE 1 : 100



NORTH ELEVATION (BUILDING C)
SCALE 1 : 100



WEST ELEVATION (BUILDING C)
SCALE 1 : 100



SOUTH ELEVATION (BUILDING C)
SCALE 1 : 100

LEGEND	
ACU	air conditioner condenser units
FS	fixed privacy screening to commercial building, operable for maintenance purposes only
GB	glass balustrade with rail to future architect's details
GC	glass canopy roof
HA	operable hatch
LS	landscaping: refer to landscape architect's detail drawings
MG	Metal / glass awning to future architect's details
NGL	natural ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony to future details
RB	render units masonry wall with banding
RC	reinforced concrete
RW	render & paint finish units masonry wall
RS	roof skylight
SG	stainless steel / glass awning
SW	selected stone finish fixed to masonry wall
TE	existing tree
TR	ceramic tile roofing to manufacturers specification
+4.50 existing r/s / levels	
(BL3.50) new r/s / levels	

NOTES	
All wet areas to be tiled and mechanically ventilated	
Building B	
Gas instantaneous hot water	
External walls insulation: R1.0	
Unit 1 & 2 Floors insulation (area above carpark only): R1.5	
Unit 4 Ceiling insulation (with roof above): R1.5	
Unit 5 Ceiling insulation: R2.5	
Building C	
Gas instantaneous hot water	
External walls insulation: R1.0	
Unit 6 & 7 Floors insulation: R1.5	
Unit 9 Ceiling insulation (with roof above): R1.5	
Unit 10 Ceiling insulation: R2.5	
Building D	
Gas instantaneous hot water	
External walls insulation: R1.0	
Ceiling insulation: R2.5	
ISSUE B	
Amendment list	
(Addressing issues in council correspondence dated 14.01.08)	
1. building setback increased to 3m from northern boundary (internal planning adjustments & elevation amendments to suit)	
2. highlight windows added for cross ventilation to apartments	
3. screen planter added to length of northern terrace of apartment 10	
4. deep screen landscaping added to area between building C and northern boundary	
5. grade of pedestrian pathway amended to suit accessibility/access	
6. setback dimensions clarified as 300m (building D)	
7. privacy screen added (to future detail)	

18	19 March 2008	Issue for CA
ISSUE	DATE	DESCRIPTION
DRAWING TO BE USED FOR ALL SUBMISSIONS AND FOR ALL FUTURE CONSTRUCTION WORK. ANY CHANGES TO THE DRAWING MUST BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THE DRAWING MUST BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THE DRAWING MUST BE APPROVED BY THE ARCHITECT.		
BLACKMORE design group		
Architects & Project Managers		
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Level 4, 50 York Street, Sydney, NSW 2000 Australia		
Ph: (02) 6299 3100 Fax: (02) 6299 3766		
E-mail: info@blackmoredesign.com.au		
Website: www.blackmoredesign.com.au		

(CLIENT)
Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2087

(PROJECT)
Proposed mixed use development:
5-7 Lawrence Street & 18 Marmora Street
Freshwater NSW

(DRAWING)
RESIDENTIAL ELEVATIONS
(BUILDING C)

SCALE: 1:100 @ A1	FORM: 06.LSH.02
DATE: 19.03.2008	DESIGN: TL
DRAWN BY: TL	DA19
CHECKED BY: PB	B



NOTES

All wall areas to be tiled and mechanically ventilated

Bulking C
Gas instantaneous hot water
External walls insulation: R1.0
Unit 1 & 2 Room insulation (area above carpark only): R1.5
Unit 4 Ceiling insulation (with roof above): R1.5
Unit 5 Ceiling insulation: R2.5

Bulking C
Gas instantaneous hot water
External walls insulation: R1.0
Unit 6 & 7 Room insulation: R1.5
Unit 9 Ceiling insulation (with roof above): R1.5
Unit 10 Ceiling insulation: R2.5

Bulking D
Gas instantaneous hot water
External walls insulation: R1.0
Ceiling insulation: R2.5

ISSUE C
Amendment list

(Addressing issues raised post-D.0 mediation)

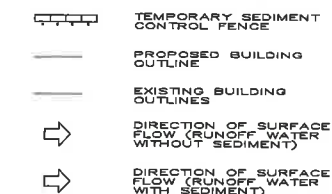
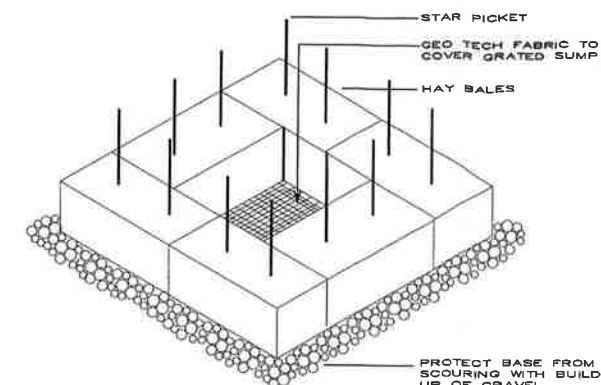
1. communal open space/landscaping reconfigured
2. increased setback screening to garage room and entry porch
3. raised floor/ loading area reconfigured and site increased
4. additional setback to building of eastern boundary and internal reconfigured to suit
5. balcony debited and highlight window added
6. additional setback screening to boundary
7. plaster/ box screening provided to balcony perimeter
8. fixed privacy screens to balcony
9. screens reduced to minimum manufacturers specifications, 1m high safety balustrade to future detail

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Architects & Project Managers
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Website: www.blackmoredesign.com.au

PROJECT
Proposed mixed use development:
5-7 Lawrence Street & 18 Marmora Street
Freshwater NSW

RESIDENTIAL ELEVATIONS (BUILDING D)

CALL 1:100 @ A1		JOB 06.LSH.02	
ATL 27.02 2009		DWG NO	ISSUE
DRAWN BY TL		DA20	D
KO. BY PB			

[illegible]

STORMWATER CALCULATIONS (By ILSAX Using Pre & Post Development Flows)

TOTAL SITE AREA: 2781.1 m²CATCHMENT AREA1: 727.6 m²

PRE-DEVELOPMENT:
Roof & Pavement Area: 490 m²
Landscape Area: 237.6 m²

POST-DEVELOPMENT:
Roof & Pavement Area: 727.6 m²
Landscape Area: 0 m²
OSD Commanded Area: 415 m²

OSD1 (Roof OSD):
Volume: 40.0 m³
Roof Area: 415 m²
Max Depth: 0.23m
Top of Water Level: 30.13m
Roof Level: 29.90m

Orifice Plate: Ø50
Centre Line @RL 29.63

CATCHMENT AREA2: 650 m²

PRE-DEVELOPMENT:
Roof & Pavement Area: 85 m²
Landscape Area: 565 m²

POST-DEVELOPMENT:
Roof & Pavement Area: 404 m²
Landscape Area: 246 m²
OSD Commanded Area: 650 m²

OSD2:
Volume: 45 m³
Size: 15.0 x 3.0 x 1.11 m
Top of Water Level: 16.81
Orifice: Ø50 @RL 15.70

WATER RECYCLE
Volume: 20 m³
Bottom of Tank: RL 15.20

CATCHMENT AREA3: 201 m²

PRE-DEVELOPMENT:
Roof & Pavement Area: 0 m²
Landscape Area: 201 m²

POST-DEVELOPMENT:
Roof & Pavement Area: 201 m²
Landscape Area: 0 m²
OSD Commanded Area: 201 m²

OSD3:
Volume: 10 m³
Size: 4.2 x 2.8 x 0.58 m
2.0 x 1.8 x 0.50 m
Top of Water Level: 15.70m
Orifice: Ø50
Centre Line @RL 15.10

CATCHMENT AREA4: 1202.5 m²

PRE-DEVELOPMENT:
Roof & Pavement Area: 415 m²
Landscape Area: 989.5 m²

POST-DEVELOPMENT:
Roof & Pavement Area: 661.5 m²
Landscape Area: 541.0 m²
By-Pass Area: 360.0 m²
OSD Commanded Area: 842.2 m²

OSD4:
Volume: 23.0 m³
Size: 7.4 x 2.7 x (0.65+0.5) m
Top of Water Level: 16.10
Orifice: Ø60
Centre Line @RL 15.40



RESIDENTIAL GROUND FLOOR PLAN

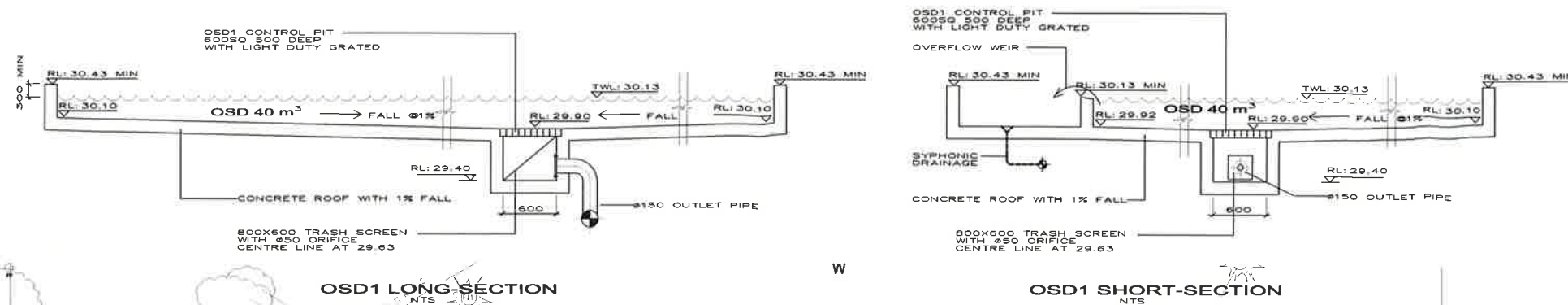
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DP 830423

REV	ISSUE	BY	CHK	DATE	REV	ISSUE	BY	CHK	DATE	SCHEDULE OF REFERENCE FILES	TK REVISION	CLIENT	ARCHITECTS	TK QA SYSTEM	PROJECT	REVISION
P1	PRELIMINARY	AZ	AT	05.07.07						DISCIPLINE		Mr. F & Mrs. D Minnici	BLACKMORE design group	REASON FOR ISSUE	PROPOSED MIXED USE DEVELOPMENT	
P2	PRELIMINARY	AZ	AT	17.07.07						DRG NO.		17 BENNETT STREET	Blackmore Design Group Pty. Limited	ISSUE FOR DA	18 MARMORA ST, HARBORD NSW2096	
P3	PRELIMINARY	AZ	AT	03.08.07								HARBORD NSW 2096	Consulting Hydraulic and Fire Engineers	AUTHORISATION		
P4	ISSUE FOR DA	AZ	AT	09.08.07									281 Pacific Highway, North Sydney NSW 2060			
P5	ISSUE FOR DA	AZ	MDC	15.11.07									Phone: (02) 9555 0788 Fax: (02) 9554 5532			
P6	ISSUE FOR DA	AZ	MDC	19.02.08									Email: k@thomsonkane.com.au			
													WWW.THOMSONKANE.COM.AU			
													ACN 109 803 849			
													THIS DRAWING IS COPYRIGHT ©			



DAH-02 P6



COMMERCIAL ROOF / SITE ANALYSIS PLAN

SCALE 1 : 200

REV	ISSUE	BY	CHKD	DATE	REV	ISSUE	BY	CHKD	DATE
P1	PRELIMINARY	AZ	AT	05.07.07					
P2	PRELIMINARY	AZ	AT	17.07.07					
P3	PRELIMINARY	AZ	AT	03.08.07					
P4	ISSUE FOR DA	AZ	AT	09.08.07					
P5	ISSUE FOR DA	AZ	MDC	15.11.07					
P6	ISSUE FOR DA	AZ	MDC	28.04.08					

DISCIPLINE	DRG NO.	TK REVISION
ARCHITECTURAL	18.04.08	
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
OTHERS		

CLIENT

Mr. F & Mrs. D Minnici

17 BENNETT STREET
HARBORD NSW 2096

ARCHITECTS:

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ACN 109 803 848
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TK QA SYSTEM
REASON FOR ISSUE
ISSUE FOR DA

AUTHORISATION

BY: _____

VERIFICATION OF
LATEST AMENDMENT

BY: _____

PROJECT:

**PROPOSED MIXED USE DEVELOPMENT
18 MARMORA ST, HARBORD NSW 2096**

TITLE: HYDRAULIC SERVICES

ROOF PLAN

SCALE: 1:200 (A1)

DATE: JUN 2007

DRAWN BY: AZ

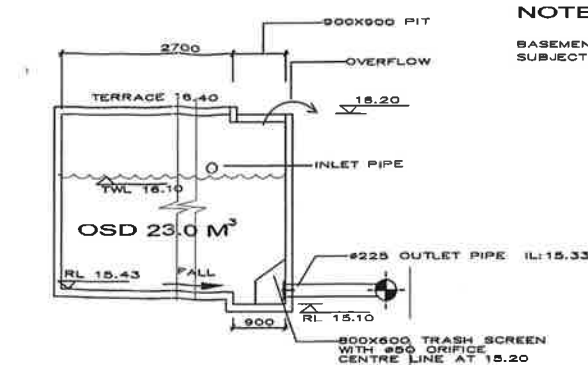
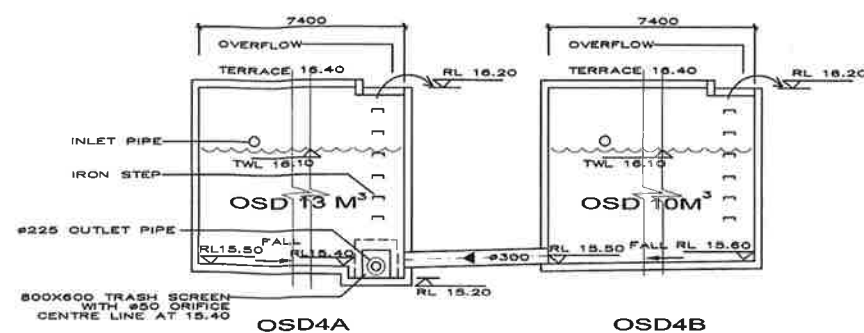
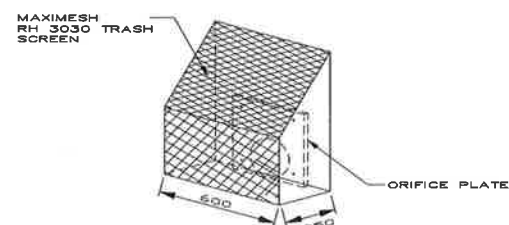
CHKD BY: AT

PROJECT No: 6134-1h

DRAWING No: DAH-04

REVISION: P6

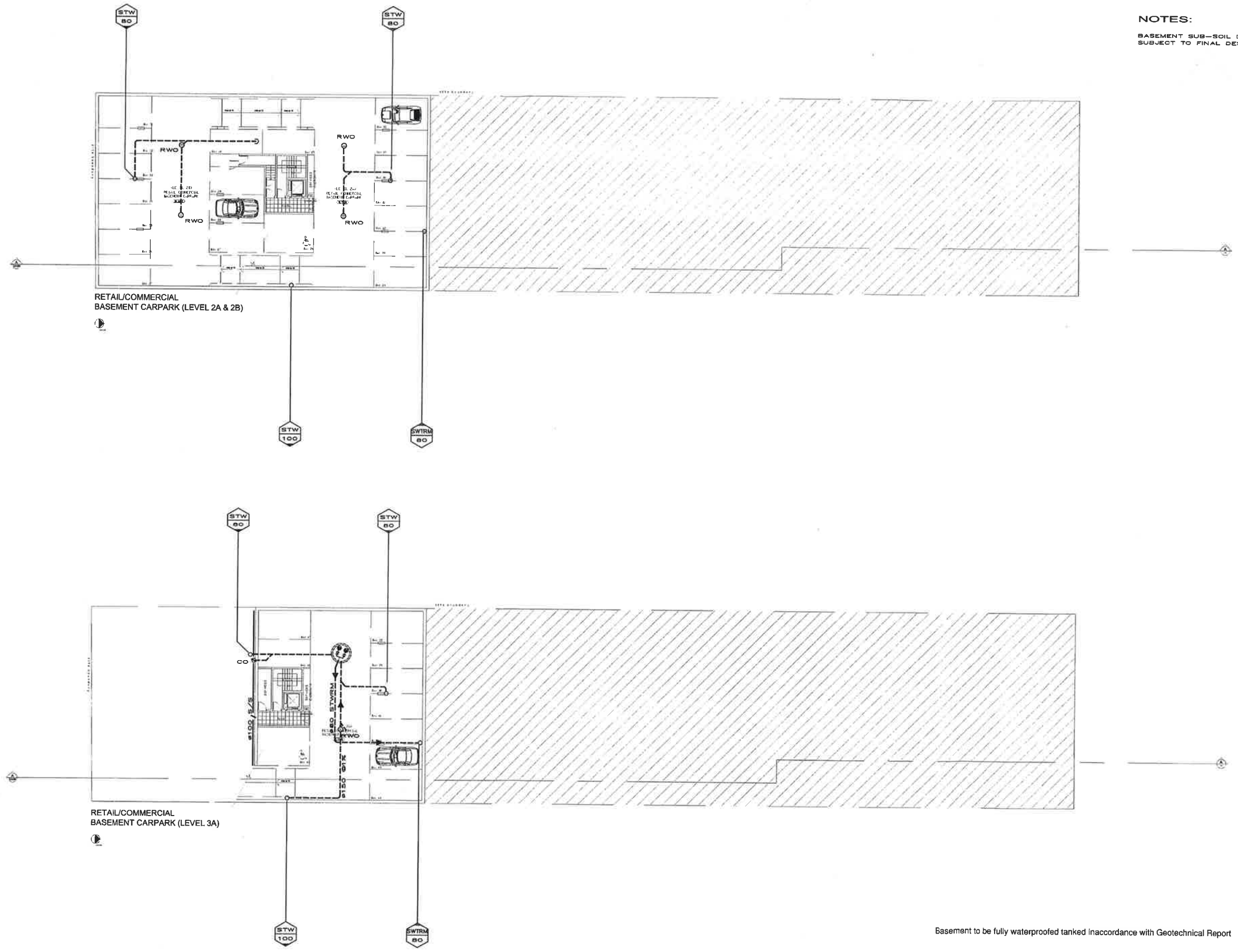


OSD4 LONG-SECTION
NTSOSD4A AND OSD4B SHORT-SECTION
NTS

REV	ISSUE	BY	OKD	DATE	REV	ISSUE	BY	OKD	DATE	SCHEDULE OF REFERENCE FILES	TR	REVISION	CLIENT	ARCHITECTS:	TK QA SYSTEM	PROJECT:										
P1	PRELIMINARY	AZ	AT	05.07.07						DISCIPLINE	DRG NO.				REASON FOR ISSUE	PROPOSED MIXED USE DEVELOPMENT										
P2	PRELIMINARY	AZ	AT	17.07.07						ARCHITECTURAL	07.08.07		Mr. F & Mrs. D Minnici	BLACKMORE design group	ISSUE FOR DA	18 MARMORA ST, HARBORD NSW2096										
P3	PRELIMINARY	AZ	AT	03.08.07						STRUCTURAL					AUTHORISATION											
P4	ISSUE FOR DA	AZ	AT	09.08.07						MECHANICAL						TITLE: HYDRAULIC SERVICES										
P5	ISSUE FOR DA	AZ	MDC	15.11.07						ELECTRICAL						BASEMENT 1 PLAN										
P6	ISSUE FOR DA	AZ	MDC	19.02.08						OTHERS						<table><tr><td>SCALE:</td><td>DATE:</td><td>DRAWN BY:</td><td>CKD BY:</td><td>PROJECT NO.</td></tr><tr><td>1:200 @A1</td><td>JUN 2007</td><td>AZ</td><td>AT</td><td>6134-1h</td></tr></table>	SCALE:	DATE:	DRAWN BY:	CKD BY:	PROJECT NO.	1:200 @A1	JUN 2007	AZ	AT	6134-1h
SCALE:	DATE:	DRAWN BY:	CKD BY:	PROJECT NO.																						
1:200 @A1	JUN 2007	AZ	AT	6134-1h																						
															VERIFICATION OF LATEST AMENDMENT	<table><tr><td>DRAWING No:</td><td>REVISION</td></tr><tr><td>DAH-05</td><td>PO</td></tr></table>	DRAWING No:	REVISION	DAH-05	PO						
DRAWING No:	REVISION																									
DAH-05	PO																									

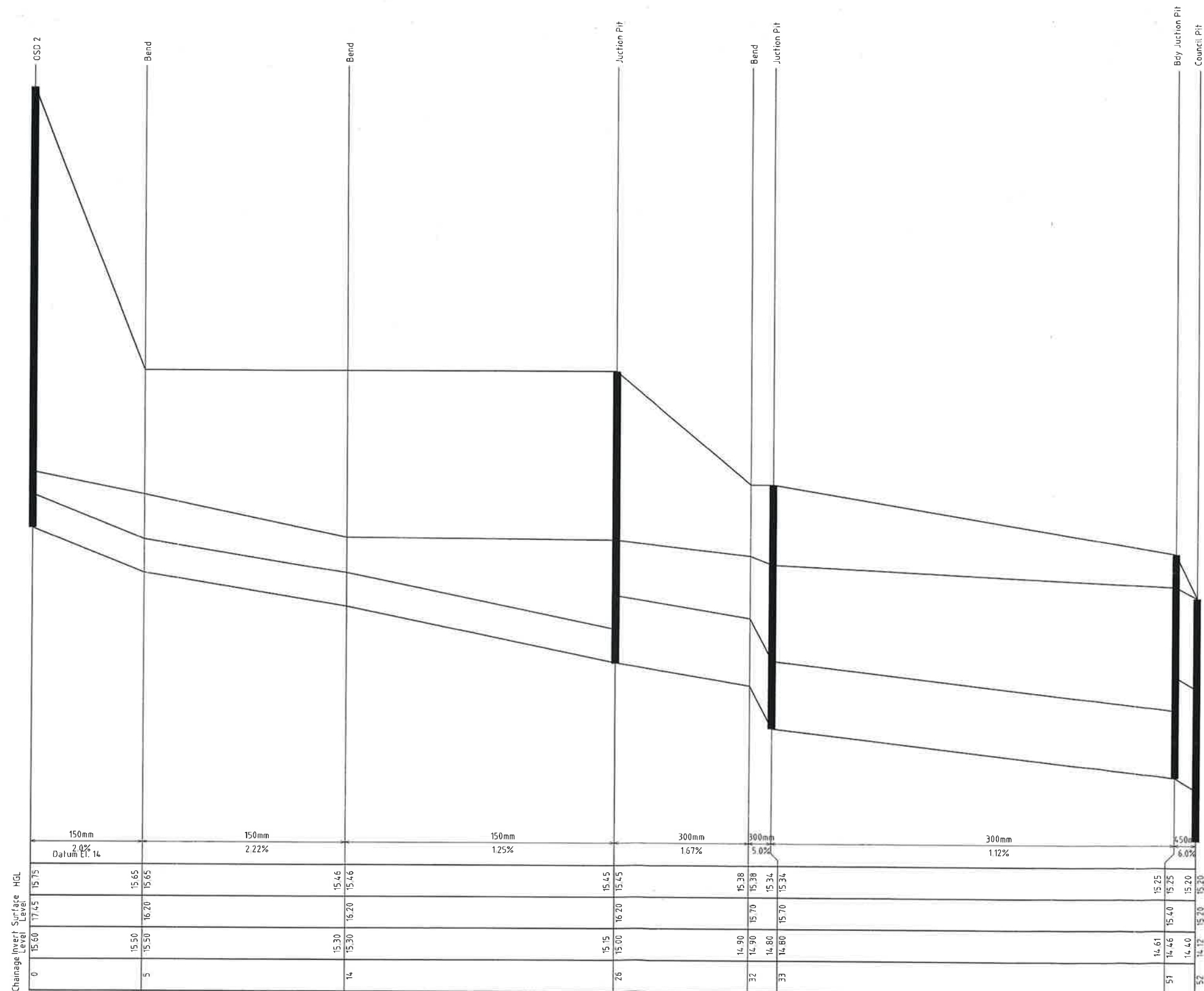
NOTES:

**BASEMENT SUB-SOIL DRAINAGE
SUBJECT TO FINAL DESIGN.**



Basement to be fully waterproofed tanked in accordance with Geotechnical Report

[illegible]



HORIZONTAL SCALE: 1:200
VERTICAL SCALE: 1:20

REV	ISSUE	BY	CHKD	DATE	REV	ISSUE	BY	CHKD	DATE	SCHEDULE OF REFERENCE FILES	TK REVISION	CLIENT	ARCHITECTS	THOMSONKANE	TK QA SYSTEM	PROJECT
P1	PRELIMINARY	AZ	AT	08.07.07						DISCIPLINE	DRG NO.	Mr. F & Mrs. D Minnici	BLACKMORE design group	Consulting Hydraulic and Fire Engineers	REASON FOR ISSUE	PROPOSED MIXED USE DEVELOPMENT
P2	PRELIMINARY	AZ	AT	17.07.07						ARCHITECTURAL	07.06.07	17 BENNETT STREET	Blackmore Design Group Pty. Limited	281 Pacific Highway, North Sydney NSW 2060	ISSUE FOR DA	18 MARMORA ST, HARBORD NSW2096
P3	PRELIMINARY	AZ	AT	03.08.07						STRUCTURAL		HARBORD NSW 2096	Level 4, 80 York St, Sydney, NSW2000	Phone: (02) 9955 0788 Fax: (02) 9954 5532	AUTHORISATION	
P4	ISSUE FOR DA	AZ	AT	09.08.07						MECHANICAL			Tel: (02) 9299 3100	Email: tk@thomsonkane.com.au	VERIFICATION OF	TITLE: HYDRAULIC SERVICES
P5	ISSUE FOR DA	AZ	MDC	15.11.07						ELECTRICAL			Fax: (02) 9299 3786	WWW.THOMSONKANE.COM.AU	LATEST AMENDMENT	OSD DRAINAGE
										OTHERS			ACN 109 803 849	THIS DRAWING IS COPYRIGHT ©		LONG-SECTION
																SCALE: DATE: DRAWN BY: CHKD BY: PROJECT No: DAH-07 P5
																AS SHOWN JUN 2007 AZ AT 6134-1h



PLANT SCHEDULE

Quantities of shrubs and groundcovers to future specification.

Botanical Name	Common Name	Height x Spread at Maturity (mm)	Pot Size	No
PLANTER BOXES				
Acmena smithii, 'Hedgemaster'	Dwarf Lillypilly Hedgemaster	1000 x 1000	200mm	
Buxus microphylla var. japonica	Japanese Box	1000 x 1000	200mm	
Cordyline australis sp. & cv. 'Red Sensation'	New Zealand Flax	3000 x 1500	300mm	
Hibbertia scandens	Golden Snake Vine	1000 x 1000	150mm	
Russelia equisetifolia	Coral Plant	1000 x 1000	150mm	
Phormium 'Bronze Baby'	Bronze-leaved Flax	600 x 600	200mm	
Phormium tenax	Green-leaved New Zealand Flax	1200 x 1200	200mm	

PRELIMINARY CONSTRUCTION NOTES

- Organic mulch to be provided to all planter boxes, to be quality, weed-free leaf litter mulch/woodchips, to 70mm depth.
- Gravel mulch to be equal to 10 – 20mm no fines quartz pebble, laid to a depth of 50mm, on non-accessible terraces/planters.
- Automatic drip irrigation system to be installed to all planter boxes.
- Planter boxes to be of masonry construction, waterproofed inside walls and on floor. Subsoil drainage to be provided behind walls and on floor, with fall on floor of planter to drainage outlets connected to storm water system. Number and location of drainage outlets to be by hydraulic engineer.
- Planter boxes to have a minimum of 700mm soil depth (plus drainage material thickness and mulch depth allowance).
- Planter box soils to be premium quality planter box mix, to future specification.

Client	MR AND MRS MINNICI	
Project	18 MARMORA STREET, FRESHWATER	
Title	LANDSCAPE CONCEPT PLAN - planter boxes on upper floors	
Date of Issue	Scale	Drawing No
Issue A: 11/02/2008	1:100 @A1	LC02 B
Issue B: 27/02/2009		
Reason for Issue		
Issue A: Planter boxes on upper floors of residential buildings.		
Issue B: Alterations to planter boxes and planting in accordance with architectural changes. To be read in conjunction with LC01 C.		

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Email selena.hannan@opbnsnet.com.au

SELENA
HANNAH
LANDSCAPE
DESIGN

