

# DRAWING LIST

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# NOTES

C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT BASEMENT FLOORS - B1 AND B2 - 120/120/120
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT GROUND FLOOR SLAB - 240/240/240
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT ALL RESIDENTIAL FLOOR SLABS - 90/90/90 ACOUSTIC RATING - R <sub>w</sub> +C <sub>r</sub> > 50 and Ln.W > 62
C3.11	ALL SOLE OCCUPANCY UNITS TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D1.7	BASEMENT 1 ACCESSIBLE WC TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D3.3	ALL ACCESSIBLE BATHROOMS TO INCLUDE ALL AS1428:1 CIRCULATION - FITTINGS - FIXTURES - CLEARANCES IN THE LIKE FOR FULL COMPLIANCE - INCLUDING SHELVES
E1.3	FIP LOCATED IN RESIDENTIAL LOBBY
E1.3	BOOSTER ASSEMBLY LOCATED ON ROBERTSON ROAD ENTRY
E1.5	SPRINKLERS LOCATED IN ALL BASEMENT LEVELS

# CONSULTANTS

SURVEYOR	ADAM CLERKE SURVEYORS PTY LTD	38 KEVIN AVENUE, AVALON 2107	02 9918 4111
LANDSCAPING	SITE IMAGE-LANSCAPE ARCHITECT	LEVEL 1, 3-5 BAPTIST STREET REDFERN NSW 2016	02 8332 5600
STORM WATER & FLOODING	DEMLAKIAN ENGINEERING	5 RIDGE ST, NORTH SYDNEY NSW 2060	02 9955 4485
ASSESSMENT OF TRAFFIC & PARKING IMPLICATIONS	TRANSPORT AND TRAFFIC PLANNING	SUITE 502, L5 282 VICTORIA AVE, CHATSWOOD 2067	02 9411 5660
TRAFFIC & TRANSPORT MANAGEMENT PLAN	SBMG PTY LTD	PO BOX 8136, GLENMORE PARK NSW 2745	0467 370 380
ACCESSIBILITY	ACCESSIBLE BUILDING SOLUTIONS	124 UPPER WASHINGTON DRIVE, BONNET BAY NSW 2226	02 9528 0276
GEOTECHNICAL & SITE INVESTIGATION	ASSET GEOTECHNICAL	SUITE 2.05/56 DELHI RD, NORTH RYDE NSW 2113	0410 325 566
BASIX	DAMIAN OTOOLE TOWN PLANNING PTY	STUDIO 9,L5 35 BUCKINGHAM STREET, SURRY HILL 2010	0413 031 971
PLANNING (SEE)	HAMPTONS PROPERTY SERVICES	SUITE 404, 203-233 NEW SOUTH HEAD ROAD, EDGECLIFF	02 9386 7009
PHOTOMONTAGE & MODELING	ARCHITECTURAL IMAGES	46/6-8 HERBERT STREET, ST LEONARDS NSW 2065	02 9460 8943
PRIVATE CERTIFIER/BCA REPORT	DIX GARDNER GROUP	LEVEL 4, 155 CASTELREAGH ST, SYDNEY NSW 2000	0428 281 188
ARBORIST	DAMIAN GREEN		0450 575 677

# UNITS

UNIT	LEVEL	1 BED	2 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY/COURTYARD AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	LIVING ROOM WIDTH	PARKING REQUIRED
01	1		■	■			90.4m <sup>2</sup>	24.7m <sup>2</sup>	■		■		> 4m	2
02	1		■	■		■	97.7m <sup>2</sup>	33.0m <sup>2</sup>	■			■	>4m	2
03	1		■	■			87.1m <sup>2</sup>	36.8m <sup>2</sup>	■				4m	2
04	1		■	■			95.8m <sup>2</sup>	21.7m <sup>2</sup>	■	■	■		> 4m	2
05	1		■	■			96.5m <sup>2</sup>	27.5m <sup>2</sup>	■	■	■		>4m	2
06	1		■	■			90.2m <sup>2</sup>	33.9m <sup>2</sup>	■	■	■		>4m	2
07	1		■	■			97.8m <sup>2</sup>	36.0m <sup>2</sup>	■	■	■		> 4m	2
08	1		■	■			109.2m <sup>2</sup>	72.1m <sup>2</sup>	■	■	■		> 4m	2
09	2		■	■		■	91.5m <sup>2</sup>	102.2m <sup>2</sup>	■	■	■		> 4m	2
10	2		■	■		■	86.8m <sup>2</sup>	52.8m <sup>2</sup>	■	■	■		>4m	2
11	2		■	■			84.9m <sup>2</sup>	27.0m <sup>2</sup>	■	■	■		> 4m	2
12	2	■		■			57.6m <sup>2</sup>	25.1m <sup>2</sup>	■	■	■		>4m	1
13	2		■	■			82.0m <sup>2</sup>	38.2m <sup>2</sup>	■	■	■		>4m	2
14	2		■	■			96.4m <sup>2</sup>	42.0m <sup>2</sup>	■	■	■		>4m	2
TOTAL		1	13	14UNITS		3	1263.9m <sup>2</sup>			85.7% (1/3)	92.85% (1/3)	7.14% (1/4)		27

# RETAIL

RETAIL SPACE	AREA	STORAGE AREA	PARKING REQUIRED	PARKING PROVIDED
1	48.89m <sup>2</sup>	22.6m <sup>2</sup>		
2	44.44m <sup>2</sup>	12.8m <sup>2</sup>		
3	44.44m <sup>2</sup>	-		
4	44.44m <sup>2</sup>	-	1 space per 30m <sup>2</sup>	
5	49.87m <sup>2</sup>	-		
6	78.3m <sup>2</sup>	-		
7	97.4m <sup>2</sup>	42.4m <sup>2</sup>		
8	99.4m <sup>2</sup>	24.4m <sup>2</sup>		
9	133.5m <sup>2</sup>	-		
TOTAL	640.68m <sup>2</sup>		21.3 (640.68/30)	22

# PARKING

	UNITS	UNIT VISITOR	RETAIL	TOTAL
REQUIRED	27	5	22	54
PROVIDED	27	5	22	54

Assessor # 20420	Certificate # 0005506340	Issued: 151220					
<b>Thermal Performance Specifications</b>							
<small>These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents</small>							
<b>Windows</b>	Product ID	Glass	Frame	U value	SHGC	Area M <sup>2</sup>	Detail
Single glazed	Low e	Aluminium	5.6	0.41			As per plans
<b>Skylights</b>	Product ID	Glass	Frame	U value	SHGC	Area M <sup>2</sup>	Detail
Single glazed	Clear	Aluminium					As per plans
<small>Window and skylight U and SHGC values, if specified, are according to ANAC 2005. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.</small>							
<b>External walls</b>	Construction	Insulation	Colour - solar abs.	Detail			
Brick veneer/Framed	R2.5	Medium		As per plans			
<b>Internal walls</b>	Construction	Insulation	Detail				
Plasterboard	None		As per plans.				
<b>Floors</b>	Construction	Insulation	Covering	Detail			
Concrete	None/R2.0		Varies	As per plans. Insulation where car park below.			
<b>Ceilings</b>	Construction	Insulation	Detail				
Plasterboard	R2.5/None		As per plans. Insulation where adjoins roof/terrace.				
<b>Roof</b>	Construction	Insulation	Colour - solar abs.	Detail			
Metal	Foil + R1.0	Medium		As per plans.			
<b>Window cover</b>	Internal (curtains)	External (awnings, shutters, etc)					
As plans		As plans					
<b>Fixed shading</b>	Eaves (width - inc. gutters, h1 above windows)	Location					
As plans - eaves soffits		As plans - eaves/soffits/louvers as shown					
<b>Overshadowing</b>	Overshadowing structures	Overshadowing trees					
NA							
<b>Orientation, Exposure, Ventilation and Infiltration</b>							
Orientation of nominal north:	0	Living area open to entry:	Y	Ventilated skylights:	N		
Terrain category:	Suburban	Doors separate living areas:	N	Open fire, unflued gas heat:	N		
Roof ventilation:	Unventilated	Stair open to heated areas:	Y/N	Vented downlights:	N		
Cross ventilation:	Standard	Seals to windows and doors:	Y	Wall and ceiling vents:	N		
Subfloor:	Enclosed	Exhaust fans without dampers:	N				



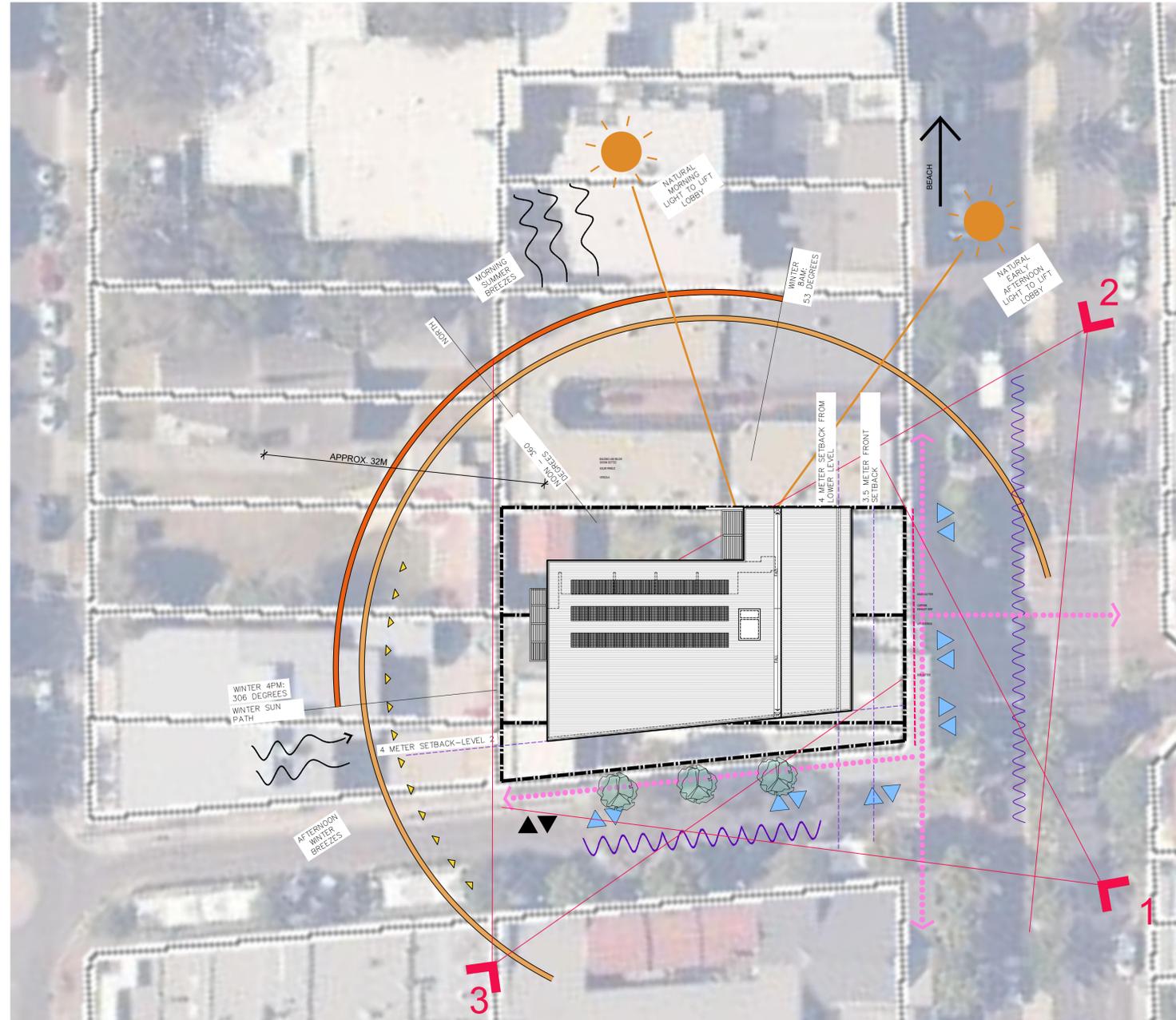
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06	20.12.15	DA ISSUE
05	20.12.15	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED/ISSUED
02	20.03.06	ISSUED TO COUNCIL
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT	PROJECT
DEVELOPMENT LINK	MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106	
LOT 65 & 66 SEC 5 DP 6248	

TITLE	SCALE	N/A	PROJECT NUMBER	DRAWING NUMBER	ISSUE
COVERSHEET SCHEDULE			18057	A001	06
APPROVED	DRAWN	CHECKED	DATE	STATUS	
MT	PG		JAN 2019	DA	

18057 **A001** 06 **crawford architects**

351-353 BARRENJOEY ROAD NEWPORT NSW 2106



**8.2**  
NATIONWIDE HOUSE ENERGY RATING SYSTEM

0005506340 15 Dec 2020

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

23.8 MJ/m<sup>2</sup>

www.nathers.gov.au hstar.com.au

**ABSA**  
Australian Building Sustainability Association

Accreditation Period: 01/04/2020-31/03/2021  
Assessor Name: Damian O'Toole  
Assessor Number: 20420

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ABN 56 120 779 106  
NOMINATED ARCHITECTS  
TONY GRAY 5303 & PAUL GODSELL 6726  
ARCHITECTS PTY LTD

ISSUE	DATE	AMENDMENTS
06	20.12.15	DA ISSUE
05	20.12.15	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED ISSUED
02	20.03.06	ISSUED TO COUNCIL
01	19.10.15	DA ISSUE

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CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE: SITE ANALYSIS



SCALE: N/A  
APPROVED: MT  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057

DRAWING NUMBER

**A002**

ISSUE

**06**

**crawford**  
architects

## Schedule of BASIX commitments

### 1. Commitments for Residential flat buildings - Mixed Use Building

- (a) Dwellings  
 (i) Water  
 (ii) Energy  
 (iii) Thermal Comfort
- (b) Common areas and central systems/facilities  
 (i) Water  
 (ii) Energy

### 2. Commitments for multi-dwelling houses

### 3. Commitments for single dwelling houses

### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water  
 (ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Mixed Use Building

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below, and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures				Appliances		Individual pool			Individual spa			
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	4 star	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
4, 11	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	3	1	yes	yes	yes	yes	0	yes
10, 13	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	1	1	yes	yes	yes	yes	0	yes
All other dwellings	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	2	1	yes	yes	yes	yes	0	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	4.5 star	-	2 star	yes	yes

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in mJ/m <sup>2</sup> /yr)
1	12.0	20.0
2	13.0	26.0
3	9.0	22.0
4	2.0	25.0
5	16.0	23.0
6	5.0	26.0
7	3.0	20.0
8	2.0	29.0
9	5.0	21.0

Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)
10	6.0	22.0
11	16.0	27.0
12	19.0	22.0
13	11.0	25.0
All other dwellings	7.0	28.0

**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area	ventilation supply only	carbon monoxide monitor + 2-speed fan	fluorescent	time clocks	No
Lift car (No. 1)	-	-	compact fluorescent	connected to lift call button	No
Garbage room	ventilation supply only	-	fluorescent	manual on / manual off	No
Plant or service room	no mechanical ventilation	-	fluorescent	manual on / manual off	No
Lobby	ventilation supply only	time clock or BMS controlled	compact fluorescent	motion sensors	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 5

**4. Commitments for common areas and central systems/facilities for the development (non-building specific)**

**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

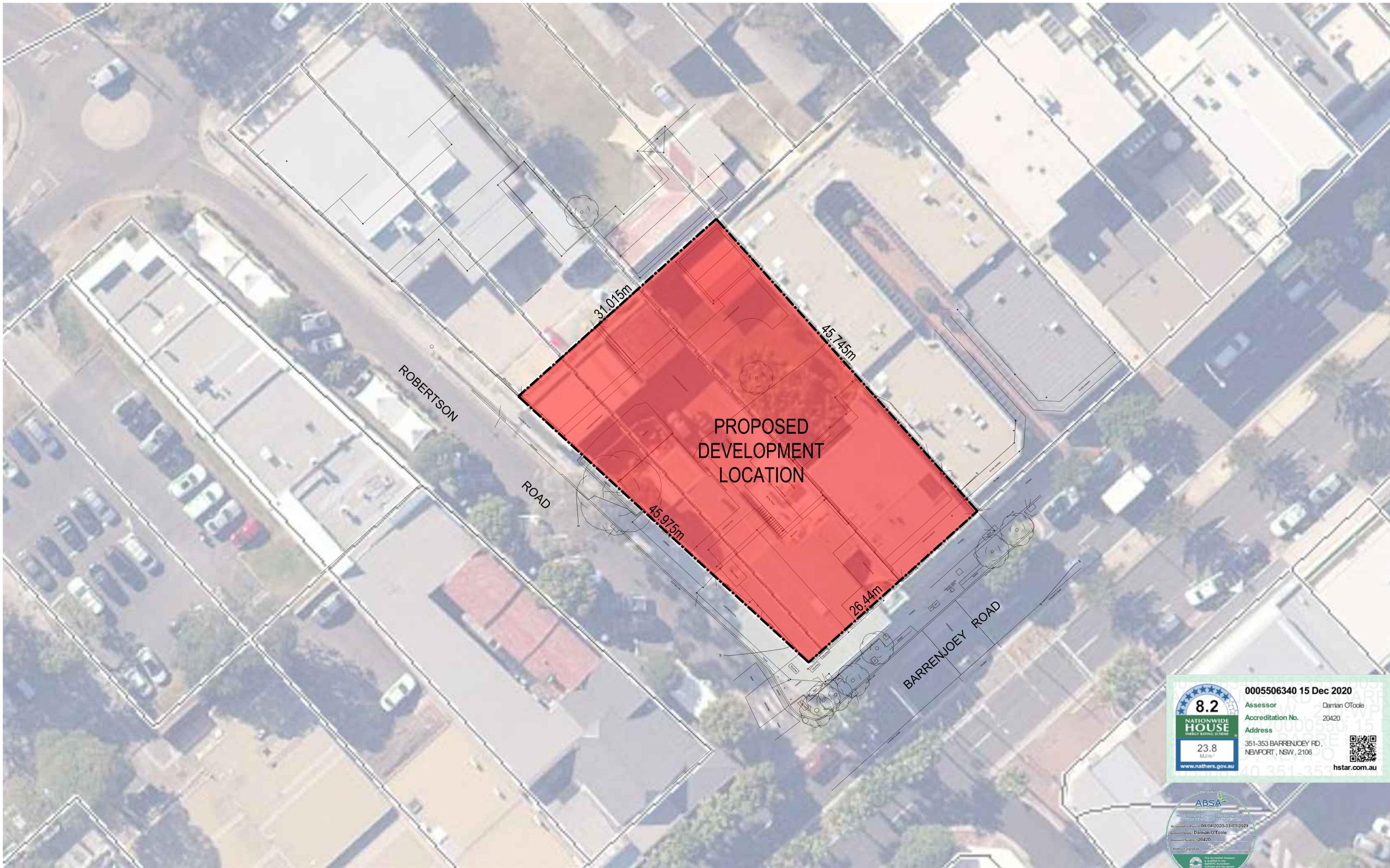
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 15.0 peak kW

- Notes**
- In these commitments, "applicant" means the person carrying out the development.
  - The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
  - This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
  - If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
  - If a star or other rating is specified in a commitment, this is a minimum rating.
  - All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

- Legend**
- Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
  - Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
  - Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

01	20.12.15	DA ISSUE
ISSUE	DATE	AMENDMENTS



**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE ENERGY RATING SCHEME

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

23.8 M<sup>2</sup>

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**ABS**  
Accredited Assessor

Accreditation Period: 01/04/2020-31/03/2021  
Assessor Name: Damian O'Toole  
Assessor Number: 20420

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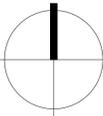
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ISSUE	DATE	AMENDMENTS
07	20.12.17	DA ISSUE

CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

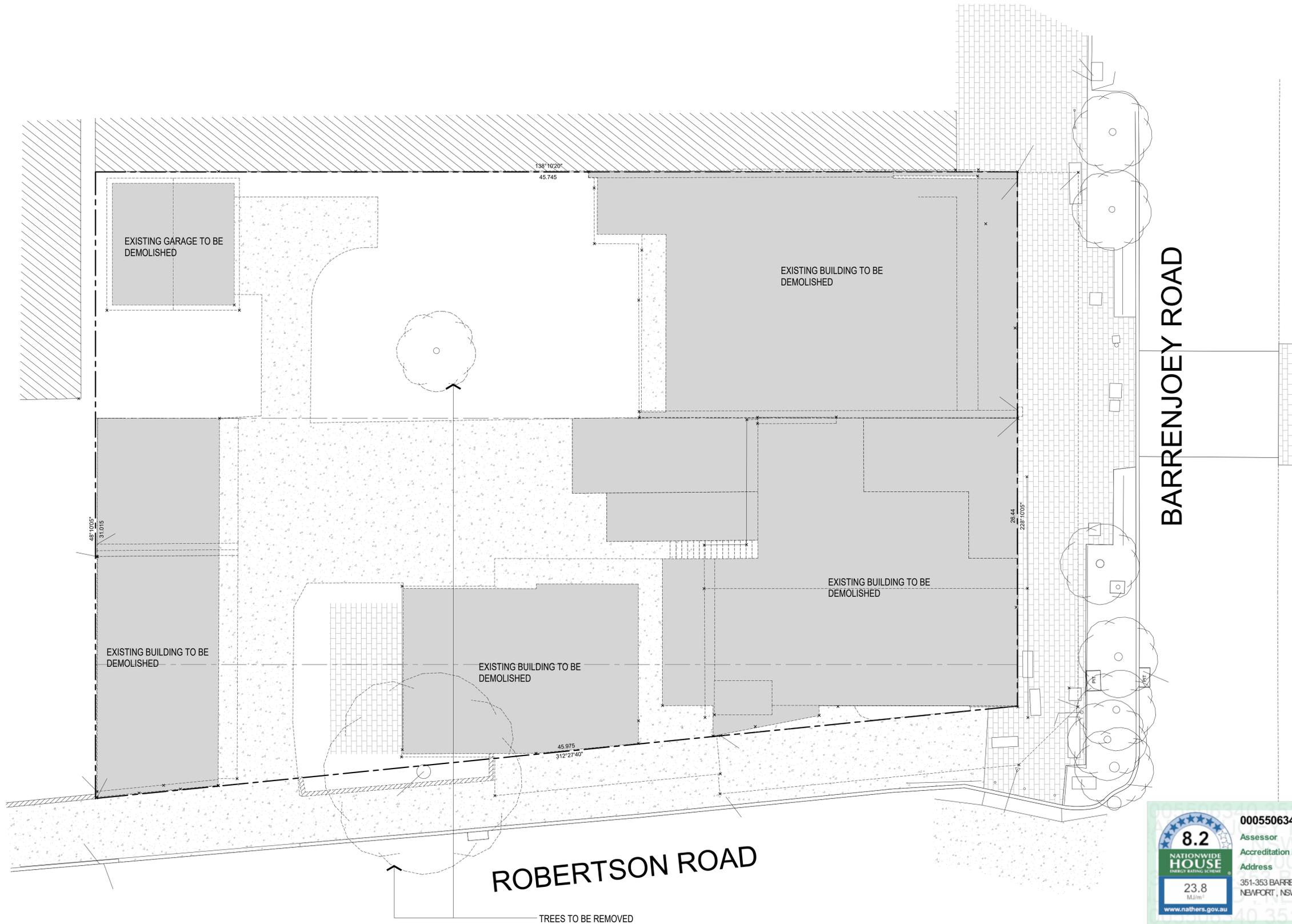
TITLE: SITE LOCATION PLAN



SCALE: 1:100 @ A1  
APPROVED: LH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A010  
ISSUE: 07





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**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SCHEME

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

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Assessor Name: Damian O'Toole  
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ISSUE	DATE	AMENDMENTS
06	20.12.15	DA ISSUE
05	20.12.15	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED ISSUED
02	20.03.06	ISSUED TO COUNCIL
01	19.10.15	DA ISSUE

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
**DEMOLITION PLAN**

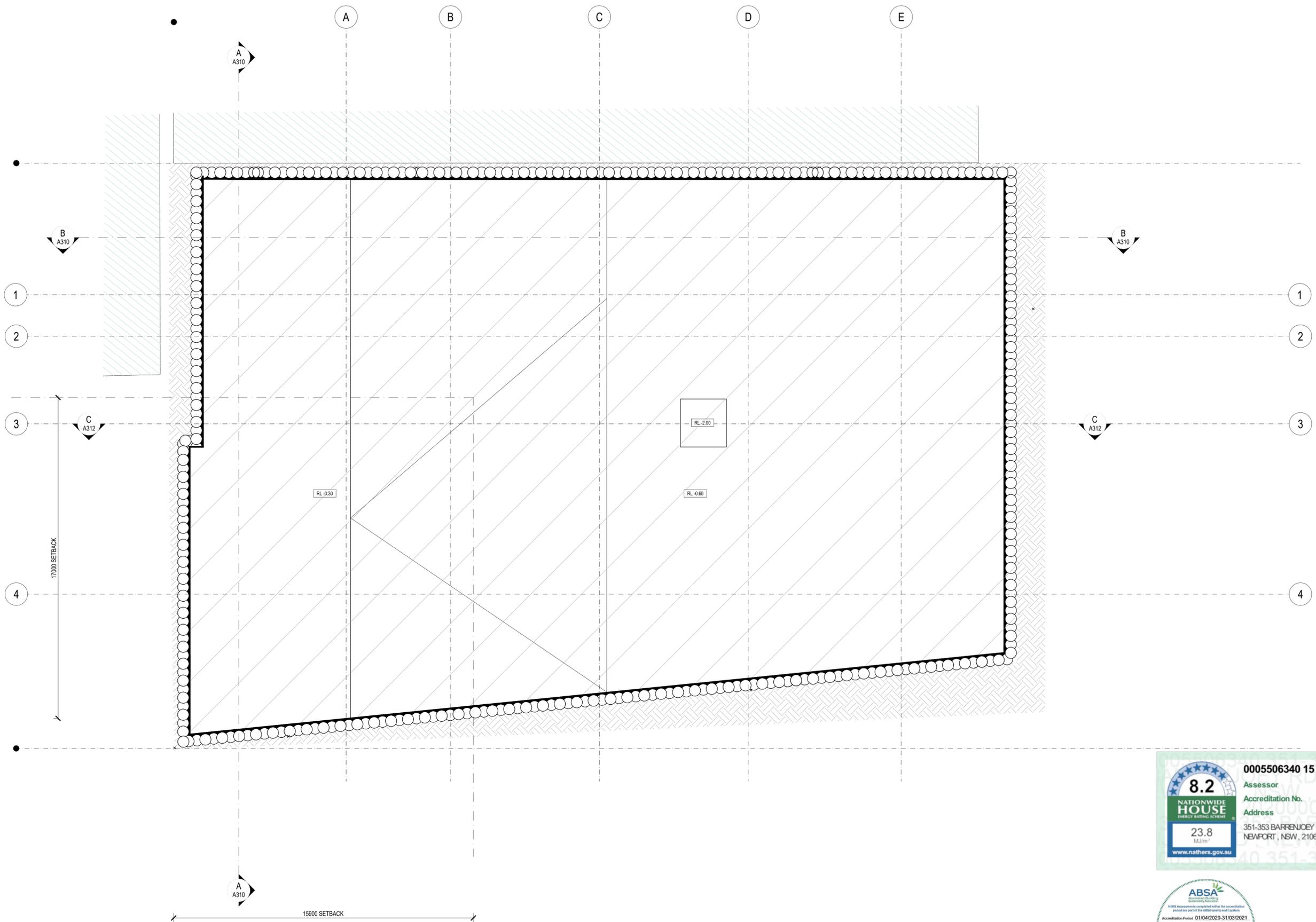


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APPROVED: MT  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: **A011**

ISSUE: **06**

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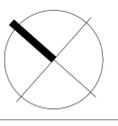
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ISSUE	DATE	AMENDMENTS
06	20.12.15	DA ISSUE
05	20.12.15	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED ISSUED
02	20.03.06	ISSUED TO COUNCIL
01	19.10.15	DA ISSUE

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CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE: EXCAVATION PLAN



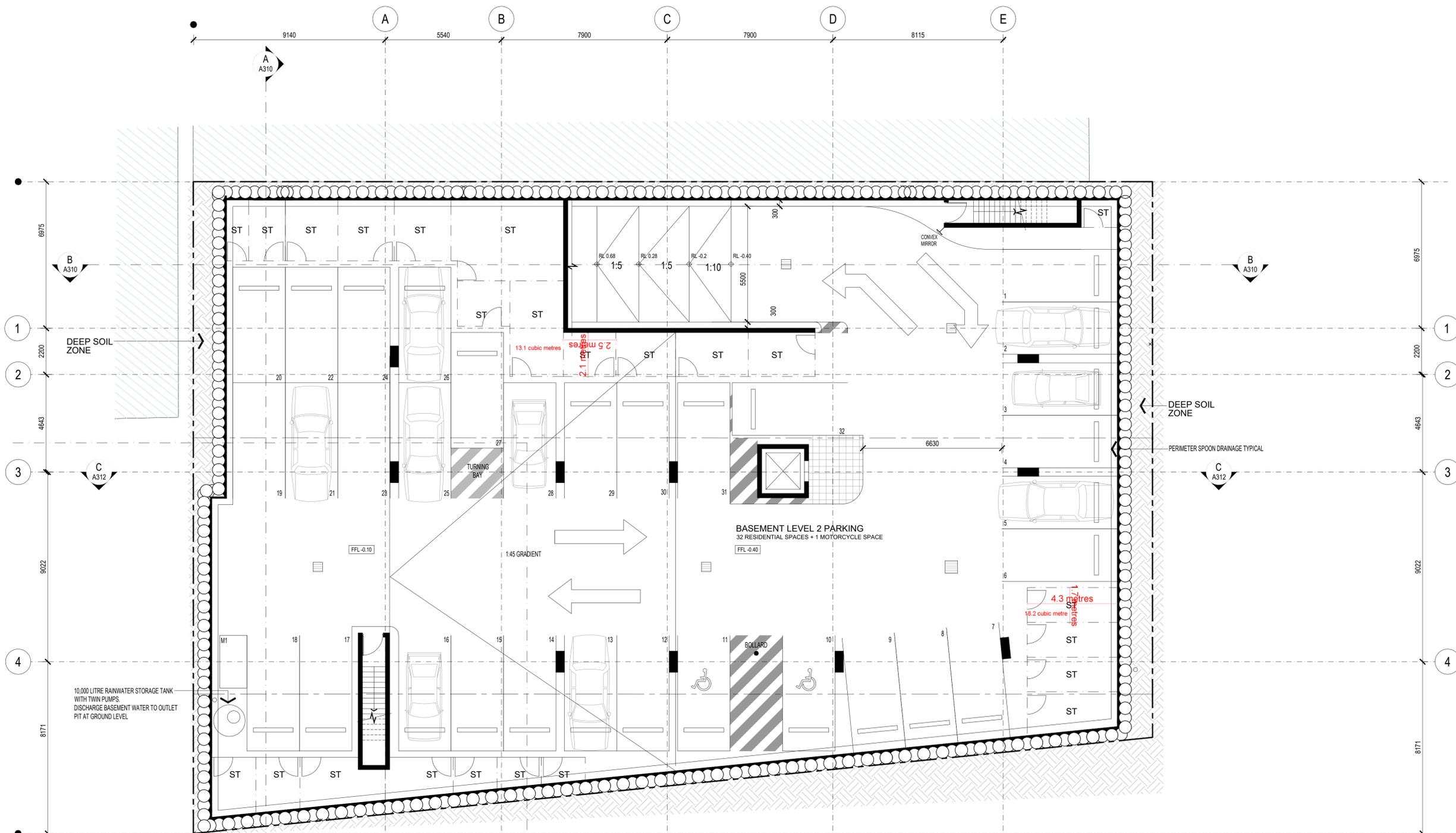
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DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057

DRAWING NUMBER: A012

ISSUE: 06

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**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SYSTEM

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

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17	20.12.15	DA ISSUE
16	20.12.15	DA ISSUE
15	20.12.01	ISSUED TO CONSULTANTS
14	20.11.23	ISSUED TO COUNCIL
13	20.11.04	DSAP ISSUE

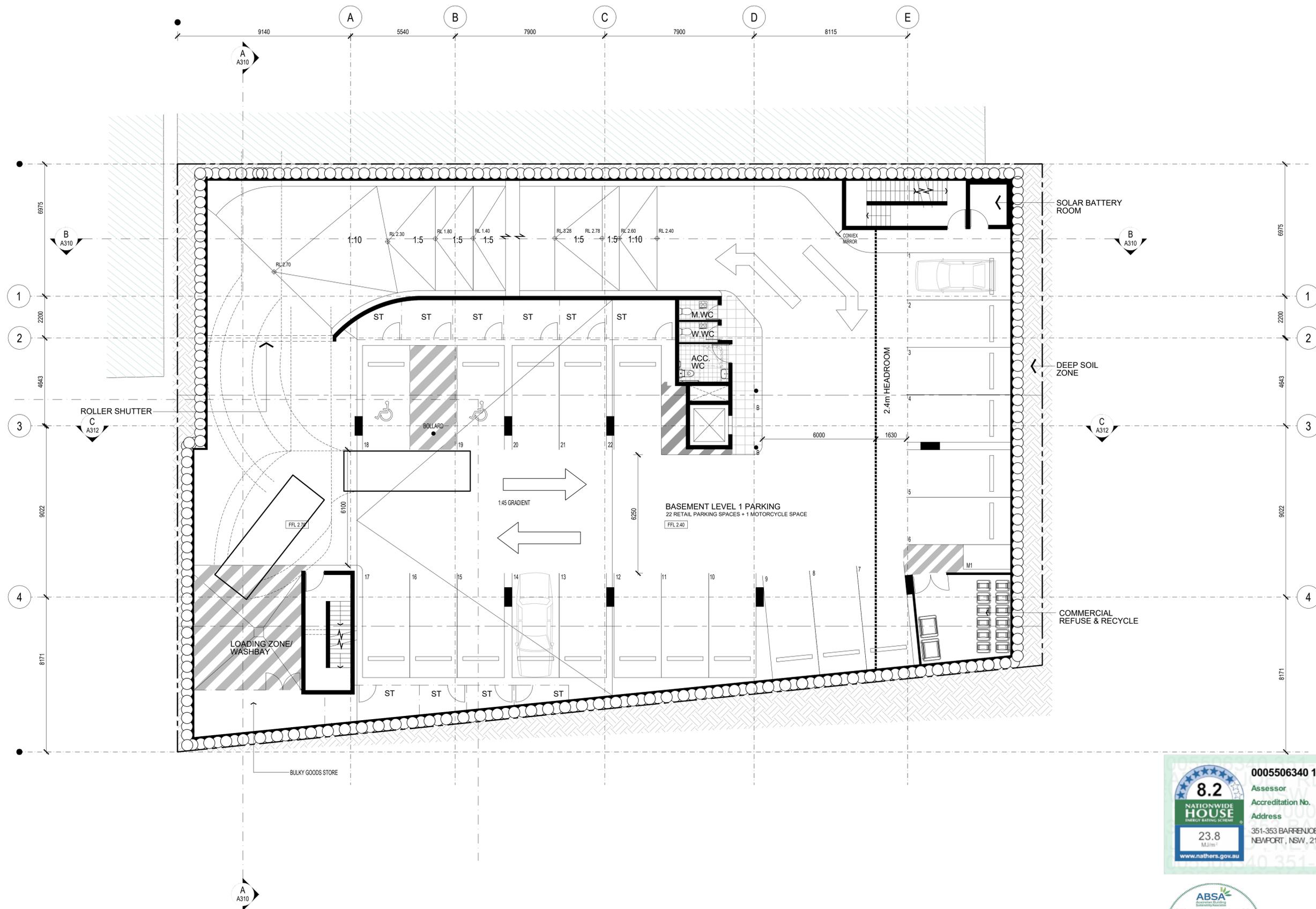
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CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
TITLE: BASEMENT 2 FLOOR PLAN  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

SCALE: 1:100 @ A1  
APPROVED: MT LH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A100  
ISSUE: 17





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**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SCHEME

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

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Accreditation Period: 01/04/2020-31/03/2021  
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17	20.12.15	DA ISSUE
16	20.12.15	DA ISSUE
15	20.12.01	ISSUED TO CONSULTANTS
14	20.11.23	ISSUED TO COUNCIL
13	20.11.04	DSAP ISSUE

CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
TITLE: BASEMENT 1 FLOOR PLAN  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

SCALE: 1:100 @ A1  
APPROVED: MT LH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A101  
ISSUE: 17





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**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING 3.0-4.0

Assessor: Damian O'Toole  
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ISSUE	DATE	AMENDMENTS
21	20.12.15	DA ISSUE
20	20.12.15	DA ISSUE
19	20.12.11	ISSUED TO CONSULTANT
18	20.12.01	ISSUED TO CONSULTANTS
17	20.11.23	ISSUED TO COUNCIL

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CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
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LOT 65 & 66 SEC 5 DP 6248

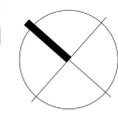
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SCALE: 1:100 @ A1

PROJECT NUMBER: 18057  
DRAWING NUMBER: A102

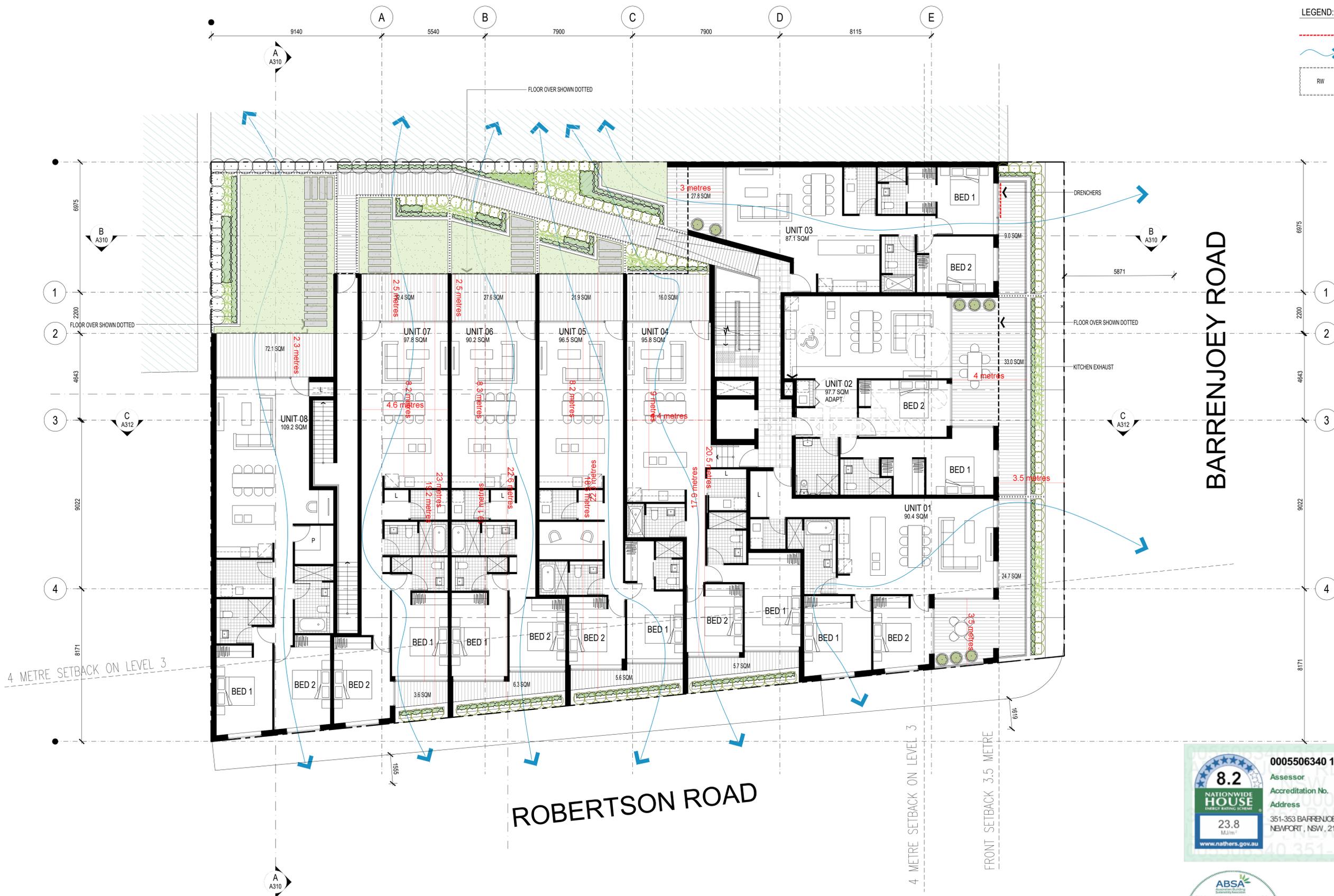
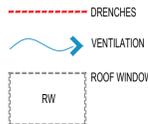
ISSUE: 21

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APPROVED: MT LH HH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

LEGEND:



BARRENJOEY ROAD

ROBERTSON ROAD

0005506340 15 Dec 2020

Assessor: Damian O'Toole  
 Accreditation No.: 20420  
 Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

8.2  
 NATIONWIDE HOUSE  
 ENERGY RATING SYSTEM

23.8  
 MJ/m<sup>2</sup>

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26	20.12.15	DA ISSUE
25	20.12.15	DA ISSUE
24	20.12.15	DA ISSUE
23	20.12.11	ISSUED TO CONSULTANT
22	20.12.03	REVISED ISSUE
21	20.12.01	ISSUED TO CONSULTANTS
20	20.11.23	ISSUED TO COUNCIL

CLIENT  
 DEVELOPMENT LINK

PROJECT  
 MIXED USE DEVELOPMENT

TITLE  
 FIRST FLOOR PLAN

SCALE: 1:100 @ A1  
 APPROVED: MT LH  
 DRAWN: PG  
 CHECKED: PG  
 DATE: JAN 2019  
 STATUS: DA

PROJECT NUMBER  
 18057

DRAWING NUMBER  
 A103

ISSUE  
 26

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**LEGEND:**

- DRENCHES
- VENTILATION
- ROOF WINDOW



**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SYSTEM

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

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**ABSA**  
Australian Building Sustainability Association

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Accreditation Period: 01/04/2020-31/03/2021  
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24	20.12.15	DA ISSUE
23	20.12.15	DA ISSUE
22	20.12.15	DA ISSUE
21	20.12.11	ISSUED TO CONSULTANT

CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
TITLE: SECOND FLOOR PLAN

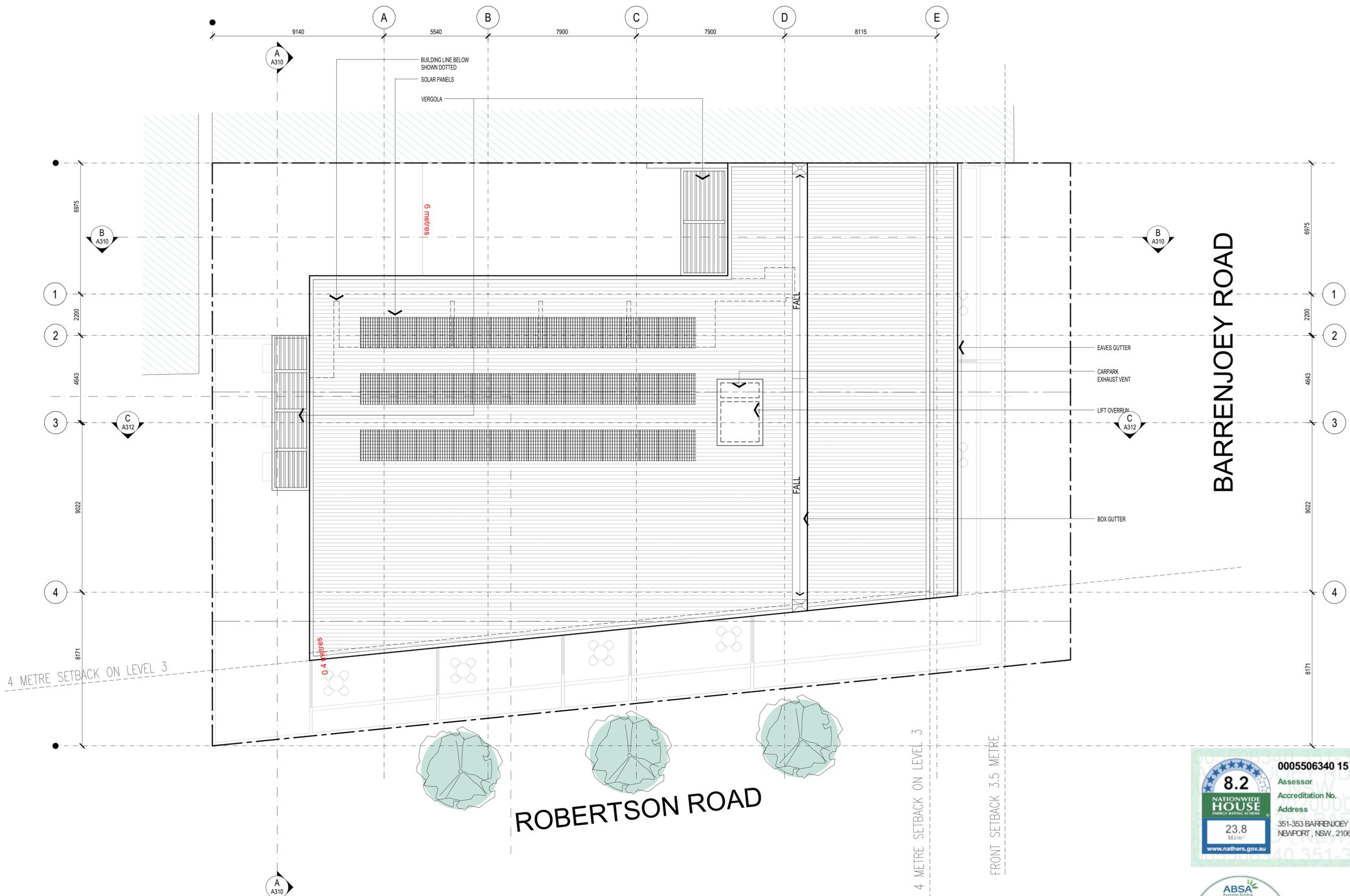
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LOT 65 & 66 SEC 5 DP 6248

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APPROVED: MT LH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A104  
ISSUE: 24

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**8.2**  
NATIONWIDE HOUSE  
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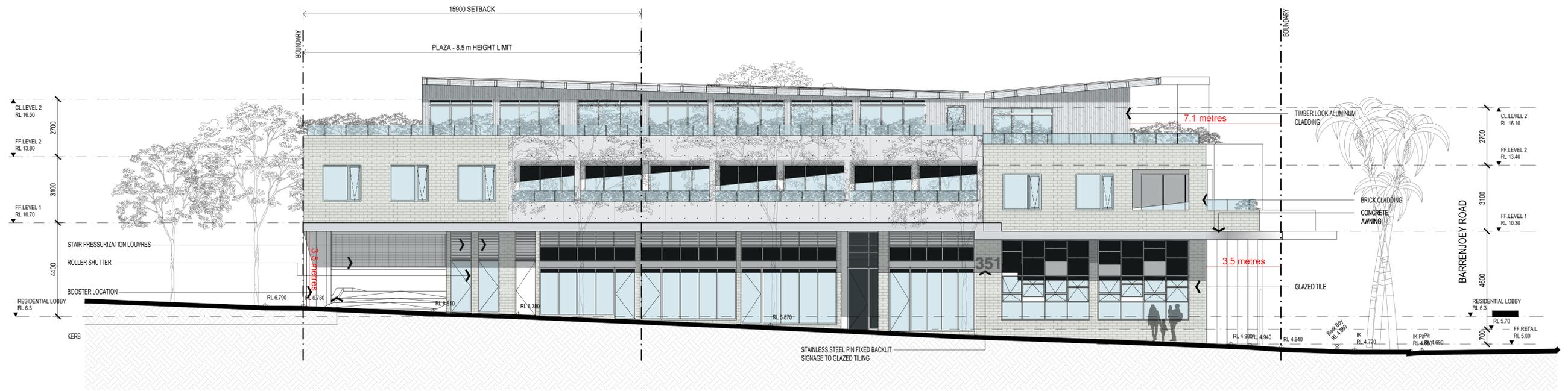
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21	20.12.15	DA ISSUE

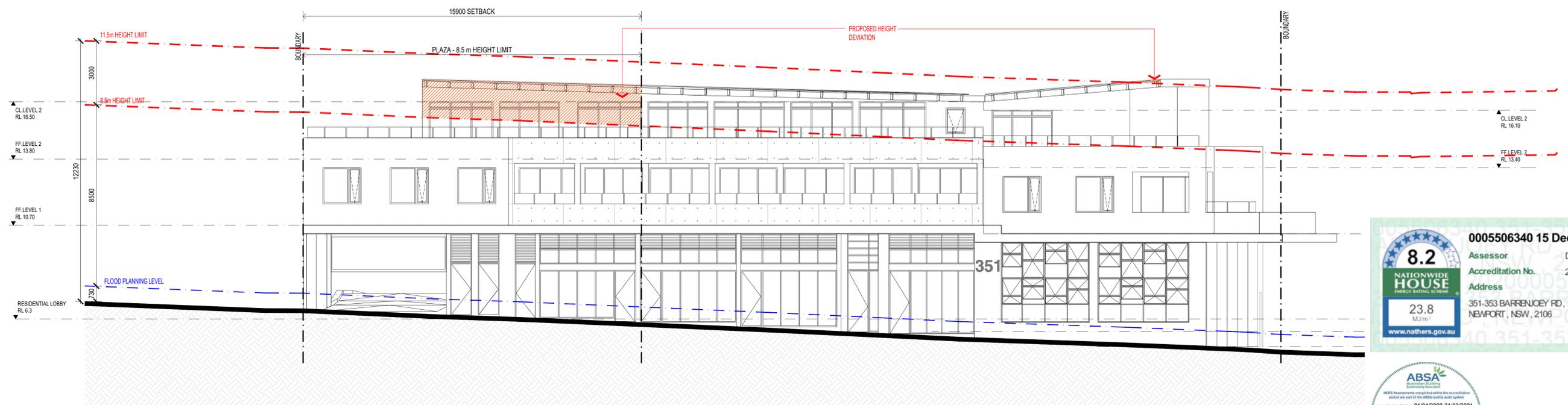
CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE: ROOF PLAN  
SCALE: 1:100 @ A1  
APPROVED: MT, LH, HH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A105  
ISSUE: 22  
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STREET ELEVATION / ROBERTSON ROAD



STREET ELEVATION / ROBERTSON ROAD - HEIGHT PLANES

0005506340 15 Dec 2020  
 Assessor: Damian O'Toole  
 Accreditation No.: 20420  
 Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106  
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ABSA  
 8.2  
 NATIONWIDE HOUSE  
 ENERGY RATING 23.8  
 Accreditation Period: 01/04/2020-31/03/2021  
 Assessor Name: Damian O'Toole  
 Assessor Number: 20420

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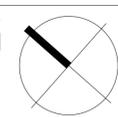
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ISSUE	DATE	AMENDMENTS
16	20.12.15	DA ISSUE
15	20.12.15	DA ISSUE
14	20.12.09	ISSUED TO CONSULTANT

CLIENT  
 DEVELOPMENT LINK

PROJECT  
 MIXED USE DEVELOPMENT  
 351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

TITLE  
 SOUTH ELEVATION



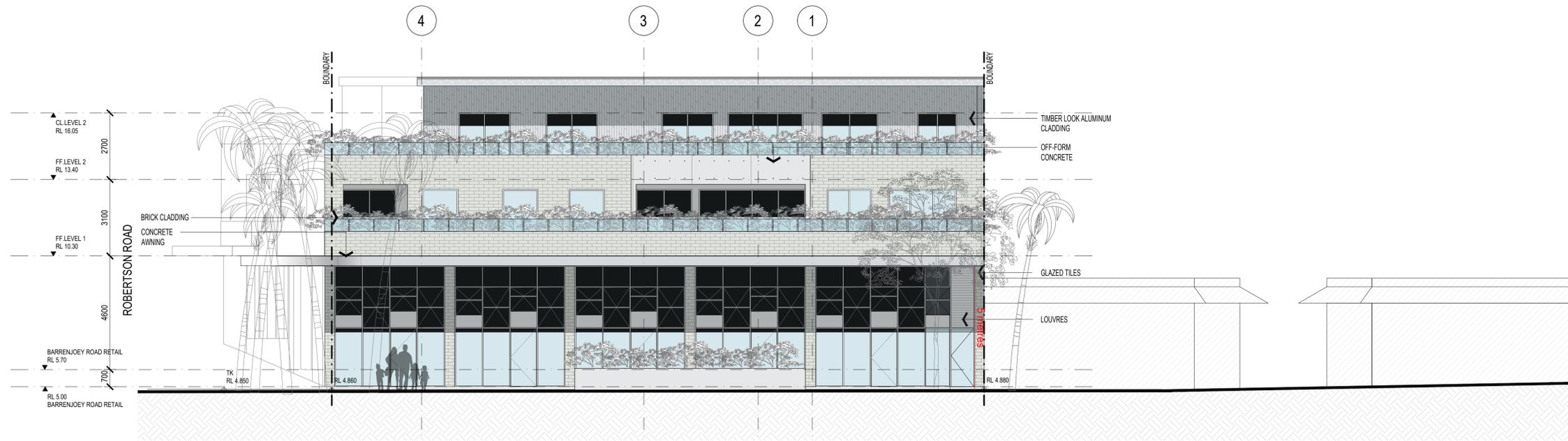
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 CHECKED: PG  
 DATE: JAN 2019  
 STATUS: DA

PROJECT NUMBER  
 18057

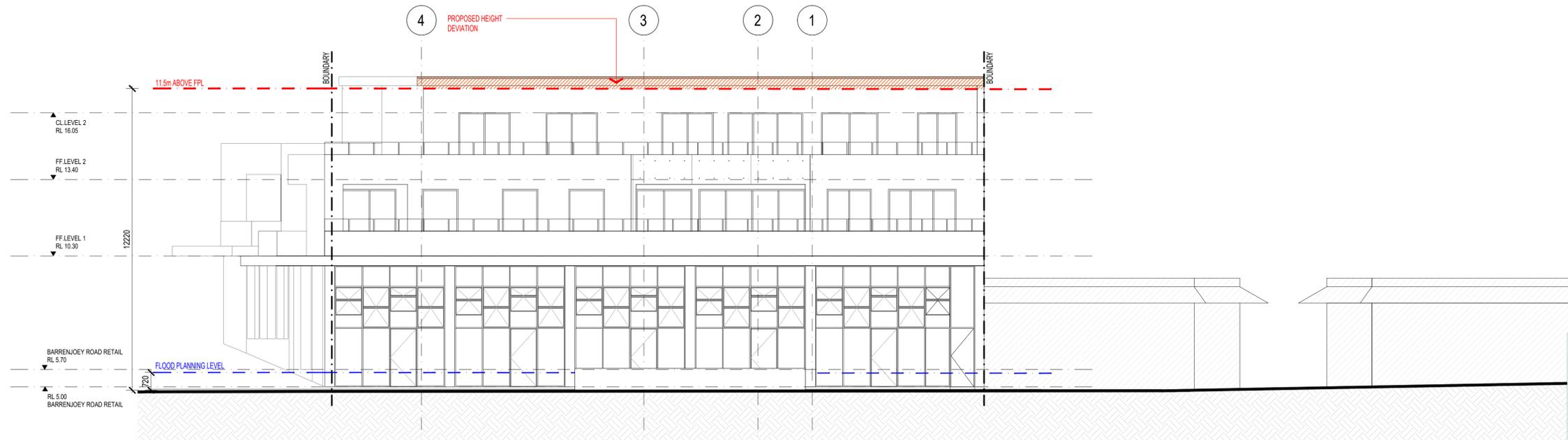
DRAWING NUMBER  
 A300

ISSUE  
 16

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STREET ELEVATION / BARRENJOEY ROAD



STREET ELEVATION / BARRENJOEY ROAD - HEIGHT PLANES

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SCHEME

23.8  
MJ/m<sup>2</sup>

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Accreditation No.: 20420  
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Australian Building Sustainability Association

Accreditation Period: 01/04/2020-31/03/2021

Assessor Name: Damian O'Toole  
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ISSUE	DATE	AMENDMENTS
14	20.12.15	DA ISSUE
13	20.12.15	DA ISSUE
12	20.12.09	ISSUED TO CONSULTANT
11	20.11.23	ISSUED TO COUNCIL
10	20.11.20	DSAP ISSUE
09	20.11.04	DSAP ISSUE

CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT

TITLE  
EAST ELEVATION

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

SCALE: 1:100 @ A1

APPROVED  
DRAWN: MN  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER  
18057

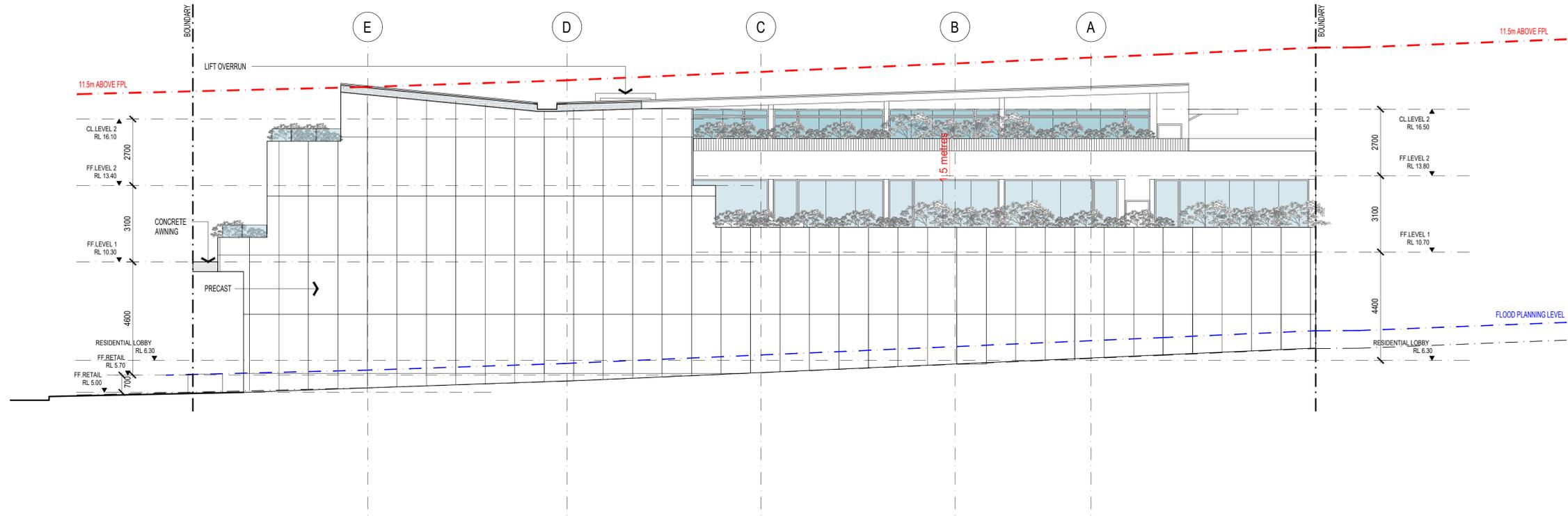
DRAWING NUMBER

**A301**

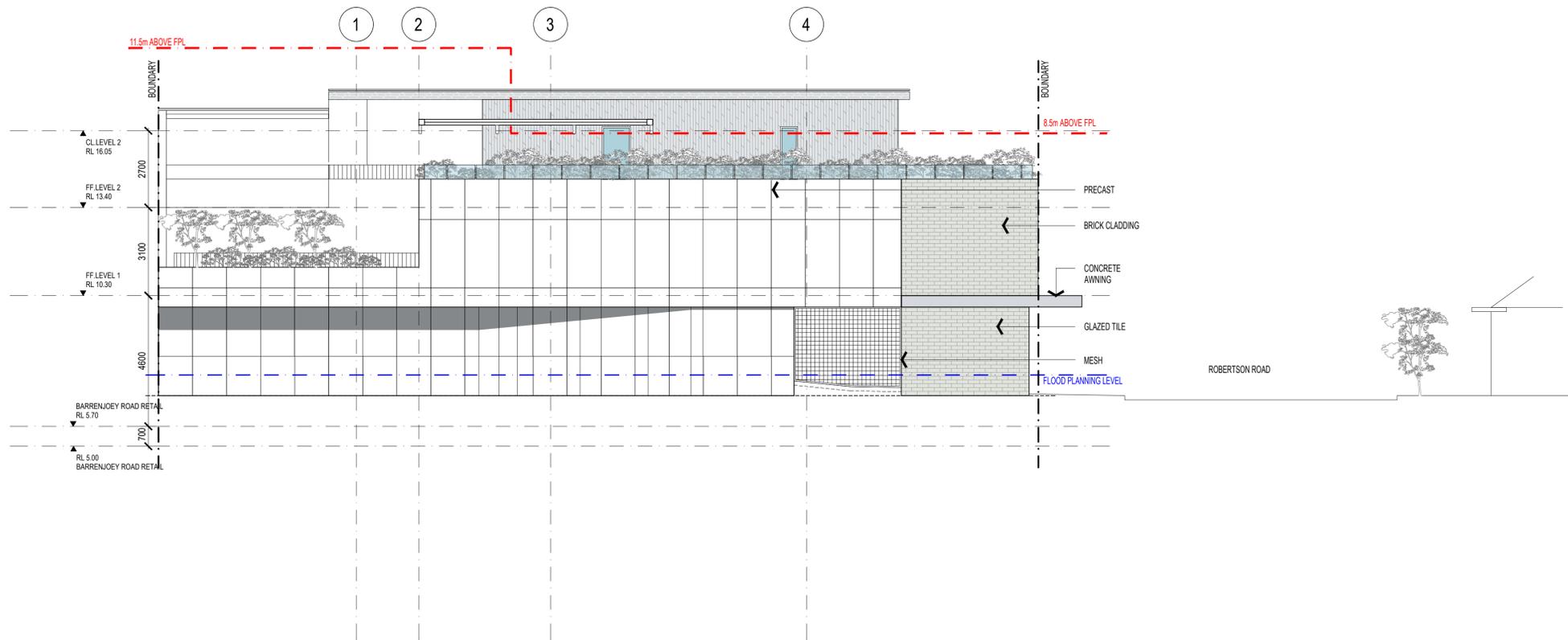
ISSUE

**14**

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NORTH ELEVATION



WEST ELEVATION

**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING 8.2/10

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Accreditation No.: 20420  
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23.8  
MJ/m<sup>2</sup>

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ISSUE	DATE	DA ISSUE AMENDMENTS
13	20.12.15	DA ISSUE

CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
NORTH AND WEST ELEVATIONS

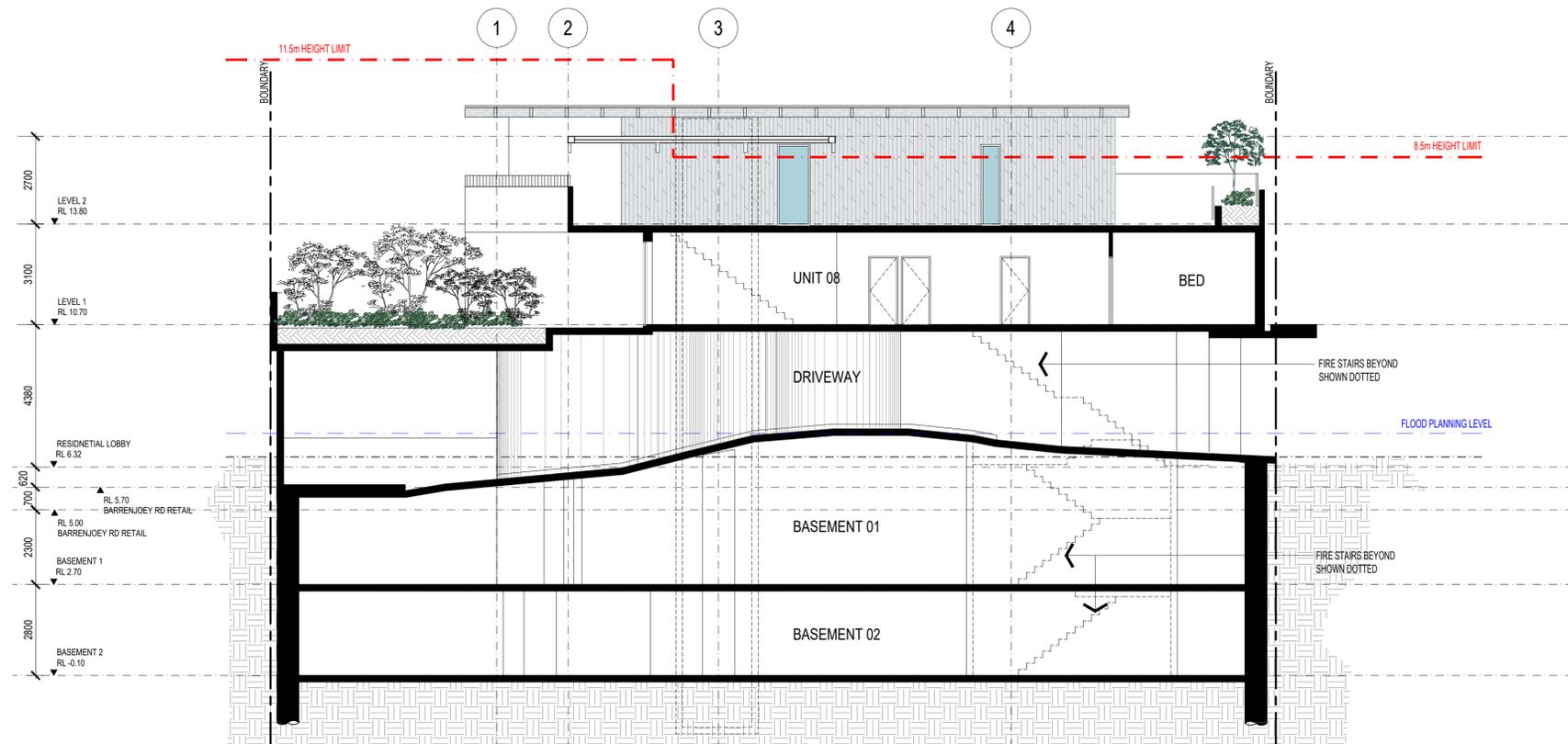
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DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER  
18057

DRAWING NUMBER  
**A302**

ISSUE  
**13**

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**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING 8.2/10

23.8 MJ/m<sup>2</sup>  
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12	20.12.15	DA ISSUE
11	20.12.15	DA ISSUE
10	20.12.08	ISSUED TO CONSULTANTS
09	20.11.23	ISSUED TO COUNCIL

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**

TITLE  
**SECTION AA**

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

SCALE: 1:100 @ A1

APPROVED  
DRAWN: HH - MT  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER  
**18057**

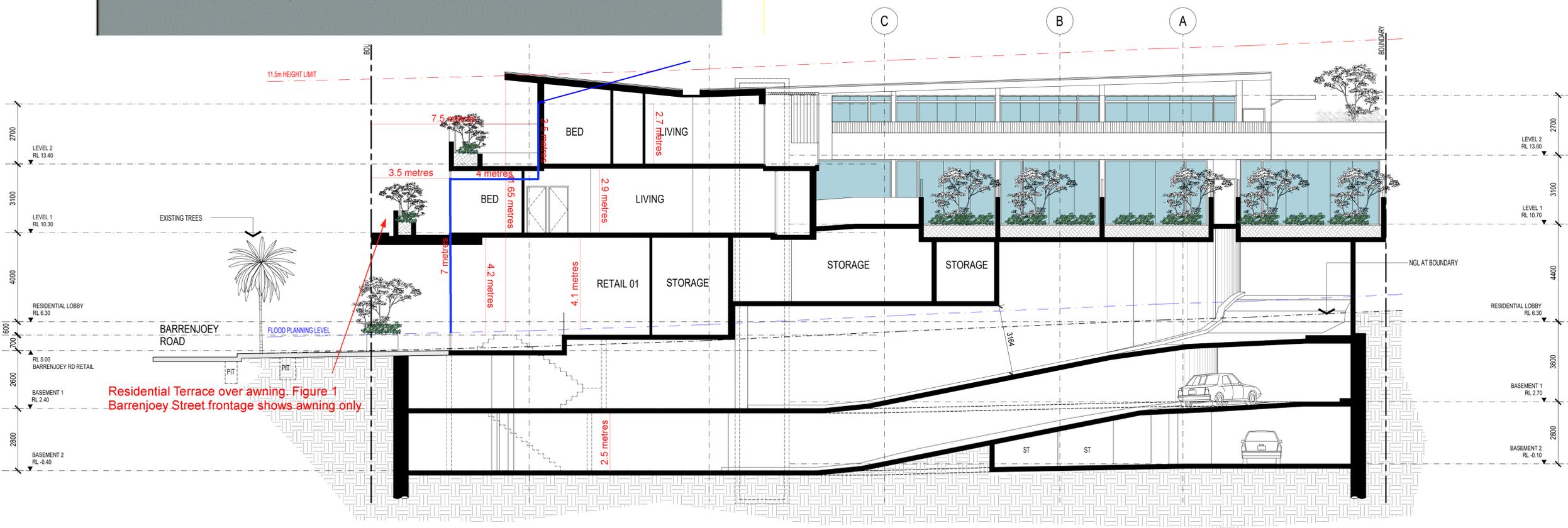
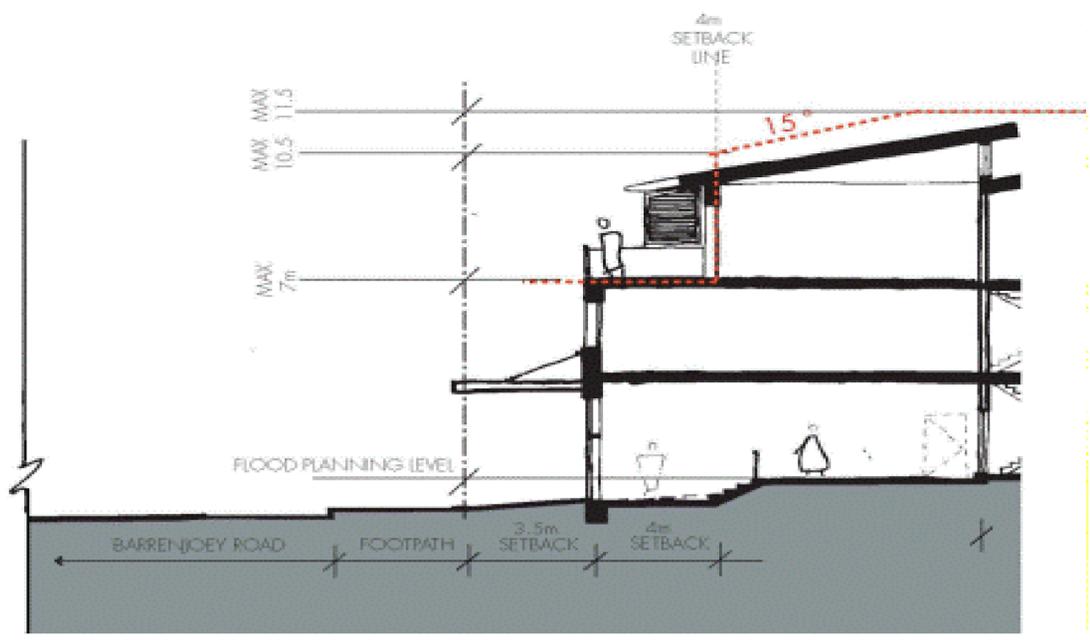
DRAWING NUMBER

**A310**

ISSUE

**12**

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**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING 8.2/10

23.8 MJ/m<sup>2</sup>  
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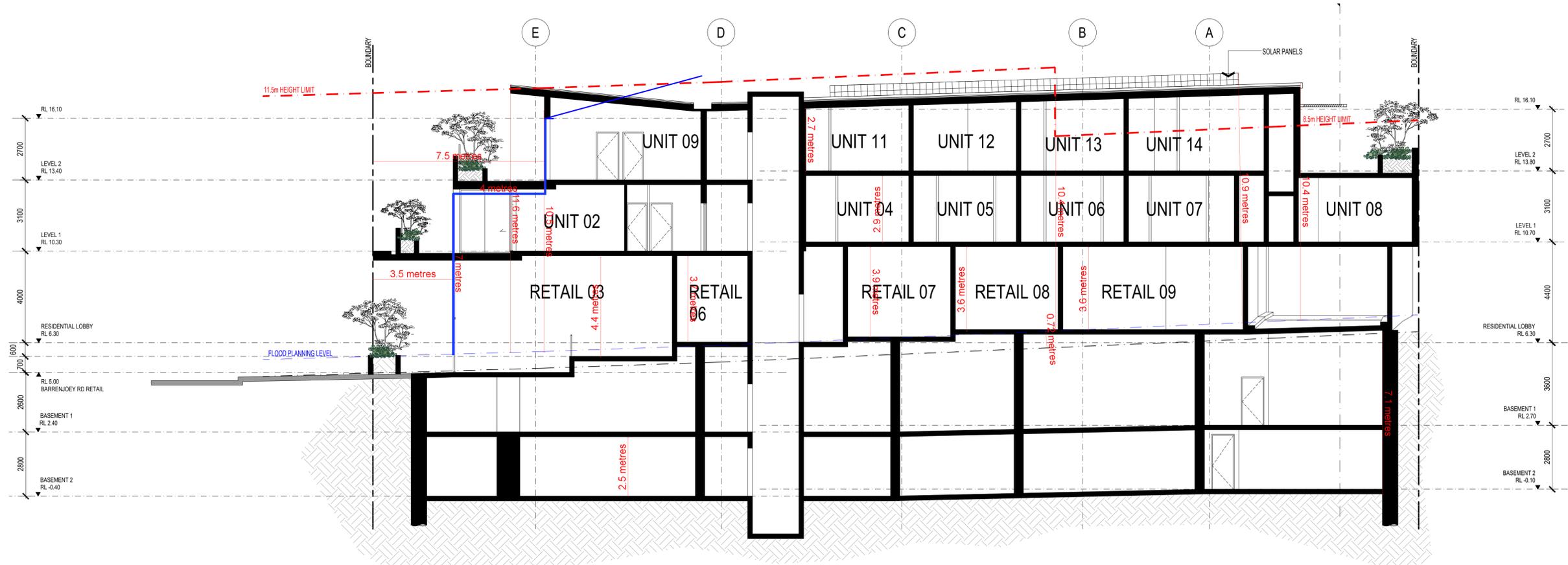
ISSUE	DATE	AMENDMENTS
12	20.12.15	DA ISSUE
11	20.12.15	DA ISSUE
10	20.12.08	ISSUED TO CONSULTANTS
09	20.11.23	ISSUED TO COUNCIL

CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
TITLE: SECTION BB  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

SCALE: 1:100 @ A1  
APPROVED: HH - MT  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A311  
ISSUE: 12





**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE ENERGY RATING SYSTEM

Assessor: Damian O'Toole  
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23.8 MJ/m<sup>2</sup>

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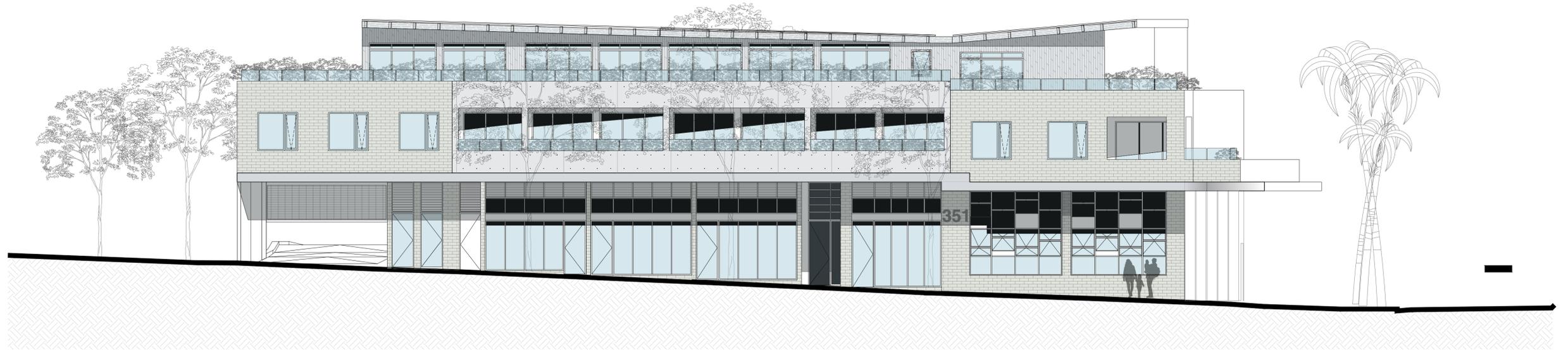
ISSUE	DATE	AMENDMENTS
05	20.12.15	DA ISSUE
04	20.12.15	DA ISSUE
03	20.12.08	ISSUED TO CONSULTANTS
02	20.11.23	ISSUED TO COUNCIL
01	20.11.20	DSAP ISSUE

CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
TITLE: SECTION CC  
SCALE: 1:100 @ A1  
PROJECT NUMBER: 18057  
DRAWING NUMBER: A312  
ISSUE: 05

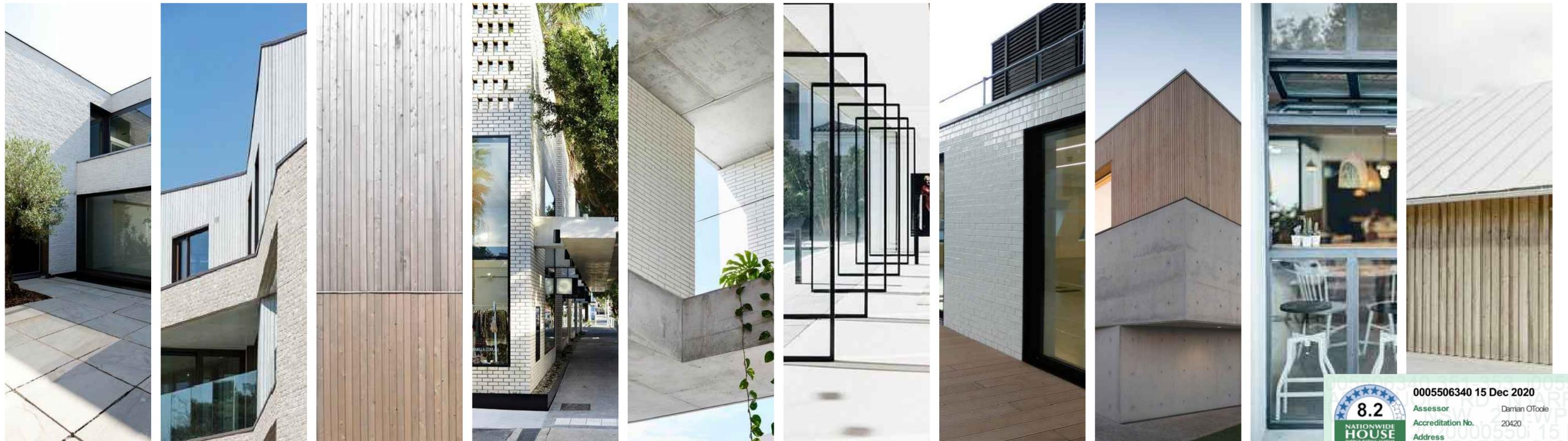
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

APPROVED: HH - MT  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

18057 **A312** 05 **crawford architects**



FRONT ELEVATION / ROBERTSON ROAD



**8.2**  
NATIONWIDE HOUSE ENERGY RATING 8.2/15  
23.8 MJ/m<sup>2</sup>  
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Assessor Name: Damian O'Toole  
Assessor Number: 20420

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07	20.12.15	DA ISSUE
06	20.12.15	DA ISSUE
05	20.11.23	ISSUED TO COUNCIL
04	20.07.02	REVISED ISSUE
03	20.06.19	REVISED ISSUE
02	20.05.01	REVISED ISSUE
01	19.10.15	DA ISSUE

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
**MATERIAL AND FINISHES**

SCALE: 1:100 @ A1  
APPROVED: HH  
DRAWN: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER  
**18057**

DRAWING NUMBER  
**A320**

ISSUE  
**07**

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BEFORE



AFTER

**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING STAMP

Assessor: Damian O'Toole  
Accreditation No.: 20420  
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23.8 MJ/m<sup>2</sup>

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05	20.12.16	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
**BEFORE & AFTER  
PHOTOMONTAGE**

SCALE -  
APPROVED  
DRAWN HH  
CHECKED PG  
DATE JAN 2019  
STATUS DA

PROJECT NUMBER  
**18057**

DRAWING NUMBER  
**A321**

ISSUE  
**05**

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architects



Existing building shadow outline

9:00am  
21th JUNE



Existing building shadow outline

10:00am  
21th JUNE



Existing building shadow outline

11:00am  
21th JUNE

**8.2**  
NATIONWIDE HOUSE ENERGY RATING SCHEME  
23.8 MJ/m<sup>2</sup>  
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Assessor: Damian O'Toole  
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ISSUE	DATE	AMENDMENTS
07	20.12.15	DA ISSUE

CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
SHADOW DIAGRAMS  
SHEET 01

SCALE: NTS  
APPROVED: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER  
18057

DRAWING NUMBER  
A400

ISSUE  
07

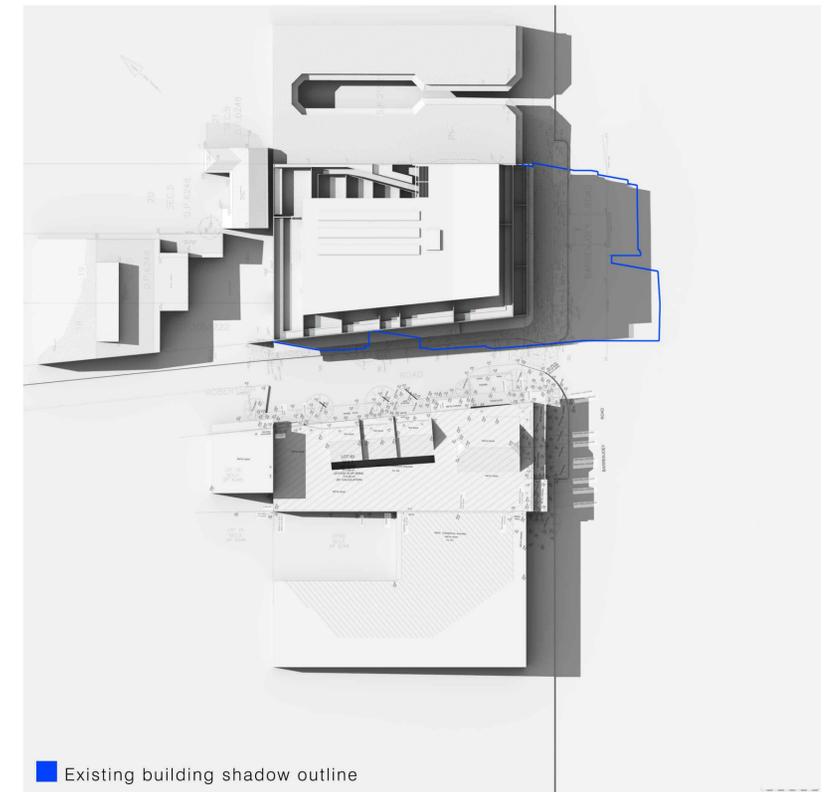
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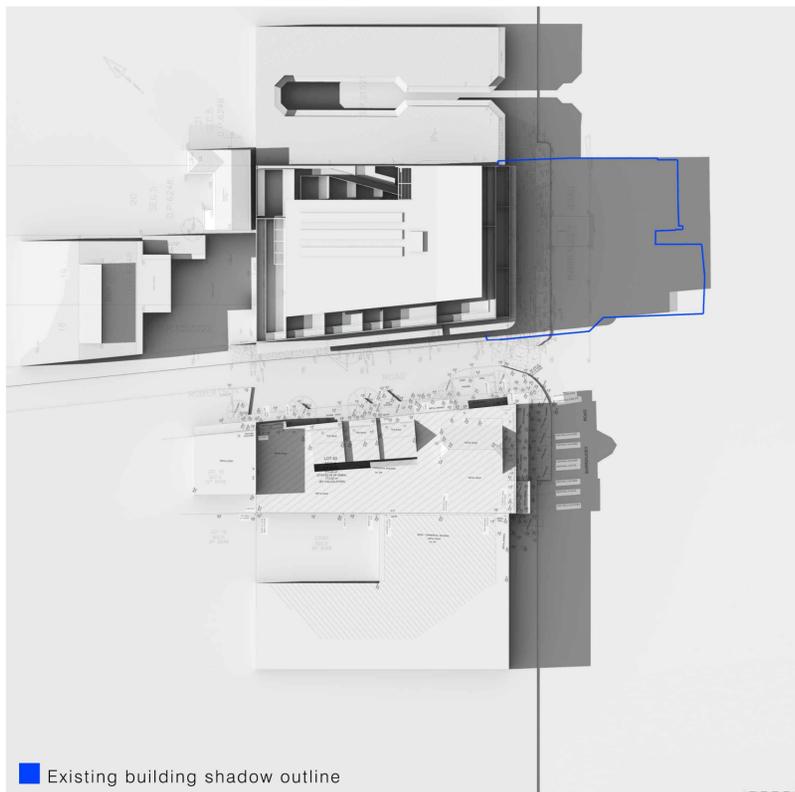
12:00pm  
21th JUNE



1:00pm  
21th JUNE



2:00pm  
21th JUNE



3:00pm  
21th JUNE

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SCHEME

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

23.8  
MJ/m<sup>2</sup>

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ISSUE	DATE	AMENDMENTS
07	20.12.16	DA ISSUE

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DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT  
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LOT 65 & 66 SEC 5 DP 6248

TITLE  
SHADOW DIAGRAMS  
SHEET 02

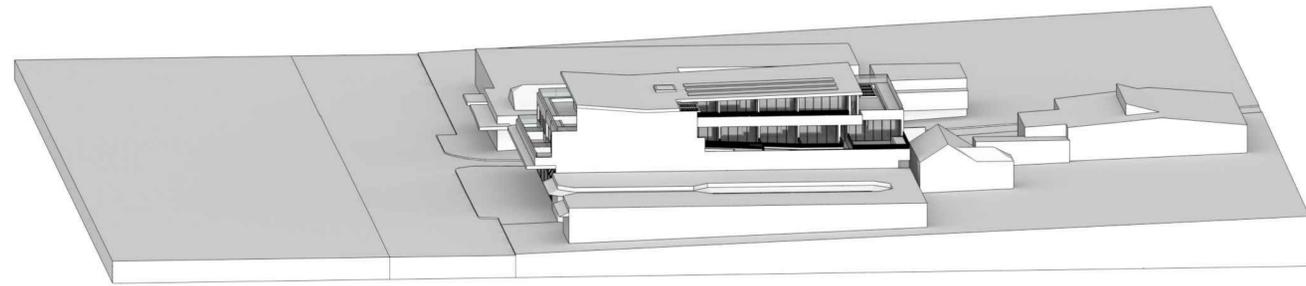
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PROJECT NUMBER  
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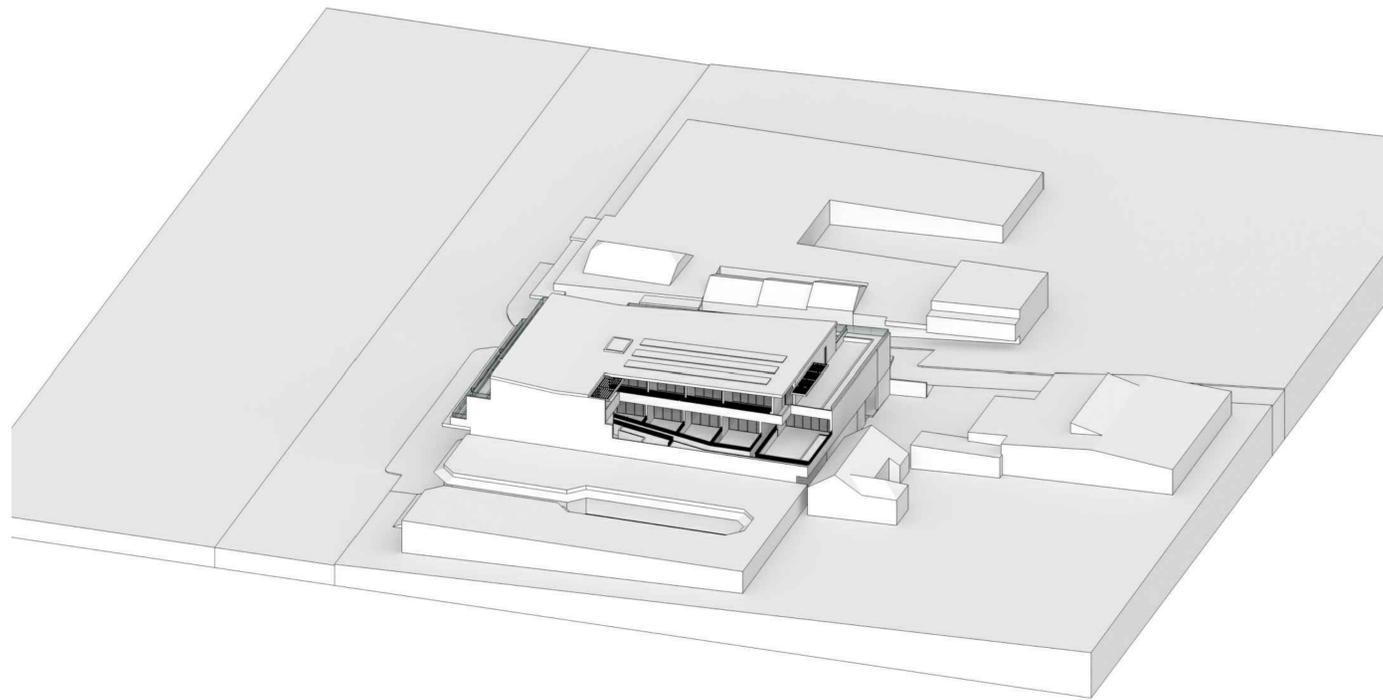
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A401

ISSUE  
07

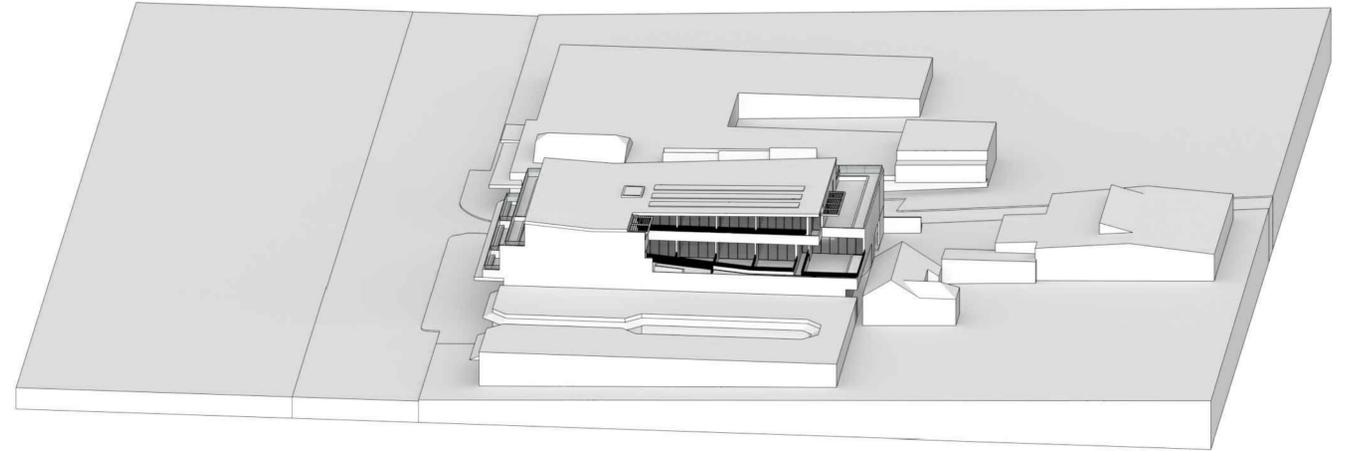
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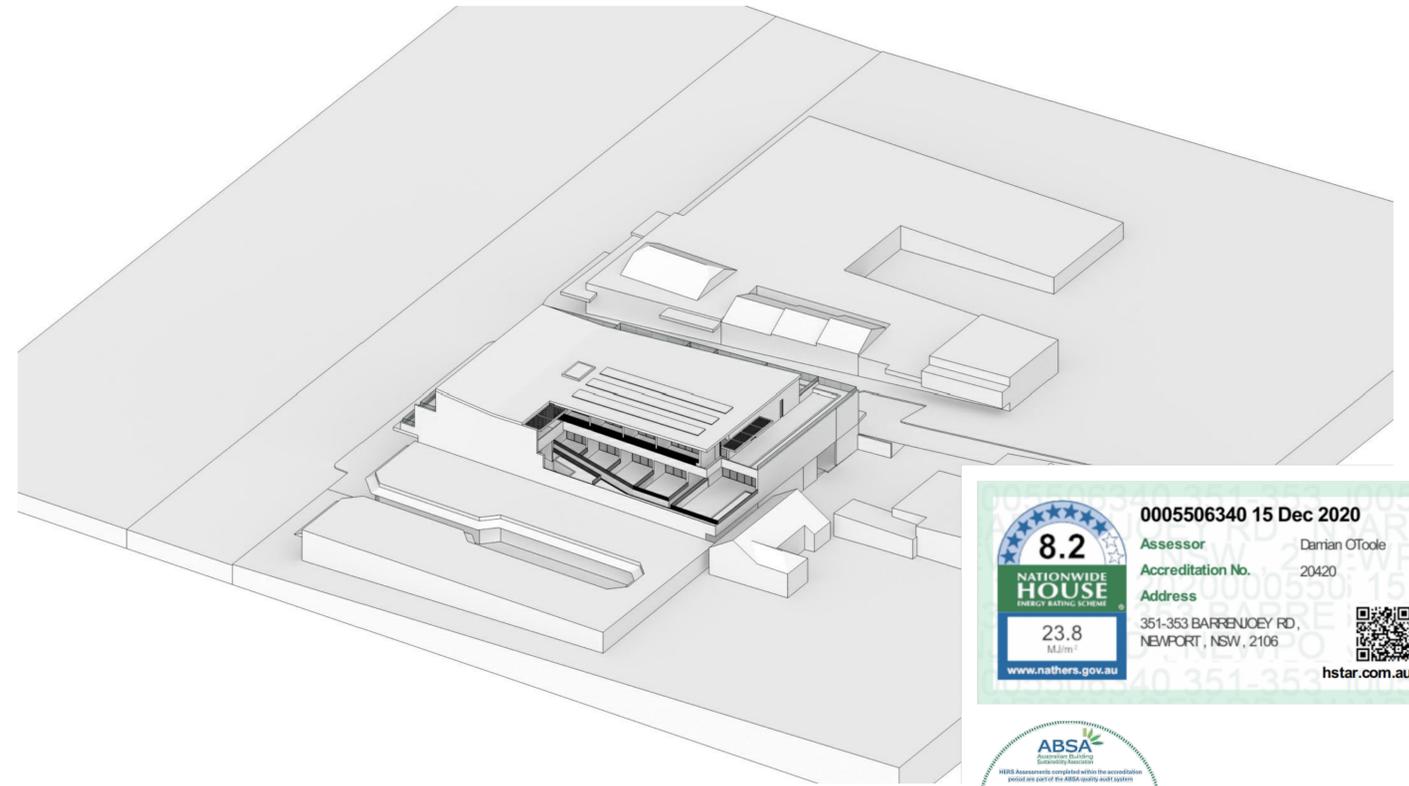
8:00am



10:00am



9:00am



11:00am

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SCHEME

23.8  
MJ/m<sup>2</sup>

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0005506340 15 Dec 2020

Assessor: Damian O'Toole  
Accreditation No.: 20420

Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

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Australian Building Sustainability Association

HSR Assessments accepted within the accreditation period are part of the ABSA energy audit system

Accreditation Period: 01/04/2020-31/03/2021

Assessor Name: Damian O'Toole  
Assessor Number: 20420

Assessor Signature: \_\_\_\_\_

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06	20.12.16	DA ISSUE
ISSUE	DATE	AMENDMENTS

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CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE: SOLAR STUDIES SHEET 01

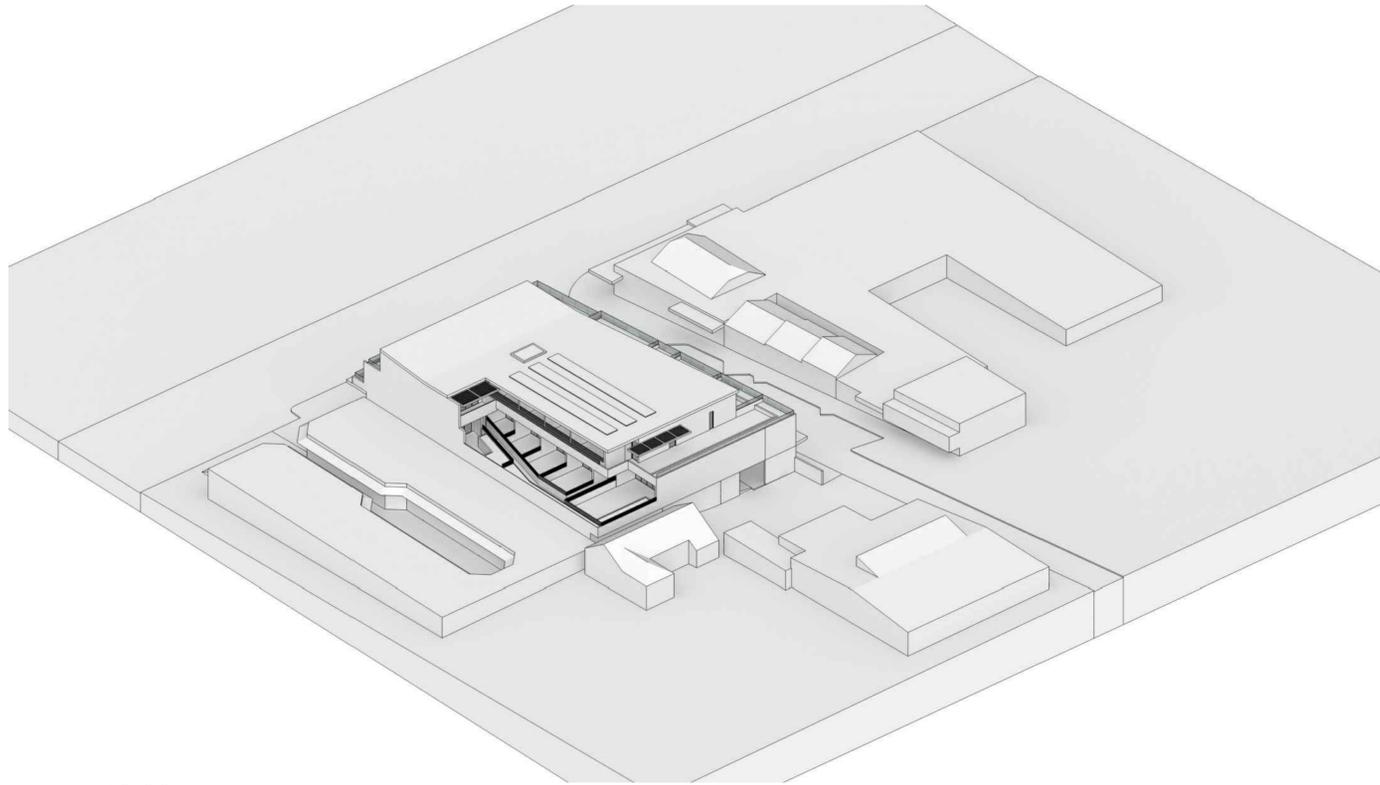
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APPROVED: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057

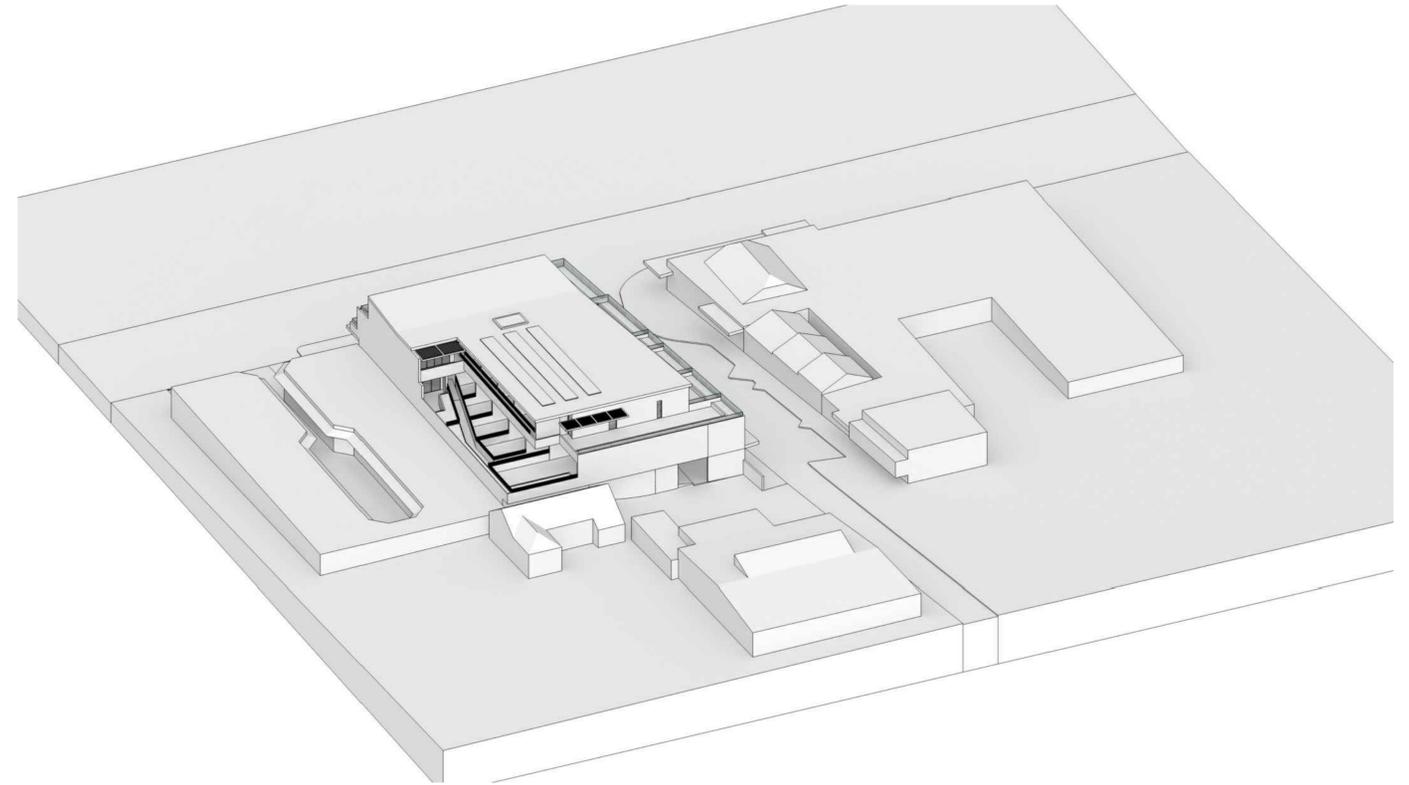
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ISSUE: 06

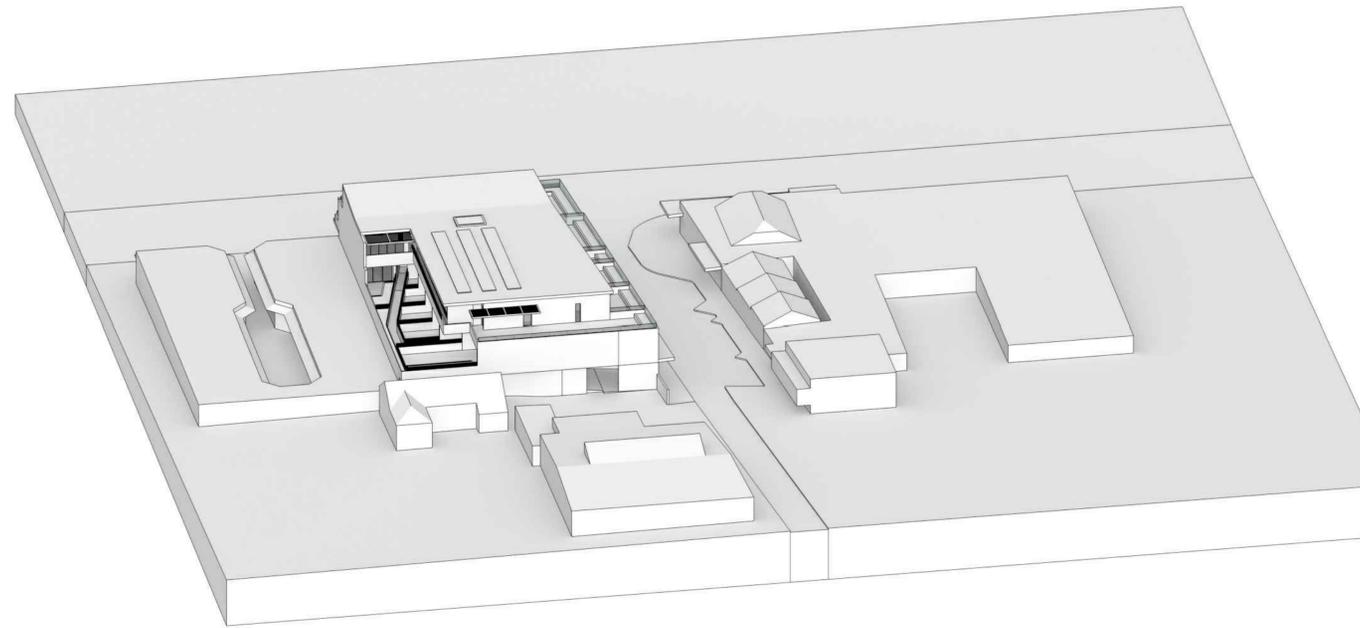




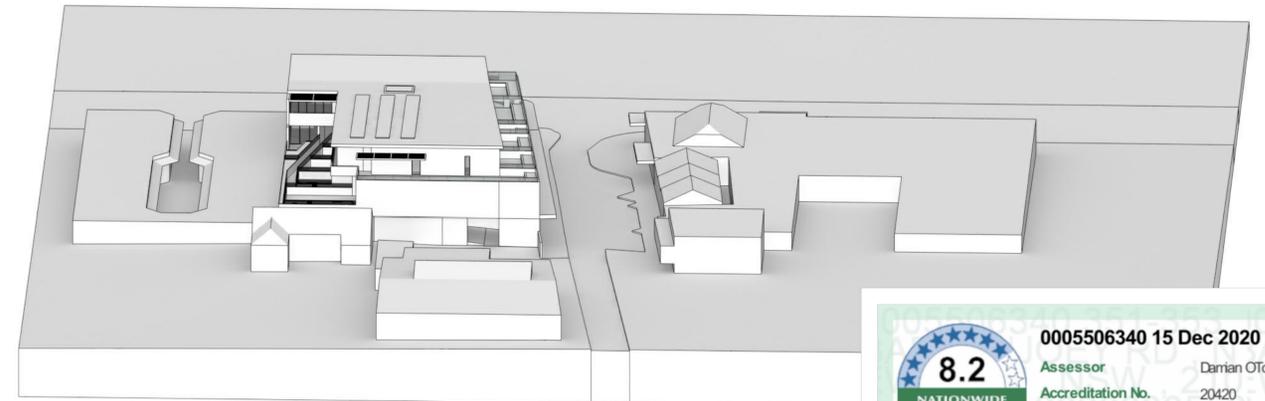
12:00am



1:00pm



2:00pm



3:00pm

**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING STARS

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

23.8 MJ/m<sup>2</sup>

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Accreditation Period: 01/04/2020-31/03/2021  
Assessor Name: Damian O'Toole  
Assessor Number: 20420

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ISSUE	DATE	AMENDMENTS
03	20.12.16	DA ISSUE
02	20.12.15	DA ISSUE
01	20.12.15	DA ISSUE

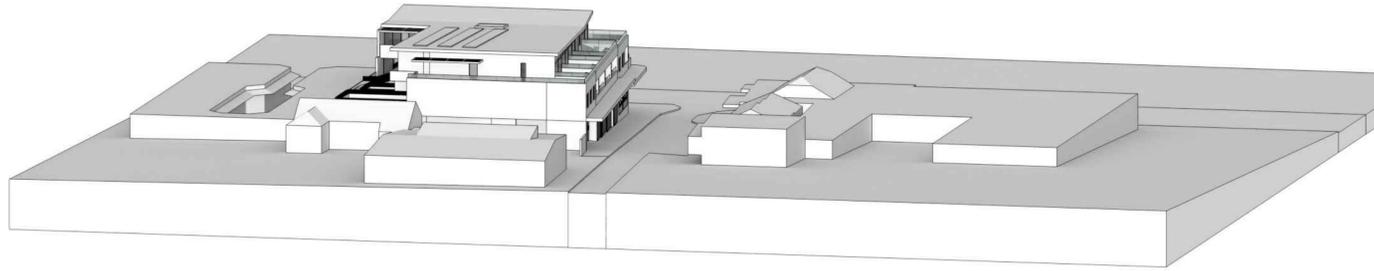
CLIENT: DEVELOPMENT LINK  
PROJECT: MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE: SOLAR STUDIES SHEET 02

SCALE: NTS  
APPROVED: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER: 18057  
DRAWING NUMBER: A406

ISSUE: 03  
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4:00pm

**0005506340 15 Dec 2020**

**8.2**  
NATIONWIDE HOUSE  
ENERGY RATING SCHEME

Assessor: Damian O'Toole  
Accreditation No.: 20420  
Address: 351-353 BARRENJOEY RD, NEWPORT, NSW, 2106

23.8 MJ/m<sup>2</sup>

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Accreditation Period: 01/04/2020-31/03/2021  
Assessor Name: Damian O'Toole  
Assessor Number: 20420

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ISSUE	DATE	AMENDMENTS
03	20.12.16	DA ISSUE
02	20.12.15	DA ISSUE
01	20.12.15	DA ISSUE

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
**SOLAR STUDIES SHEET 03**

SCALE: NTS  
APPROVED: PG  
CHECKED: PG  
DATE: JAN 2019  
STATUS: DA

PROJECT NUMBER  
**18057**

DRAWING NUMBER  
**A407**

ISSUE  
**03**



# MIXED USE DEVELOPMENT

351-353 Barrenjoey Road, Newport NSW 2106  
Development Application

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

## Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan - Ground Floor	1:100
102	Landscape Plan - Level 1	1:100
103	Landscape Plan - Level 2	1:100
501	Landscape Details	AS SHOWN

## PLANT SCHEDULE

	Botanic Name	Common Name	Mature Size	Pot Size	Density	Qty
<b>GROUND FLOOR</b>						
<b>STREET TREES</b>						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	100L	As Shown	3
<b>SHRUBS &amp; ACCENTS</b>						
Ai	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown	2
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown	6
Ss	Spathiphyllum 'Sensation'	Peace Lily	1 x 1	300mm	As Shown	4
<b>GRASSES &amp; GROUND COVERS</b>						
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm	59
<b>PLANTING MATRIX</b>						
Dc	Dianella congesta	Beach Flax Lily	0.5 x 1	150mm	3/m2	53
LV	Lomandra 'Verday'	Spiny-head mat-rush	0.5 x 1	150mm	3/m2	53
<b>LEVEL 1</b>						
<b>SHRUBS &amp; ACCENTS</b>						
Ai	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown	23
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown	23
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown	106
Vo	Viburnum odoratissimum	Sweet Viburnum	3 x 2	300mm	As shown	34
<b>GRASSES &amp; GROUND COVERS</b>						
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm	132
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm	157
LEG	Lirope muscari 'Evergreen Giant'	Lirope	0.6 x 0.5	150mm	5/m2	29
<b>LEVEL 2</b>						
<b>SHRUBS &amp; ACCENTS</b>						
Aa	Agave 'Blue Glow'	Blue Glow Agave	1 x 1	300mm	As Shown	21
CBB	Crassula 'Blue Bird'	Bluebird	1 x 1	300mm	As shown	39
PM	Pittosporum 'Miss Muffet'	Miss Muffet	1 x 1	300mm	As shown	98
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown	127
<b>GRASSES &amp; GROUND COVERS</b>						
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm	165
SCS	Sencio serpens	Blue Chalk Sticks	0.2 x 0.5	150mm	5/m2	148

Issue	Revision Description	Drawn	Check	Date
D	ARCHITECTURAL COORDINATION	JM	NM	08.12.2020
C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019

## LEGEND



Client:

**DEVELOPMENT LINK**

Project:

**Mixed Use Development**  
351-353 Barrenjoey Road  
Newport NSW 2106

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**DEVELOPMENT APPLICATION**

Drawing Name:

**Landscape Coversheet**

Scale:

Job Number:

Drawing Number:

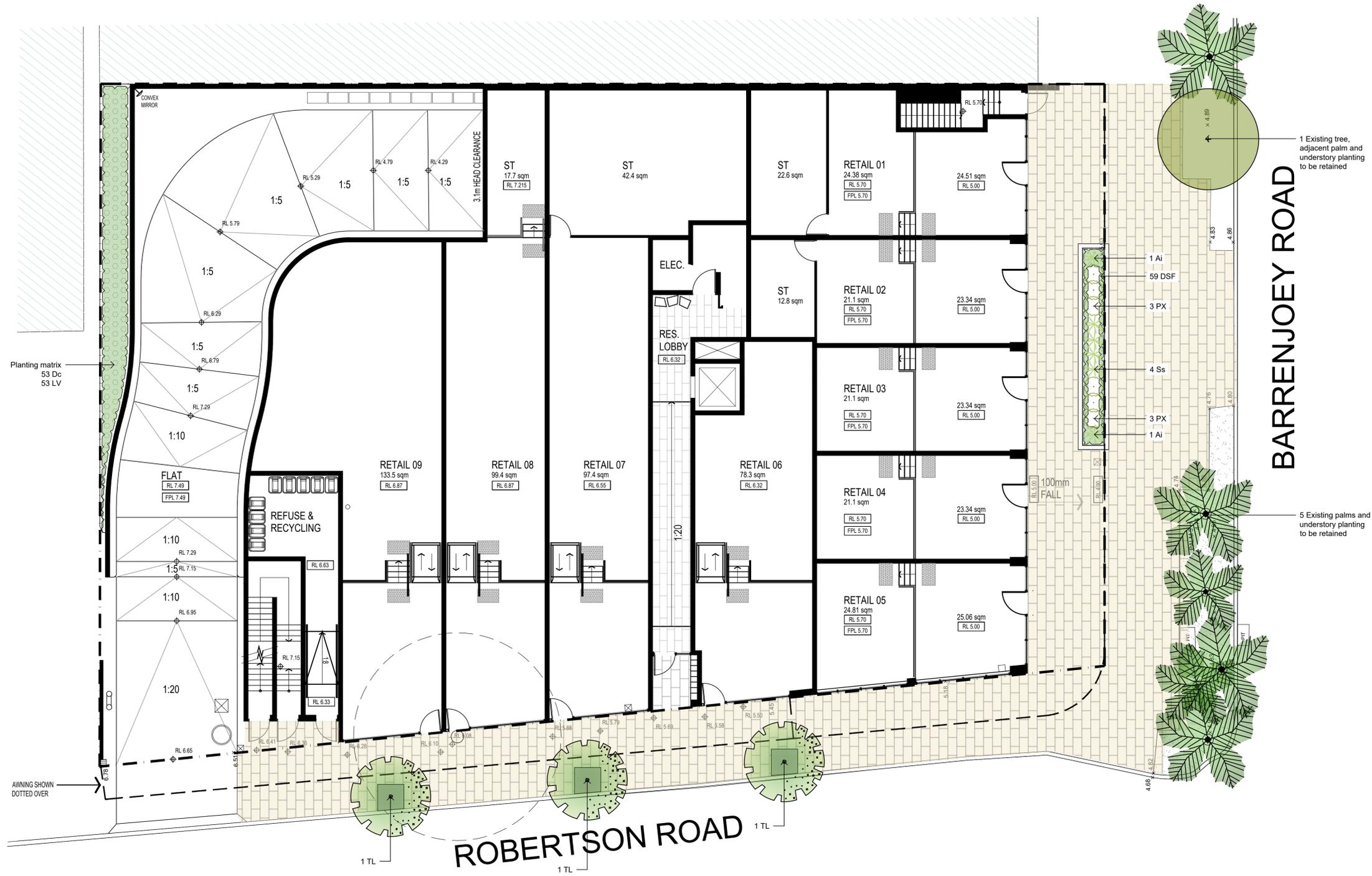
Issue:

SS19-4170

000 D

**NOT FOR CONSTRUCTION**

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.



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C		STREET TREES ADDED	JM	NM	24.09.2019
B		FOR COMMENT	SM	NM	29.08.2019
A		FOR COMMENT	SM	NM	29.08.2019

- LEGEND**
- Boundary
  - Fence
  - Building Above
  - Proposed Tree (Refer Plant Schedule & Detail)
  - Tree to be Removed
  - Shrubs & Accents (Refer Plant Schedule & Detail)
  - Groundcovers & Grasses (Refer Plant Schedule)
  - Planting Matrix (Refer Plant Schedule)
  - Synthetic Turf (Refer Detail)
  - Timber Seat
  - Planter Wall
  - Unit Paving
  - Concrete Steppers
  - Timber Decking

Client: **DEVELOPMENT LINK**

Project:  
**Mixed Use Development**  
 351-353 Barrenjoey Road  
 Newport NSW 2106

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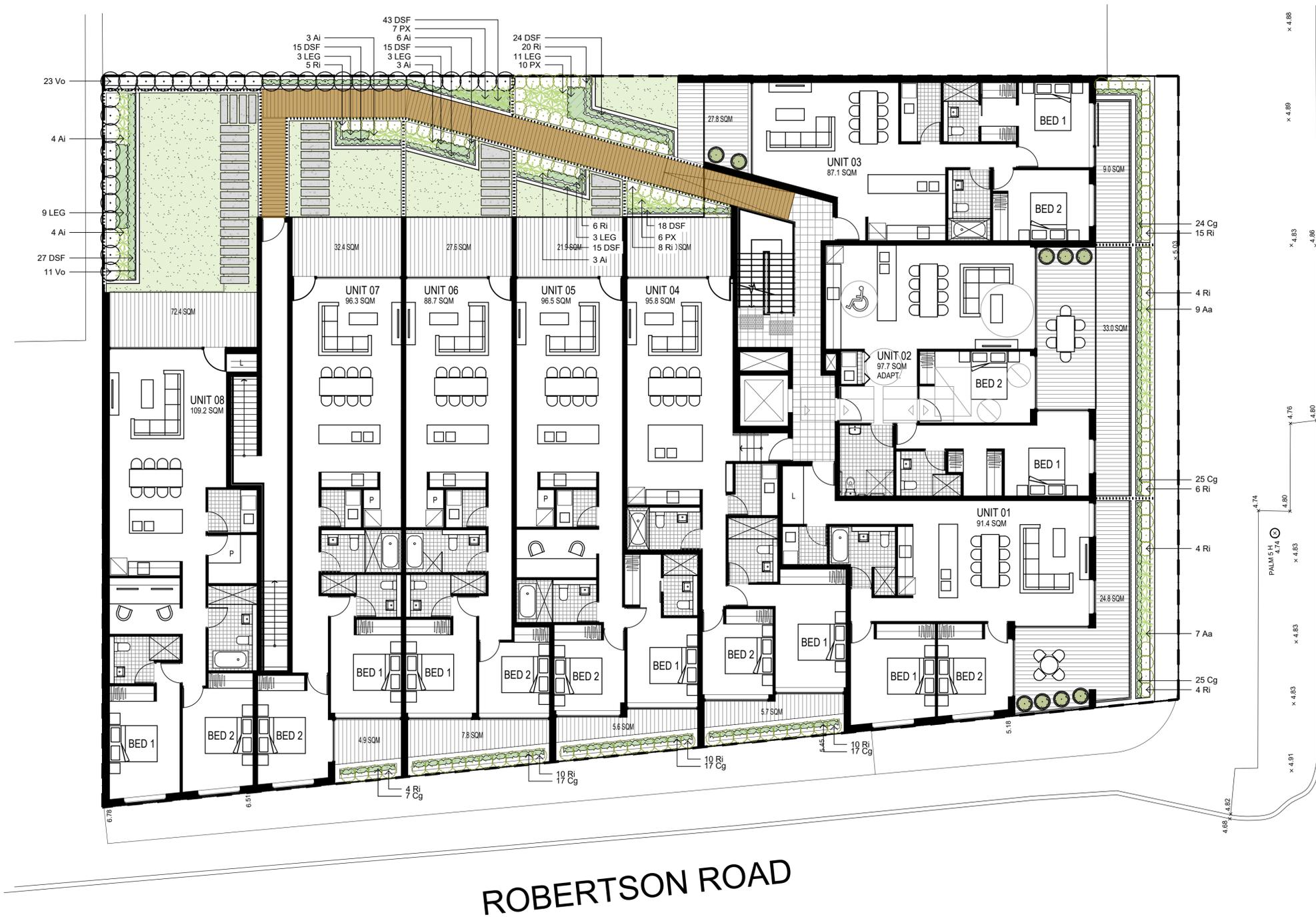
**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Plan**  
**Ground Floor**

Scale: 1:100 @ A1  
 Job Number: SS19-4170  
 Drawing Number: 101  
 Issue: D

**NOT FOR CONSTRUCTION**

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Issue	Revision Description	Drawn	Check	Date
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C	STREET TREES ADDED	JM	NM	24.09.2019
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A	FOR COMMENT	SM	NM	29.08.2019

**LEGEND**

- Boundary
- Fence
- Building Above
- Proposed Tree (Refer Plant Schedule & Detail)
- Tree to be Removed
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Groundcovers & Grasses (Refer Plant Schedule)
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Client: **DEVELOPMENT LINK**

Project:  
**Mixed Use Development**  
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 Newport NSW 2106

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**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Plan**  
 Level 1

Scale: 1:100 @ A1  
 Job Number: SS19-4170  
 Drawing Number: 102  
 Issue: D

**NOT FOR CONSTRUCTION**

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D	ARCHITECTURAL COORDINATION	JM	NM	08.12.2020
C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019

- LEGEND**
- Boundary
  - Fence
  - Building Above
  - Proposed Tree (Refer Plant Schedule & Detail)
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  - Shrubs & Accents (Refer Plant Schedule & Detail)
  - Groundcovers & Grasses (Refer Plant Schedule)
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  - Synthetic Turf (Refer Detail)
  - Timber Seat
  - Planter Wall
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Client:  
**DEVELOPMENT LINK**

Project:  
**Mixed Use Development**  
351-353 Barrenjoey Road  
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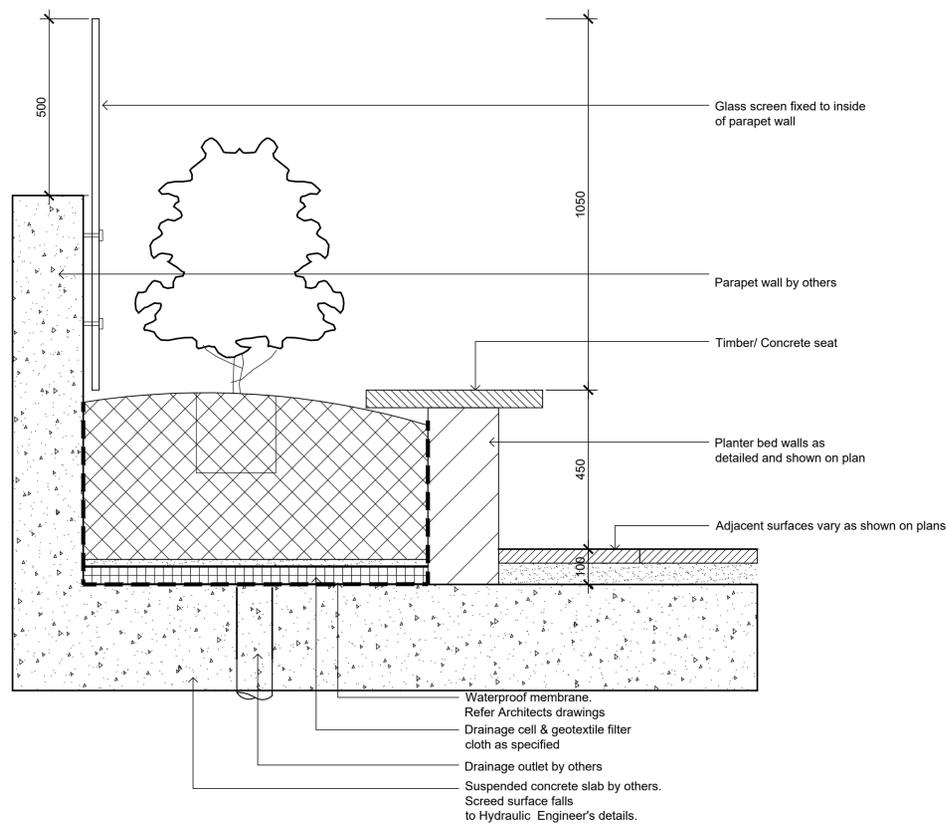
**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Plan**  
Level 2

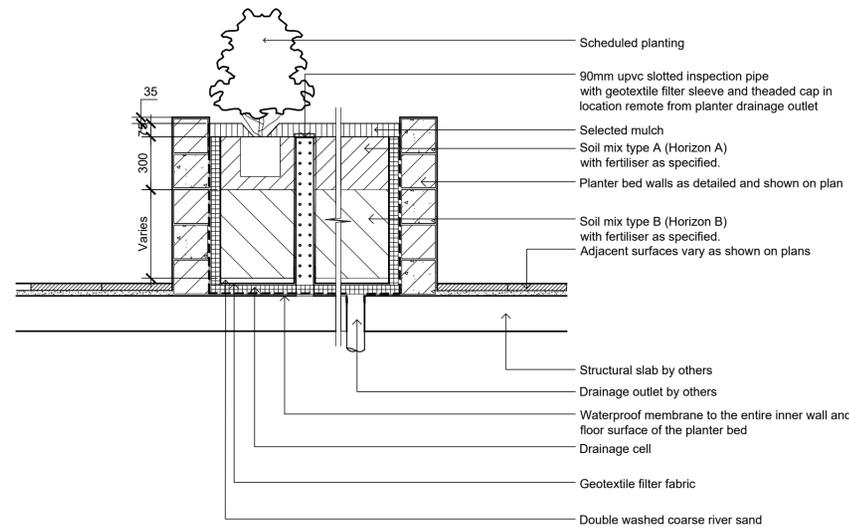
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Job Number: SS19-4170  
Drawing Number: 103  
Issue: D

**NOT FOR CONSTRUCTION**

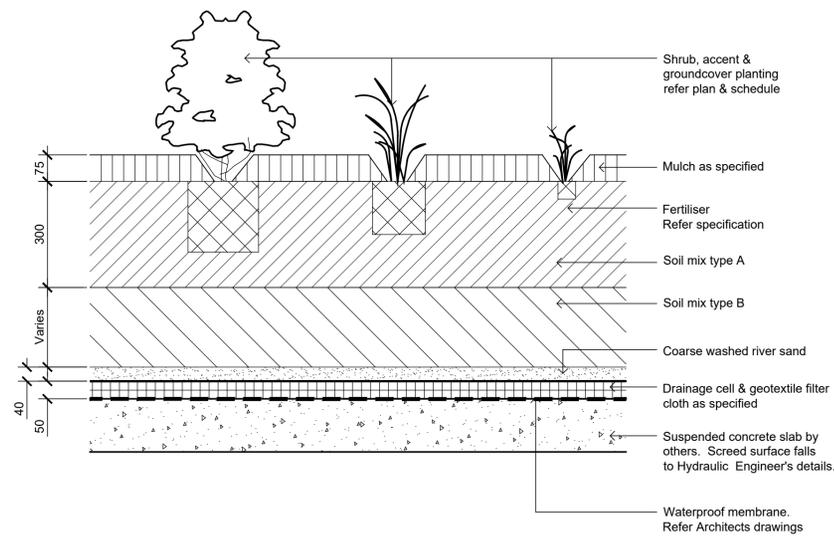
The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.



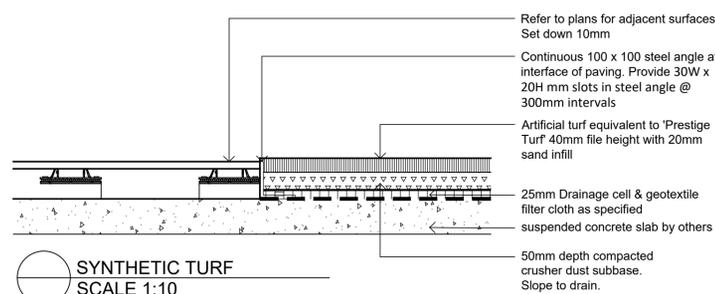
Section - Typical Raised Perimeter Planter  
1:10



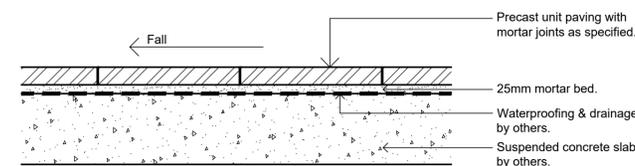
Section - Typical Raised Planter Bed on Structure  
1:20  
Inspection riser pipe



Detail Shrub Accent & Groundcover Planting on Structure  
1:10



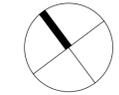
SYNTHETIC TURF  
SCALE 1:10



PRECAST UNIT PAVERS ON SUSPENDED SLAB  
SCALE 1:10

Issue	Revision	Description	Drawn	Check	Date
D		ARCHITECTURAL COORDINATION	JM	NM	08.12.2020
C		STREET TREES ADDED	JM	NM	24.09.2019
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A		FOR COMMENT	SM	NM	29.08.2019

LEGEND



Client:  
**DEVELOPMENT LINK**

Project:  
**Mixed Use Development**  
351-353 Barrenjoey Road  
Newport NSW 2106

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Landscape Architects

**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Details**

Scale: **AS SHOWN**  
Job Number: Drawing Number: Issue:  
**SS19-4170 501 D**

# Proposed Development - Stormwater

## 351 Barrenjoey Road NEWPORT



### STORMWATER DRAINAGE NOTES:

#### GENERAL NOTES:

- D1. All levels are to Australian Height Datum (AHD), unless noted otherwise.
- D2. Dimensions shall not be scaled from drawings.
- D3. The Contractor must verify all dimensions on site prior to commencement of the works.
- D4. These plans shall be read in conjunction with the approved Architectural, Structural, Mechanical, Hydraulic, Electrical, Landscape & other Consultants drawings.
- D5. Where new work abuts existing, the Contractor shall ensure a smooth even profile free from abrupt changes.
- D6. The Contractor shall arrange for all survey setout & as-built to be performed by a Registered Surveyor.
- D7. Invert levels are given at critical locations. The Contractor/Drainer shall determine levels on minor drainage lines and confirm design levels.
- D8. Stormwater drains min. fall 1:100, unless noted otherwise.
- D9. Advise Engineer for inspection of all Stormwater works, pipes & pits, prior to covering. Provide as-built survey upon completion.
- D10. Construction of Drainage to conform with the requirements of the relevant Authority or Council.
- D11. Connections to new & existing drainage shall be neatly trimmed & cement rendered to a smooth finish.
- D12. All work shall be in accordance with AS3500 'National Plumbing & Drainage Code', unless noted otherwise.
- D13. The Contractor shall expose the full drainage route and point of discharge from the site and confirm levels prior to commencing construction.

#### EXISTING SERVICES:

- D14. The Contractor shall excavate for, locate and co-ordinate with all services within & beyond the property line prior to the commencement of the Works.
- D15. Existing services which are to remain shall be adjusted as necessary to suit the new Works.
- D16. Existing services no longer required shall be capped off and removed out of sight to the relevant authorities requirements.
- D17. Care is to be taken when excavating near existing services. Obtain services setout prior to works. Hand excavate as required to avoid damage to services.
- D18. Construct temporary services as required.

#### DRAINAGE PIPES:

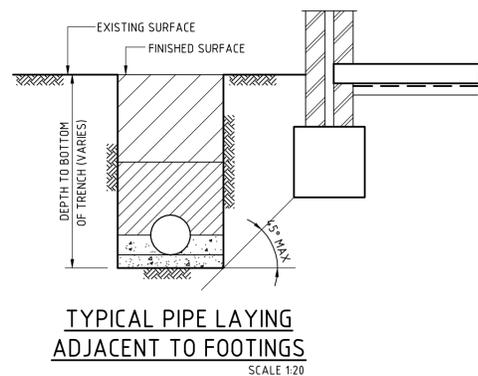
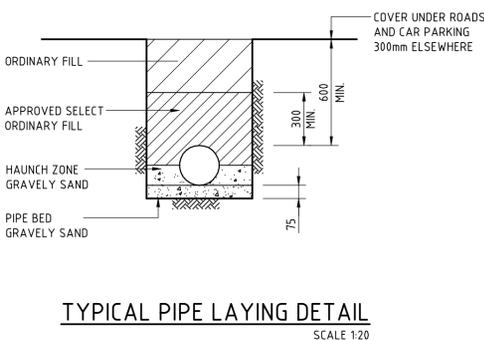
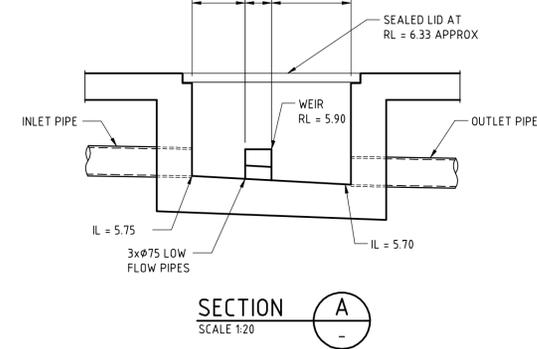
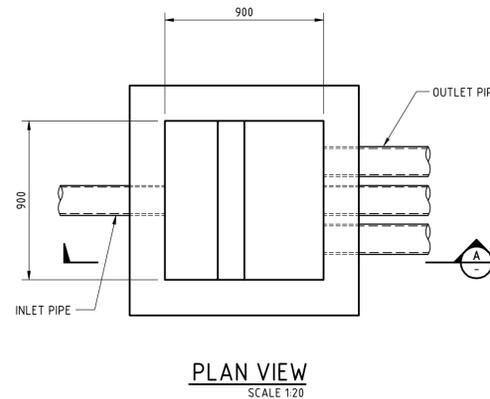
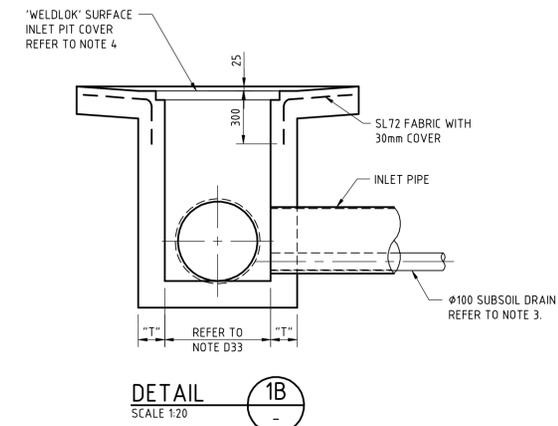
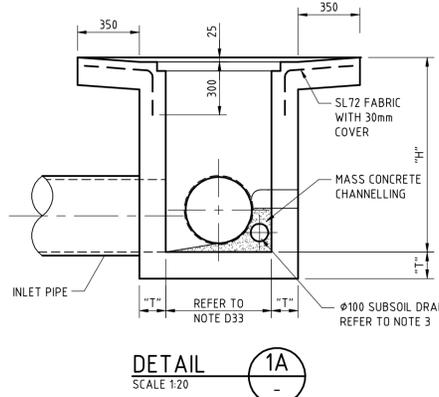
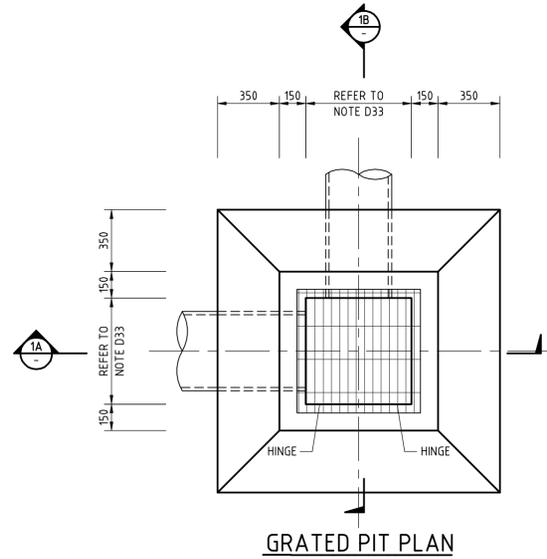
- D19. UPVC type pipes shall be used for pipes not greater than 300mm diameter, unless noted otherwise. UPVC pipes shall have solvent welded water-tight joints.
- D20. Pipe diameter greater than 300mm shall be FRP type pipe Class '3', unless noted otherwise.
- D21. Pipe laying, bedding & backfill to be in accordance with the specification and the pipe manufacturer's requirements.
- D22. Where UPVC drainage pipes pass under slabs, sewer grade pipes shall be used.
- D23. Contractor shall supply & install all proprietary fittings for connections & junctions.
- D24. Additional subsoil drainage may be required where site conditions & groundwater dictate. Refer to Engineer for site inspection.
- D25. Pipes to be 100Ø unless noted otherwise.
- D26. Outlet pipes from pits shall have invert level at least 30mm lower than the invert level of the lowest pipe entering the pit.
- D27. Inspection openings or stormwater pits shall be located where shown on the drawings and at the following locations:
  - a. Each point of connection
  - b. Even spacing not more than 30m apart
  - c. Each end of any inclined jump-up which exceeds 6m in length.
  - d. Each connection to an existing stormwater drain.
  - e. Any change of direction greater than 45°.
- D28. Inspection openings shall be min 150Ø and shall be plugged or capped in accordance with AS3500.
- D29. Planter boxes bases to be lined with 'Atlantis Drainage Cell' or approved equivalent wrapped in geotextile and draining to subsoil drainage pipes connected to the main stormwater system. Co-ordinate with requirements of Landscape Architect.
- D30. Junctions in stormwater drains shall be made by means of a proprietary coupler or for pipes of at least 350Ø opening cut as detailed on the drawings.

#### DRAINAGE PITS:

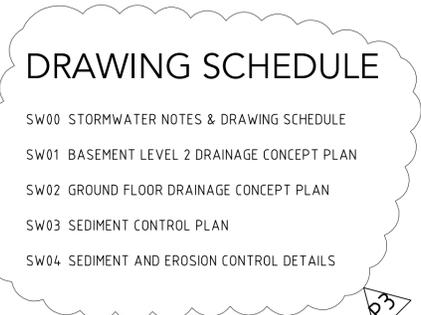
- D31. All pits and arrestors shall be constructed to the relevant authorities requirements. Provide local falls to pits.
- D32. Minimum cover to all reinforcement in concrete to be 40mm.
- D33. Minimum Drainage pit size shall be as follows:
 

Depth to Invert (mm)	Minimum Internal Dimensions (mm)		
	Rectangular Width	Rectangular Length	Circular Diameter
≤ 600	450	450	600
> 600 ≤ 900	600	600	900
> 900 ≤ 1200	600	900	1000
> 1200	900	900	1000
- D34. All pits to have galvanised hinged lockable gratings equivalent to "Grate Drainage Products Ply Lid" heelguard type. Use Class B in general areas and Class D in areas subject to vehicles.
- D35. Drainage pit size may need to be increased over minimum to suit pipe size. Pit internal dimensions shall be at least 300mm greater than external diameter of corresponding pipe.
- D36. Pits deeper than 1000mm are to be fitted with step irons at 300mm centres. Contact Engineer for typical detail.
- D37. All exposed pit edges shall be rounded with 20mm radius or 20 x 20 chamfer.
- D38. Walls of cast insitu pits shall be 200mm (min.) thick concrete, grade N32, unless noted otherwise.
- D39. Pits shall be reinforced with SL81 fabric, central in walls & base slab U.N.O. Mesh to be lapped 400mm. Lap mesh at corners or use N12-200 "L" bars lapping 400 each way.
- D40. Approved precast pits may be used.
- D41. Bases of drainage pits shall be grouted to prevent ponding of water, unless noted otherwise.

LEGEND	
	Denotes stormwater pipe.
	Denotes subsoil drain.
	Denotes pipe diameter in mm.
	Denotes existing pipe
1:100	Pipe grade as a percentage (min)
ILL.139.50	Denotes invert level.
GL.139.50	Denotes ground level.
R.L.139.50	Denotes reduced level.
	Denotes stormwater pit.
	Denotes grated stormwater pit.
	Denotes kerb entry & roadway pit system (900 x 600)
	Denotes 100 wide x 100 min. depth grated drain type "ACO KS100" with Class A antislip stainless steel heelpguard grates U.N.O. Grated drains in areas subject to vehicle loads to be K100 and have Class D "ACO" perforated steel grating.
	Denotes downpipes.
	Denotes downpipe with spreader
	Represents 100mm round outlet, model TIA100/90F by speciality plumbing supplier. Cast iron RWO with galvanised heavy duty flat grate.
	Represents smart drain with #65 outlet pipe cast in slab and connected to surface drainage
	Planter drain. "Speciality Plumbing Supplies" 100mm RWO (TIA 100/90PB) with planter box insert



### FLOW EQUALISATION PIT



#### SAG INLET PIT NOTES:

1. COMPRESSIVE STRENGTH OF CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS.
2. TOP OF BENCHING SHALL BE 1/2 OF OUTLET PIPE DIAMETER.
3. Ø100 SUBSOIL DRAINAGE PIPE 3m LONG WRAPPED IN FABRIC SOCK TO BE PROVIDED AT INVERT LEVEL EITHER SIDE OF INLET PIPES.
4. PIT GRATE TO BE 'WELDLOK' OR APPROVED EQUIVALENT.
5. PROVIDE STEP IRONS WHERE PIT IS DEEPER THAN 1200



REV.No	DATE	REVISION	BY
P3	11.12.20	DRAWING REMOVED	DAW
P2	21.04.20	PIT DETAIL ADDED	RAL
P1	17.09.19	ISSUED FOR DEVELOPMENT APPLICATION	RAL

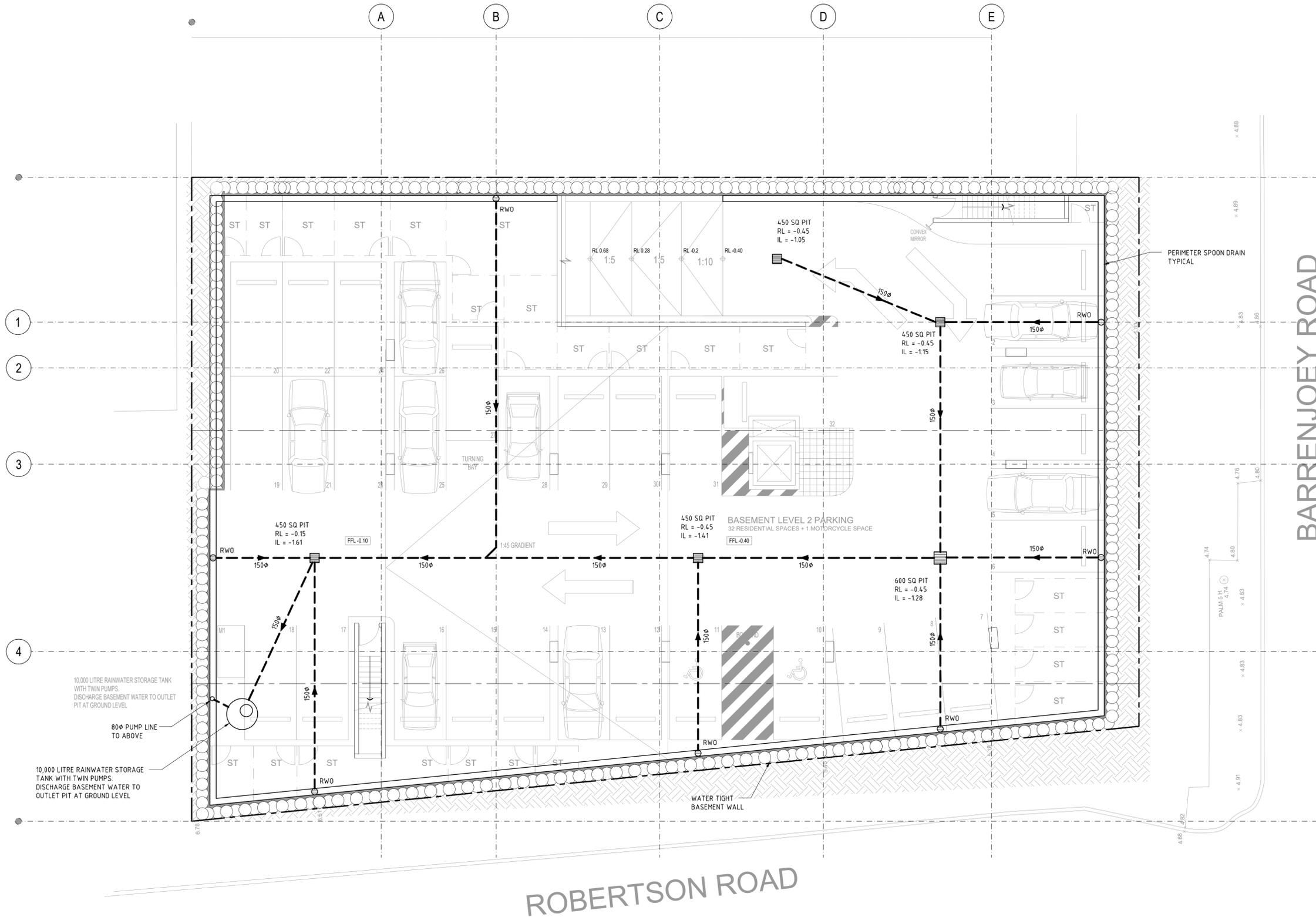
This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

**FOR DEVELOPMENT APPLICATION**

ARCHITECT: CRAWFORD ARCHITECTS  
CLIENT: DEVELOPMENT LINK

PROJECT: Proposed Development  
351 Barrenjoey Road NEWPORT  
TITLE: STORMWATER NOTES & DRAWING SCHEDULE

219120  
DRAWING: SW00  
REVISION: P3  
DATE: SEP2020



ROBERTSON ROAD

BARRENJOEY ROAD

**BASEMENT LEVEL 2 DRAINAGE CONCEPT PLAN**

ALL PIPES TO BE Ø100 UPVC @ 1% FALL, TYPICAL U.N.O. SCALE 1:100

- DENOTES STORMWATER PIPE
- DENOTES SUBSOIL DRAIN
- DENOTES PIPE DIAMETER IN MM

	P5	11.12.20	ARCH LAYOUT UPDATED	DAW
	P4	20.04.20	STORMWATER LAYOUT REVISED	RAL
	P3	02.03.20	ARCH LAYOUT UPDATED	RAL
	P2	30.09.19	ARCH LAYOUT UPDATED	RAL
	REV.No	DATE	REVISION	BY

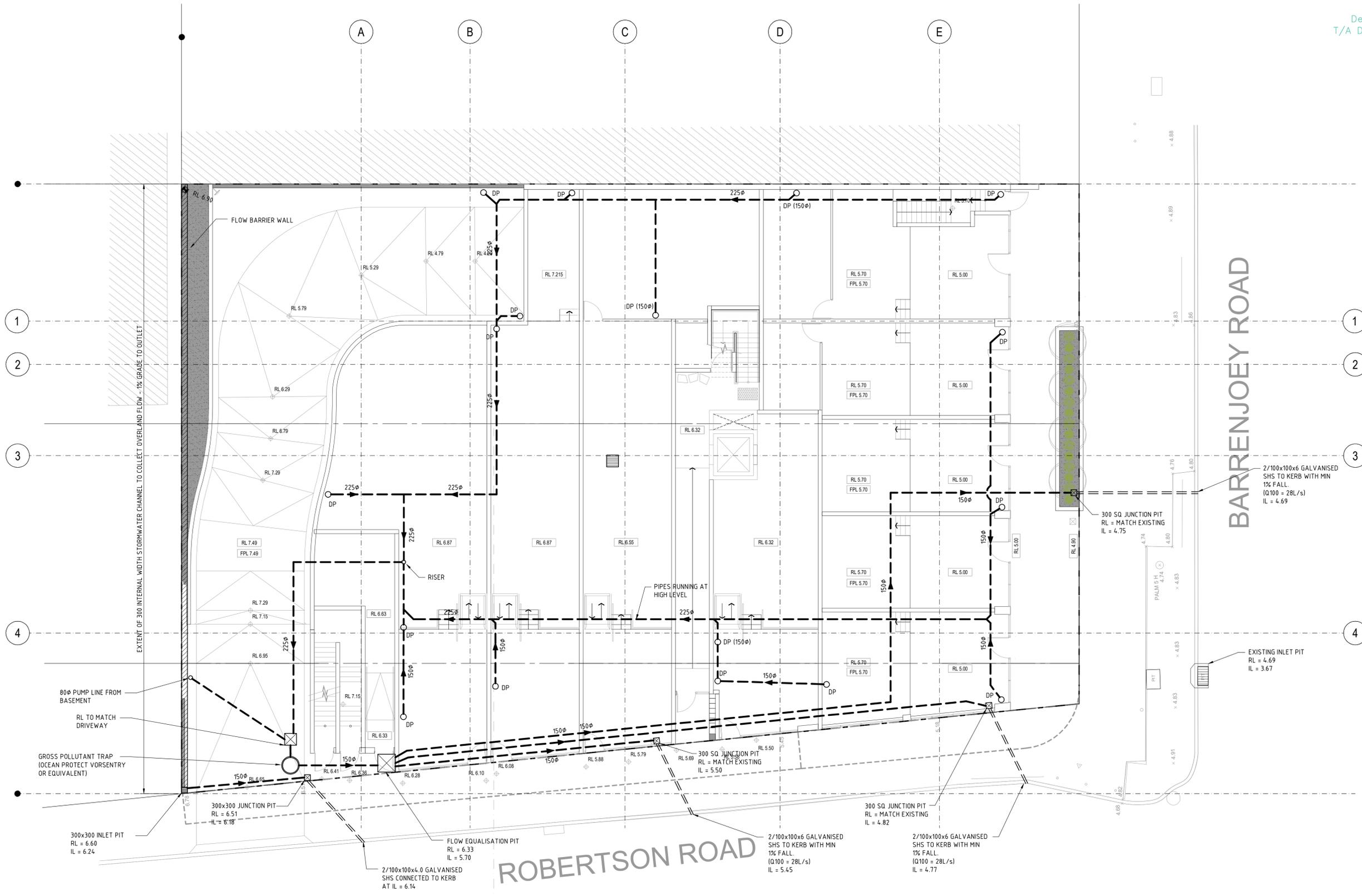
This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

**FOR DEVELOPMENT APPLICATION**

ARCHITECT:	CRAWFORD ARCHITECTS
CLIENT:	DEVELOPMENT LINK

PROJECT:	Proposed Development 351 Barrenjoey Road NEWPORT
TITLE:	BASEMENT LEVEL 2 DRAINAGE CONCEPT PLAN

219120	DESIGNED: DW
	DRAWN: RAL
	CHECKED: DW
SW01 P5	DATE: SEP2020



**GROUND FLOOR DRAINAGE CONCEPT PLAN**

ALL PIPES TO BE Ø150 UPVC @ 1% FALL, TYPICAL U.N.O. SCALE 1:100

- DENOTES STORMWATER PIPE
- DENOTES SUBSOIL DRAIN
- 100Ø DENOTES PIPE DIAMETER IN MM

**NOTE:**  
ROOF DRAINAGE TO BE DESIGNED AS PART OF FUTURE CONSTRUCTION CERTIFICATE STAGE

REV.No	DATE	REVISION	BY
P6	11.12.20	ARCH LAYOUT UPDATED	DAW
P5	20.04.20	STORMWATER LAYOUT REVISED	RAL
P4	06.03.20	LEVEL AMENDED	RAL
P3	02.03.20	ARCH LAYOUT UPDATED	RAL

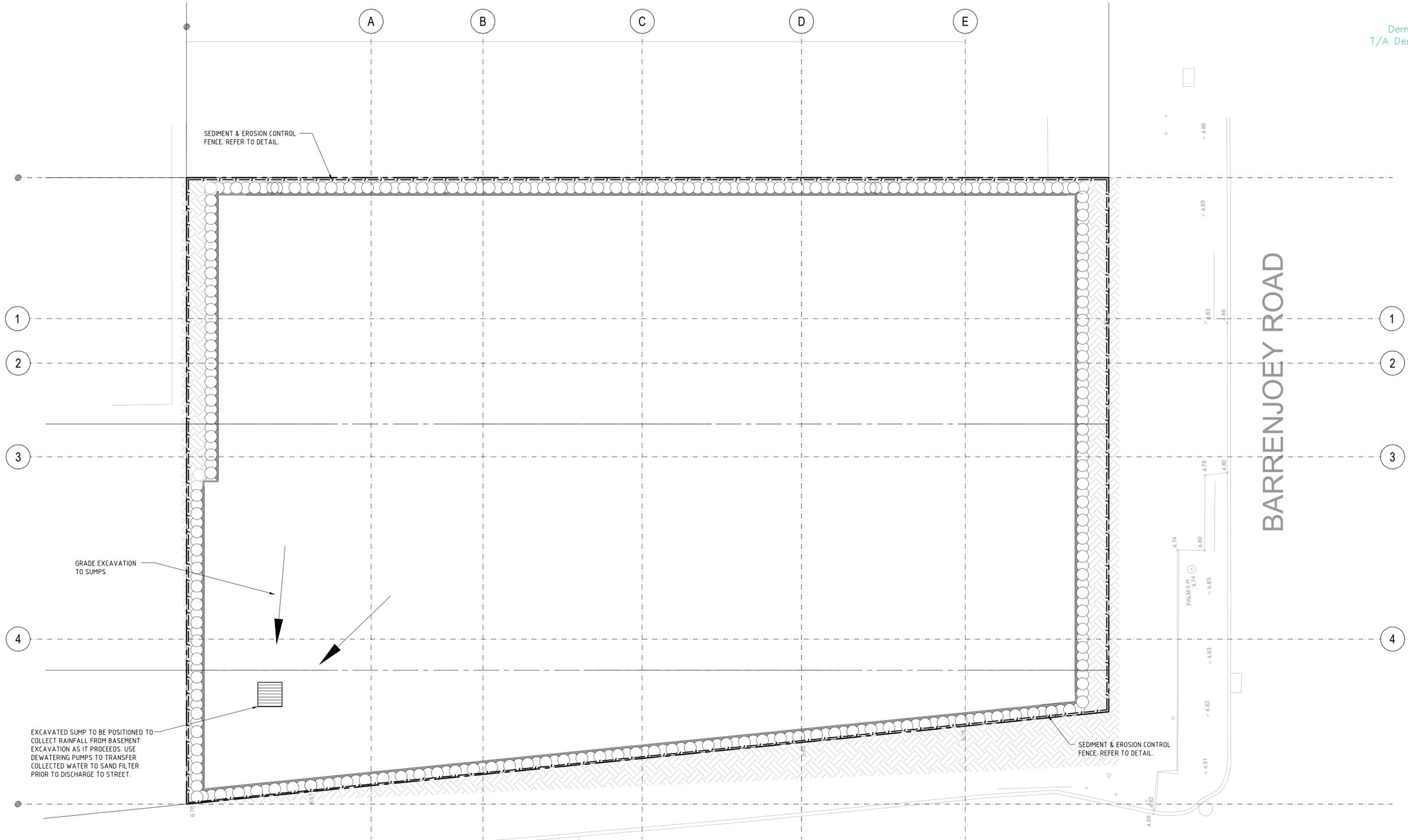
This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

**FOR DEVELOPMENT APPLICATION**

ARCHITECT:	CRAWFORD ARCHITECTS
CLIENT:	DEVELOPMENT LINK

PROJECT:	Proposed Development 351 Barrenjoey Road NEWPORT	DESIGNED:	DW
TITLE:	GROUND FLOOR DRAINAGE CONCEPT PLAN	DRAWN:	RAL
219120		CHECKED:	DW
SW02	P6	DATE:	SEP2020





ROBERTSON ROAD

BARRENJOEY ROAD

**SEDIMENT CONTROL PLAN** SCALE 1:100

- INDICATES SEDIMENT FENCE
- ▣▣▣▣ INDICATES HAY BALE WALL
- ▨▨▨▨ INDICATES TYPICAL DISTURBED CONSTRUCTION ZONE

**EROSION & SEDIMENT CONTROL NOTES**

- ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
- DUST SHALL BE CONTROLLED BY REGULAR MOISTENING OF EXCAVATED SERVICES AND STOCKPILES.

	P5	11.12.20	ARCH LAYOUT UPDATED (DRAWING WAS SW04)	DAW
	P4	20.04.20	STORMWATER LAYOUT REVISED	RAL
	P3	02.03.20	ARCH LAYOUT UPDATED	RAL
	P2	30.09.19	ARCH LAYOUT UPDATED	RAL
	REV.No	DATE	REVISION	BY

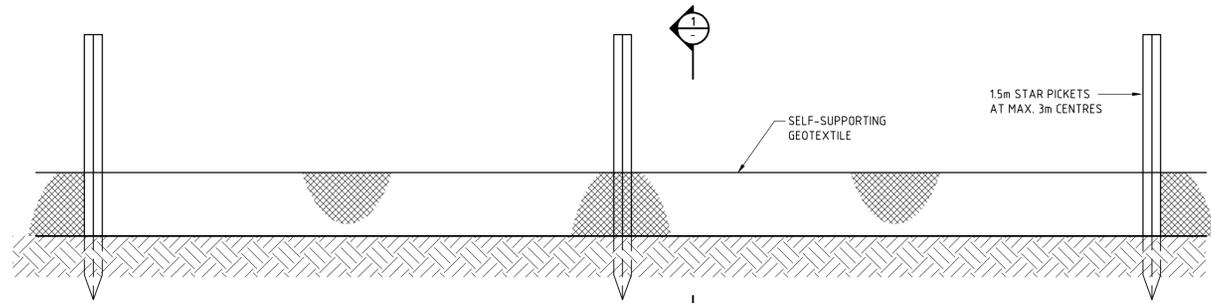
This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

**FOR DEVELOPMENT APPLICATION**

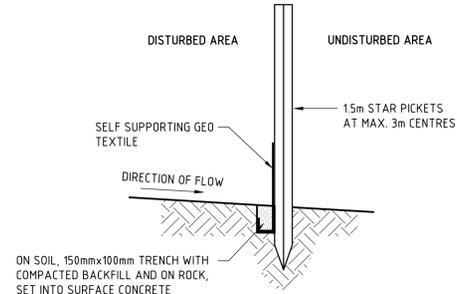
ARCHITECT:	CRAWFORD ARCHITECTS
CLIENT:	DEVELOPMENT LINK

PROJECT:	Proposed Development 351 Barrenjoey Road NEWPORT
TITLE:	SEDIMENT CONTROL PLAN

219120	DESIGNED: DW
	DRAWN: RAL
	CHECKED: DW
SW03 P5	DATE: SEP2020



**STANDARD SEDIMENT FENCE**  
SCALE 1:20



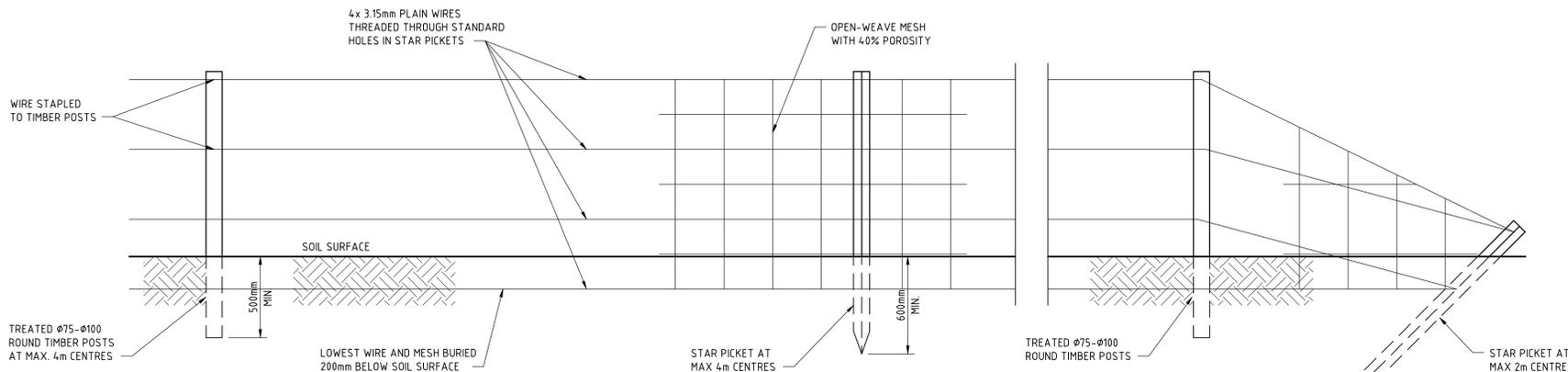
**SECTION 1**  
SCALE 1:20

**SEDIMENT FENCE CONSTRUCTION NOTES**

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5m LONG STAR PICKETS INTO GROUND, 3m APART.
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.

**EROSION & SEDIMENT CONTROL NOTES**

1. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
2. THE TRUCK SHAKER SHALL BE REGULARLY CLEANED BY LIFTING, DISLODGING & REMOVING SPOIL.
3. THE TEMPORARY SEDIMENT TRAP PIT SHALL BE CLEANED REGULARLY. IN THE EVENT THE GEOTEXTILE FILTER BECOMES CLOGGED DURING DEWATERING OF THE EXCAVATION, PUMPING SHALL BE STOPPED AND THE FILTER CLEANED OR RENEWED.
4. DUST SHALL BE CONTROLLED BY REGULAR MOISTENING OF EXCAVATED SERVICES AND STOCKPILES.



**WIND EROSION FENCE**  
SCALE 1:20

**WIND EROSION FENCE CONSTRUCTION NOTES**

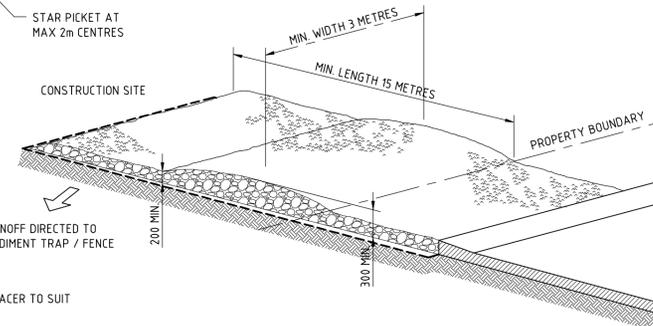
1. INSTALL FENCE TO HEIGHT AND LOCATION AS SPECIFIED ON SEDIMENT & EROSION CONTROL PLAN.
2. CUT A CHANNEL 200mm DEEP ALONG FENCE LINE.
3. PLACE A WIRE AND LIGHT RESISTANT, OPEN-WEAVE POLYMER MESH WITH 40% POROSITY ON PREVAILING WIND SIDE OF FENCE.
4. FASTEN MESH TO ALL WIRES USING RING FASTENERS AT 100mm-150mm INTERVALS ON TOP AND 300mm INTERVALS ON OTHER WIRES.
5. USE ONE Ø75-Ø100mm TREATED ROUND POST EVERY 20 METRES.
6. STAR PICKETS TO BE FITTED WITH SAFETY CAPS.

**SOIL & WATER MANAGEMENT PLAN NOTES**

- A. CONSTRUCTION SEQUENCE**
1. CONSTRUCT STABILISED SITE ACCESSSES.
  2. INSTALL ALL BARRIER FENCING TO EXCLUDE ACCESS TO THE NOMINATED RESTRICTED AREAS.
  3. CONSTRUCT EARTH BANKS & CUT-OFF DRAINS TO DIRECT OVERLAND FLOW BEYOND THE SITE.
  4. CONSTRUCT EARTH BANKS & CUT-OFF DRAINS TO DIRECT OVERLAND FLOW TO THE DESIGNATED OUTLET PIT.
  5. STRIP AND STOCKPILE TOPSOIL FROM THOSE LANDS TO BE EXPOSED TO CONSTRUCTION ACTIVITIES.
  6. UNDERTAKE WORKS ACCORDING TO THE ENGINEERING PLANS.

**B. SITE INSPECTION MAINTENANCE CONDITIONS**

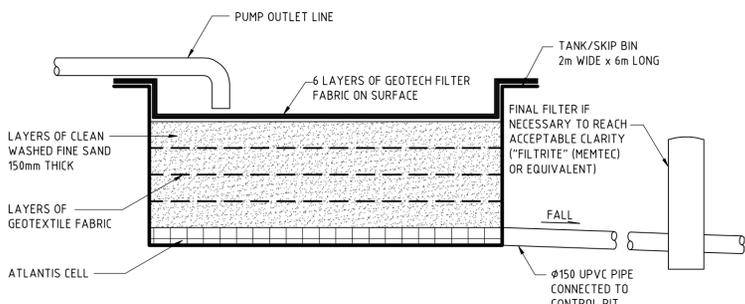
1. WASTE BINS WILL BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
2. THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND WILL:
  - a) ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS;
  - b) REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN FIVE METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS;
  - c) REMOVE TRAPPED SEDIMENT WHENEVER LESS THAN DESIGN CAPACITY REMAINS WITHIN THE STRUCTURE;
  - d) ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND TO INITIATE UPGRADING OR REPAIR AS APPROPRIATE;
  - e) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED; AND
  - f) REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS THE LAST ACTIVITY IN THE REHABILITATION PROGRAM.
3. AS A PART OF THE STATUTORY "DILIGENCE AND CARE" RESPONSIBILITIES, THE SITE SUPERINTENDENT WILL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:
  - a) THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS;
  - b) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS;
  - c) THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE;
  - d) THE NEED FOR DUST PREVENTION STRATEGIES; AND
  - e) ANY REMEDIAL WORKS TO BE UNDERTAKEN.
 THE BOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON ON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF WORKS.



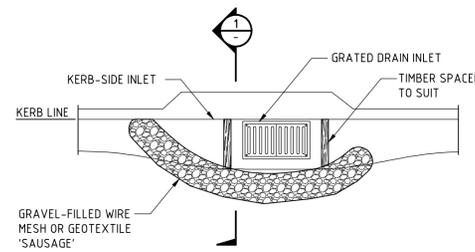
**STABILISED SITE ACCESS**

**CONSTRUCTION NOTES - SITE STABILISATION ACCESS**

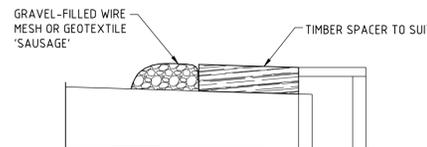
1. STRIP TOPSOIL & LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE OR 30mm AGGREGATE. MINIMUM LENGTH 15m OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3m.
4. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR SEDIMENT TRAP.



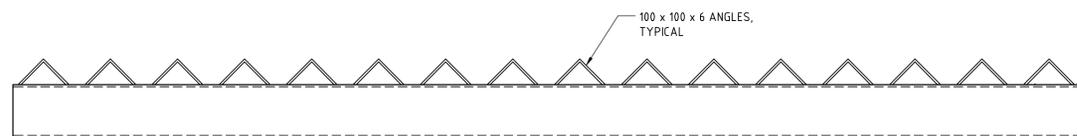
**SAND FILTER DETAIL**  
SCALE 1:20



**SEDIMENT TRAP SOCK ARRANGEMENT**  
SCALE 1:50



**SECTION 1**  
SCALE 1:20



**TYPICAL TRUCK SHAKER**  
SCALE 1:10

NOTE: EQUIVALENT PROPRIETARY SYSTEMS MAY BE USED AS AN ALTERNATIVE

REV.No	DATE	REVISION	BY
P2	11.12.20	ARCH LAYOUT UPDATED (DRAWING WAS SW05)	DAW
P1	17.09.19	ISSUED FOR DEVELOPMENT APPLICATION	RAL

This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

**FOR DEVELOPMENT APPLICATION**

ARCHITECT:	CRAWFORD ARCHITECTS
CLIENT:	DEVELOPMENT LINK

PROJECT:	Proposed Development 351 Barrenjoey Road NEWPORT	219120	DESIGNED: DW	DRAWN: RAL
TITLE:	SEDIMENT & EROSION CONTROL DETAILS	SW04 P2	CHECKED: DW	DATE: SEP2020