

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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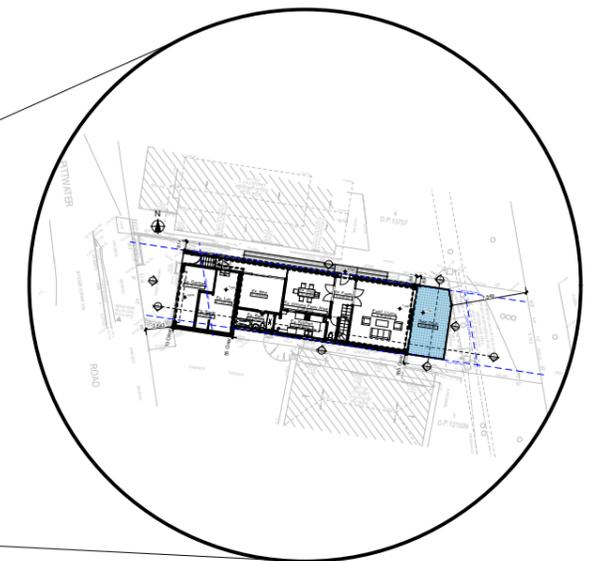
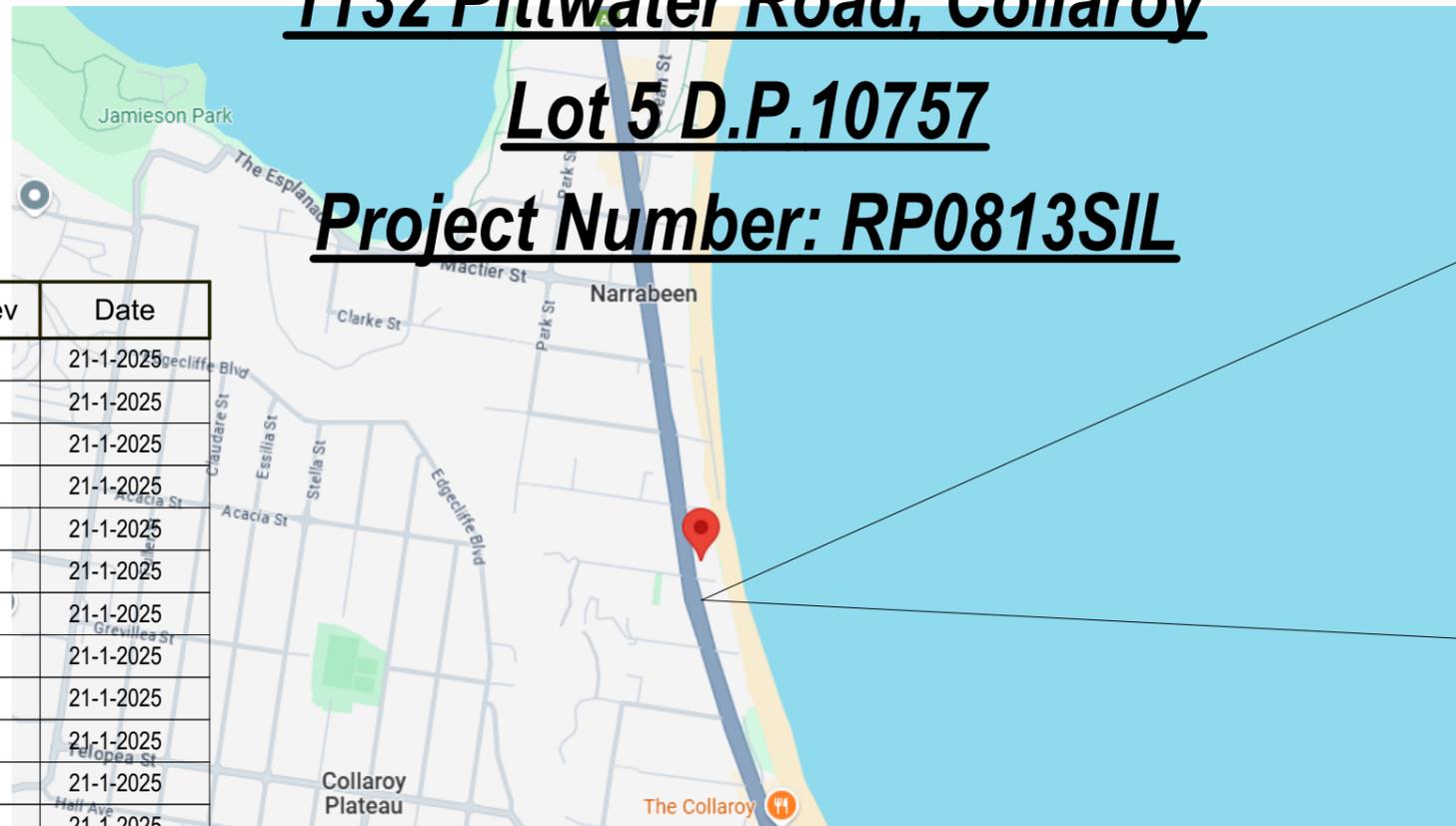
# ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

For Garry Silk

1132 Pittwater Road, Collaroy

Lot 5 D.P.10757

Project Number: RP0813SIL



Drawing No:	Description	Rev	Date
	Cover Sheet	-	21-1-2025
DA1001	A4 Notification Plan	-	21-1-2025
DA1002	Survey	-	21-1-2025
DA1003	Site Plan	-	21-1-2025
DA1004	Existing Ground Floor Plan	-	21-1-2025
DA1005	Existing First Floor Plan	-	21-1-2025
DA1006	Demolition Plan Ground	-	21-1-2025
DA1007	Demolition Plan First Floor	-	21-1-2025
DA1008	Excavation & Fill Plan	-	21-1-2025
DA1009	Landscape Open Space Plan	-	21-1-2025
DA1010	Landscape Plan	-	21-1-2025
DA1011	Sediment & Erosion Control Plan	-	21-1-2025
DA1012	Waste Management Plan	-	21-1-2025
DA1013	Stormwater Plan	-	21-1-2025
DA2001	Basement	-	21-1-2025
DA2002	Ground Floor Plan	-	21-1-2025
DA2003	First Floor Plan	-	21-1-2025
DA2004	Roof Plan	-	21-1-2025
DA3001	Section 1	-	21-1-2025
DA4001	Elevation 1	-	21-1-2025
DA4002	Elevation 2	-	21-1-2025
DA5001	Perspective	-	21-1-2025
DA5002	June 21st 9am	-	21-1-2025
DA5003	June 21st 12pm	-	21-1-2025
DA5004	June 21st 3pm	-	21-1-2025
DA6001	Schedule of Colours & Materials	-	21-1-2025

**BASIX<sup>®</sup>Certificate**  
Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

**Alterations and Additions**

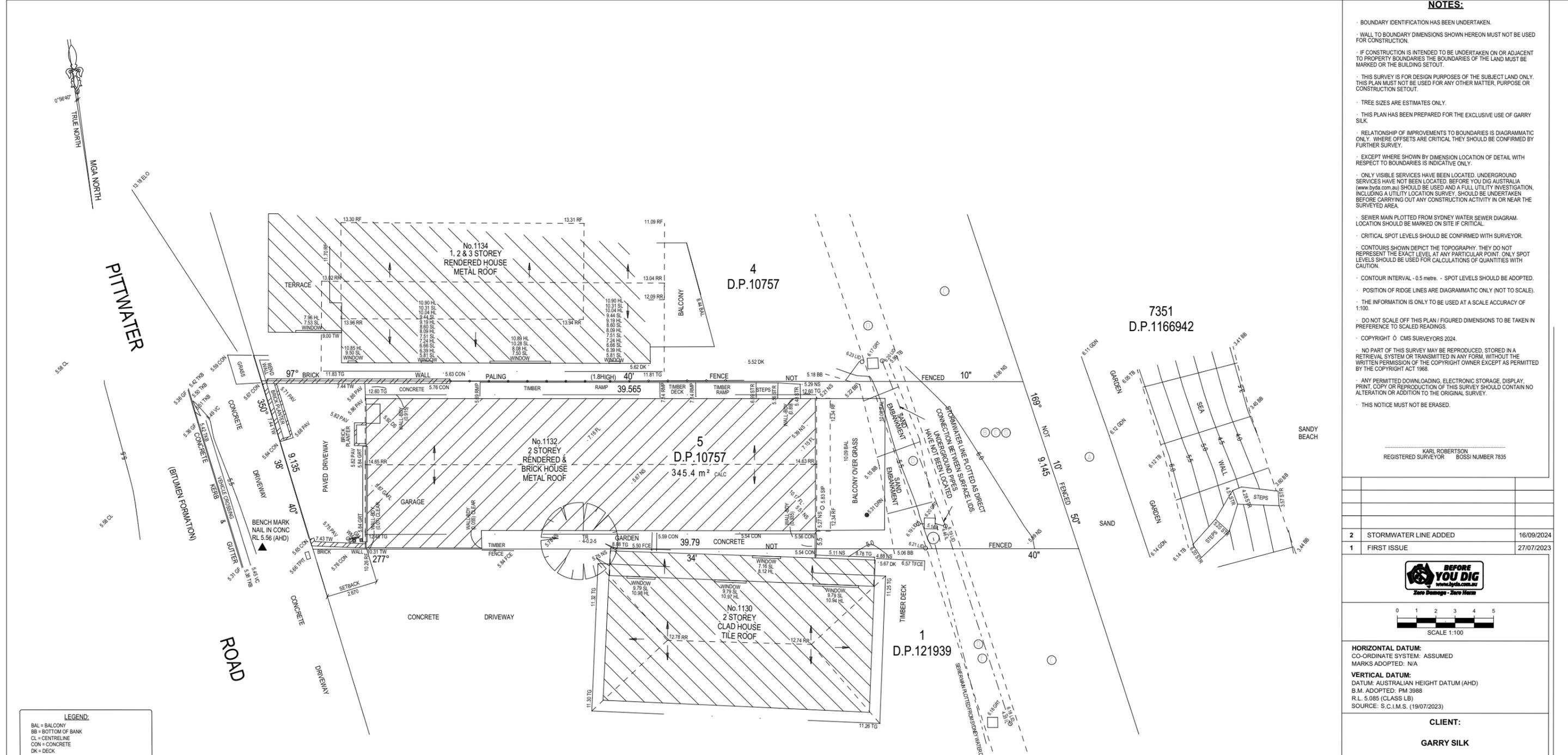
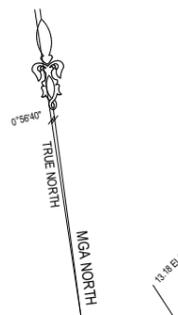
Certificate number: A1780067

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 16 January 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Silk
Street address	1132 PITTWATER Road COLLAROY 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP10757
Lot number	5
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	RAPID PLANS PTY LTD
ABN (if applicable):	43150064592



**LEGEND:**

- BAL = BALCONY
- BB = BOTTOM OF BANK
- CL = CENTRELINE
- CON = CONCRETE
- DK = DECK
- DWN = DRAIN
- DS = DOOR SILL LEVEL
- FCE = FENCE
- FL = FLOOR LEVEL
- GARFL = GARAGE FLOOR LEVEL
- GDN = GARDEN
- GF = GUTTER LEVEL
- GM = GAS METER
- GRT = GRATE
- HL = HOOD LEVEL
- NS = NATURAL SURFACE
- PAV = PAVING
- RF = TOP OF ROOF
- RMP = RAMP
- RR = ROOF RIDGE
- SIP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- STR = STAIRS
- TB = TOP OF BANK
- TFCE = TOP OF FENCE
- TG = TOP OF GUTTER
- TKB = TOP OF KERB
- TPIT = TELSTRA PIT
- TR = TREE
- TW = TOP OF WALL
- VC = VEHICLE CROSSING
- WM = WATER METER
- = ELECTRICITY OVERHEAD
- = SEWER UNDERGROUND
- = STORMWATER UNDERGROUND

TREE SPREAD-DIAMETER-HEIGHT

**1** Survey 1:200

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

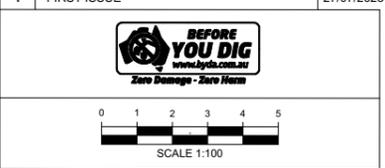
**NOTE:**  
THE INTEGRITY OF ALL EXISTING SURVEY INFORMATION IN THIS PLAN THAT IS SHOWN HEREON AS GREY SCALE COLOUR HAS NOT BEEN SURVEYED OR INVESTIGATED BY CMS SURVEYORS PTY LIMITED AS PART OF THE ISSUE 2 SURVEY.

- TITLE INDICATES THAT LOT 5 IN D.P.10757 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
  - ① - DP1282100 EASEMENT FOR WORKS 20 METRE(S) WIDE AND VARIABLE WIDTH APPURTENANT TO THE LAND ABOVE DESCRIBED
  - ② - DP1282100 EASEMENT FOR SUPPORT 5.8 METRE(S) WIDE AND VARIABLE WIDTH AFFECTING THE PART(S) SHOWN SO BURDENED IN DP1282100
  - ③ - DP1282100 EASEMENT FOR ACCESS, CONSTRUCTION, SUPPORT & MAINTENANCE 5.8 METRE(S) WIDE AND VARIABLE WIDTH AFFECTING THE PART(S) SHOWN SO BURDENED IN DP1282100
  - ④ - DP1282100 EASEMENT FOR ACCESS, CONSTRUCTION, SUPPORT & MAINTENANCE 5.8 METRE(S) WIDE AND VARIABLE WIDTH APPURTENANT TO THE LAND ABOVE DESCRIBED
  - ⑤ - DP1282100 EASEMENT TO DRAIN WATER 1.7 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN DP1282100
  - ⑥ - DP1282100 EASEMENT TO DRAIN WATER 1.7 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
  - ⑦ - DP1282100 EASEMENT TO DRAIN SEWAGE 1.7 METRE(S) WIDE REFERRED TO AND NUMBERED (5) IN THE S.88B INSTRUMENT APPURTENANT TO THE LAND ABOVE DESCRIBED
  - ⑧ - DP1282100 RESTRICTION(S) ON THE USE OF LAND (NOT INVESTIGATED)

- NOTES:**
- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
  - WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
  - IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
  - THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
  - TREE SIZES ARE ESTIMATES ONLY.
  - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF GARRY SILK.
  - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
  - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
  - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. BEFORE YOU DIG AUSTRALIA (www.beyond.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
  - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
  - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
  - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
  - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
  - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
  - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
  - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
  - COPYRIGHT © CMS SURVEYORS 2024.
  - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
  - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
  - THIS NOTICE MUST NOT BE ERASED.

KARL ROBERTSON  
REGISTERED SURVEYOR BOSSI NUMBER 7835

2	STORMWATER LINE ADDED	16/09/2024
1	FIRST ISSUE	27/07/2023



**HORIZONTAL DATUM:**  
CO-ORDINATE SYSTEM: ASSUMED  
MARKS ADOPTED: N/A

**VERTICAL DATUM:**  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. ADOPTED: PM 3988  
R.L. 5.085 (CLASS LB)  
SOURCE: S.C.I.M.S. (19/07/2023)

**CLIENT:**  
**GARRY SILK**

**LGA: NORTHERN BEACHES**

**BOUNDARY IDENTIFICATION AND DETAIL & LEVEL SURVEY OVER LOT 5 IN DP10757 No.1132 PITWATER RD COLLAROY, NSW, 2097**

**CMS SURVEYORS PTY LTD**  
ACN 096 240 201  
PO Box 463 Dee Why, NSW, 2099  
2/99A South Creek Road, Dee Why, NSW, 2099  
(02) 9971 4802  
info@cmsurveyors.com.au  
www.cmsurveyors.com.au

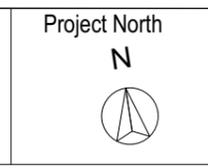
SURVEYED JTL/J	DRAWN GPI/LJ	CHECKED JTL/J	APPROVED BS
SURVEY INSTRUCTION 22638	SCALE 1:100@A1	DATE OF SURVEY 20/07/2023-13/09/2024	
DRAWING NAME 22638detail	SHEET 1 OF 1	ISSUE 2	
CAD FILE 22638detail 2 - Scaled.dwg			



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Builder to Check and Confirm all Measurements Prior to Commencement

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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Project Name:  
**Alterations & Additions**

Client:  
**Garry Silk**  
1132 Pittwater Road, Collaroy

Lot 5 D.P.10757  
Drawing Title:  
**Site Plans - Survey**

Scale: **A3 as noted**  
Status: **DA**  
Project No.  
**RP0813SIL**

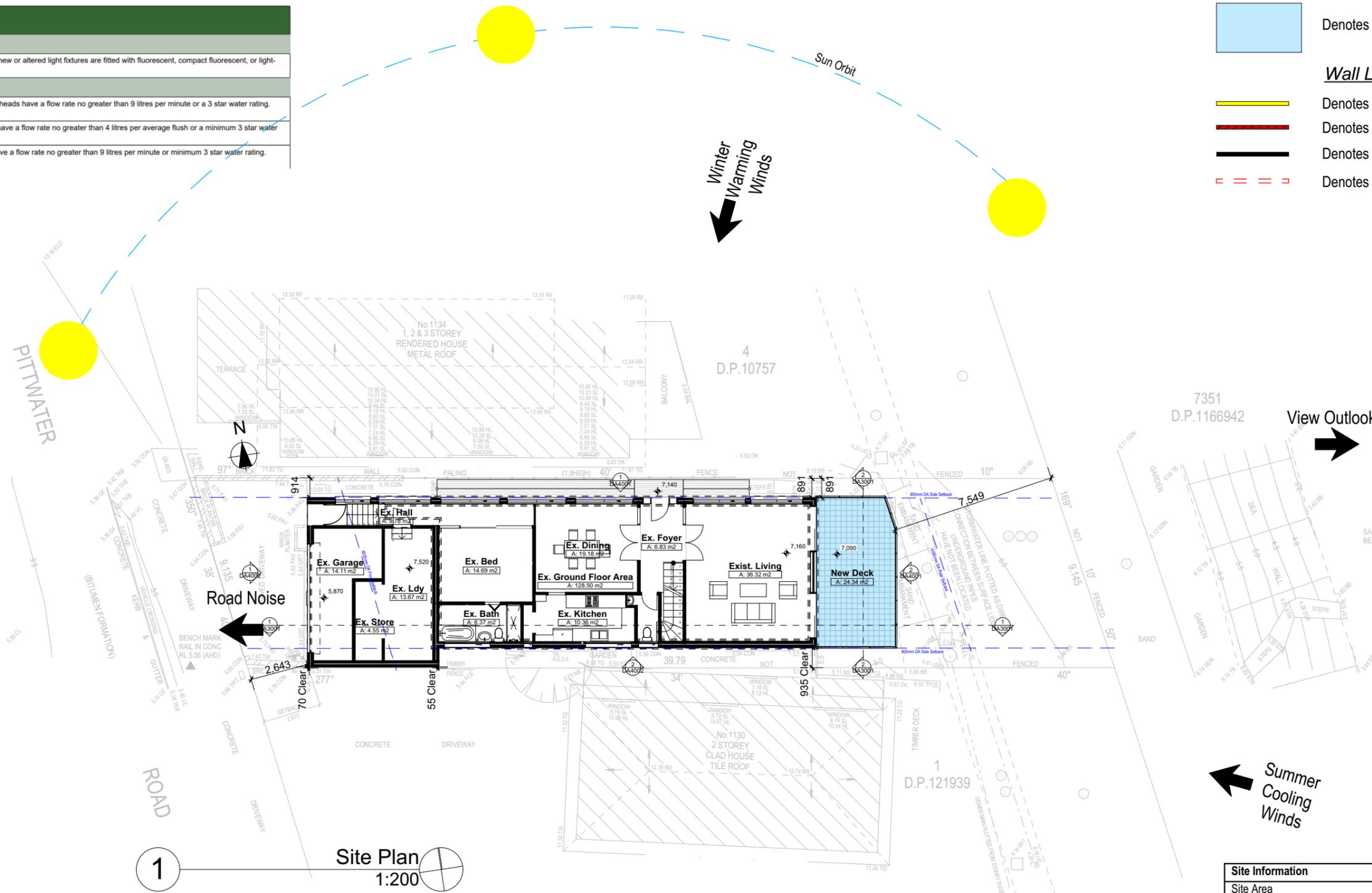
Date: 21-10-2025  
Checked By: GBJ  
Drawing No.  
**DA1002**

Fixtures and systems	
<b>Lighting</b>	The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
<b>Fixtures</b>	The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
	The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
	The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

**Denotes New Works**

**Wall Legend**

- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



1 Site Plan 1:200

Construction		
<b>Insulation requirements</b>		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

**NOTES**  
 1132 Pittwater Road is zoned R2 Low Density Residential  
 All Plans to be read in conjunction with Basix Certificate  
 New Works to be constructed shown in Shaded/Blue  
 1132 Pittwater Road is not considered a heritage item

**Construction**  
 Concrete Floor, Masonry Walls  
 Roof Sheet Metal Roof to have N/A Insulation  
 Insulation to External Masonry Walls R1.7  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS1288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
 Basix Certificate Number A1780067  
 All Plans to be read in conjunction with Basix Certificate  
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
 Relevant overshadowing specifications must be satisfied for each window and glazed door.  
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

**DA APPLICATION ONLY**  
 NOT FOR CONSTRUCTION

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 Building Design and Architectural Drafting  
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 DC NSW 2086  
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Builder to Check and Confirm all Measurements Prior to Commencement

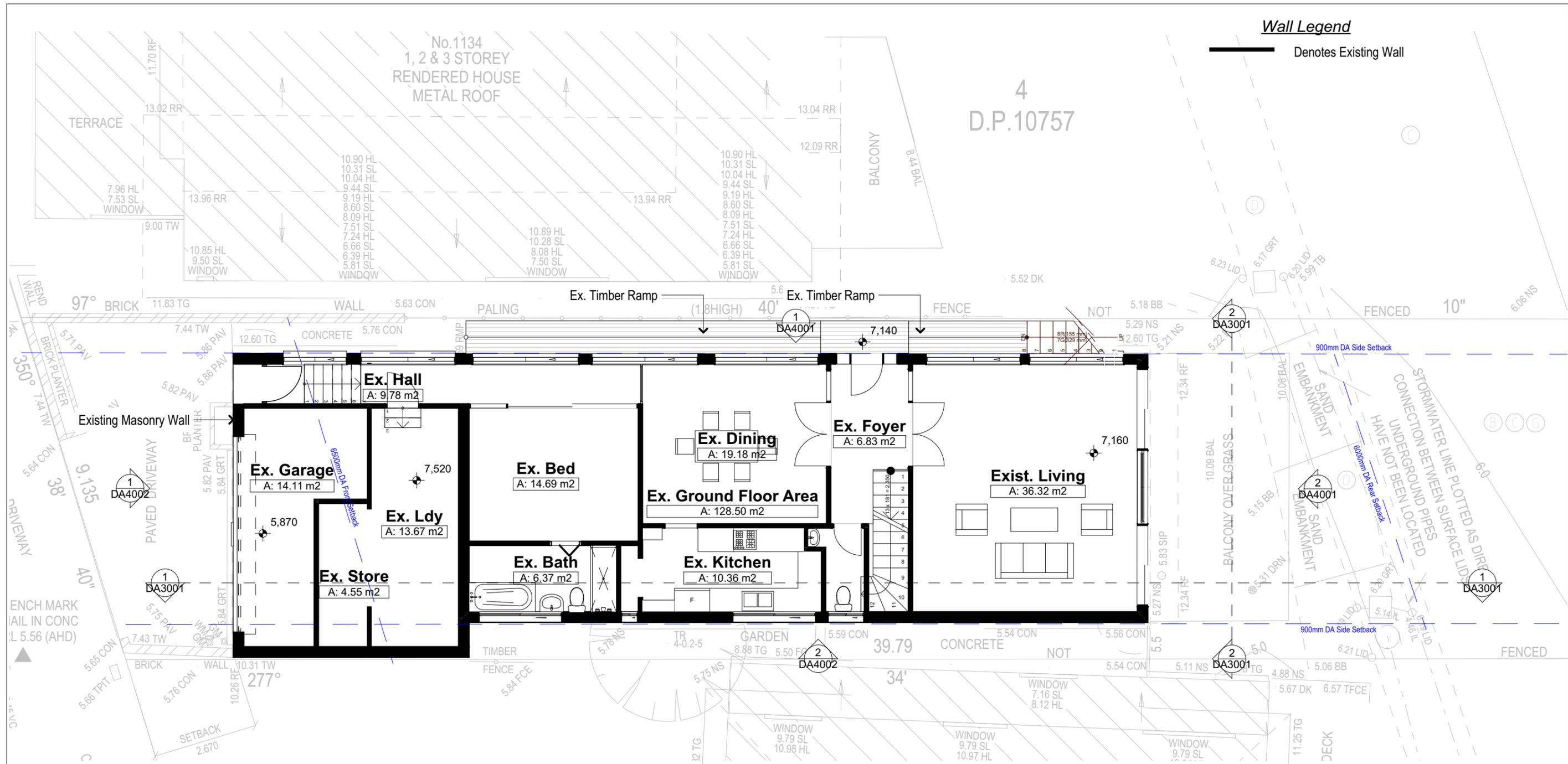
**bdaa**  
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA  
**bdaa**  
 ACCREDITED BUILDING DESIGNER

Project North

Client  
 Garry Silk  
 Project Name  
**Alterations & Additions**  
 1132 Pittwater Road, Collaroy  
 2097

Lot 5 D.P.10757  
 Drawing Title:  
 Site Plans - Site Plan  
 Site Plan

Scale: A3 as noted  
 Status: DA  
 Project No.  
 RP0813SIL  
 Date: 21-1-2025  
 Checked By: GBJ  
 Drawing No.  
**DA1003**



**Wall Legend**

Denotes Existing Wall

1 Existing Ground Floor Plan  
1:100

**Builder To Check & Confirm Existing Measurements Prior to Commencement**

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

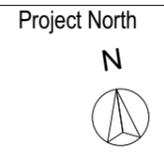
**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
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Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

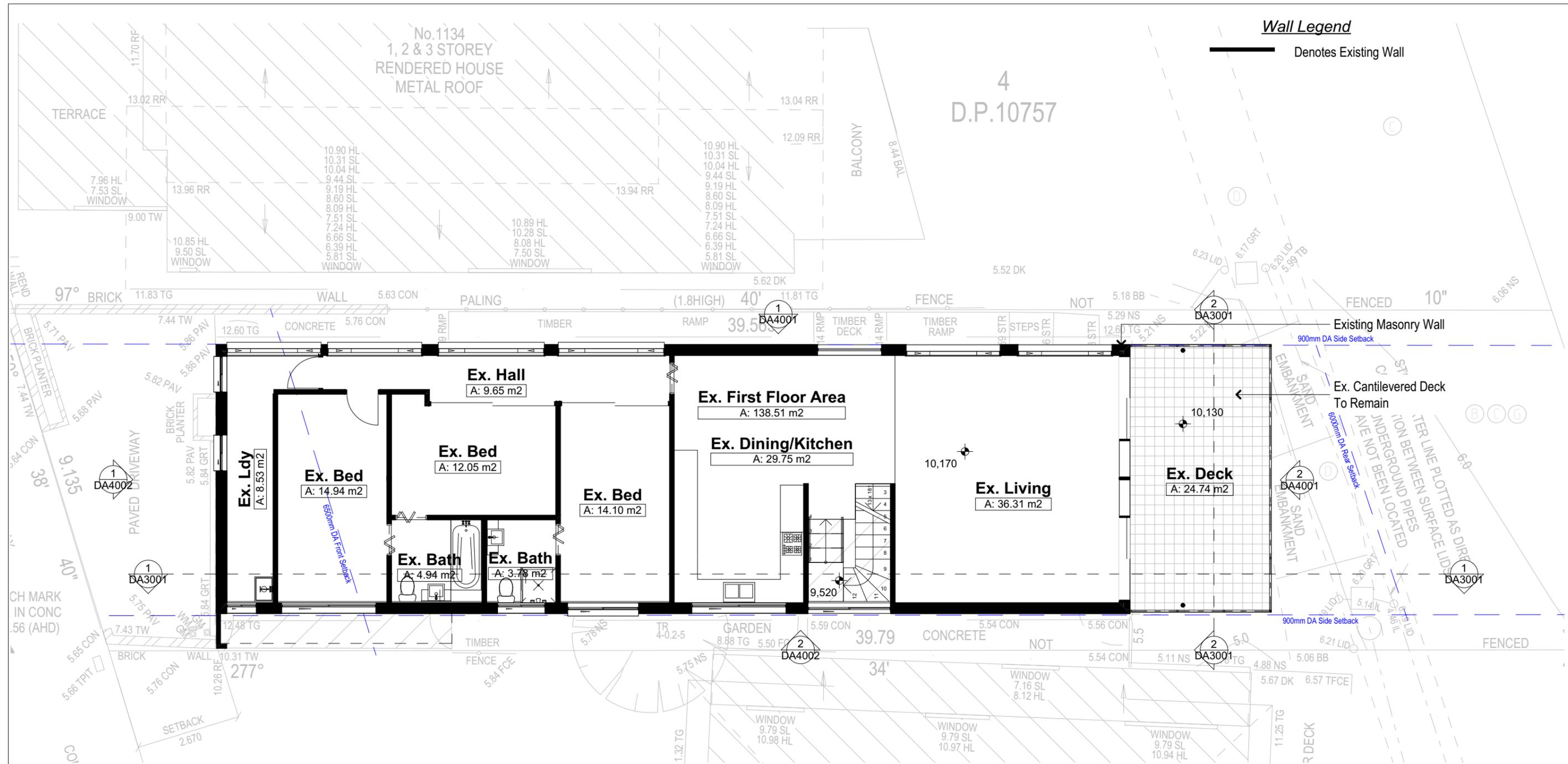
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Client: Garry Silk  
Project Name: Alterations & Additions  
1132 Pittwater Road, Collaroy 2097

Lot 5 D.P.10757  
Drawing Title: Site Plans - Existing Ground Floor Plan  
Existing Ground Floor Plan

Scale: A3 as noted  
Status: DA  
Project No.: RP0813SIL  
Drawing No.: DA1004



**Wall Legend**

Denotes Existing Wall

**1 Existing First Floor Plan**  
1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
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All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

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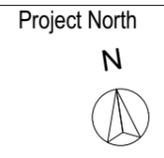
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Building Design and Architectural Drafting  
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Fax: (02) 9305-8865  
Mobile: 0414-945-024  
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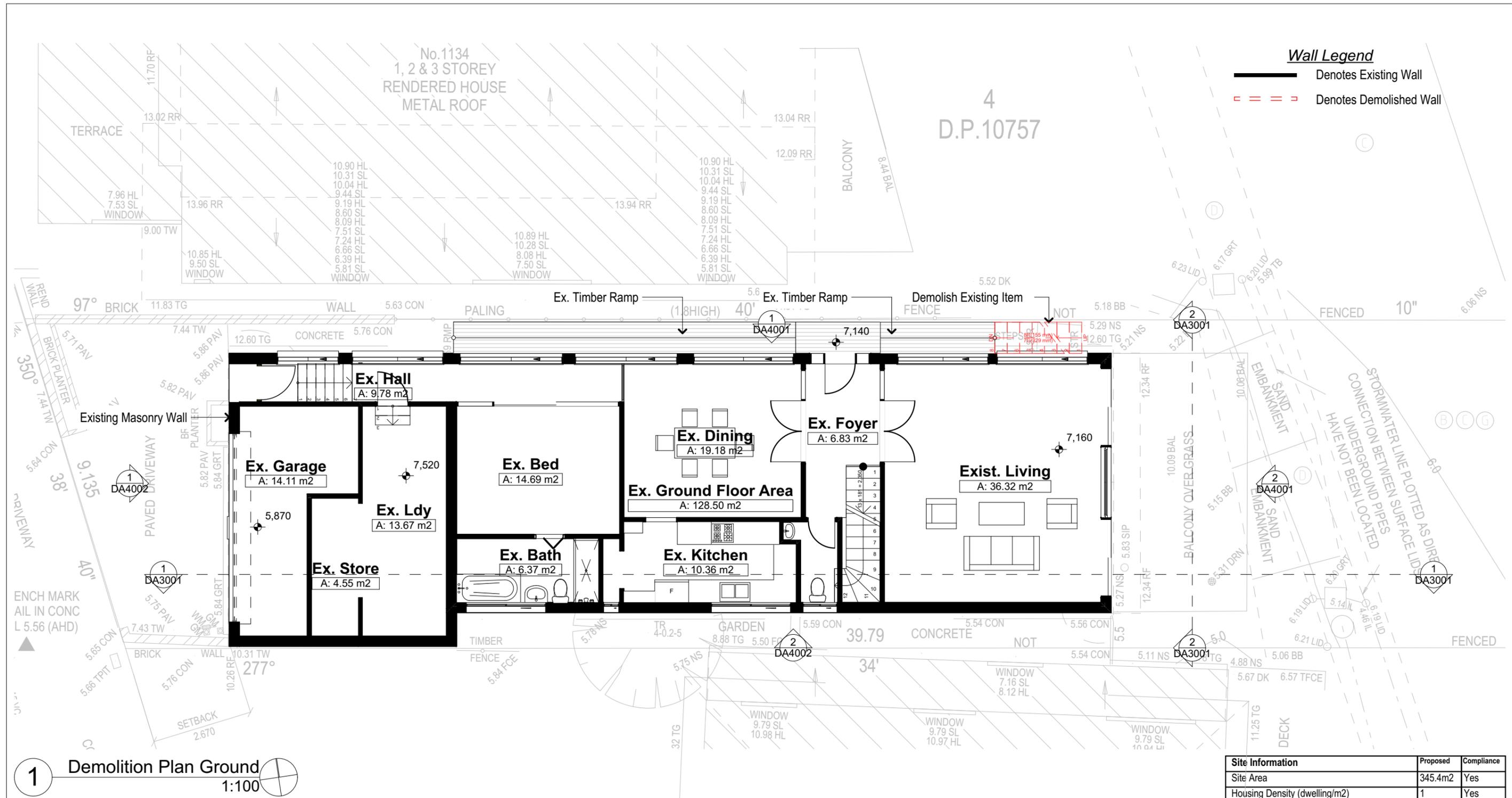
**bdaa**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA  
ACCREDITED BUILDING DESIGNER



Client  
**Garry Silk**  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
**Site Plans - Existing First Floor Plan**  
Existing First Floor Plan

Scale: **A3 as noted**  
Status: **DA**  
Project No.  
**RP0813SIL**  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA1005**



1 Demolition Plan Ground 1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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NOT FOR CONSTRUCTION

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Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

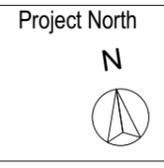
**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



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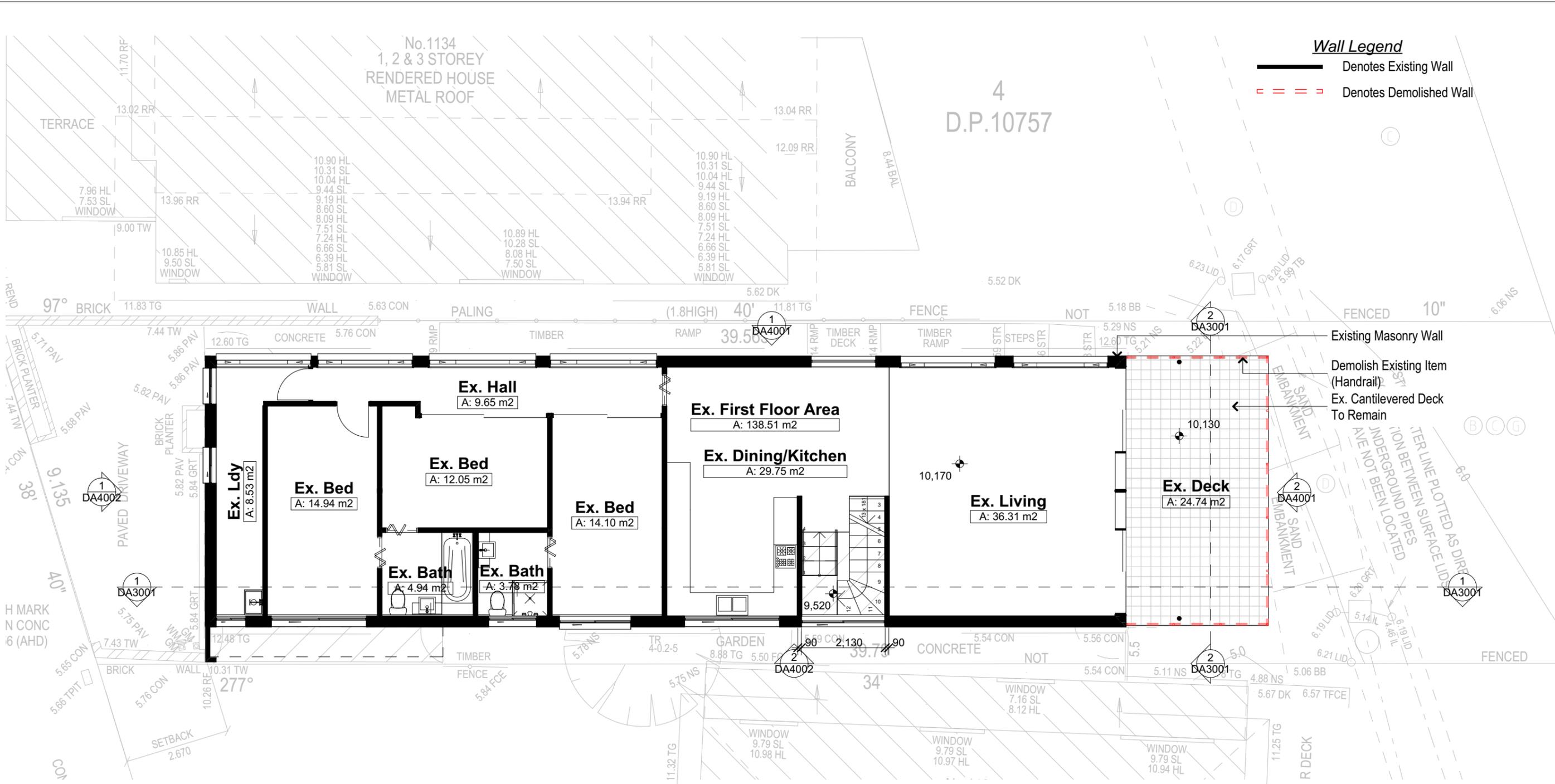


Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Site Plans - Demolition Plan  
Ground  
Demolition Plan Ground

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL

Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA1006**



**Wall Legend**  
 ————— Denotes Existing Wall  
 - - - - - Denotes Demolished Wall

1 Demolition Plan First  
 1:100

All Demolition to be done in  
 Accordance with Australian Standards,  
 BCA and Workcover Regulations

**DA APPLICATION ONLY**  
 NOT FOR CONSTRUCTION

**NOTES**  
 1132 Pittwater Road is zoned R2 Low Density Residential  
 All Plans to be read in conjunction with Basix Certificate  
 New Works to be constructed shown in Shaded/Blue  
 1132 Pittwater Road is not considered a heritage item

**Construction**  
 Concrete Floor, Masonry Walls  
 Roof Sheet Metal Roof to have N/A Insulation  
 Insulation to External Masonry Walls R1.7  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact  
 fluorescent lamps

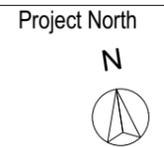
**Basix**  
 Basix Certificate Number A1780067  
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 Overshadowing buildings or vegetation must be of the height and distance from the centre  
 and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



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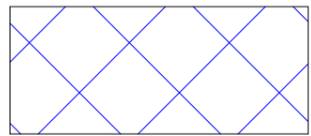
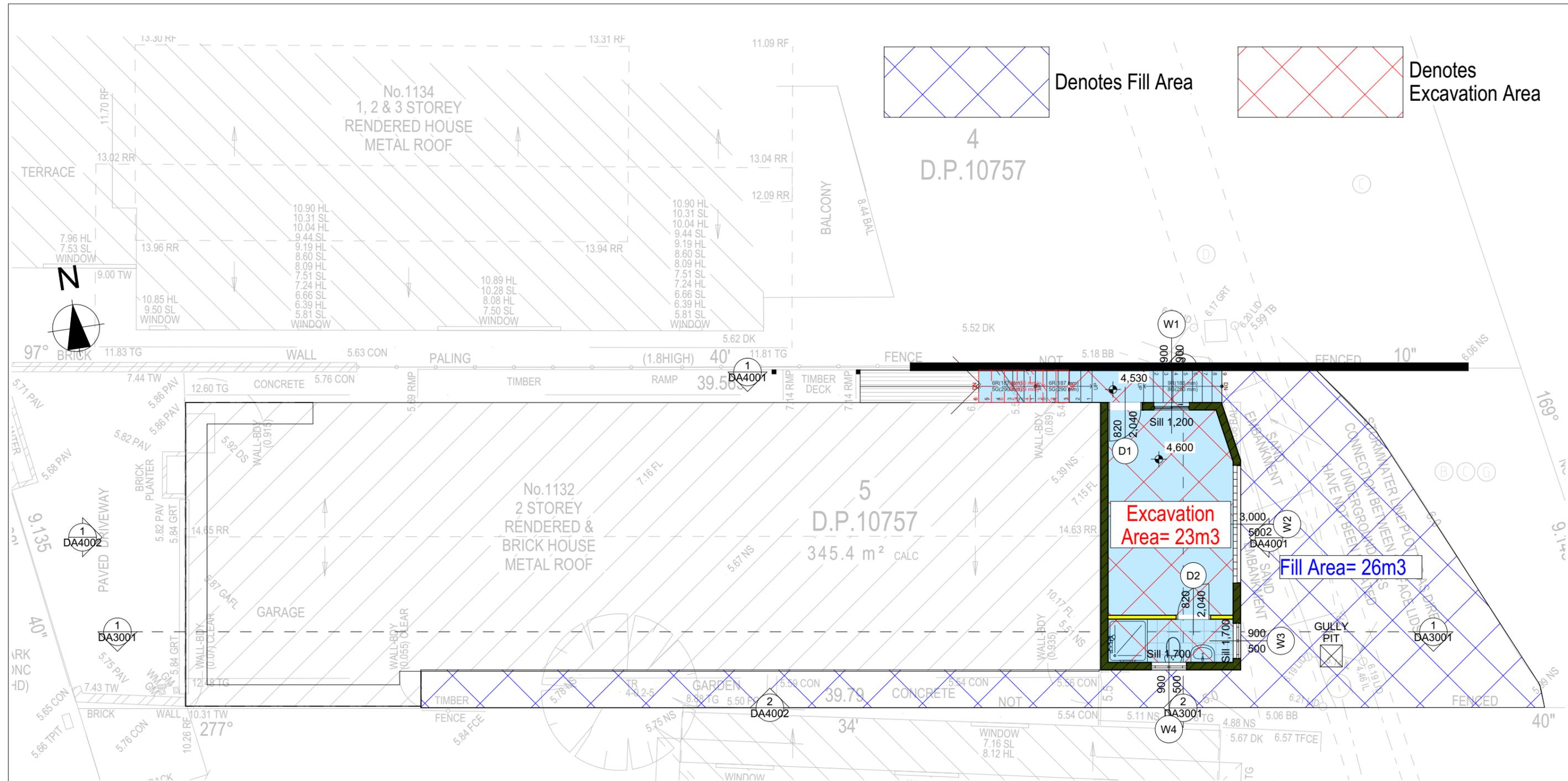
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 Measurements Prior to  
 Commencement



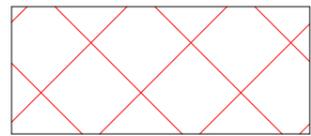
Client  
 Garry Silk  
 Project Name  
**Alterations & Additions**  
 1132 Pittwater Road, Collaroy  
 2097

Lot 5 D.P.10757  
 Drawing Title:  
 Site Plans - Demolition Plan  
 First Floor  
 Demolition Plan First

Scale: A3 as noted  
 Status: DA  
 Project No.  
 RP0813SIL  
 Date: 21-1-2025  
 Checked By: GBJ  
 Drawing No.  
**DA1007**



Denotes Fill Area



Denotes Excavation Area

1 Excavation & Fill Plan 1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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Builder to Check and Confirm all Measurements Prior to Commencement

Project North

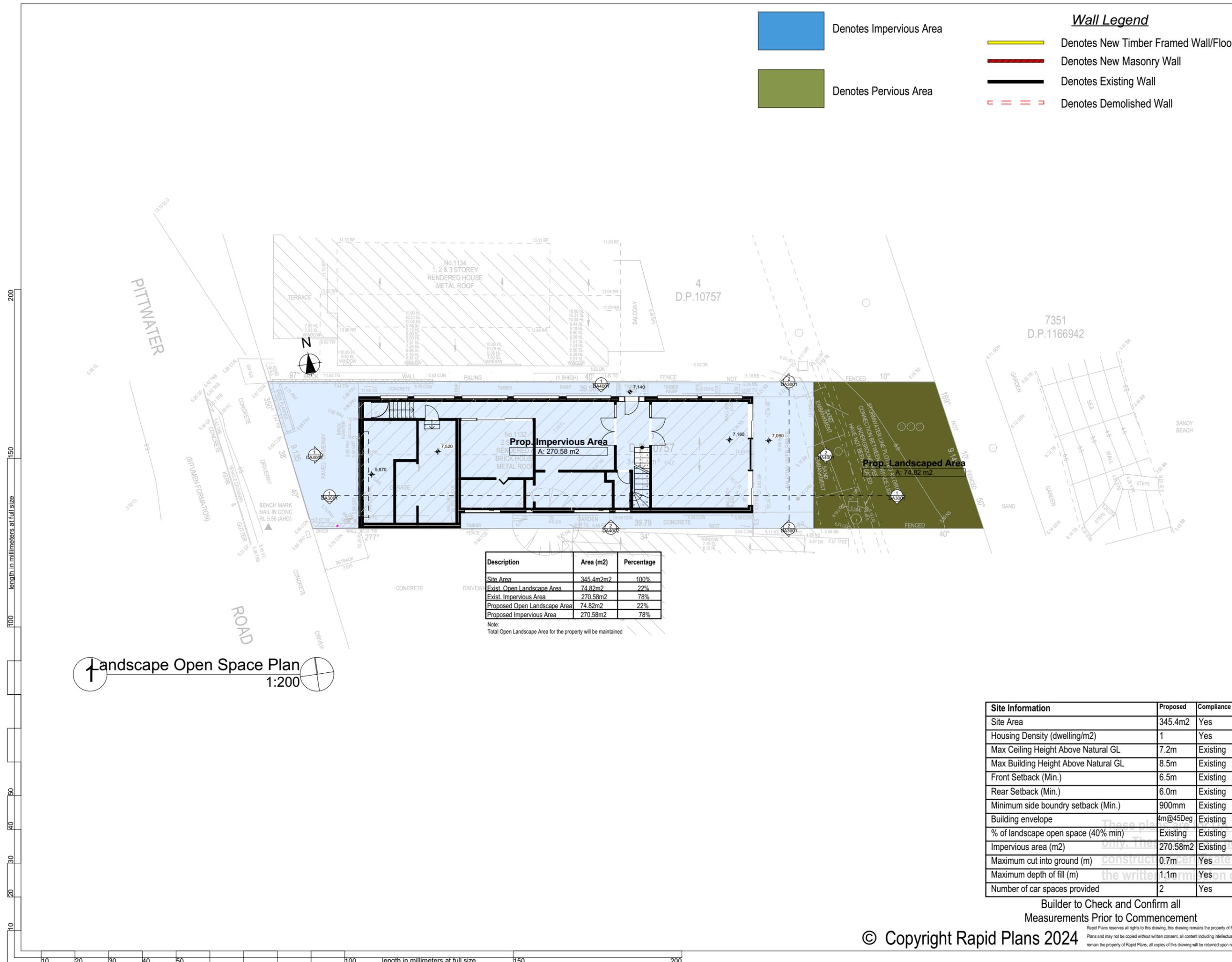
Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Site Plans - Excavation & Fill  
Plan  
Excavation & Fill Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
DA1008

Denotes Impervious Area  
 Denotes Pervious Area

**Wall Legend**  
 Denotes New Timber Framed Wall/Floor  
 Denotes New Masonry Wall  
 Denotes Existing Wall  
 Denotes Demolished Wall



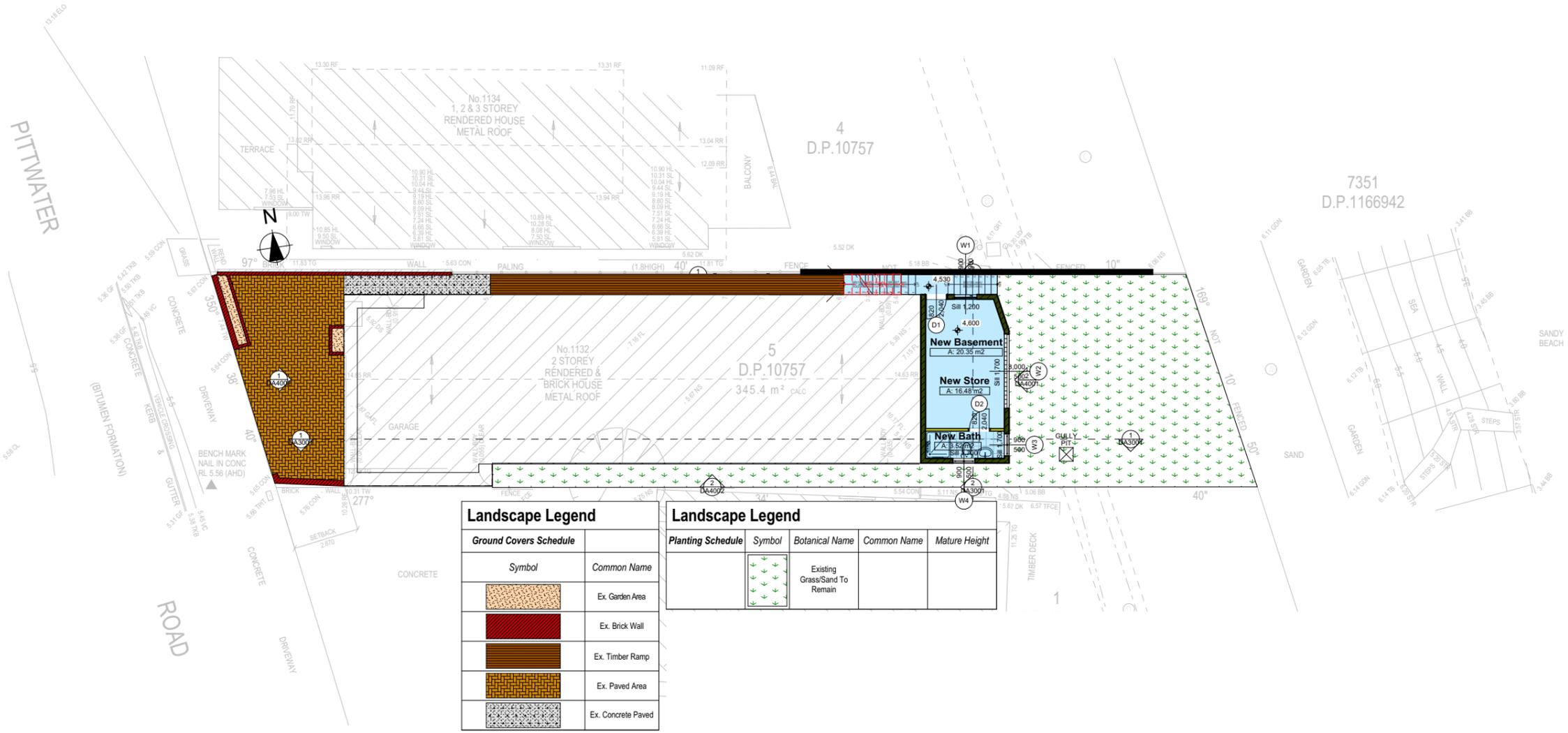
Description	Area (m2)	Percentage
Site Area	345.4m2	100%
Exist. Open Landscape Area	74.82m2	22%
Exist. Impervious Area	270.58m2	78%
Proposed Open Landscape Area	74.82m2	22%
Proposed Impervious Area	270.58m2	78%

Note:  
 Total Open Landscape Area for the property will be maintained

**Landscape Open Space Plan**  
 1:200

Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all  
 Measurements Prior to Commencement



1 Landscape Plan 1:200

Ground Covers Schedule	
Symbol	Common Name
[Pattern]	Ex. Garden Area
[Pattern]	Ex. Brick Wall
[Pattern]	Ex. Timber Ramp
[Pattern]	Ex. Paved Area
[Pattern]	Ex. Concrete Paved

Planting Schedule					
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height	
	[Symbol]	Existing Grass/Sand To Remain			

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
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All work to Engineers Specification and BCA  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

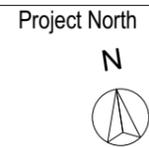
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Site Information	Proposed	Compliance
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Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



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Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Site Plans - Landscape Plan  
Landscape Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL

Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA1010**

**NOTES**

1132 Pittwater Road, is zoned R2 Low Density Residential  
 1132 Pittwater Road, is not considered a heritage item  
 All Plans to be read in conjunction with Basix Certificate  
 New Works to be constructed shown in Shaded/Blue

**Construction**

Concrete Floor, Masonry Walls  
 Insulation to External Masonry Walls R1.7  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamps  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**

Basix Certificate Number A1780067  
 All Plans to be read in conjunction with Basix Certificate  
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



**DA APPLICATION  
 ONLY  
 NOT FOR CONSTRUCTION**

Client  
 Garry Silk  
 Project Name  
**Alterations & Additions**  
 1132 Pittwater Road  
 2097

Lot 5 D.P.10757  
 Drawing Title:

Site Plans - Sediment & Erosion Control Plan  
 Sediment & Erosion Control Plan

Scale: A3 as noted Date: 21-1-2025  
 Status: DA Checked By: GBJ

Project No: **RP0813SIL** Drawing No: **DA1011**

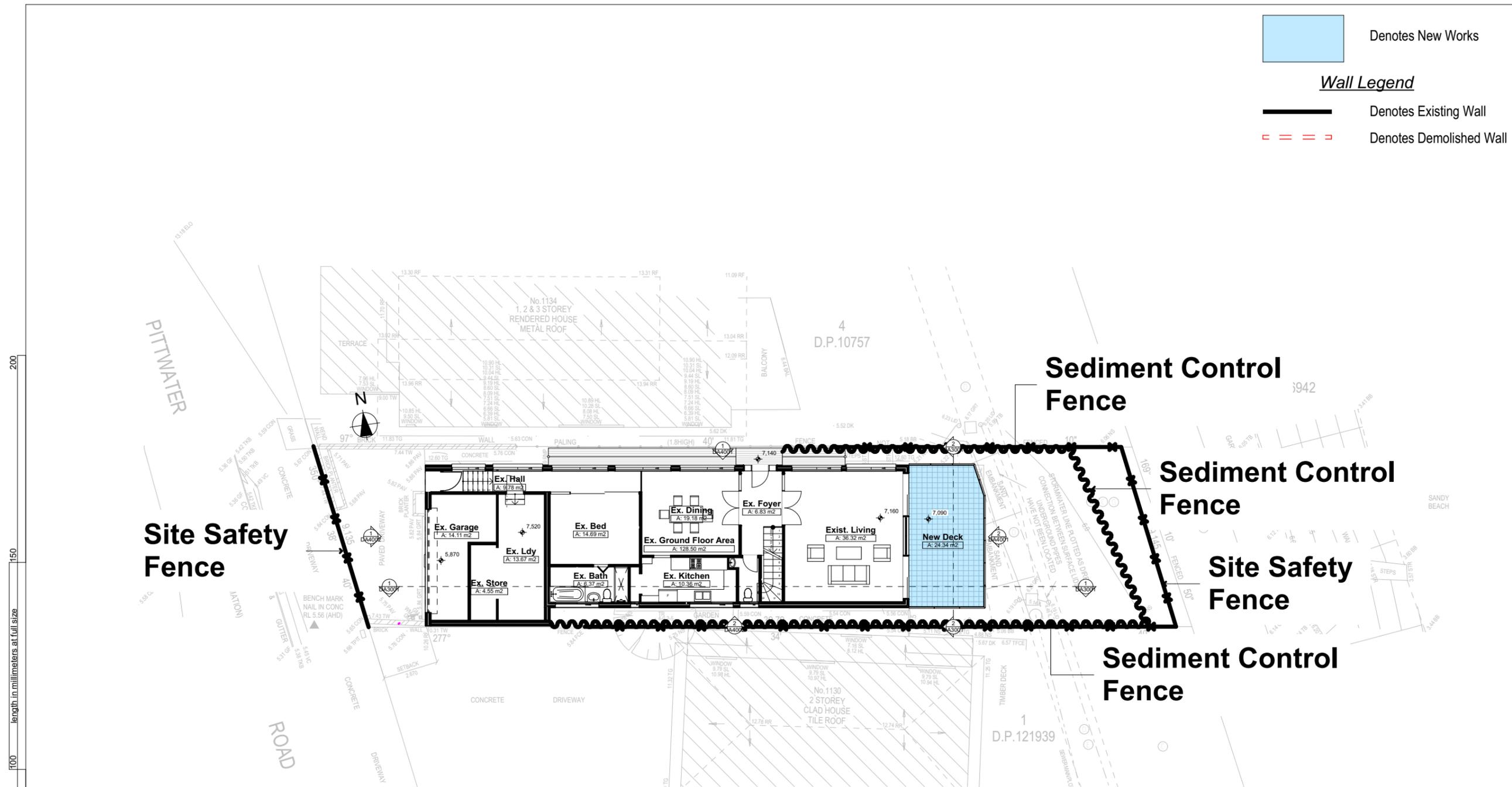
Plot Date: 4/09/2012

**Denotes New Works**

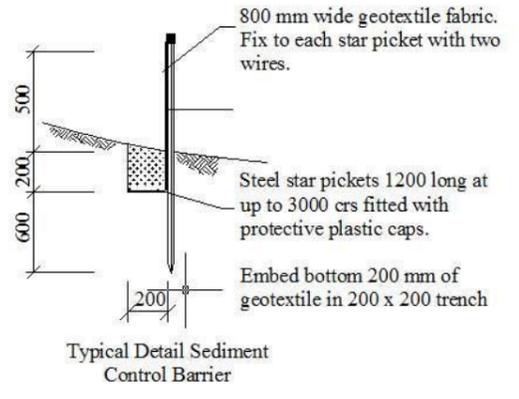
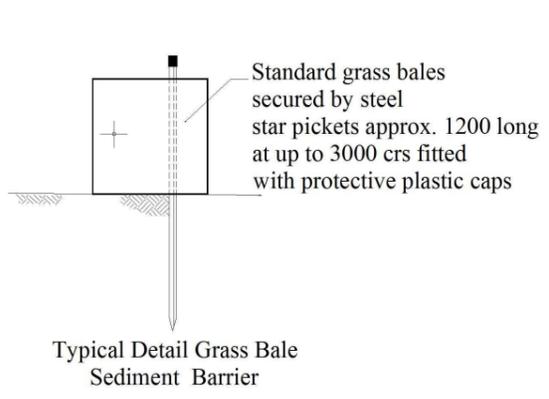
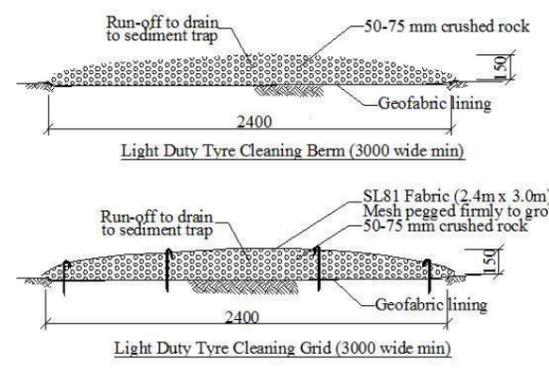
**Wall Legend**

**Denotes Existing Wall**

**Denotes Demolished Wall**



**Sediment & Erosion Control Plan**  
 1:200



Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all  
 Measurements Prior to Commencement

200  
150  
100  
50  
40  
30  
20  
10

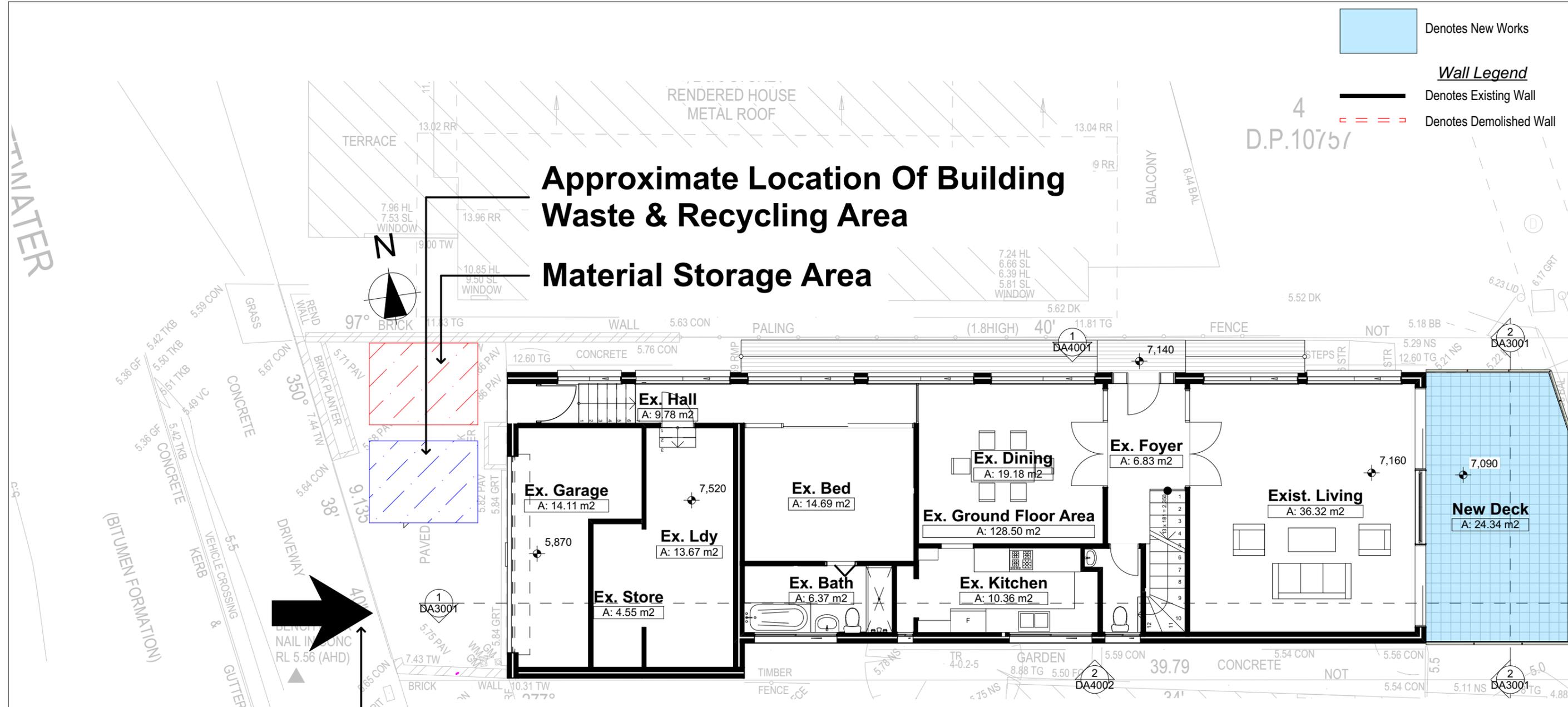
length in millimeters at full size

Denotes New Works

**Wall Legend**

Denotes Existing Wall

Denotes Demolished Wall



**Vehicle Access For Removal Of Waste By Builder During Work Hours**

1 Waste Management Plan 1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
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Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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Building Design and Architectural Drafting  
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Builder to Check and Confirm all Measurements Prior to Commencement

**bdaa**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA  
**bdaa**  
ACCREDITED BUILDING DESIGNER

Project North  
N

Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Site Plans - Waste Management Plan  
Waste Management Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
DA1012

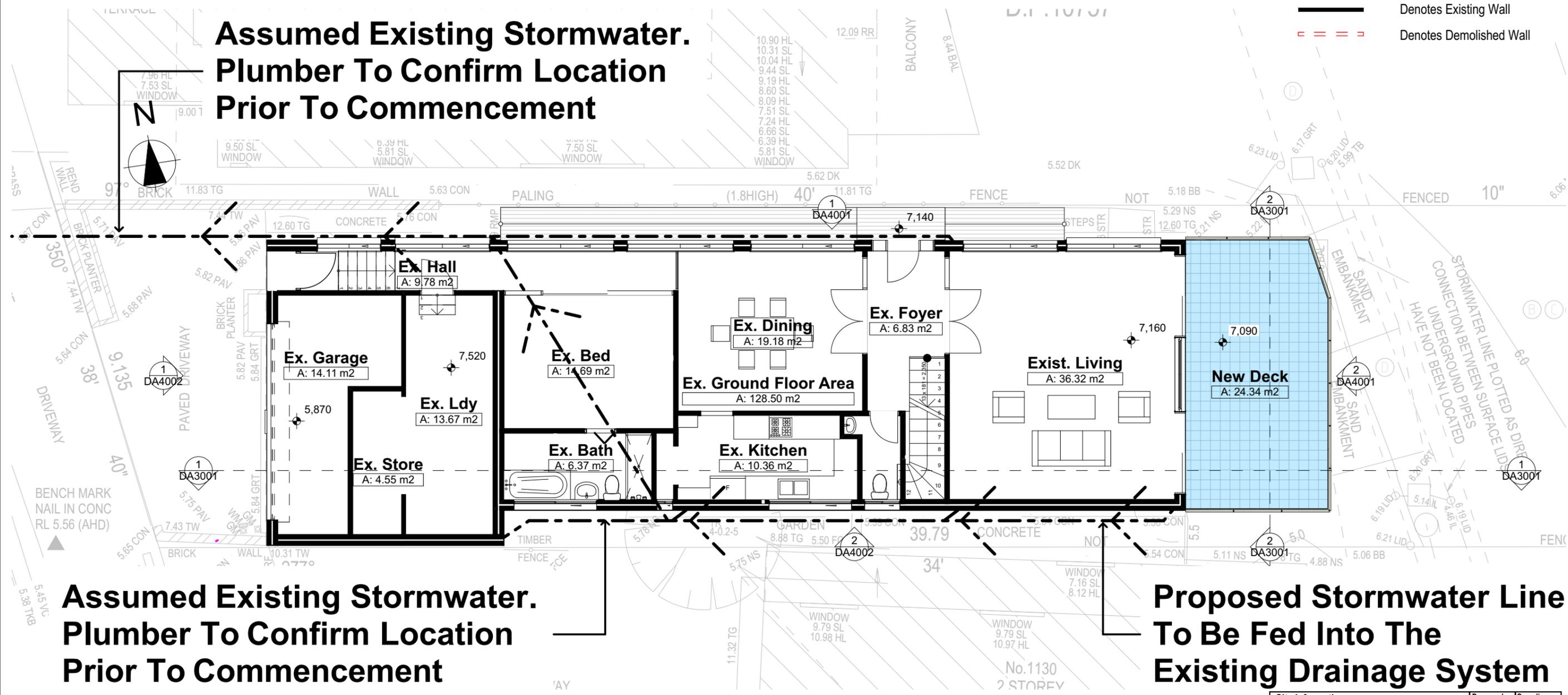
Denotes New Works

**Wall Legend**

Denotes Existing Wall

Denotes Demolished Wall

**Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement**



**Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement**

**Proposed Stormwater Line To Be Fed Into The Existing Drainage System**

1 Stormwater Plan 1:100

**Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement**

**DA APPLICATION ONLY NOT FOR CONSTRUCTION**

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
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**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
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Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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Builder to Check and Confirm all Measurements Prior to Commencement

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**bdaa**  
ACCREDITED BUILDING DESIGNER

Project North

N

Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Site Plans - Stormwater Plan  
Stormwater Plan

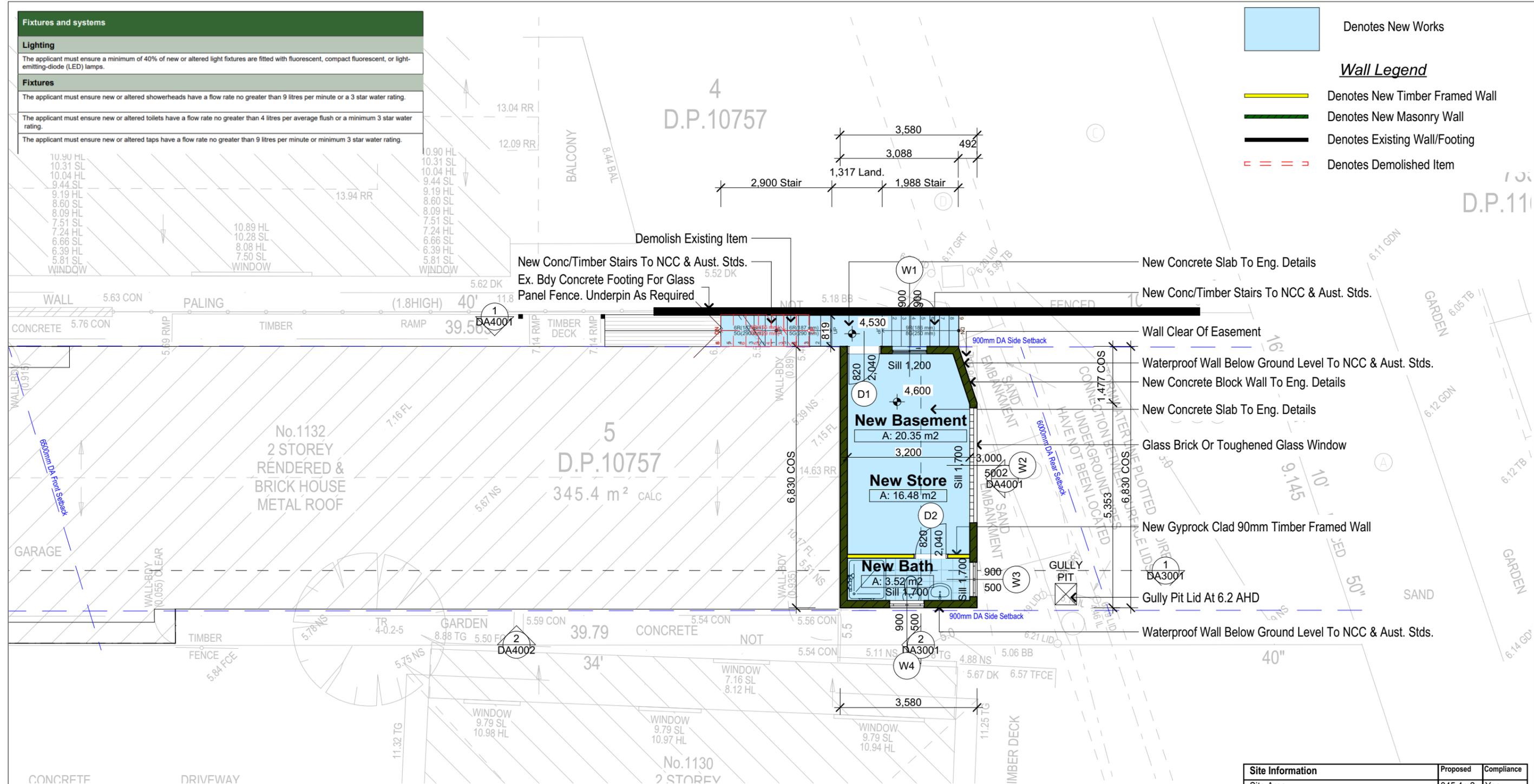
Scale: A3 as noted  
Date: 21-1-2025  
Status: DA  
Project No.  
RP0813SIL  
Checked By: GBJ  
Drawing No.  
DA1013

Fixtures and systems	
<b>Lighting</b>	The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
<b>Fixtures</b>	The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
	The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
	The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Denotes New Works

**Wall Legend**

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall/Footing
- Denotes Demolished Item



**Basement**  
1:100

Construction		
<b>Insulation requirements</b>		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

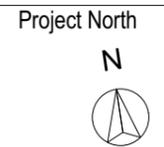
Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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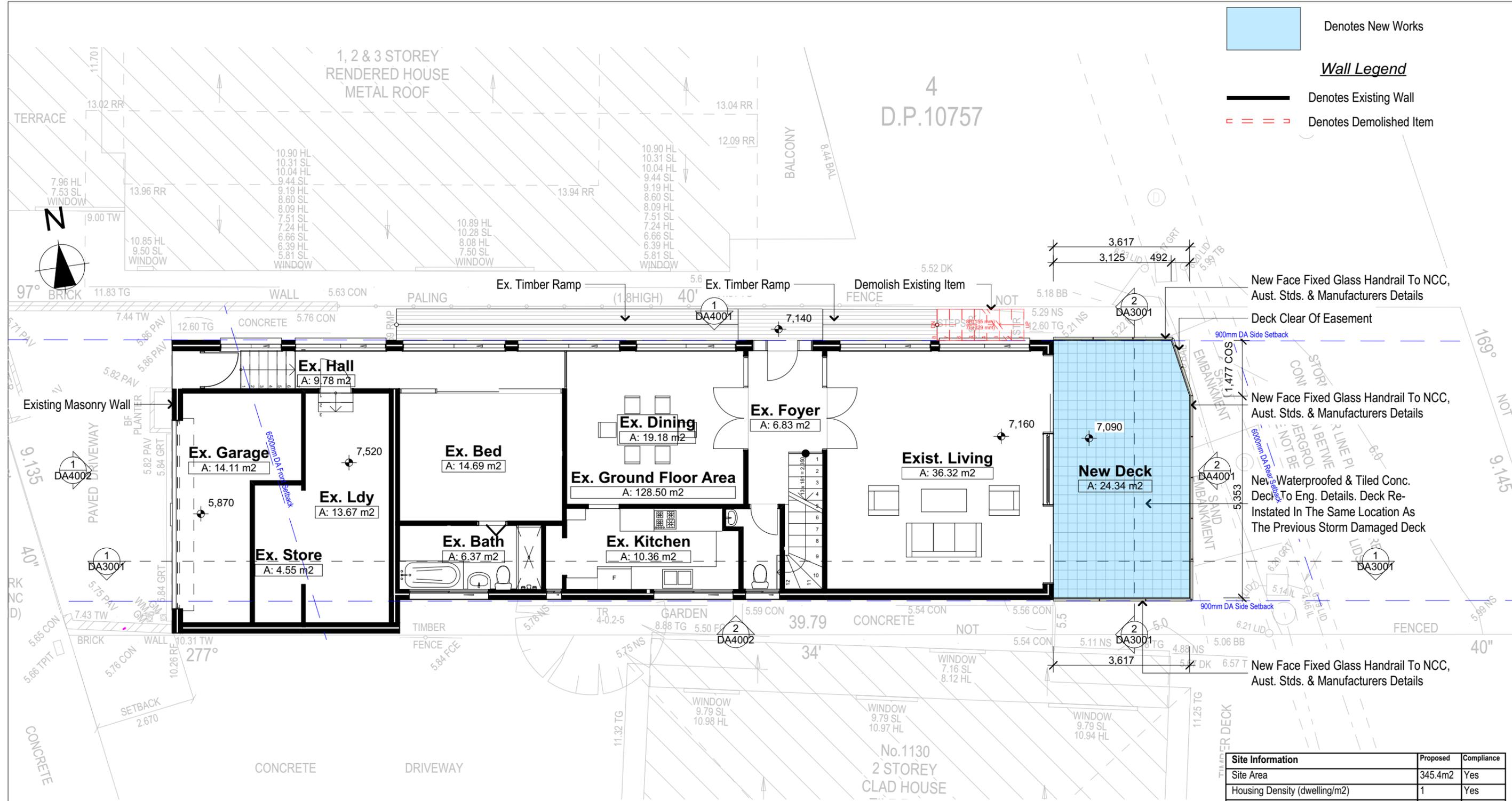
**bdaa**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA  
**bdaa**  
ACCREDITED BUILDING DESIGNER



Client: Garry Silk  
Project Name: Alterations & Additions  
1132 Pittwater Road, Collaroy 2097

Lot 5 D.P.10757  
Drawing Title: Plans - Basement  
Basement

Scale: A3 as noted  
Status: DA  
Project No.: RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.: DA2001



**Denotes New Works**

**Wall Legend**

— Denotes Existing Wall

== Denotes Demolished Item

1 Ground Floor Plan 1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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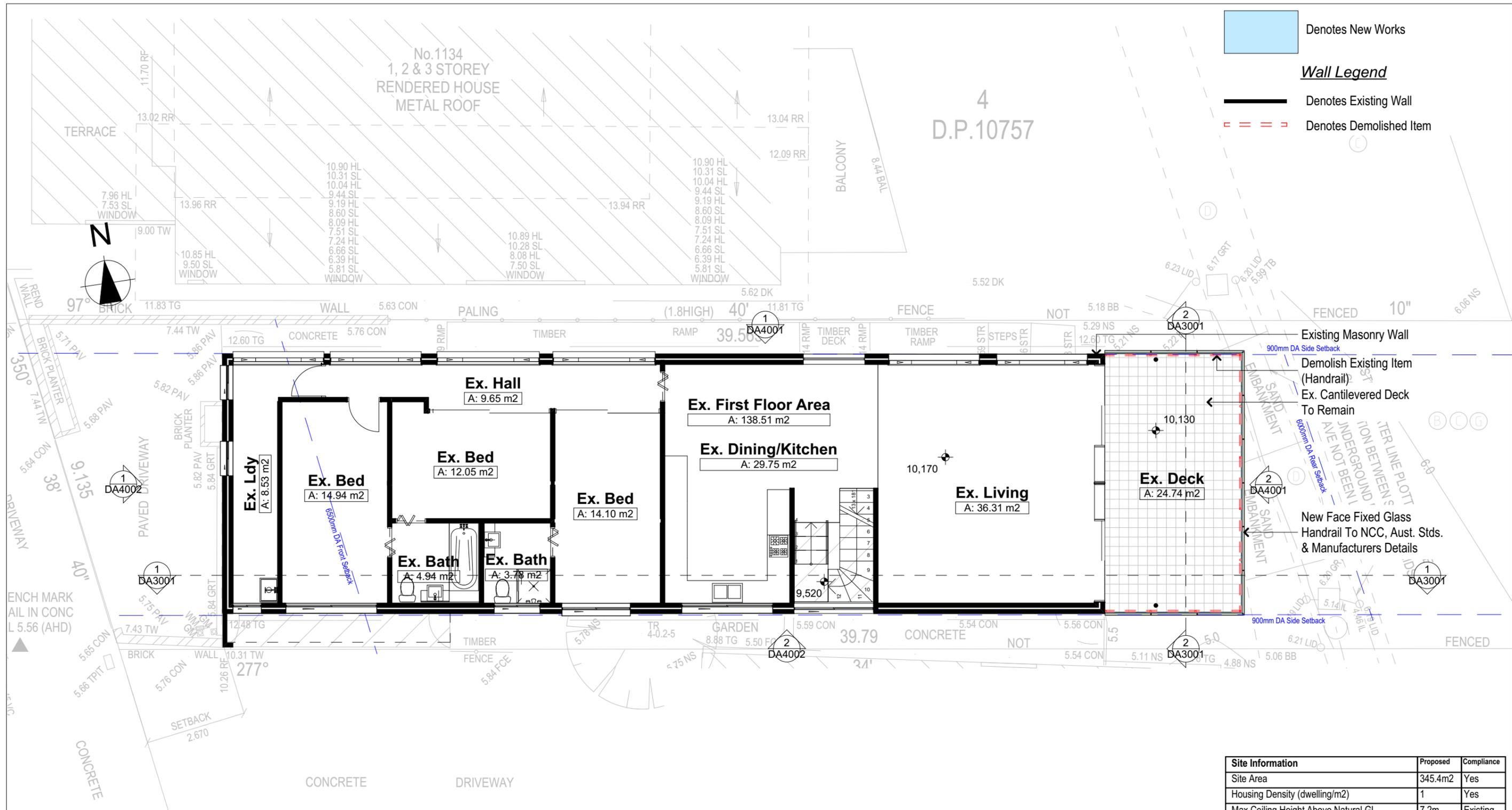
**bdaa**  
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**bdaa**  
ACCREDITED BUILDING DESIGNER

Project North  
N

Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Plans - Ground Floor Plan  
Ground Floor Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA2002**



Denotes New Works

**Wall Legend**

Denotes Existing Wall

Denotes Demolished Item

1 First Floor Plan  
1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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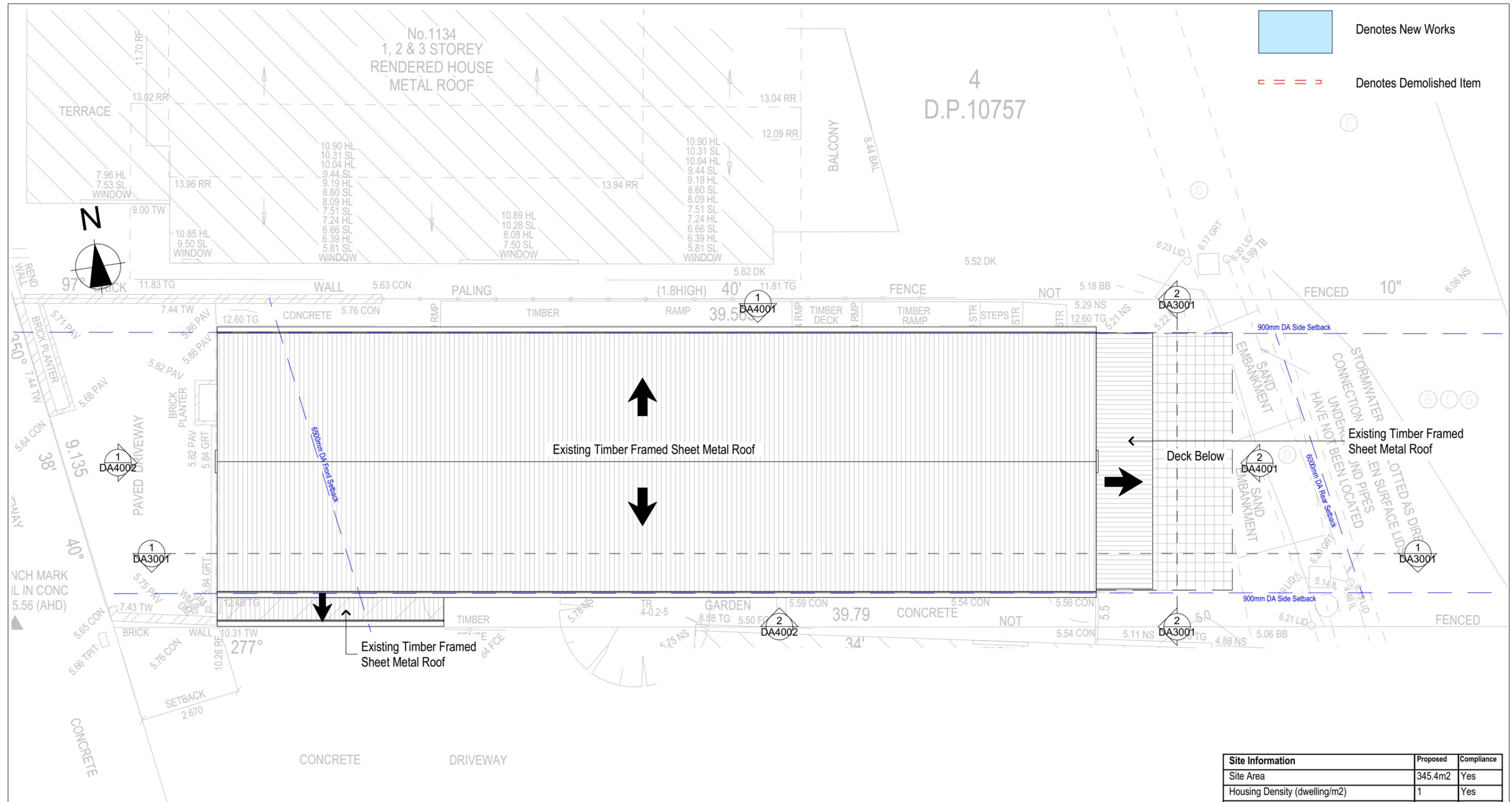
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**bdaa**  
ACCREDITED BUILDING DESIGNER

Project North  
N

Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Plans - First Floor Plan  
First Floor Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA2003**



Denotes New Works  
 Denotes Demolished Item

1  
 FCL  
 1:100

**DA APPLICATION ONLY**  
 NOT FOR CONSTRUCTION

**NOTES**  
 1132 Pittwater Road is zoned R2 Low Density Residential  
 All Plans to be read in conjunction with Basix Certificate  
 New Works to be constructed shown in Shaded/Blue  
 1132 Pittwater Road is not considered a heritage item

**Construction**  
 Concrete Floor, Masonry Walls  
 Roof Sheet Metal Roof to have N/A Insulation  
 Insulation to External Masonry Walls R1.7  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
 Basix Certificate Number A1780067  
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

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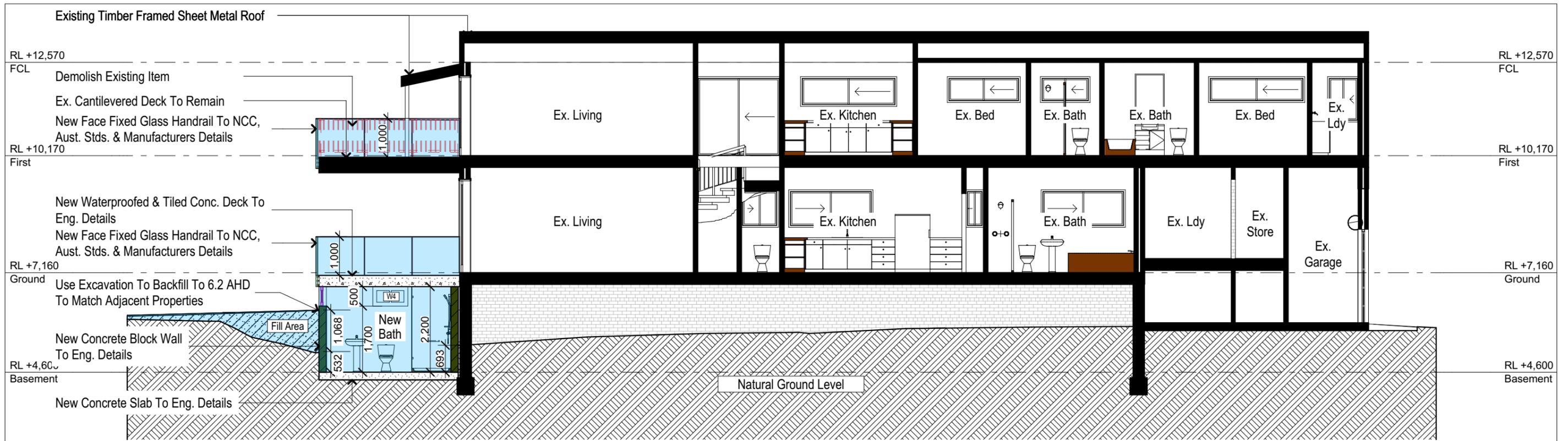
 ACCREDITED BUILDING DESIGNER

Project North

Client  
 Garry Silk  
 Project Name  
**Alterations & Additions**  
 1132 Pittwater Road, Collaroy  
 2097

Lot 5 D.P.10757  
 Drawing Title:  
**Plans - Roof Plan**  
 FCL

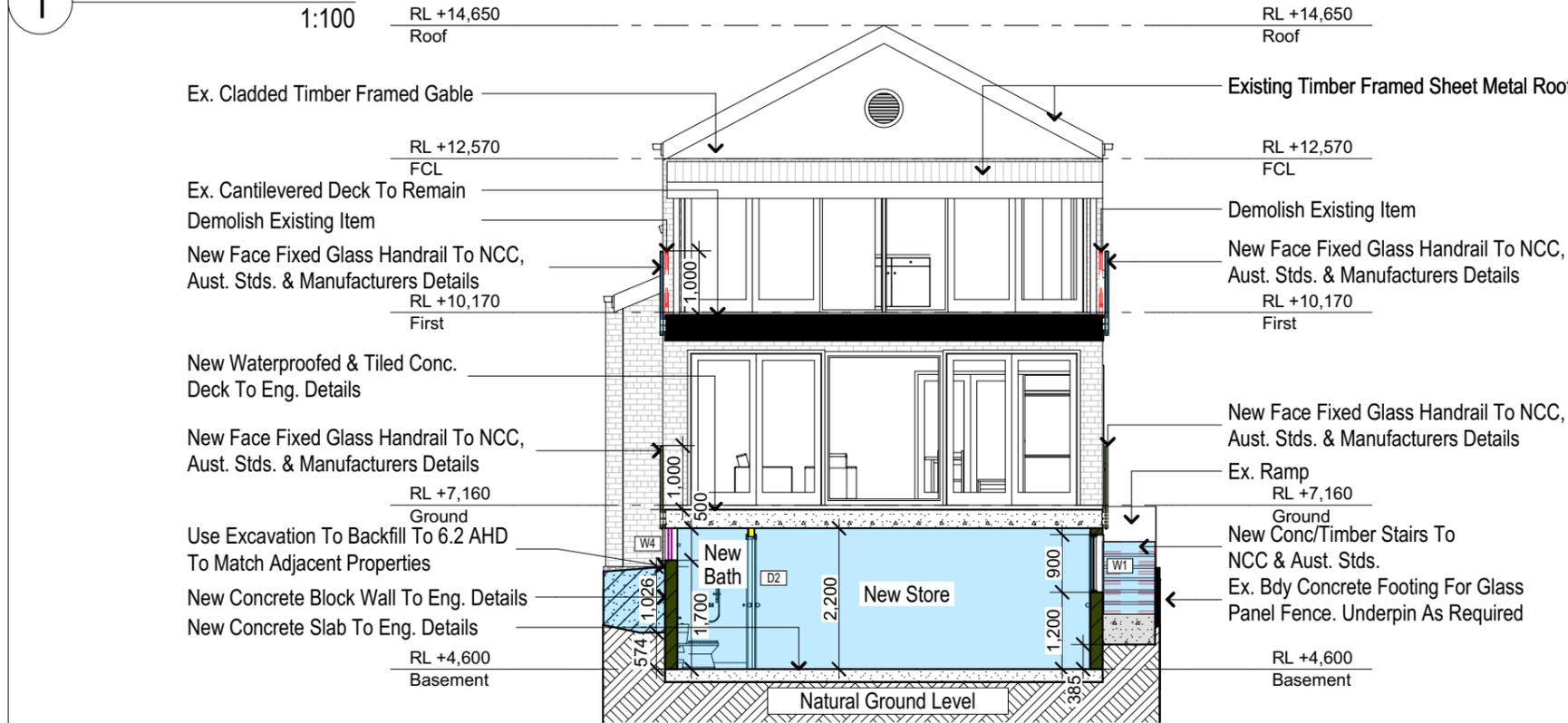
Scale: A3 as noted  
 Status: DA  
 Project No.  
**RP0813SIL**  
 Date: 21-1-2025  
 Checked By: GBJ  
 Drawing No.  
**DA2004**



**Section 1**

1:100

1



**Section 2**

1:100

2

Construction		
<b>Insulation requirements</b>		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

**Denotes New Works**

**Wall Legend**

- █ Denotes New Timber Framed Wall/Floor
- █ Denotes New Masonry Wall
- █ Denotes Existing Wall
- - - - Denotes Demolished Wall

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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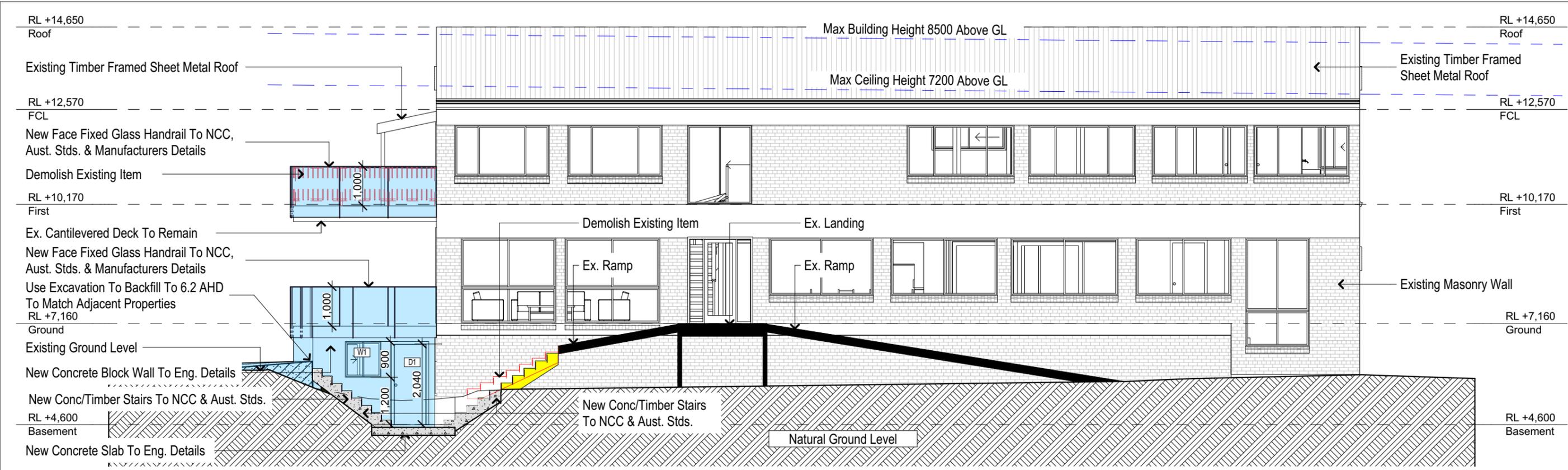
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ACCREDITED BUILDING DESIGNER

Project North

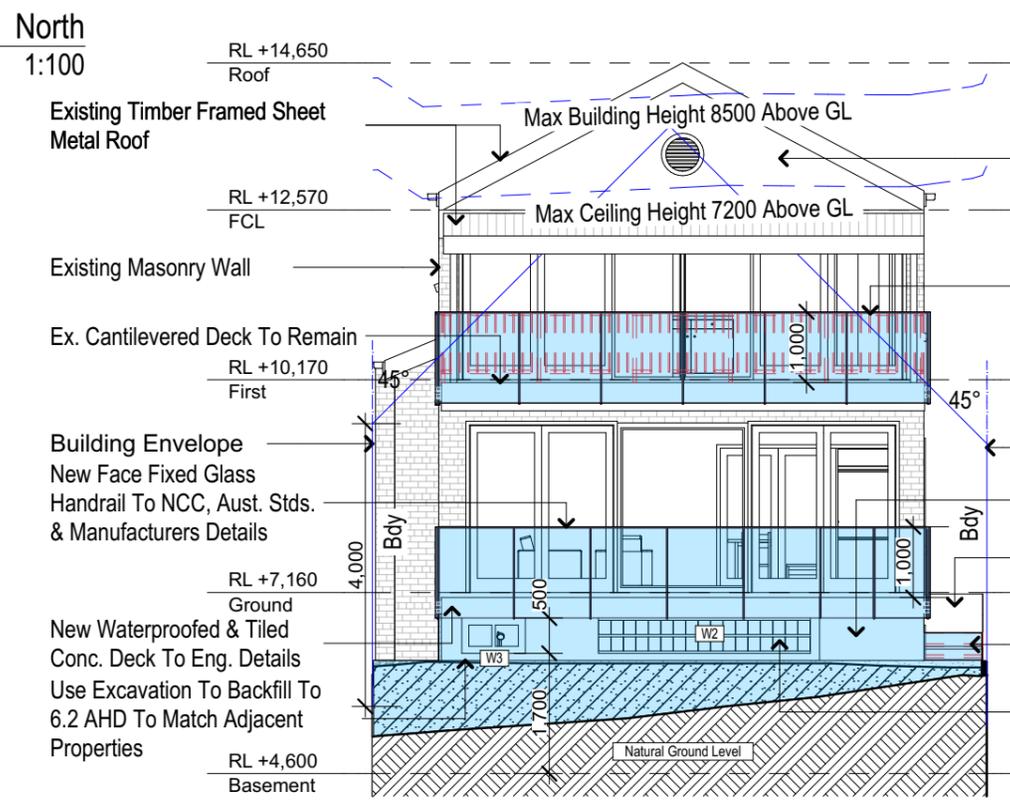
Client: Garry Silk  
Project Name: Alterations & Additions  
1132 Pittwater Road, Collaroy 2097

Lot 5 D.P.10757  
Drawing Title: Sections - Section 1, Section 2

Scale: A3 as noted  
Status: DA  
Project No: RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No: DA3001



1 North  
1:100



2 East  
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

- Denotes New Works
- Denotes New Timber Framed Stair
- Denotes Demolished Item

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

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Builder to Check and Confirm all Measurements Prior to Commencement

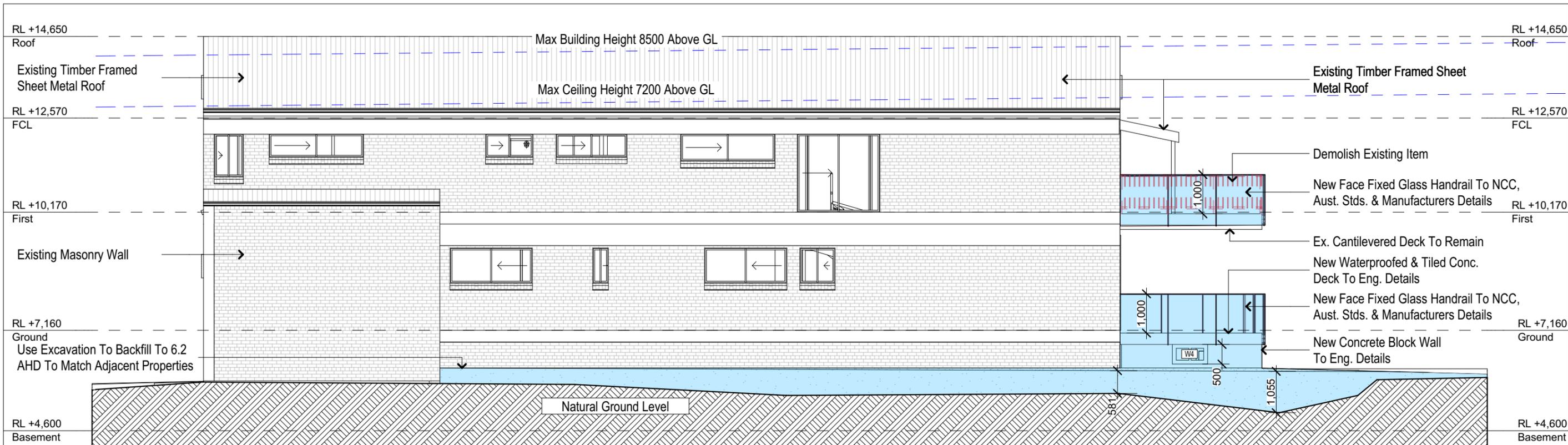
**bdaa**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA  
**bdaa**  
ACCREDITED BUILDING DESIGNER

Project North  
N

Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

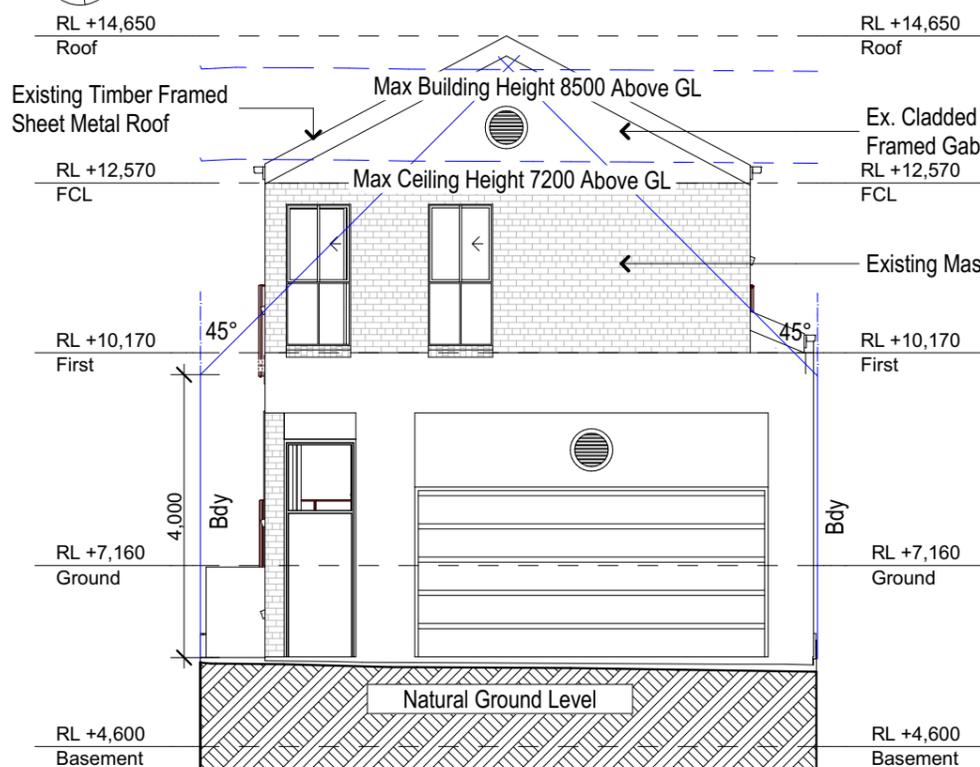
Lot 5 D.P.10757  
Drawing Title:  
Elevations - Elevation 1  
North, East

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA4001**



2

South  
1:100

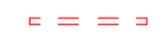


1

West  
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

 Denotes New Works

 Denotes Demolished Item

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

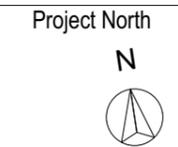
**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps



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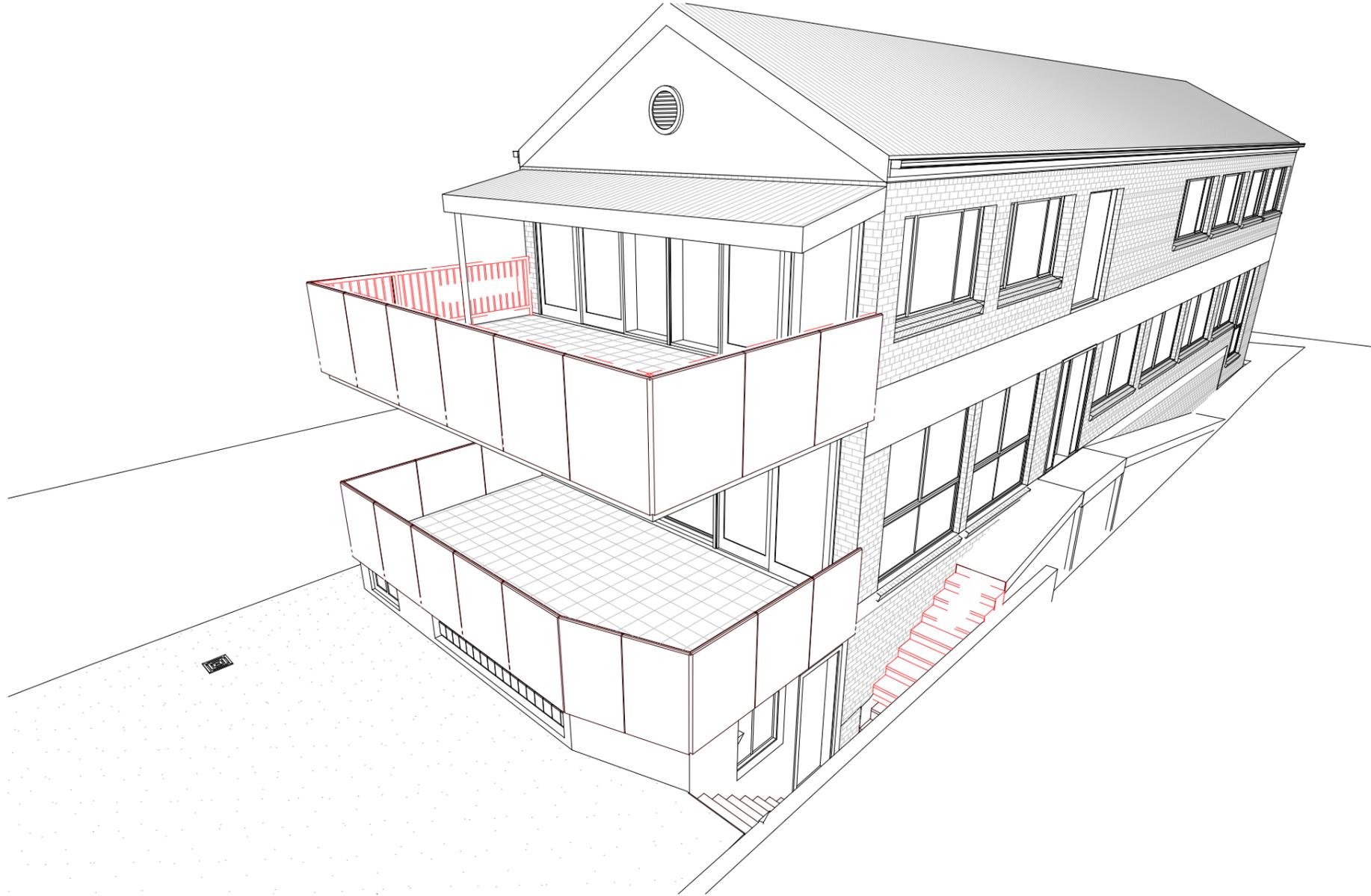
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Builder to Check and Confirm all Measurements Prior to Commencement



Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Elevations - Elevation 2  
West, South

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL  
Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA4002**



1 Perspective 1:50

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Construction**

Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**NOTES**

1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

**Basix**

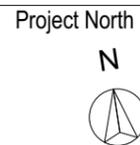
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



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Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Sunstudy - Perspective  
Perspective

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL

Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA5001**

 Denotes Proposed Shadow

 Denotes Existing Shadow

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**NOTES**  
1132 Pittwater Road, is zoned R2 Low Density Residential  
1132 Pittwater Road, is not considered a heritage item  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Concrete Floor, Masonry Walls  
Insulation to External Masonry Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Cladding to BCA and AS 1288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
Basix Certificate Number A1780067  
All Plans to be read in conjunction with Basix Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North 

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

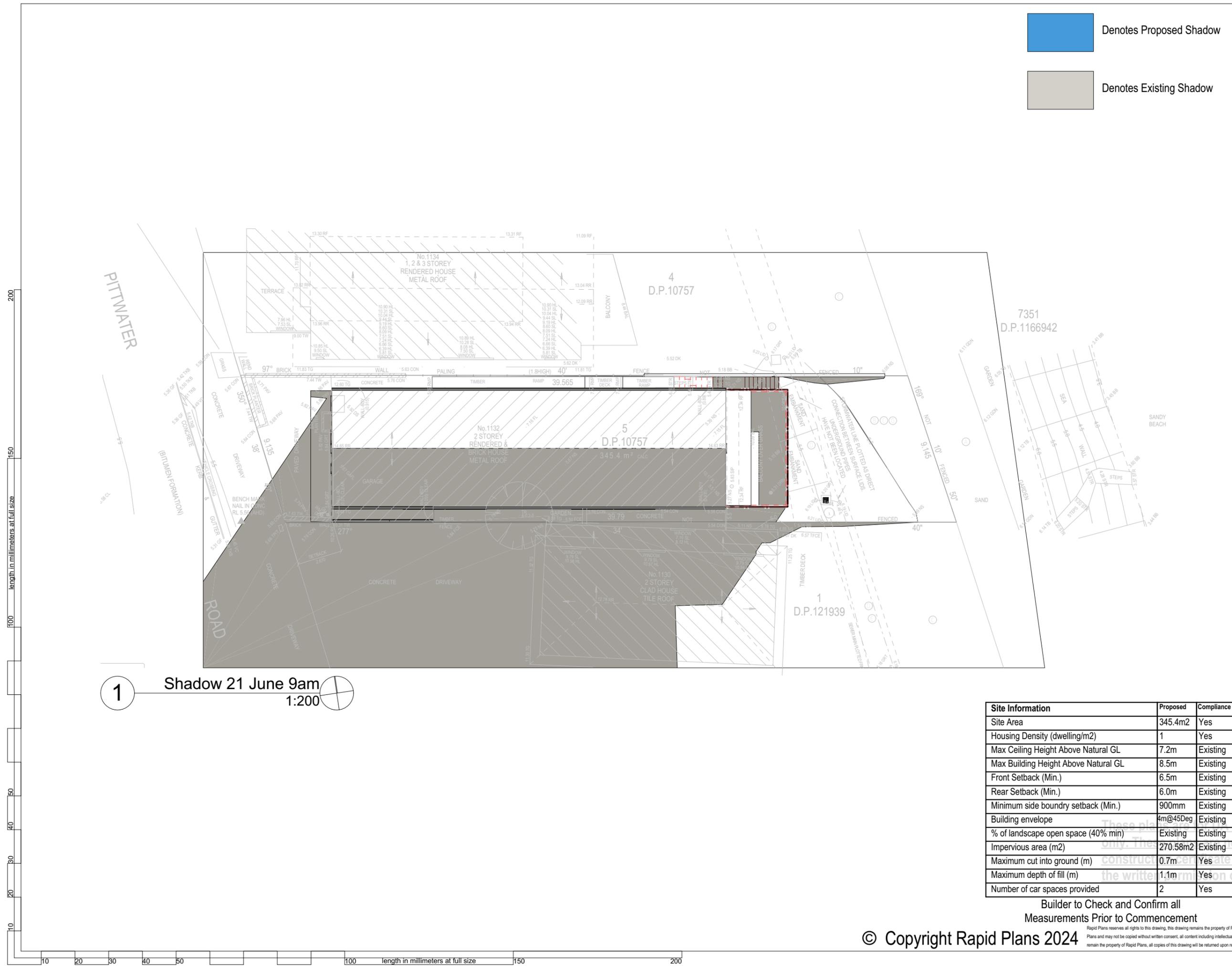
Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road  
2097

Lot 5 D.P.10757 for the  
Drawing Title:  
Sunstudy - June 21st 9am  
Shadow 21 June 9am

Scale: A3 as noted Date: 21-1-2025  
Status: DA Checked By: GBJ

Project No:  
**RP0813SIL**  
Drawing No:  
**DA5002**

Plot Date: 4/09/2012

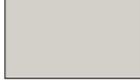


**1** Shadow 21 June 9am  
1:200 

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all  
Measurements Prior to Commencement

 Denotes Proposed Shadow

 Denotes Existing Shadow



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**NOTES**  
 1132 Pittwater Road, is zoned R2 Low Density Residential  
 1132 Pittwater Road, is not considered a heritage item  
 All Plans to be read in conjunction with Basix Certificate  
 New Works to be constructed shown in Shaded/Blue

**Construction**  
 Concrete Floor, Masonry Walls  
 Insulation to External Masonry Walls R1.7  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamps  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
 Basix Certificate Number A1780067  
 All Plans to be read in conjunction with Basix Certificate  
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North 



**DA APPLICATION  
 ONLY  
 NOT FOR CONSTRUCTION**

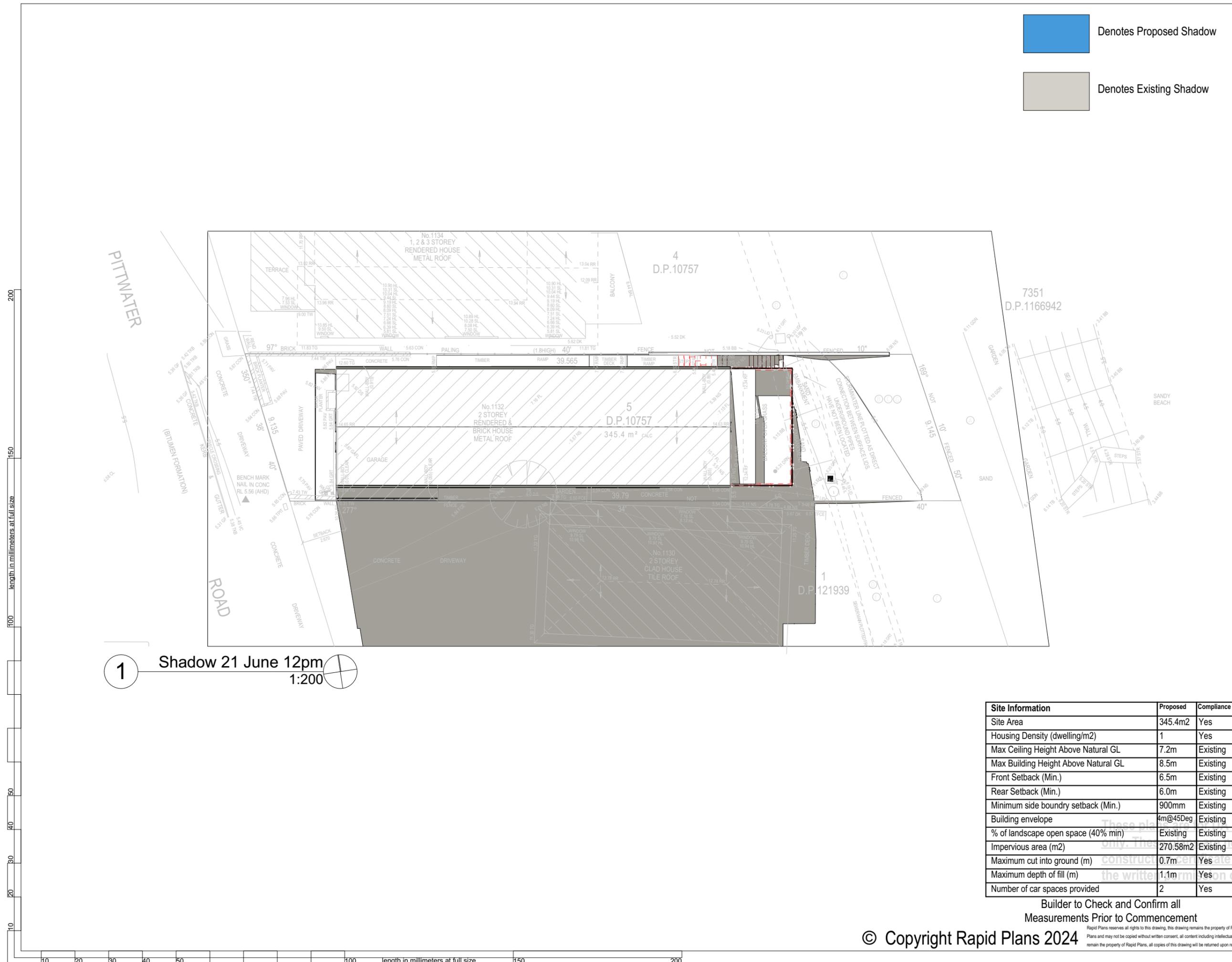
Client  
 Garry Silk  
 Project Name  
**Alterations & Additions**  
 1132 Pittwater Road  
 2097

Lot 5 D.P.10757 for the  
 Drawing Title:  
 Sunstudy - June 21st 12pm  
 Shadow 21 June 12pm

Scale: A3 as noted Date: 21-1-2025  
 Status: DA Checked By: GBJ

Project No:  
**RP0813SIL**  
 Drawing No.  
**DA5003**

Plot Date: 4/09/2012



**1** Shadow 21 June 12pm  
 1:200 

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m <sup>2</sup> )	270.58m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all  
 Measurements Prior to Commencement

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200  
150  
100  
50  
40  
30  
20  
10  
length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size

 Denotes Proposed Shadow

 Denotes Existing Shadow



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**NOTES**  
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All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Concrete Floor, Masonry Walls  
Insulation to External Masonry Walls R1.7  
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New Lighting to have minimum of 40% compact fluorescent lamps  
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Basix Certificate Number A1780067  
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Project North 

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

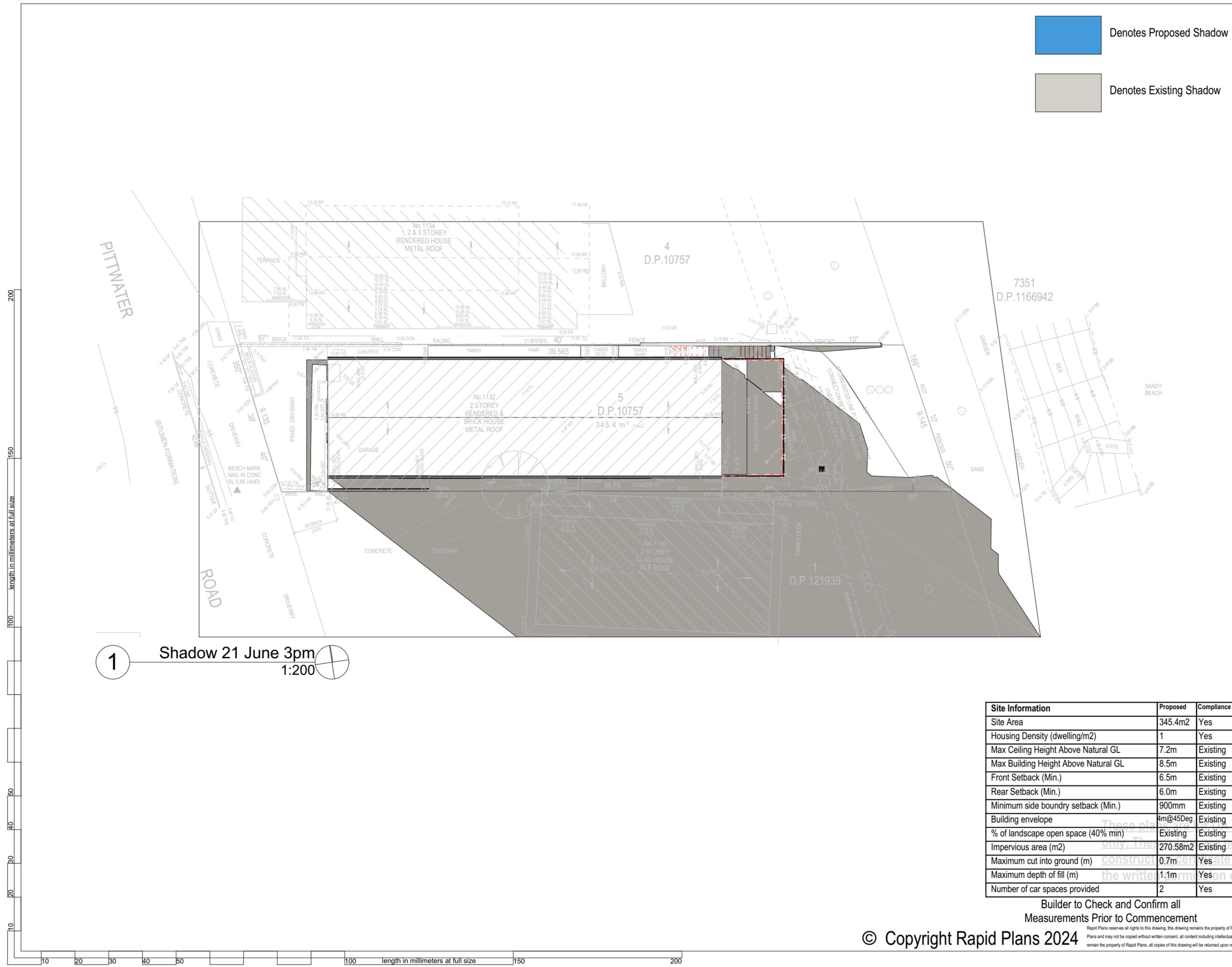
Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road  
2097

Lot 5 D.P.10757  
Drawing Title:  
Sunstudy - June 21st 3pm  
Shadow 21 June 3pm

Scale: A3 as noted Date: 21-1-2025  
Status: DA Checked By: GBJ

Project No:  
**RP0813SIL**  
Drawing No:  
**DA5004**

Plot Date: 4/09/2012



1 Shadow 21 June 3pm  
1:200 

Site Information	Proposed	Compliance
Site Area	345.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
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Maximum depth of fill (m)	1.1m	Yes
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Builder to Check and Confirm all  
Measurements Prior to Commencement

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White Alloy Window To Match Existing (Typical). Owner To Confirm Type & Colour



Glass Brick Or Toughened Glass Window (Typical). Owner To Confirm Type & Colour



Tiled Deck (Typical). Owner To Confirm Type & Colour



Rendered Wall (Typical). Owner To Confirm Type & Colour



Face Fixed Glas Balustrade (Typical). Owner To Confirm Type & Colour



**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Construction**  
Concrete Floor, Masonry Walls  
Roof Sheet Metal Roof to have N/A Insulation  
Insulation to External Masonry Walls R1.7  
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New Lighting to have minimum of 40% compact fluorescent lamps

**NOTES**  
1132 Pittwater Road is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1132 Pittwater Road is not considered a heritage item

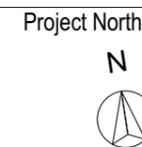
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Site Information	Proposed	Compliance
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Maximum depth of fill (m)	1.1m	Yes
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Builder to Check and Confirm all Measurements Prior to Commencement



Client  
Garry Silk  
Project Name  
**Alterations & Additions**  
1132 Pittwater Road, Collaroy  
2097

Lot 5 D.P.10757  
Drawing Title:  
Schedules - Schedule of Colours & Materials

Scale: A3 as noted  
Status: DA  
Project No.  
RP0813SIL

Date: 21-1-2025  
Checked By: GBJ  
Drawing No.  
**DA6001**