

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

# DEVELOPMENT APPLICATION

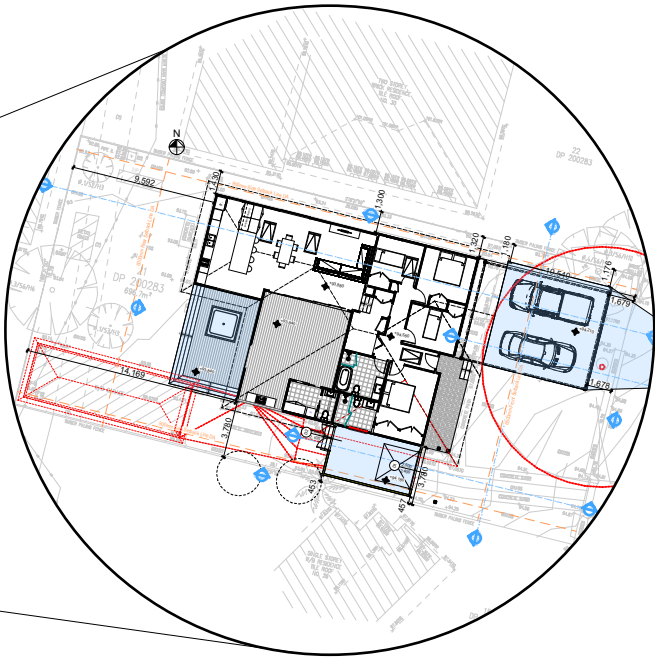
## Alterations & Additions To Existing Residence

### For Aleks Cerovic

28 Edinburgh Road, Forestville 2089

Lot 21 D.P. 200283

Project Number: RP0919CER



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 19-12-2024
DA1001	A4 NOTIFICATION PLAN	1	- 19-12-2024
DA1002	SITE SURVEY	1	- 19-12-2024
DA1003	SITE SURVEY 2	1	- 19-12-2024
DA1004	SITE PLAN	1	- 19-12-2024
DA1005	Existing Ground Floor Plan	1	- 19-12-2024
DA1006	Existing First Floor Plan	1	- 19-12-2024
DA1007	Demolition Ground Floor Plan	1	- 19-12-2024
DA1008	Demolition First Floor Plan	1	- 19-12-2024
DA1009	Landscape Open Space Plan Existing	1	- 19-12-2024
DA1010	Landscape Open Space Plan Proposed	1	- 19-12-2024
DA1011	Excavation & Fill Plan	1	- 19-12-2024
DA1012	Landscape Plan	1	- 19-12-2024
DA1013	Sediment & Erosion Plan	1	- 19-12-2024
DA1014	Waste Management Plan	1	- 19-12-2024
DA1015	Stormwater Plan	1	- 19-12-2024
DA2001	GROUND FLOOR	1	- 19-12-2024
DA2002	ROOF	1	- 19-12-2024
DA3000	SECTION 1	1	- 19-12-2024
DA3001	SECTION DRIVE	1	- 19-12-2024
DA4000	ELEVATIONS 1	1	- 19-12-2024
DA4001	ELEVATIONS 2	1	- 19-12-2024
DA5000	PERSPECTIVE	1	- 19-12-2024
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 19-12-2024
DA5002	SHADOW PLAN 21st June 9am	1	- 19-12-2024
DA5003	SHADOW PLAN 21st June 12pm	1	- 19-12-2024
DA5004	SHADOW PLAN 21st June 3pm	1	- 19-12-2024
DA5005	WALL ELEVATION SHADOWS	1	- 19-12-2024

**BASIX** Certificate  
Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Alterations and Additions

Certificate number: A1772665

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 12 November 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Cerovic
Street address	28 EDINBURGH Road FORESTVILLE 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP200283
Lot number	21
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	





BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 17/12/2024.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS  
SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

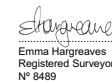
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD),  
USING SSM 37599 WITH RL 88.84 (AHD).

















RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO  $\pm 0.05m$ .

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.


TREE DIMENSIONS ARE APPROXIMATE ONLY.

NOTATIONS ON THE TITLE TO THE LAND.  
(1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
(2) J410095 - EASEMENT FOR DRAINAGE AFFECTING THE PART  
OF THE LAND ABOVE DESCRIBED SHOWN AS SITE OF  
PROPOSED DRAINAGE EASEMENT 1.83 WIDE IN THE TITLE  
DIAGRAM



LEGEND											
BM	BENCH MARK		SIP	SEWER INSPECTION PIT		SP	SIGN POST		SMH	SEWER MANHOLE	
TEL	TELESTRA PIT		FL	FIRE HYDRANT		G	GAS VALVE		SV	STOP VALVE	
EXO	EXTRACTION BOX		TL	TRAFFIC LIGHT		W	WATER VALVE		HYD	WATER HYDRANT	
LO	LIGHT LOSS		TSB	TRAFFIC SIGNAL BOX		V	SEWER VENT		GM	GAS METER	
PP	POWER POLE		TAP	WATER TAP		MH	MANHOLE				
	SURVEY MARK										
<hr/>											
ELECTRICITY	UE	SEWER MAIN	US	UNKNOWN SERVICE	UF	OPTICAL FIBRE	UDF				
STORMWATER	US	STORMWATER	US	UNKNOWN SERVICE	US	UNKNOWN SERVICE	US				
GAS SERVICE	UG	SEWER COMMUNICATIONS	UG	UNKNOWN SERVICE	UG	UNKNOWN SERVICE	UG				



JOB No:	240794	DRAWING NUMBER		LGA
ADDRESS:	28 EDINBURGH ROAD, FORESTVILLE	240794-1		NORTHERN BEACHES
TITLE:	PLAN SHOWING DETAIL & LEVELS OVER LOT 21 IN DP200283	DATUM AHD	SOURCE SSM37599	CONTOUR INTERVAL 0.2m MINOR / 1m MAJOR
		SCALE 1:100		REV.
		SHEET 1/1		00
				A1

SURVEY PLAN  
1:250

SURVEY PLAN SCALED TO  
FIT TITLEBLOCK

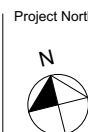
**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



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**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status

Client Aleks Cerovic  
Site: 28 Edinburgh Road, Forestville 2089

Sheet Size: A3

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

**DRAWING TITLE :**

## SITE AND LOCATION

### SITE SURVEY 2

**PROJECT NAME :**

## Alterations & Additions

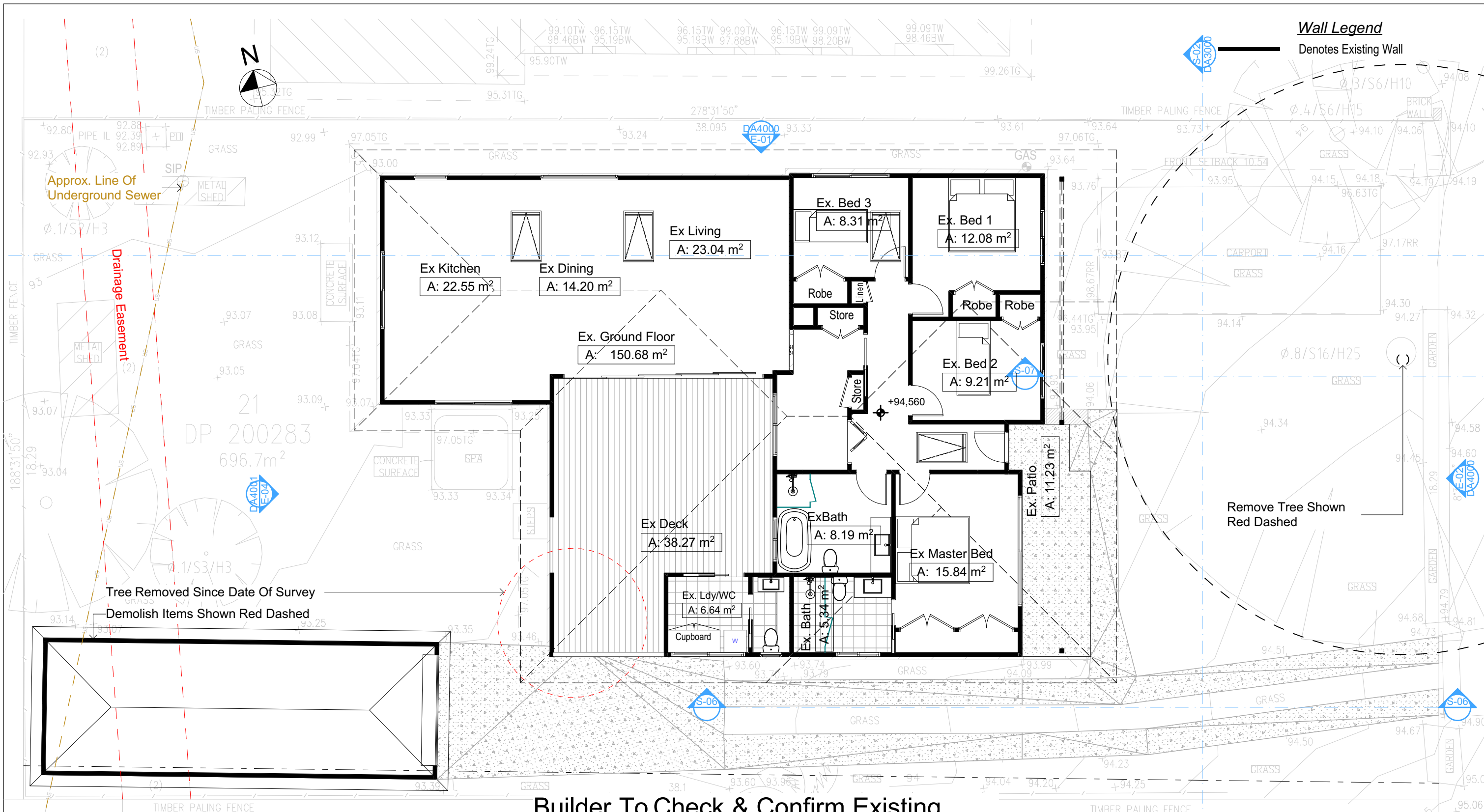
REVISION NO.

DRAWING NO.

DA1003







## Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

### Construction

Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

### Basix

Basix Certificate Number A1772665  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m².  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes°
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



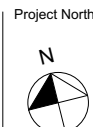
Rapid Plans  
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NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:

Sheet Size: A3

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

DRAWING TITLE :

SITE AND LOCATION  
**Existing Ground Floor Plan**

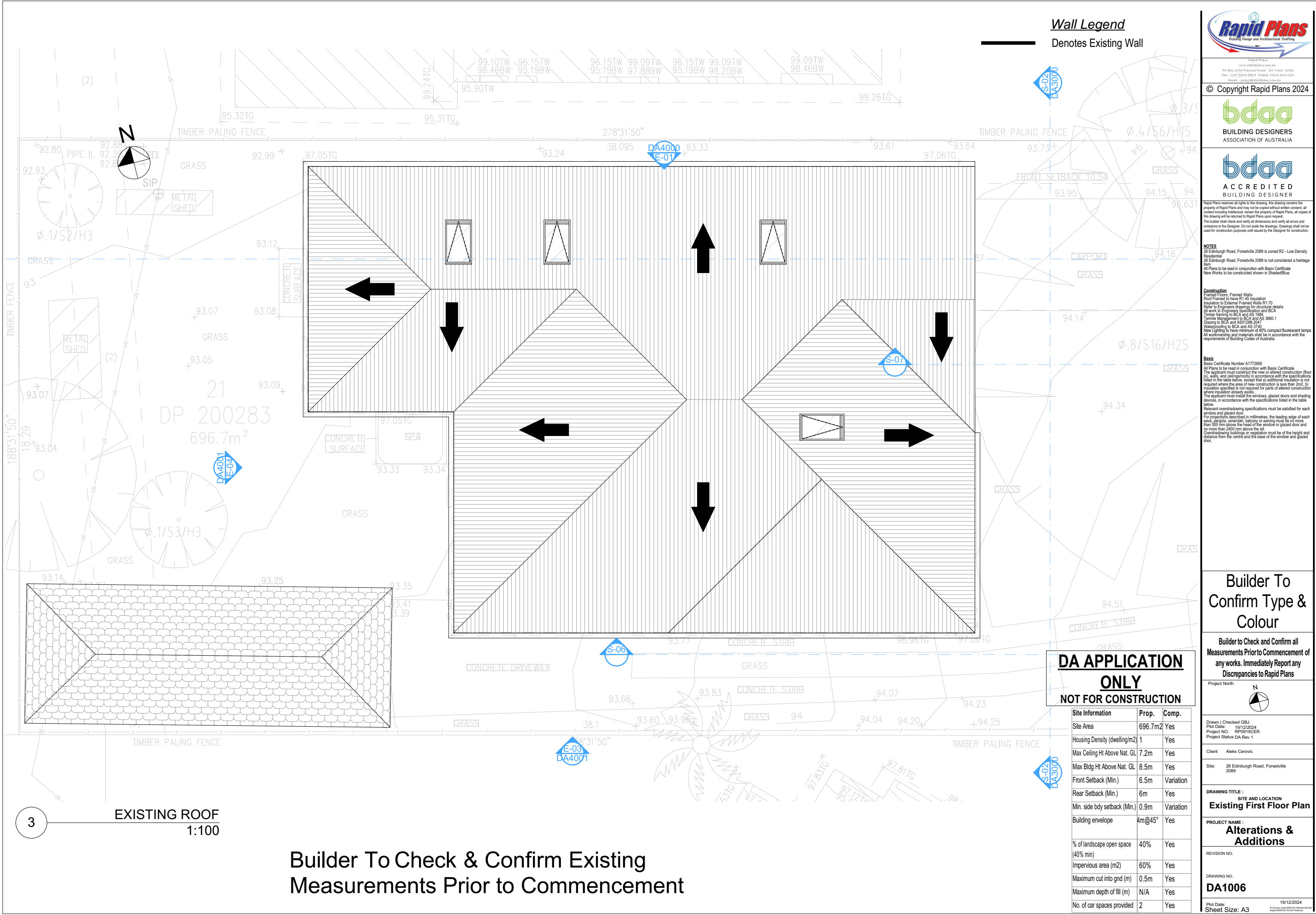
PROJECT NAME :

**Alterations & Additions**

REVISION NO.


DRAWING NO.

**DA1005**



Wall Legend

Denotes Existing Wall



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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Fencing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1289-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number A1772665  
All Plans to be read in conjunction with Basic Certificate  
The applicant must conduct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
This applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Builder To Confirm Type & Colour**

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 19/12/2024  
Project NO: RP0915PCR  
Project Status DA Rev 1

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:  
SITE AND LOCATION  
**Existing First Floor Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.

DRAWING NO.  
**DA1006**

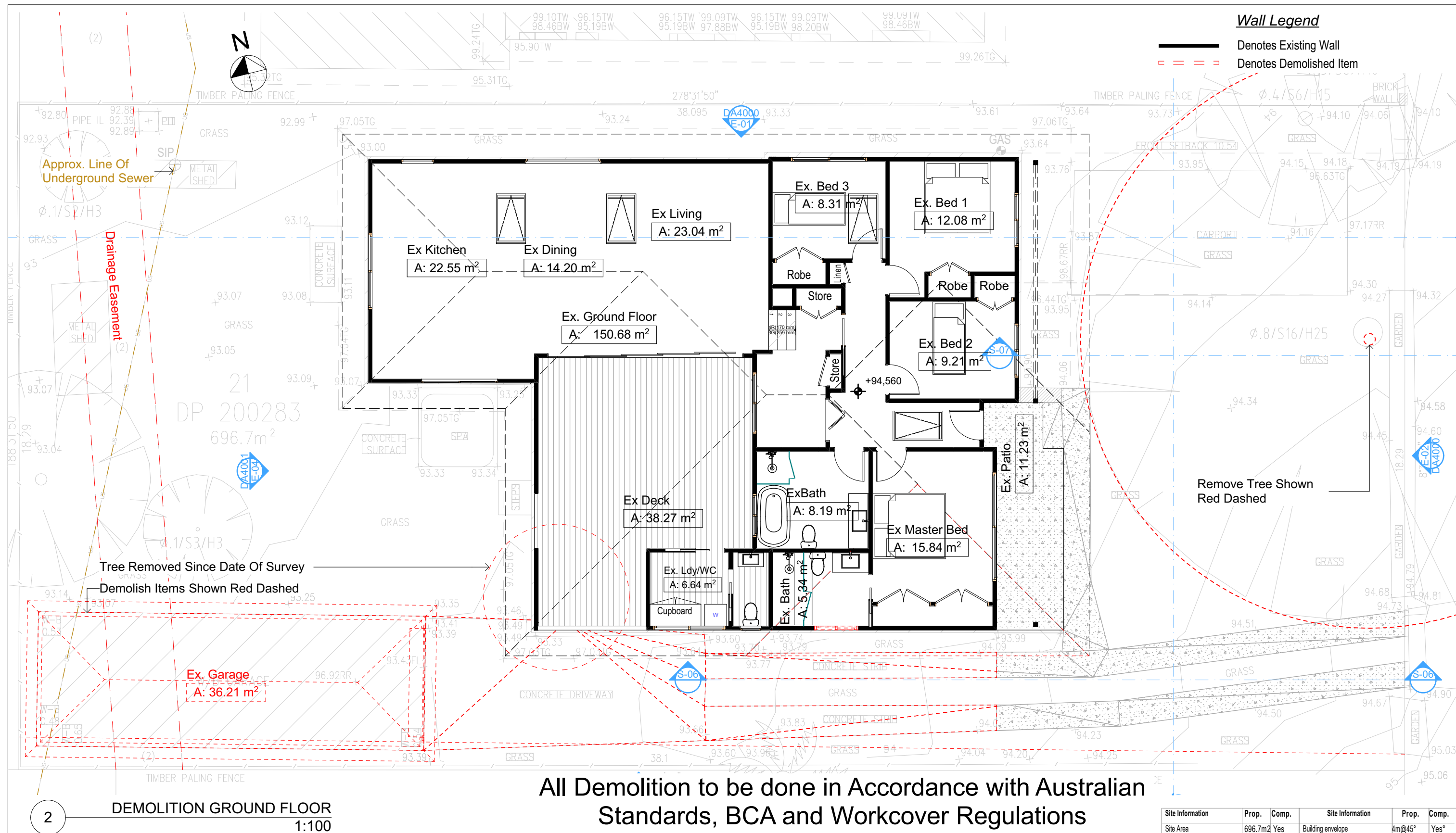
Plot Date: 19/12/2024  
Sheet Size: A3

Site Information	Prop.	Comp.
Site Area	696.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m <sup>2</sup> )	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

EXISTING ROOF  
1:100

Builder To Check & Confirm Existing  
Measurements Prior to Commencement





All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

**Certifying**  
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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

### Construction

**Construction**  
 Framed Floors, Framed Walls  
 Roof Framed to have R-14.5 Insulation  
 Insulation to External Framed Walls R.170  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS1288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamps

### Basix

Basix Certificate Number A1772665

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>.

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



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BUILDING DESIGNERS



A C C R E D I T E D

**Builder to Check and Confirm  
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Immediately Report any  
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Project North

Checked  
Plot Date:  
Project NO.  
Project Status

Client

Sheet Size: A3

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

DRAWING TITLE :

## SITE AND LOCATION

## Demolition Ground Floor Plan

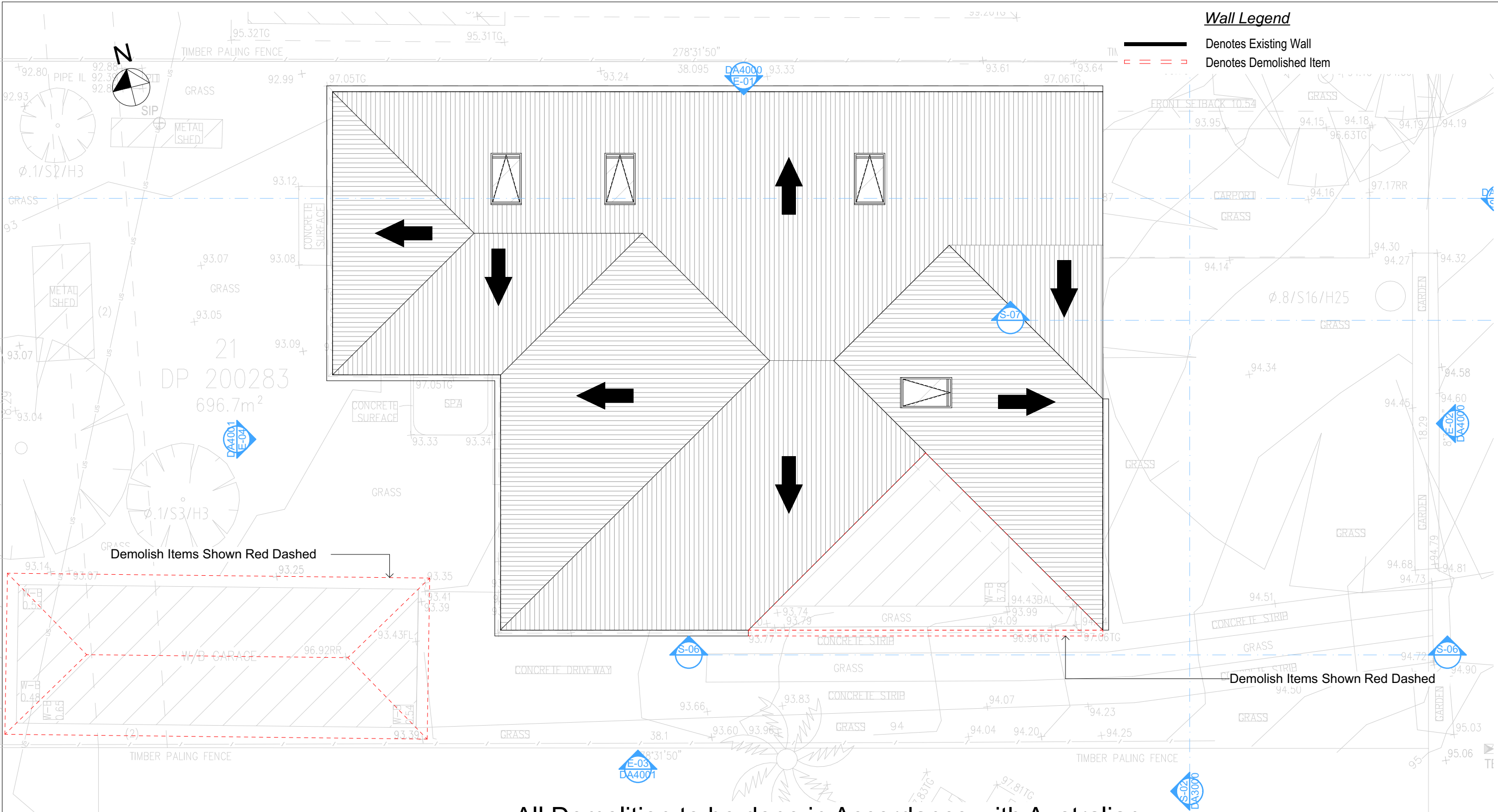
PROJECT NAME :

## Alterations & Additions

REVISION NO.

DRAWING NO.

DA1007



# All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

3

DEMOLITION FIRST FLOOR  
1:100

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**NOTES**

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All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**

Framed Floors, Framed Walls

Roof Framed to have R1.45 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A1772665

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m <sup>2</sup>	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 19/12/2024  
Project NO: RP0919CER  
Project Status: DA Rev 1

Client  
Site: Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :  
SITE AND LOCATION  
**Demolition First Floor Plan**

PROJECT NAME :  
**Alterations & Additions**

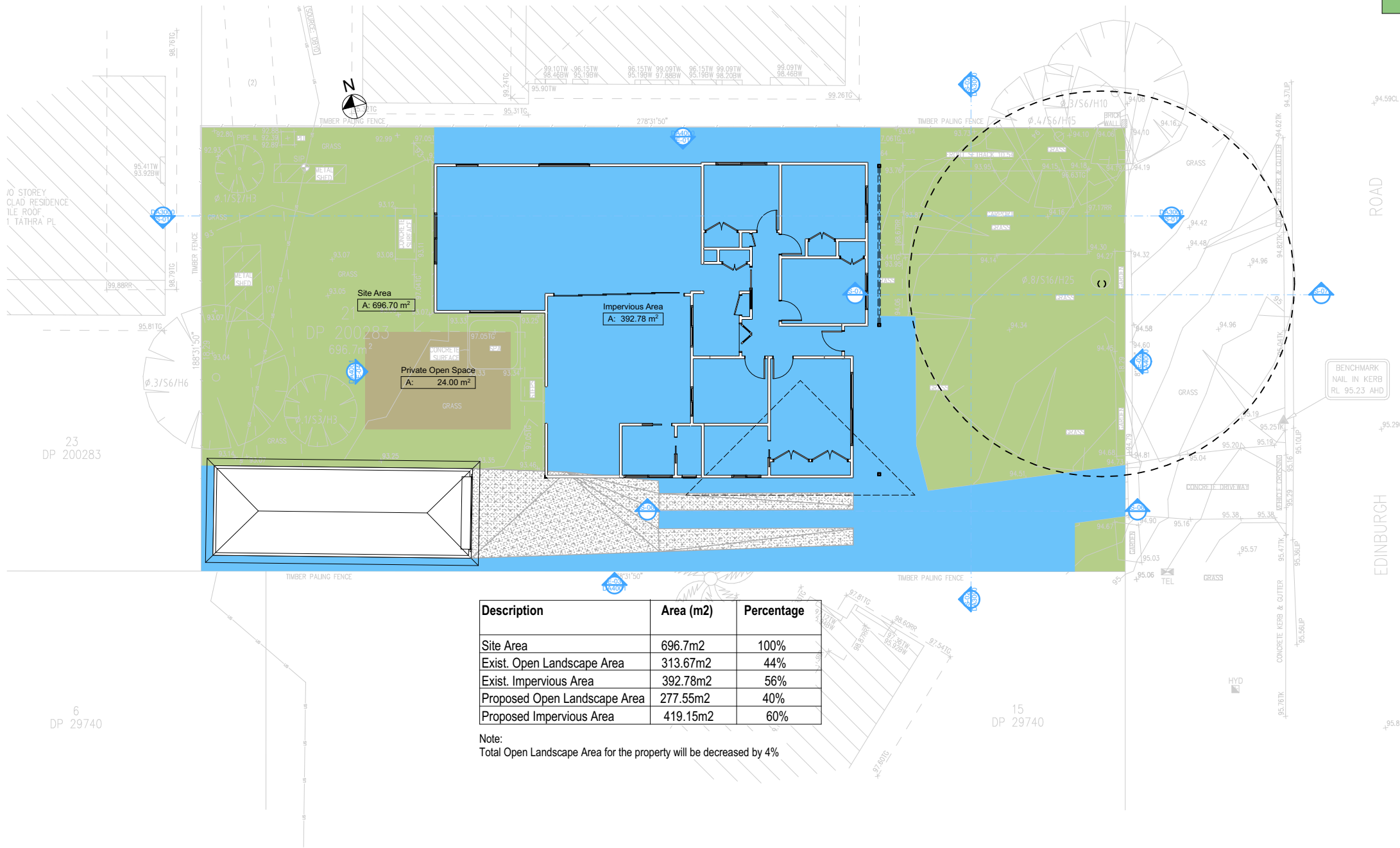
REVISION NO.

DRAWING NO.  
**DA1008**



Denotes Impervious Area

Denotes Pervious Area



2

## LANDSCAPE OPEN SPACE EXISTING

1:200

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### NOTES

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Insulation to External Framed Walls R1.70  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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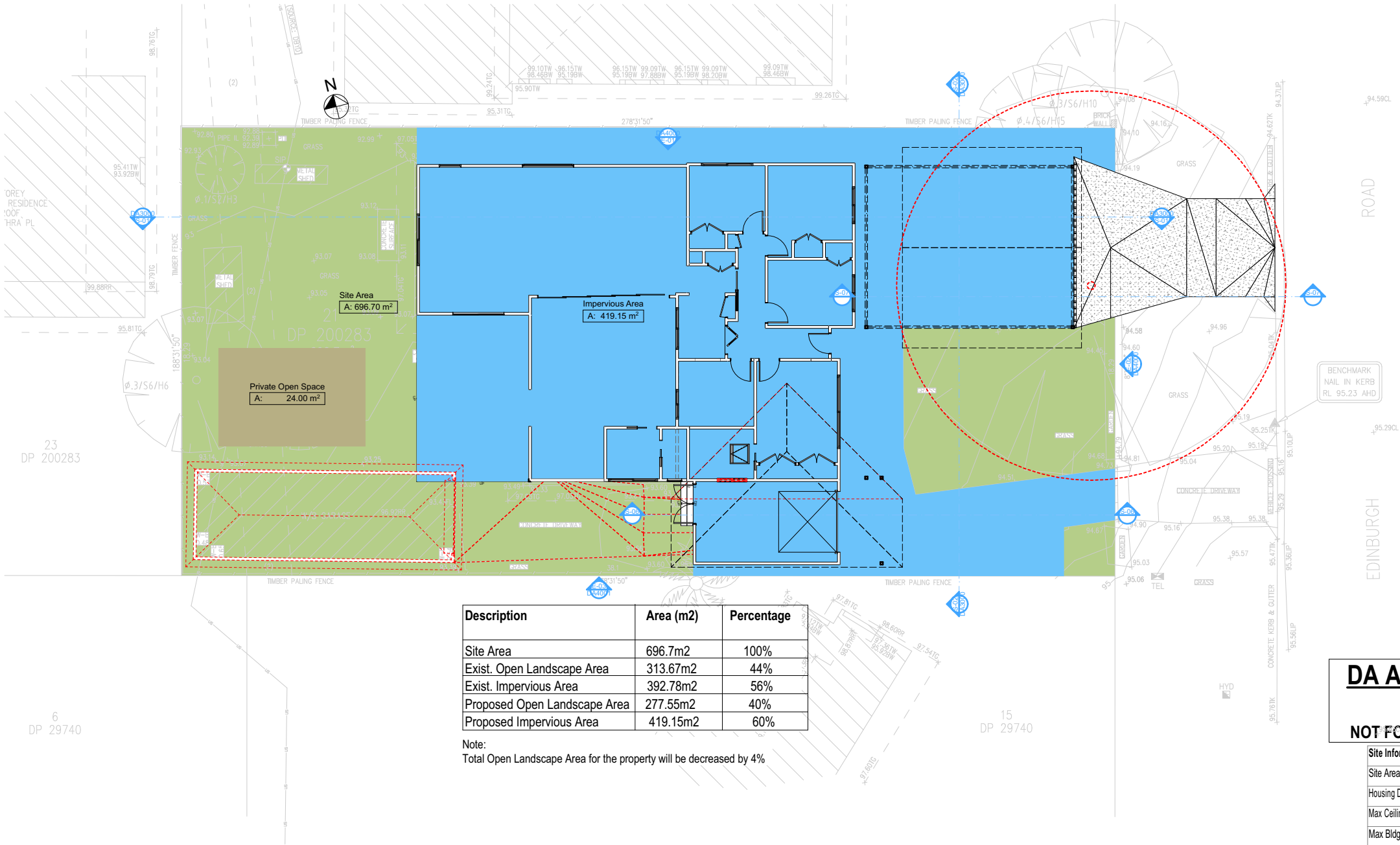
Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project Status  
Client  
Site:  
Sheet Size: A3

DRAWING TITLE :  
SITE AND LOCATION  
Landscape Open Space Plan  
Existing  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
DRAWING NO.  
DA1009



Denotes Impervious Area

Denotes Pervious Area

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Rapid Plans**  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Forestville Forest NSW 2086  
Ph: (02) 9565-8545 Mobile: 0414-946-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**ACCREDITED**  
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1289-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number A1772665  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Builder To Confirm Type & Colour**

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 19/12/2024  
Project NO.: RP0919CER  
Project Status DA Rev 1

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Plan Proposed**

**PROJECT NAME:**  
**Alterations & Additions**

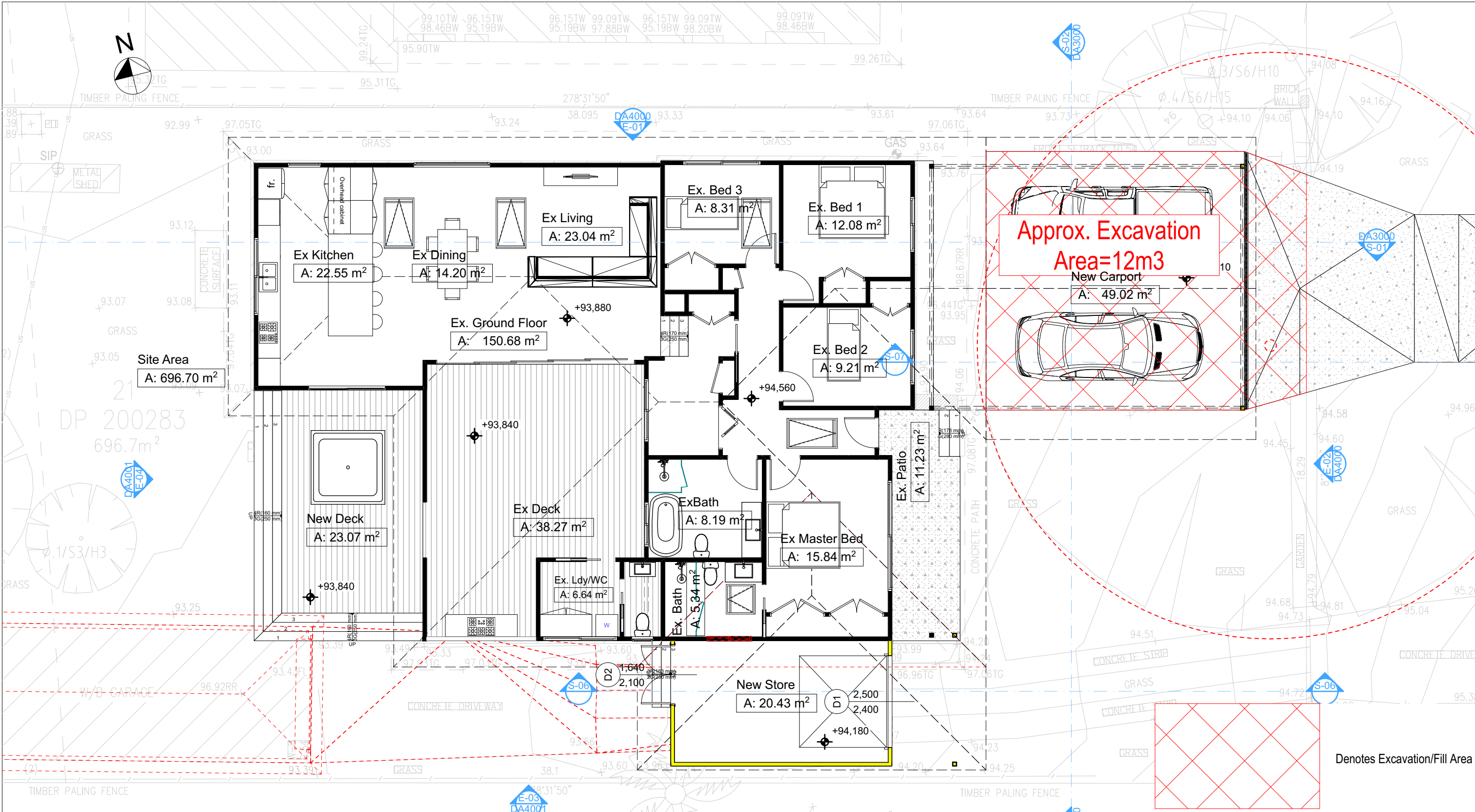
REVISION NO.

DRAWING NO.  
**DA1010**

Plot Date: 19/12/2024  
Sheet Size: A3

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2 EXCAVATION & FILL PLAN  
1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1772665  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2.  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

**Builder to Check and Confirm**  
all Measurements Prior to Commencement of any works.  
Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: 19/12/2024  
Project NO: RP0919CER  
Project Status: DA Rev 1

Client Site: Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :  
**SITE AND LOCATION  
Excavation & Fill Plan**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.

DRAWING NO.  
**DA1011**

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Builder to Check and Confirm  
all Measurements Prior to Commencement of any works.  
Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: 19/12/2024  
Project NO: RP0919CER  
Project Status: DA Rev 1

Client Site: Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :  
**SITE AND LOCATION  
Excavation & Fill Plan**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.

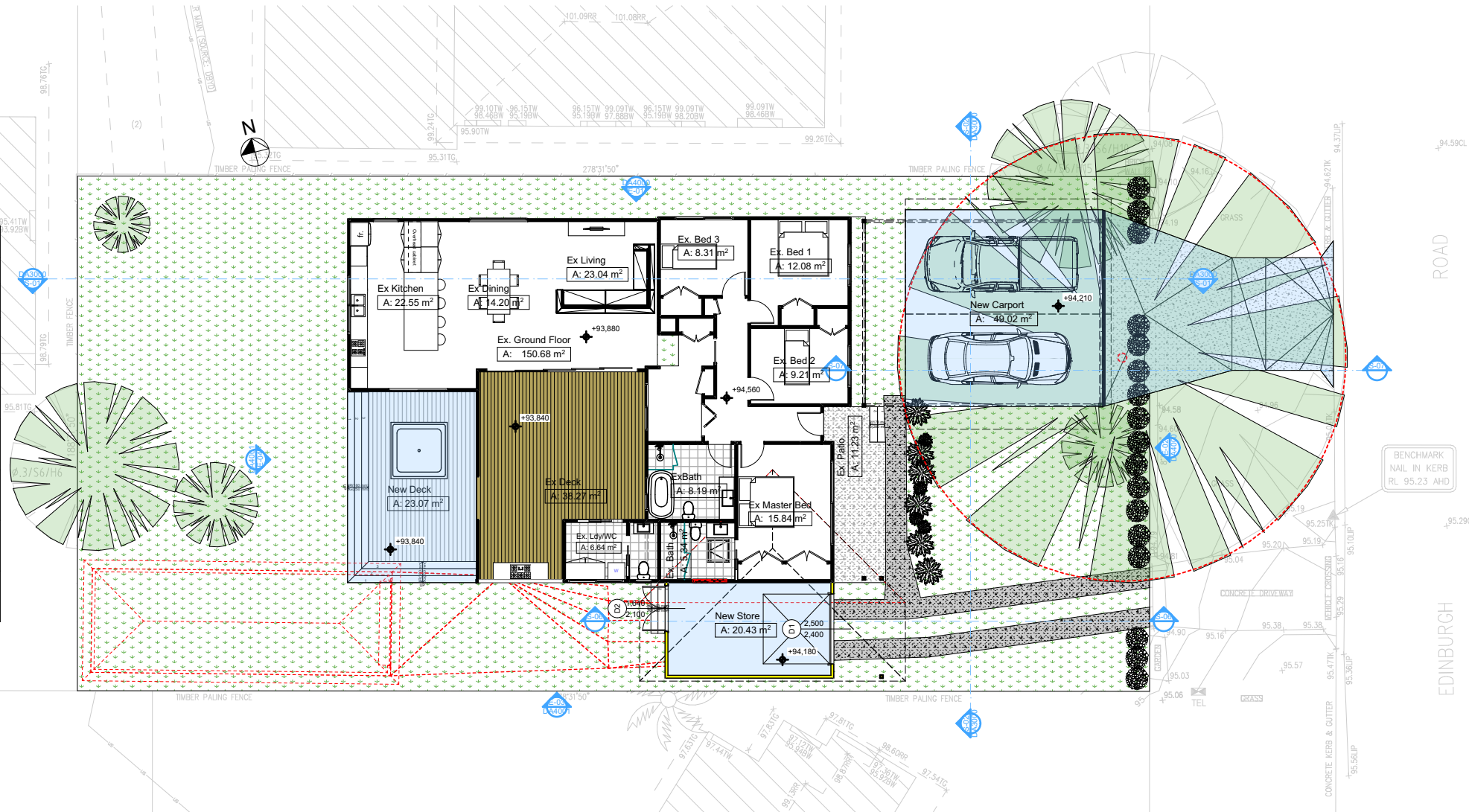
DRAWING NO.  
**DA1011**

ITION, AND ARE INTENDED TO BE USEFUL  
GENERAL TERRAIN. CARE SHOULD BE  
TING.

IE APPROXIMATE ONLY.

ITLE TO THE LAND.  
ID CONDITIONS IN THE CROWN GRANT(S)  
NT FOR DRAINAGE AFFECTING THE PART  
DESCRIBED SHOWN AS SITE OF  
EASEMENT 1.83 WIDE IN THE TITLE

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Existing Tree To Remain
	Existing Garden To Remain
	Existing Hedge To Remain
	Existing Grass To Remain
	Timber Deck
	Concrete Drive



2

## LANDSCAPE PLAN

1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

### NOTES

28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

### Construction

Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

### Basix

Basix Certificate Number A1772665

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>.  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m <sup>2</sup>	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



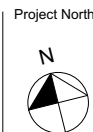
Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Client  
Site:  
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION  
Landscape Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DRAWING NO.

DA1012



Denotes New Works

### Wall Legend

Denotes New Timber Framed Wall  
Denotes Existing Wall  
Denotes Demolished Item

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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1289-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number A1772665  
All Plans to be read in conjunction with Basic Certificate  
The applicant must conduct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Builder To Confirm Type & Colour**

**Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North  
N

Drawn | Checked GBJ  
Plot Date: 19/12/2024  
Project NO.: RP0915PCR  
Project Status DA Rev 1

Client Aleks Cervovic  
Site: 28 Edinburgh Road, Forestville 2089

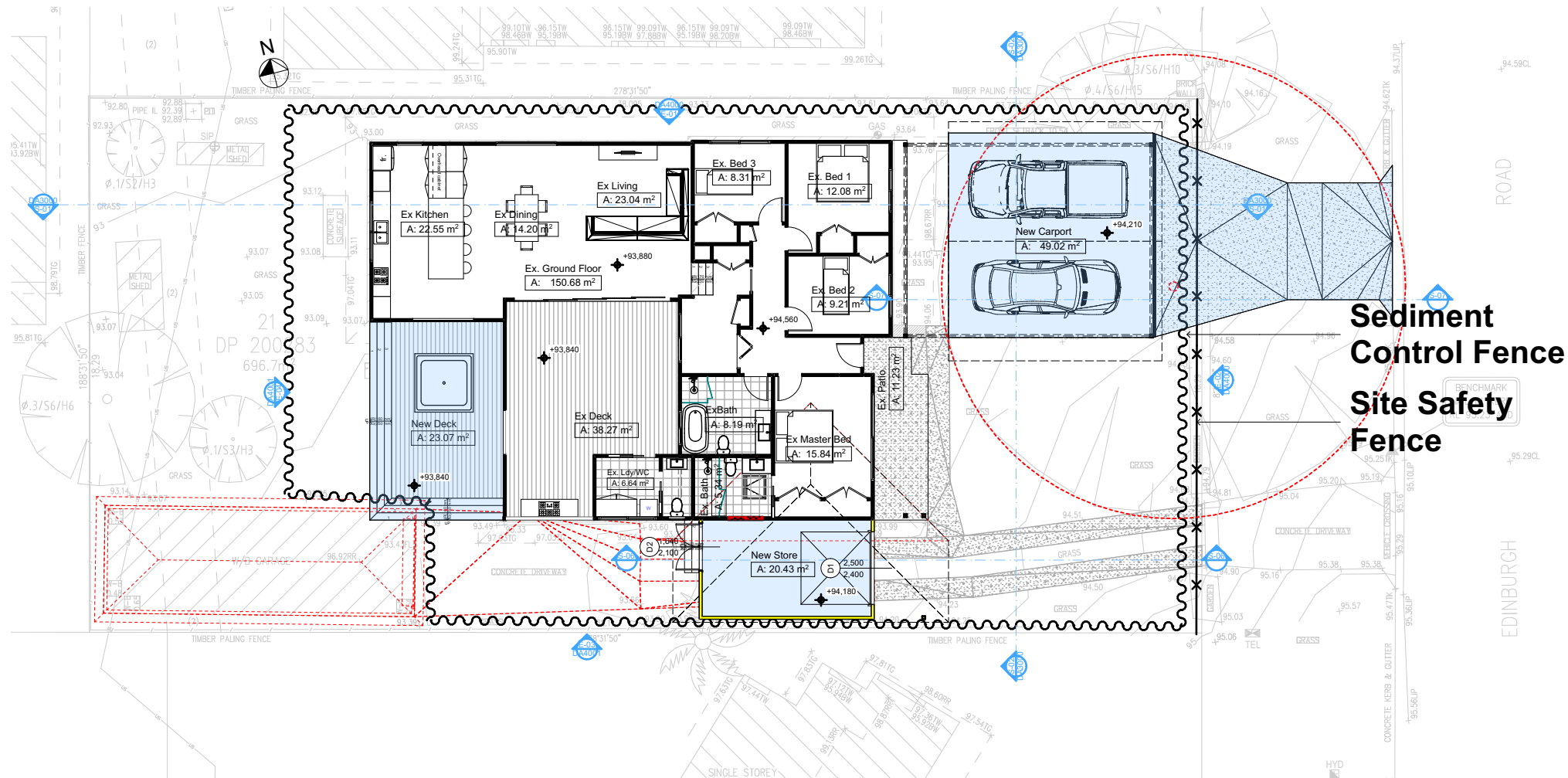
**DRAWING TITLE:**  
SITE AND LOCATION  
**Sediment & Erosion Plan**

**PROJECT NAME:**  
**Alterations & Additions**

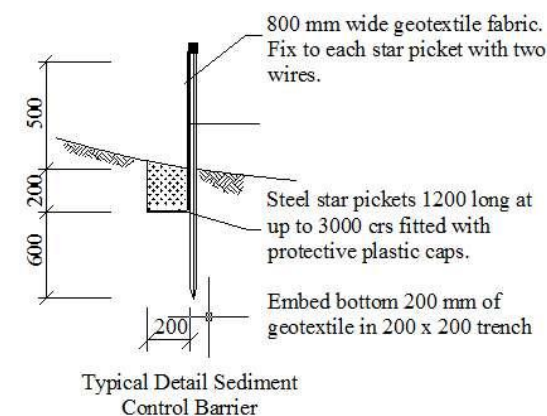
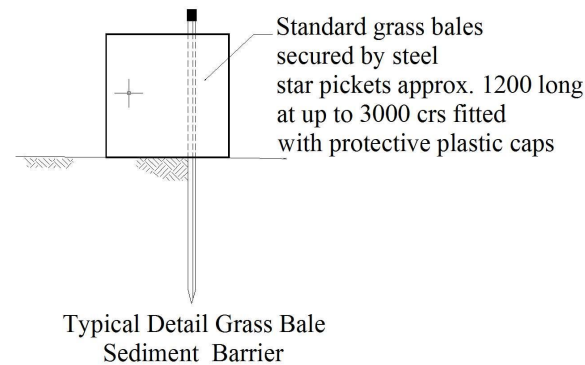
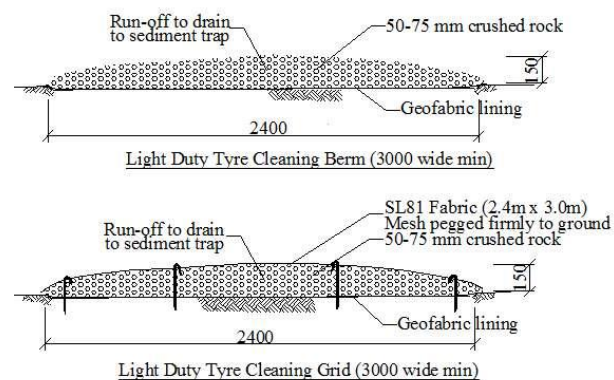
REVISION NO.

DRAWING NO.  
**DA1013**

Plot Date: 19/12/2024  
Sheet Size: A3



2 SEDIMENT & EROSION CONTROL PLAN 1:200



### DA APPLICATION ONLY NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m <sup>2</sup> )	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall  
Denotes Existing Wall  
Denotes Demolished Item

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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2004  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number A1772655  
All Plans to be read in conjunction with Basic Certificate  
The applicant must conduct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Builder To Confirm Type & Colour**

**Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North  
N

Drawn | Checked GBJ  
Plot Date: 19/12/2024  
Project NO: RP0919PCR  
Project Status DA Rev 1

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

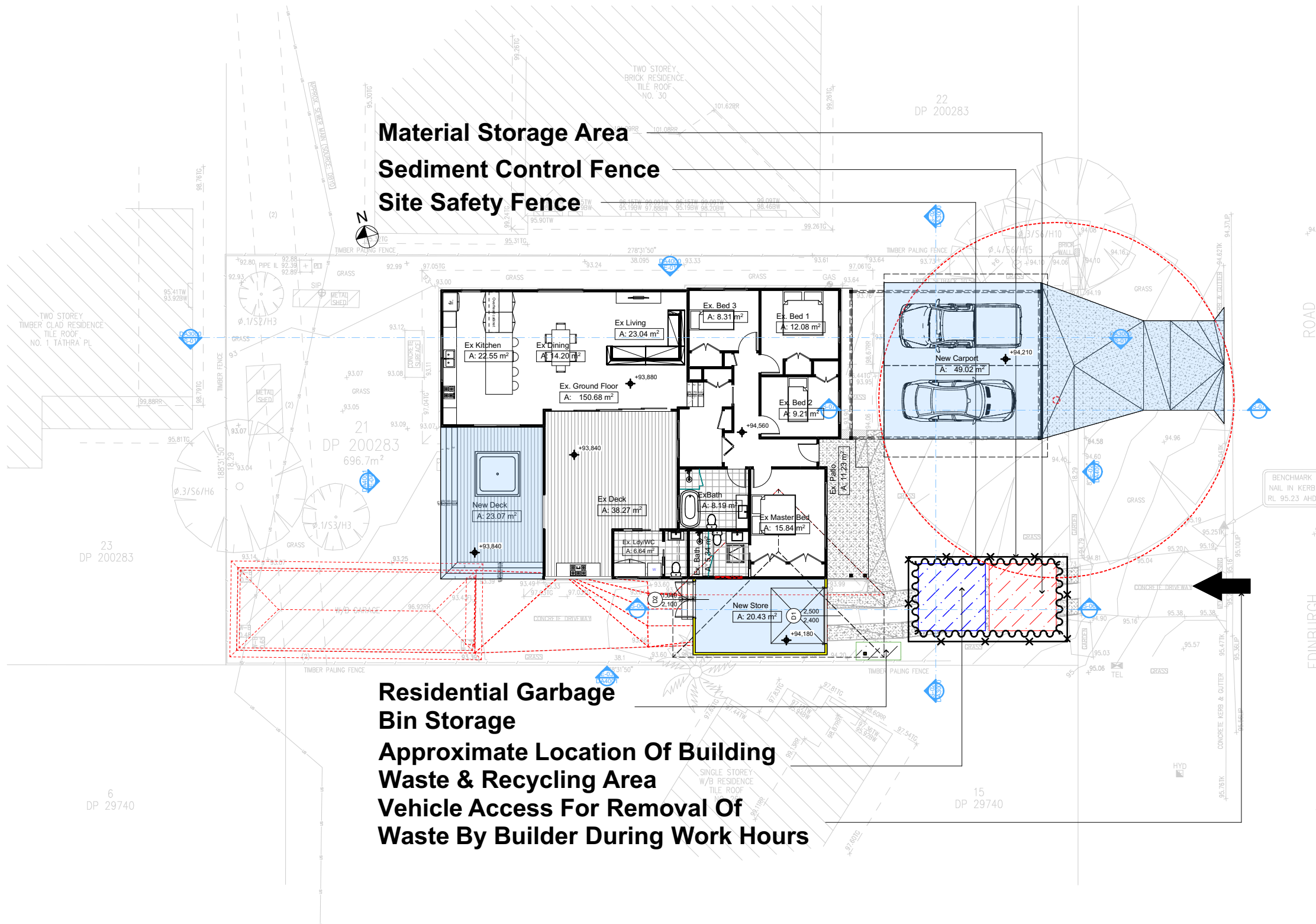
**DRAWING TITLE:**  
SITE AND LOCATION  
**Waste Management Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.

DRAWING NO.  
**DA1014**

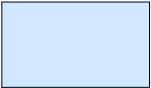
Plot Date: 19/12/2024  
Sheet Size: A3



**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m <sup>2</sup> )	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes





Denotes New Works

Legend



Denotes Demolished Item



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NOTES  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue

Construction  
Framed Floors, Framed Walls  
Roof Framing to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic  
Basic Certificate Number A1772665  
All Plans to be read in conjunction with Basic Certificate  
The applicant must conduct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder To Confirm Type & Colour

Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 19/12/2024  
Project NO: RP0919PCR  
Project Status DA Rev 1

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:  
SITE AND LOCATION  
Stormwater Plan

PROJECT NAME:  
Alterations & Additions

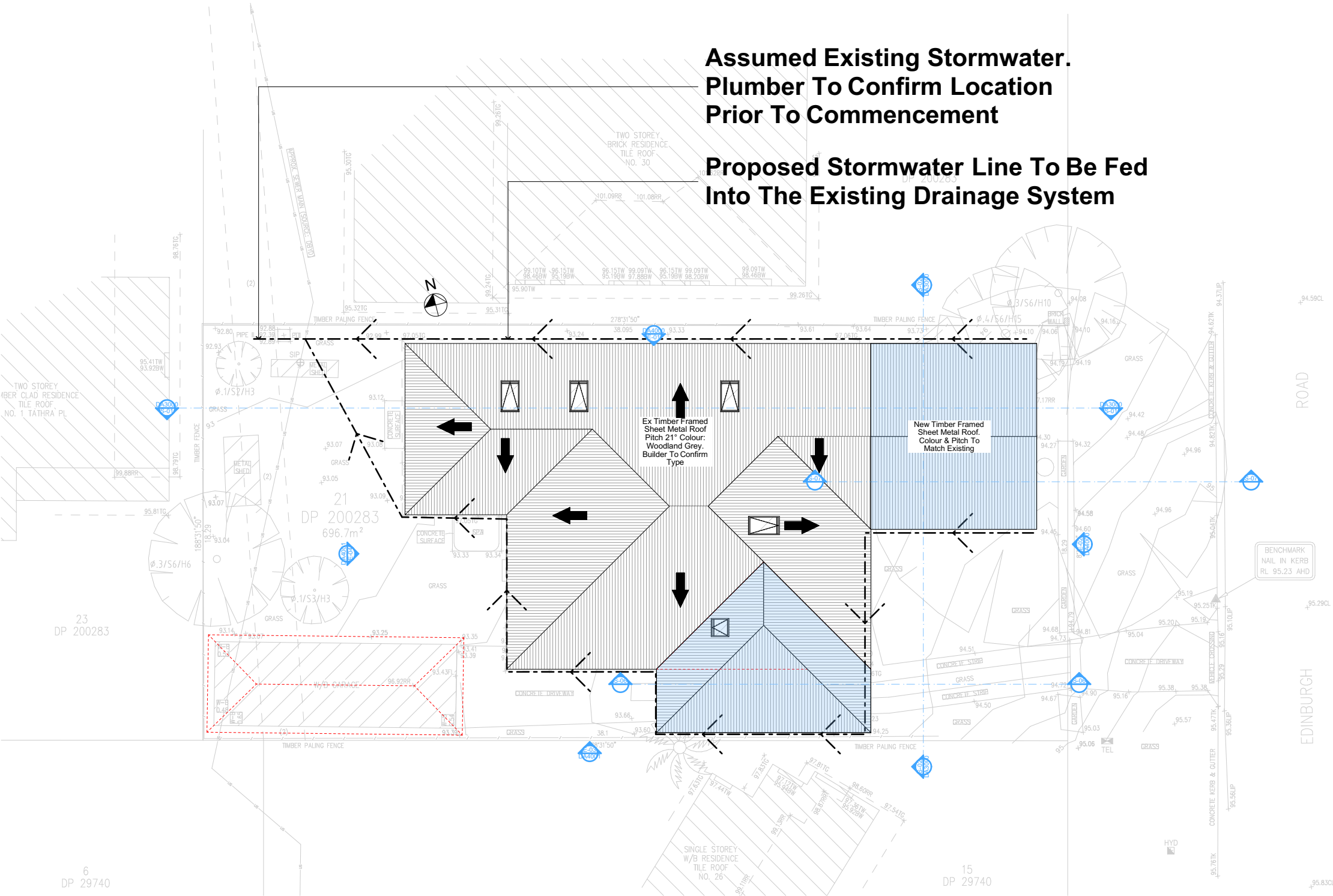
REVISION NO.

DRAWING NO.  
DA1015

Plot Date: 19/12/2024  
Sheet Size: A3

Assumed Existing Stormwater.  
Plumber To Confirm Location  
Prior To Commencement

Proposed Stormwater Line To Be Fed  
Into The Existing Drainage System



STORMWATER PLAN  
1:200

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Plumber To Confirm Location Of Existing  
Stormwater/Sewer Prior To Commencement

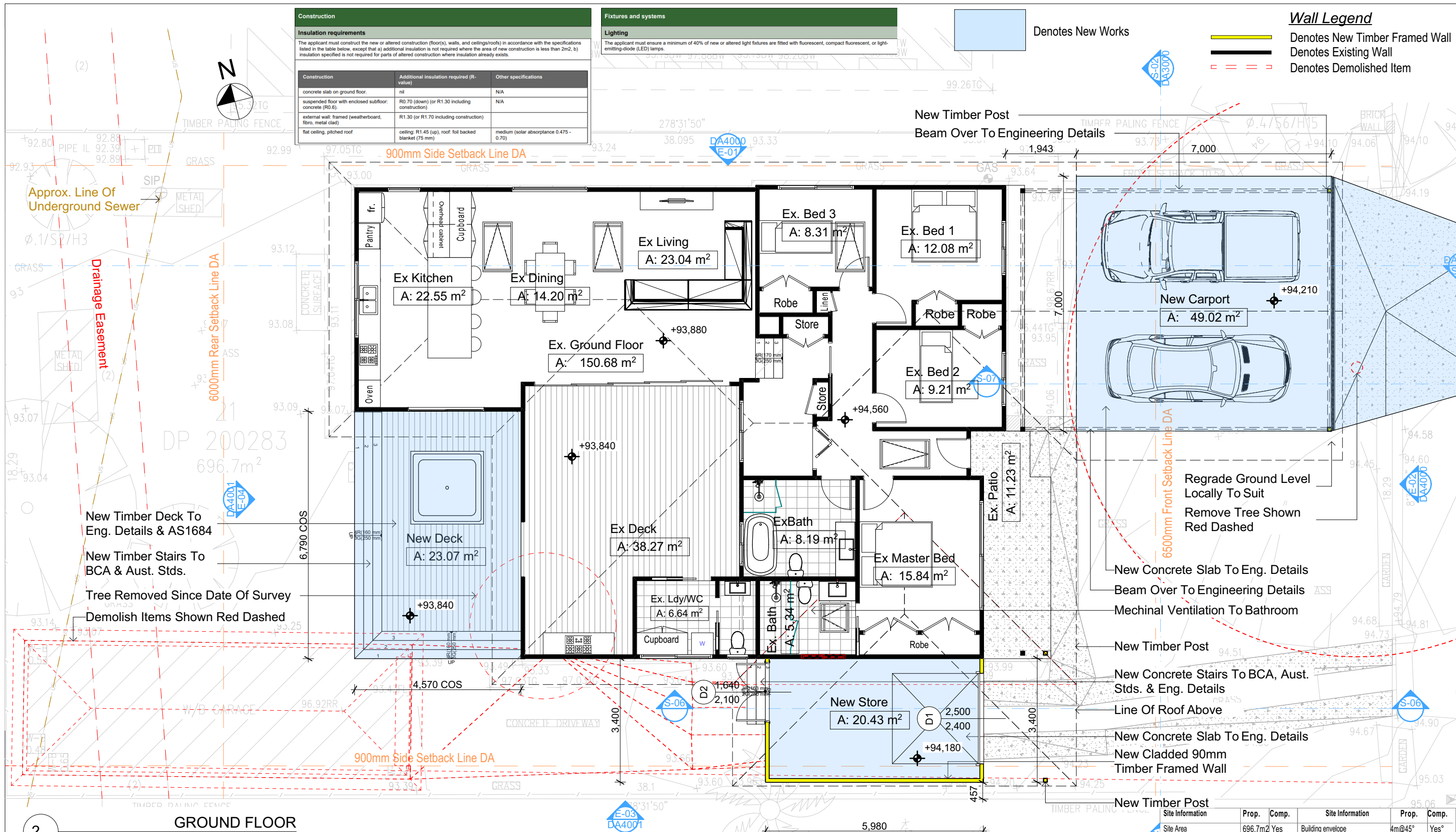


Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	

Denotes New Works

**Wall Legend**  
Denotes New Timber Framed Wall  
Denotes Existing Wall  
Denotes Demolished Item



GROUND FLOOR  
1:100

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Certifying**  
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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1772665  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

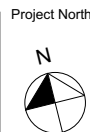
Site Information		Prop.	Comp.	Site Information		Prop.	Comp.
Site Area		696.7m <sup>2</sup>	Yes	Building envelope		4m@45°	Yes°
Housing Density (dwelling/m <sup>2</sup> )		1	Yes	% of landscape open space (40% min)		40%	Yes
Max Ceiling Ht Above Nat. GL		7.2m	Yes	Impervious area (m <sup>2</sup> )		60%	Yes
Max Bldg Ht Above Nat. GL		8.5m	Yes	Maximum cut into gnd (m)		0.5m	Yes
Front Setback (Min.)		6.5m	Variation	Maximum depth of fill (m)		N/A	Yes
Rear Setback (Min.)		6m	Yes	No. of car spaces provided		2	Yes
Min. side bdy setback (Min.)		0.9m	Variation				



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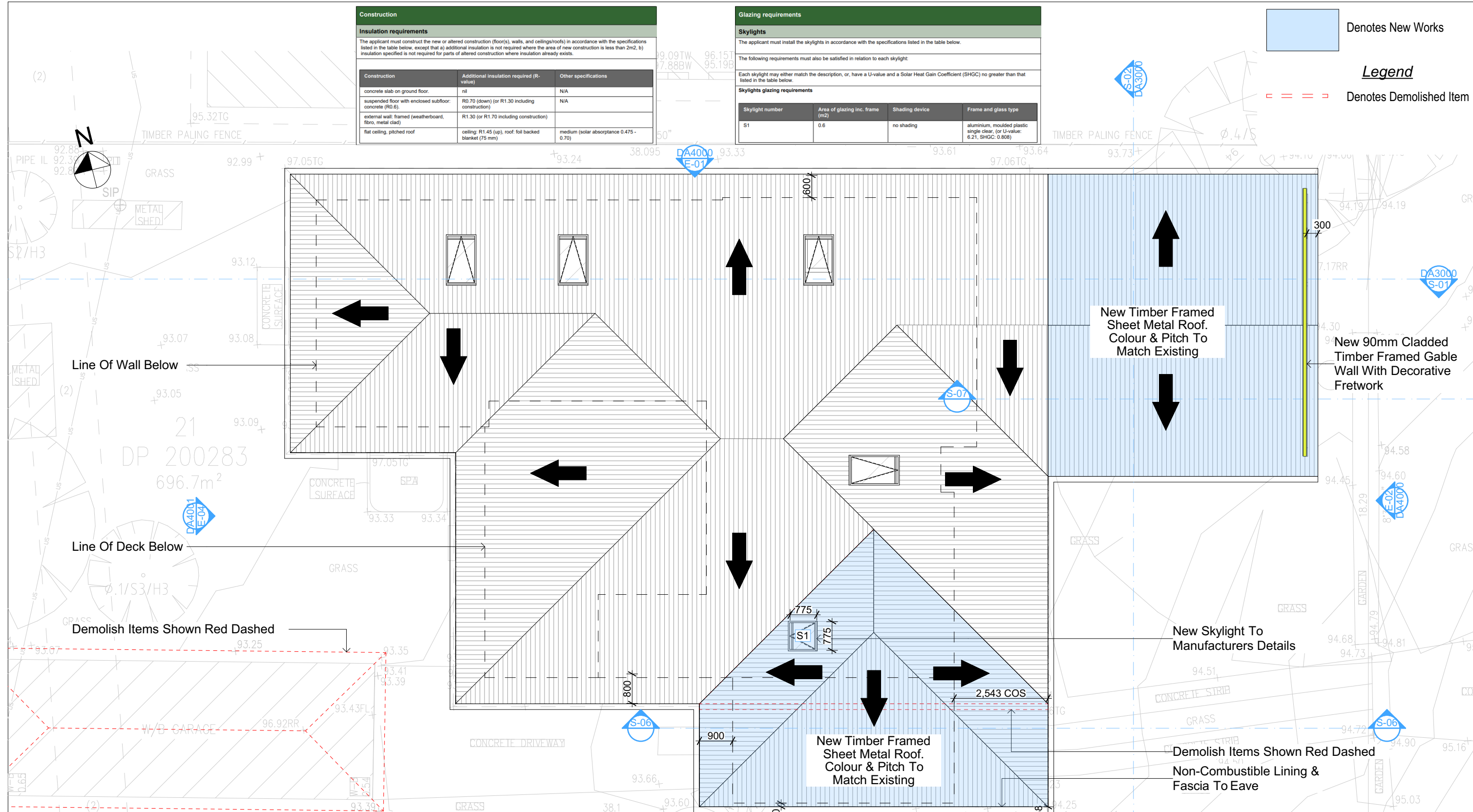
Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Project North  
Checked  
Plot Date:  
Project NO.  
Project Status  
Client  
Site:  
Sheet Size: A3

DRAWING TITLE :  
PLANS  
GROUND FLOOR  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
DRAWING NO.  
DA2001



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

**Legend**

Denotes Demolished Item

3

ROOF  
1:100


**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Certifying**  
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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1772665  
All Plans to be read in conjunction with Basix Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			




Rapid Plans

Building Design and Architectural Drafting

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BUILDING DESIGNERS


ASSOCIATION OF AUSTRALIA



ACCREDITED

BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North

Checked Plot Date: Project NO. Project Status

Client Site:

Sheet Size: A3

GBJ 19/12/2024 RP0919CER DA Rev 1

Aleks Cerovic 28 Edinburgh Road, Forestville 2089

DRAWING TITLE :

PROJECT NAME :

PLANS ROOF

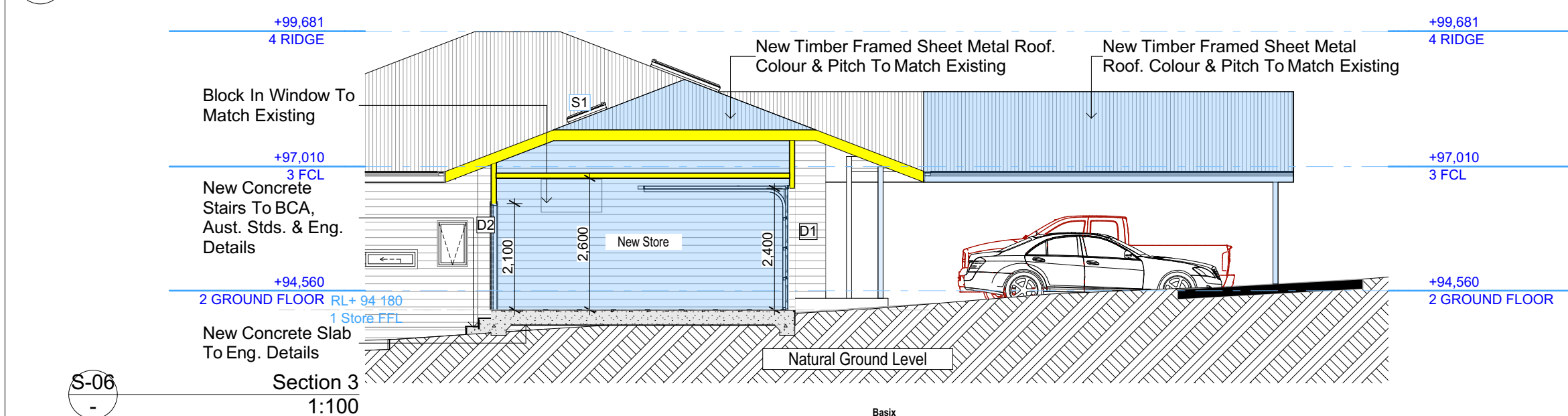
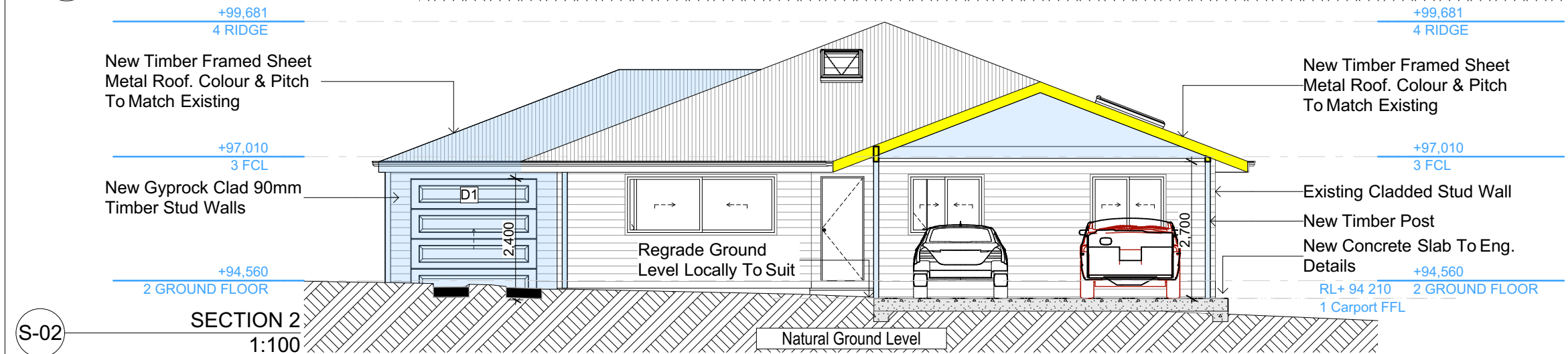
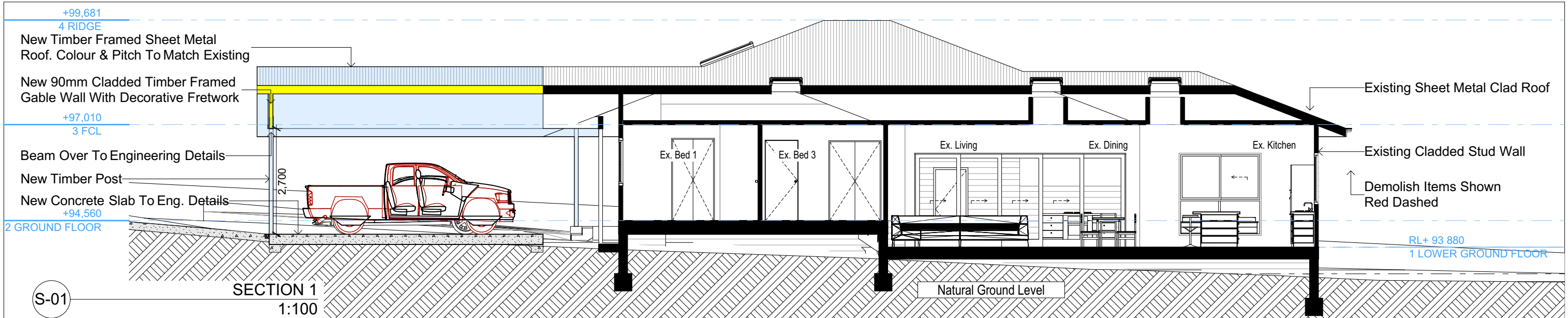
Alterations & Additions

REVISION NO.

DRAWING NO.

DA2002





Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

**Certifying**  
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**NOTES**  
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1772665  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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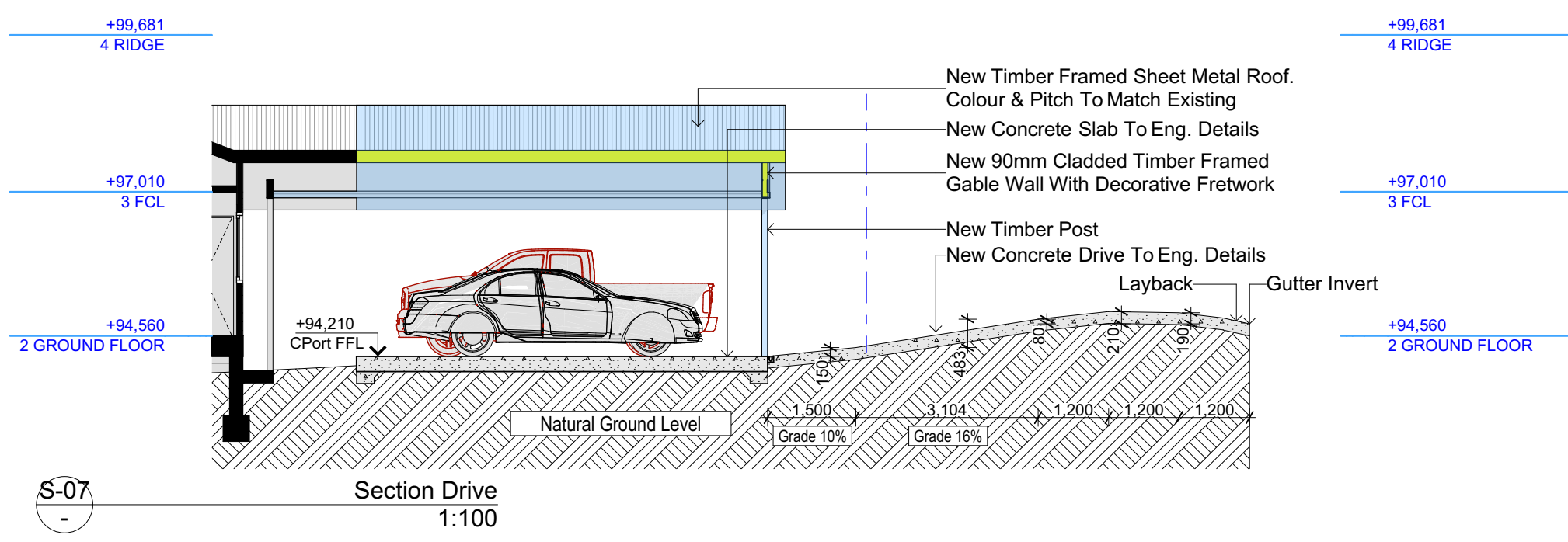
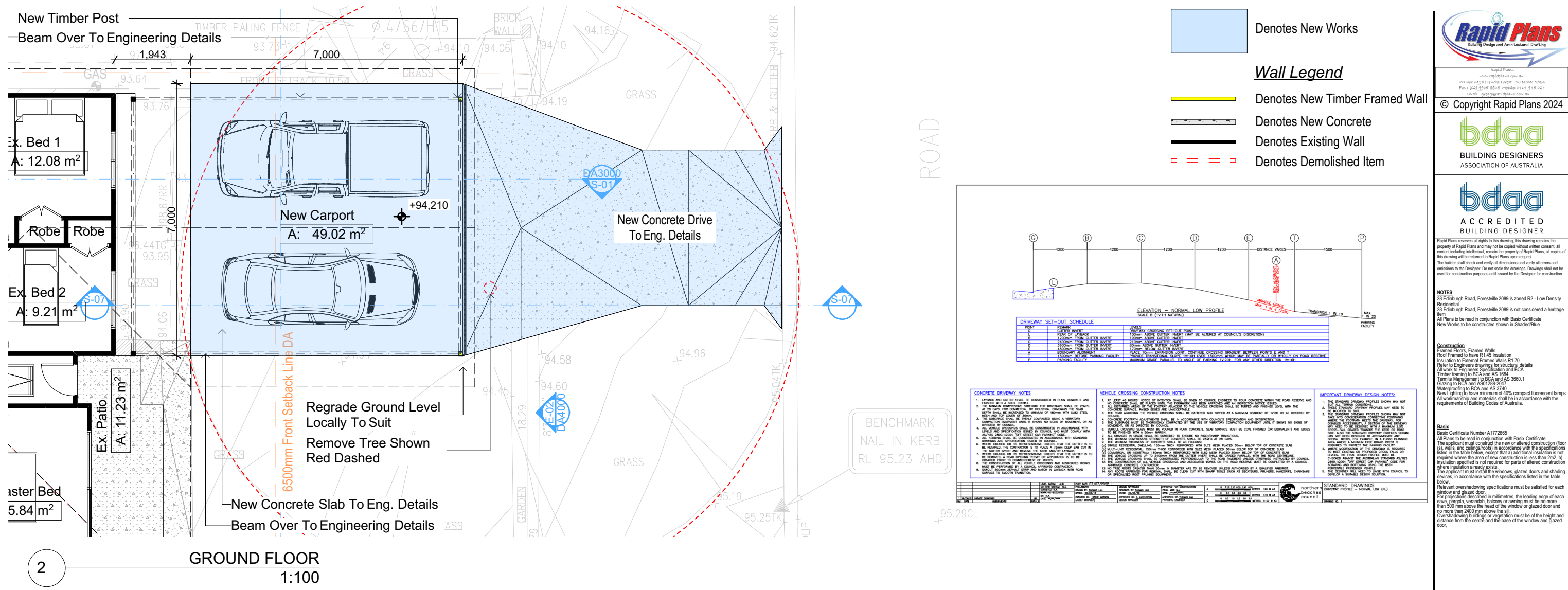
Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked Plot Date: GBJ 19/12/2024  
Project NO: RP0919CER  
Project Status: DA Rev 1  
Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089  
Sheet Size: A3

DRAWING TITLE :  
SECTIONS  
SECTION 1  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
DRAWING NO.  
DA3000



DA APPLICATION ONLY		
NOT FOR CONSTRUCTION		
Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

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bdca ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawing. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**  
28 Edinborough Road, Forestville 2089 is zoned R2 - Low Density Residential  
28 Edinborough Road, Forestville 2089 is not considered a heritage site  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

**Construction**  
Framed Floors, Framed Walls  
Roof Frames to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1289-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number A1772655  
All Plans to be read in conjunction with Basic Certificate  
The applicant must conduct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Builder To Confirm Type & Colour**

**Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 19/12/2024  
Project NO: RP0919CER  
Project Status DA Rev 1

Client: Aleks Cervovic

Site: 28 Edinborough Road, Forestville 2089

DRAWING TITLE: **SECTION DRIVE**

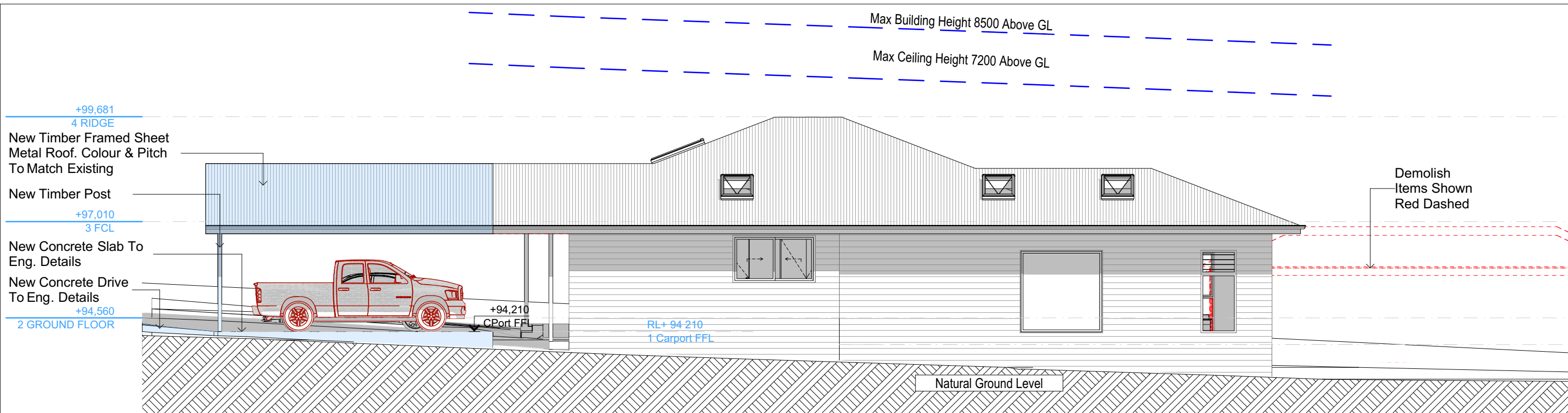
PROJECT NAME: **Alterations & Additions**

REVISION NO.

DRAWING NO. **DA3001**

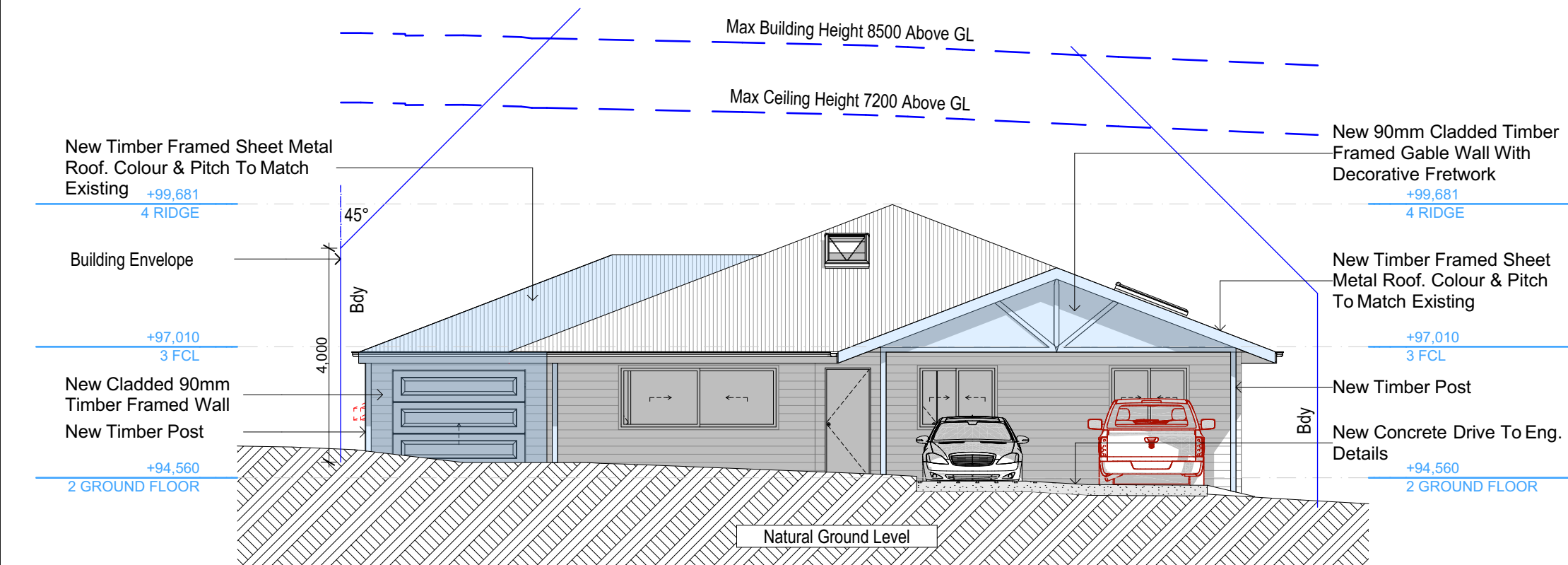
Plot Date: 19/12/2024  
Sheet Size: A3





E-01

North  
1:100



E-02

East  
1:100

Construction		
Insulation requirements		
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Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

**Legend**

Denotes Existing Drive

Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Bldg Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

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**NOTES**  
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New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1772665  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

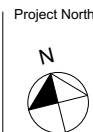


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**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 1

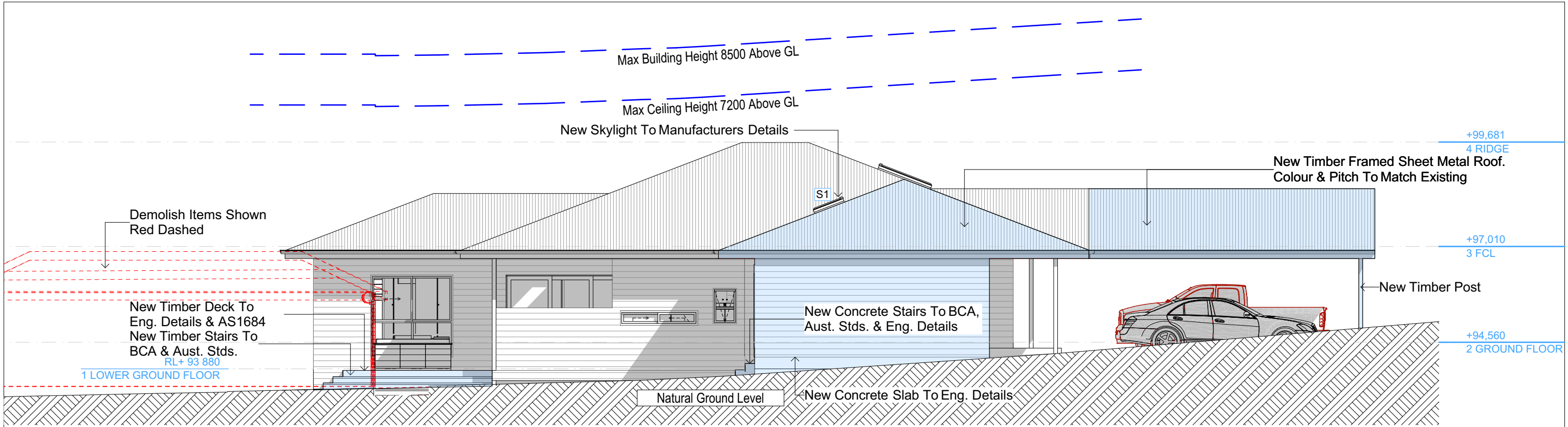
PROJECT NAME :

**Alterations & Additions**

REVISION NO.

DRAWING NO.

**DA4000**



E-03

South  
1:100

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+99,681  
4 RIDGE

+99,681  
4 RIDGE

+97,010  
3 FCL

+97,010  
3 FCL

Building Envelope

+94,560  
2 GROUND FLOOR

+94,560  
2 GROUND FLOOR

RL+ 93 880  
1 LOWER GROUND FLOOR

4,000

45°

45°

Natural Ground Level

New Skylight To  
Manufacturers Details

New Timber Framed Sheet  
Metal Roof. Colour & Pitch  
To Match Existing

Building Envelope

New Timber Deck To Eng.  
Details & AS1684

Demolish Items  
Shown Red Dashed

New Timber Stairs To  
BCA & Aust. Stds.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



Denotes New Works

**Legend**



Denotes Existing Drive



Denotes Demolished Item

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**Certifying**

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**NOTES**

28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

**Construction**

Framed Floors, Framed Walls  
Roof Framed to have R1.45 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A1772665  
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b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Project North

Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Client  
Site:  
Aleks Cerovic  
28 Edinburgh Road, Forestville 2089  
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 2

PROJECT NAME :

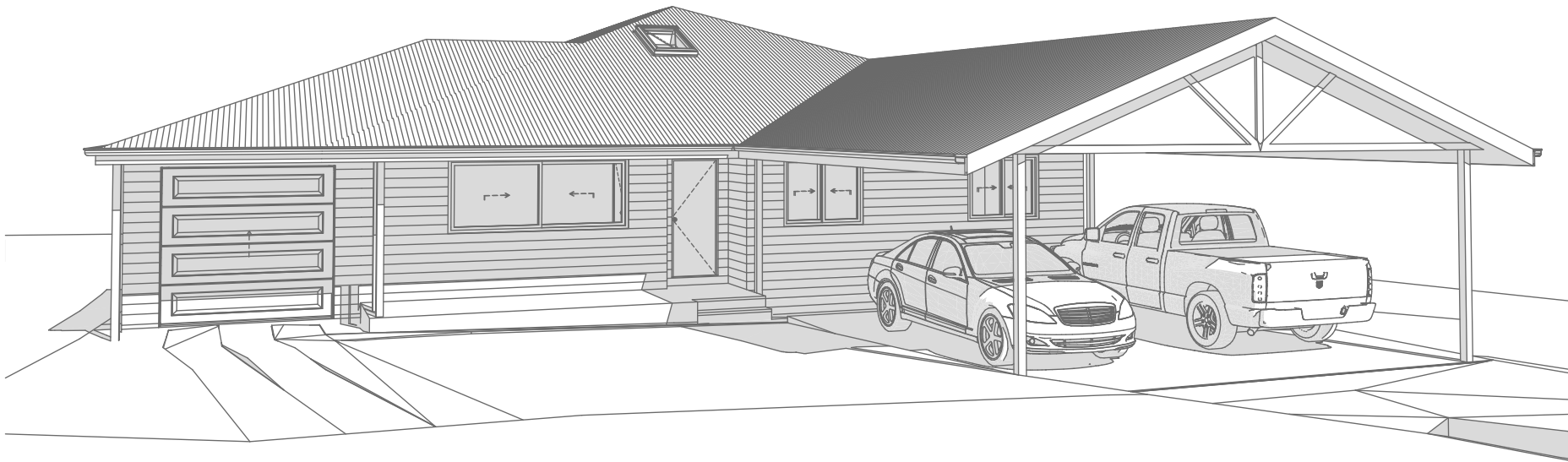
Alterations & Additions

REVISION NO.

DRAWING NO.

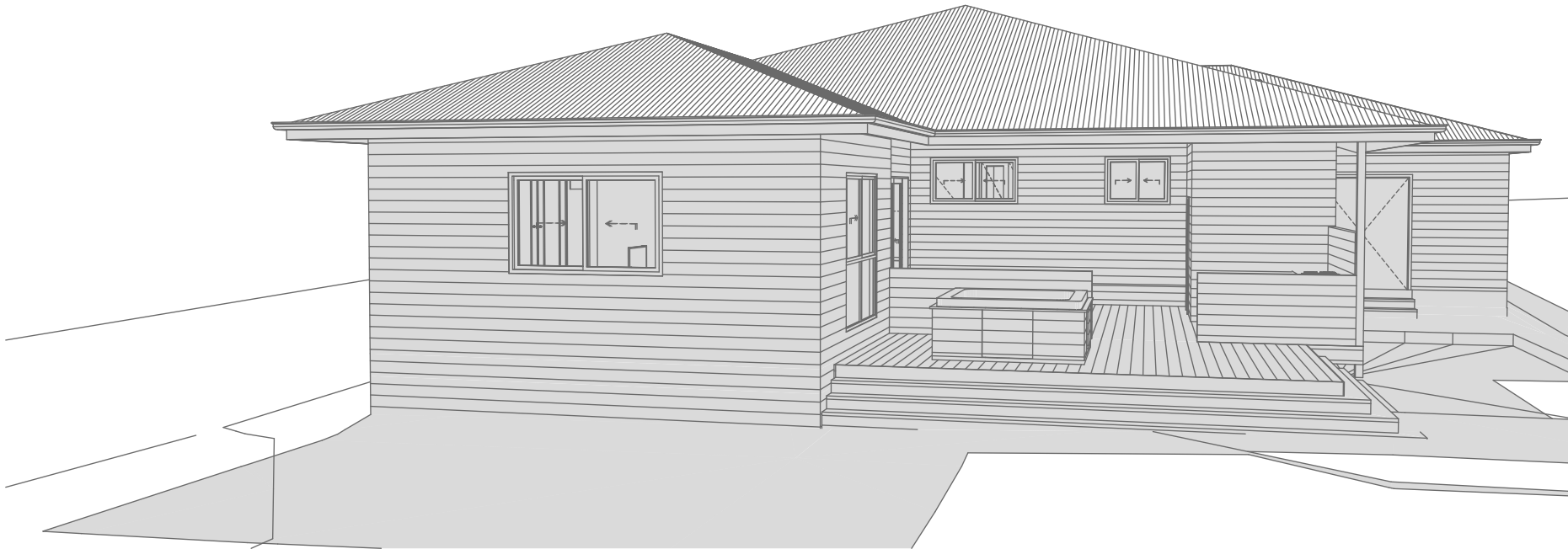
DA4001





1  
-

Perspective Front  
1:200



2  
-

Perspective Rear  
1:200

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**Construction**

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Insulation to External Framed Walls R1.70

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Checked  
Plot Date: 19/12/2024  
Project NO. RP0919CER  
Project Status DA Rev 1

Client  
Site: Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :  
SHADOW PLANS  
PERSPECTIVE

PROJECT NAME :  
Alterations & Additions

REVISION NO.

DRAWING NO.  
DA5000



Denotes Timber Deck (Typical). Builder To Confirm Type & Colour



Denotes Concrete Drive (Typical). Builder To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical). Type & Colour To Match Existing



Denotes Roller/Tilt Door (Typical). Builder To Confirm Type & Colour



Denotes Skylight (Typical). Type & Colour To Match Existing



Denotes Cladding (Typical). Type & Colour To Match Existing

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Min. side bdy setback (Min.)	0.9m	Variation			



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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

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Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Client  
Site:  
Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS  
MATERIAL & COLOUR  
SAMPLE BOARD

PROJECT NAME :

Alterations & Additions

REVISION NO.

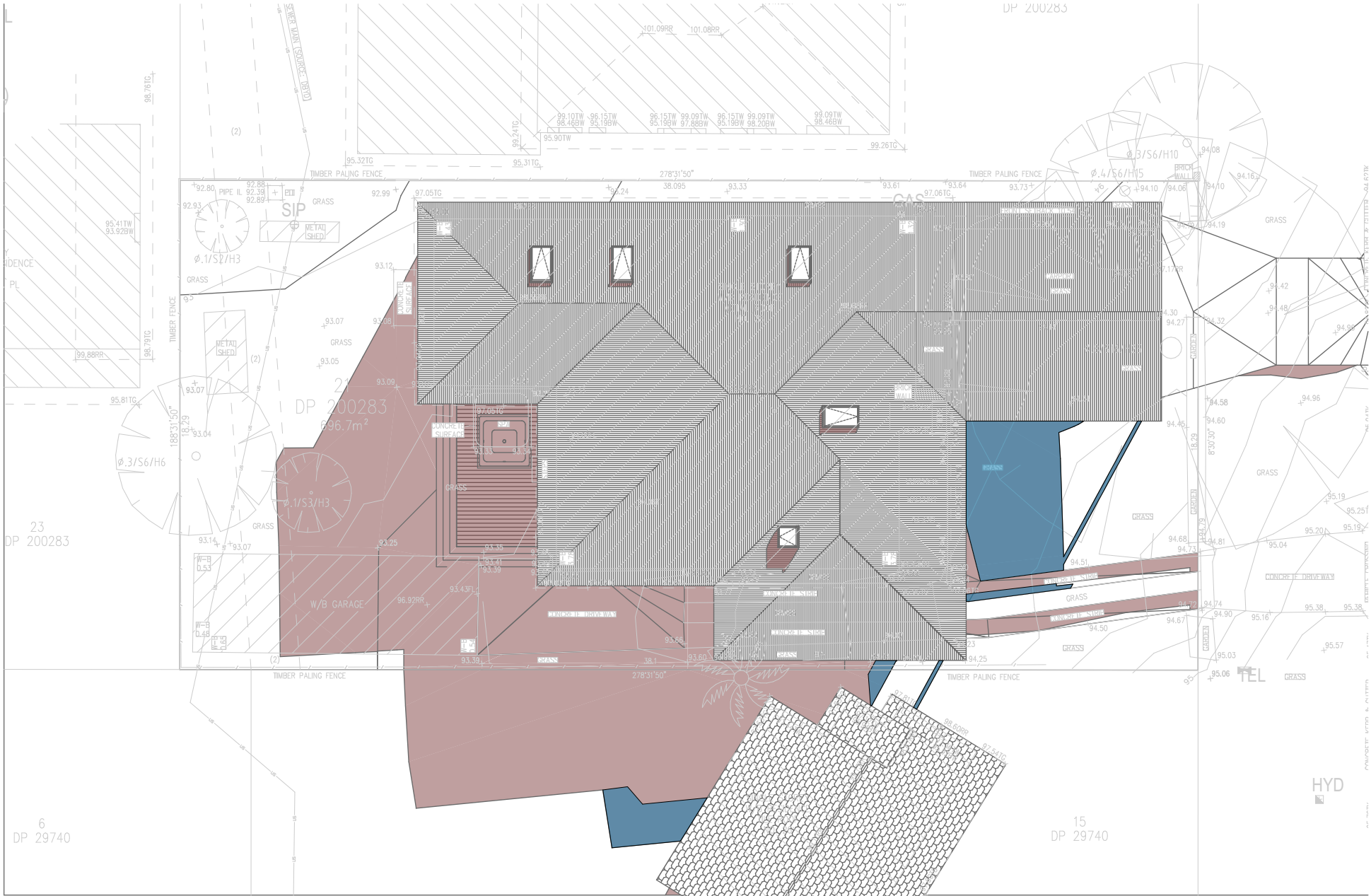
DRAWING NO.

DA5001



Denotes Proposed Shadow

Denotes Existing Shadow



01

Shadow 21st June 9am  
1:200

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Plot Date:  
Project NO.  
Project Status

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Client  
Site:  
Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
9am**

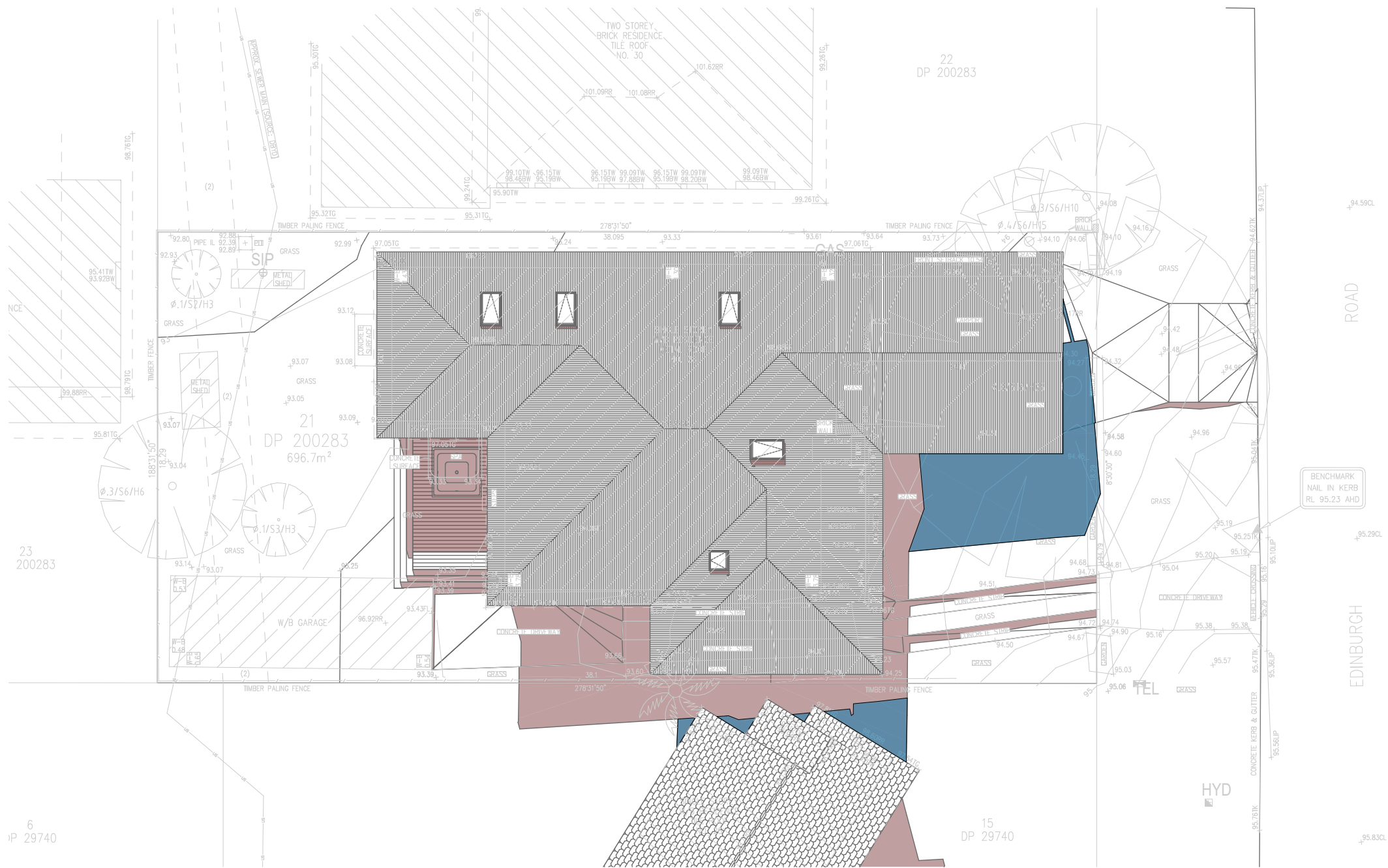
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.

DRAWING NO.  
**DA5002**

Denotes Proposed Shadow

Denotes Existing Shadow



01

Shadow 21st June 12pm  
1:200

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Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Client  
Site:

Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
SHADOW PLAN 21st June  
12pm

PROJECT NAME :  
Alterations & Additions

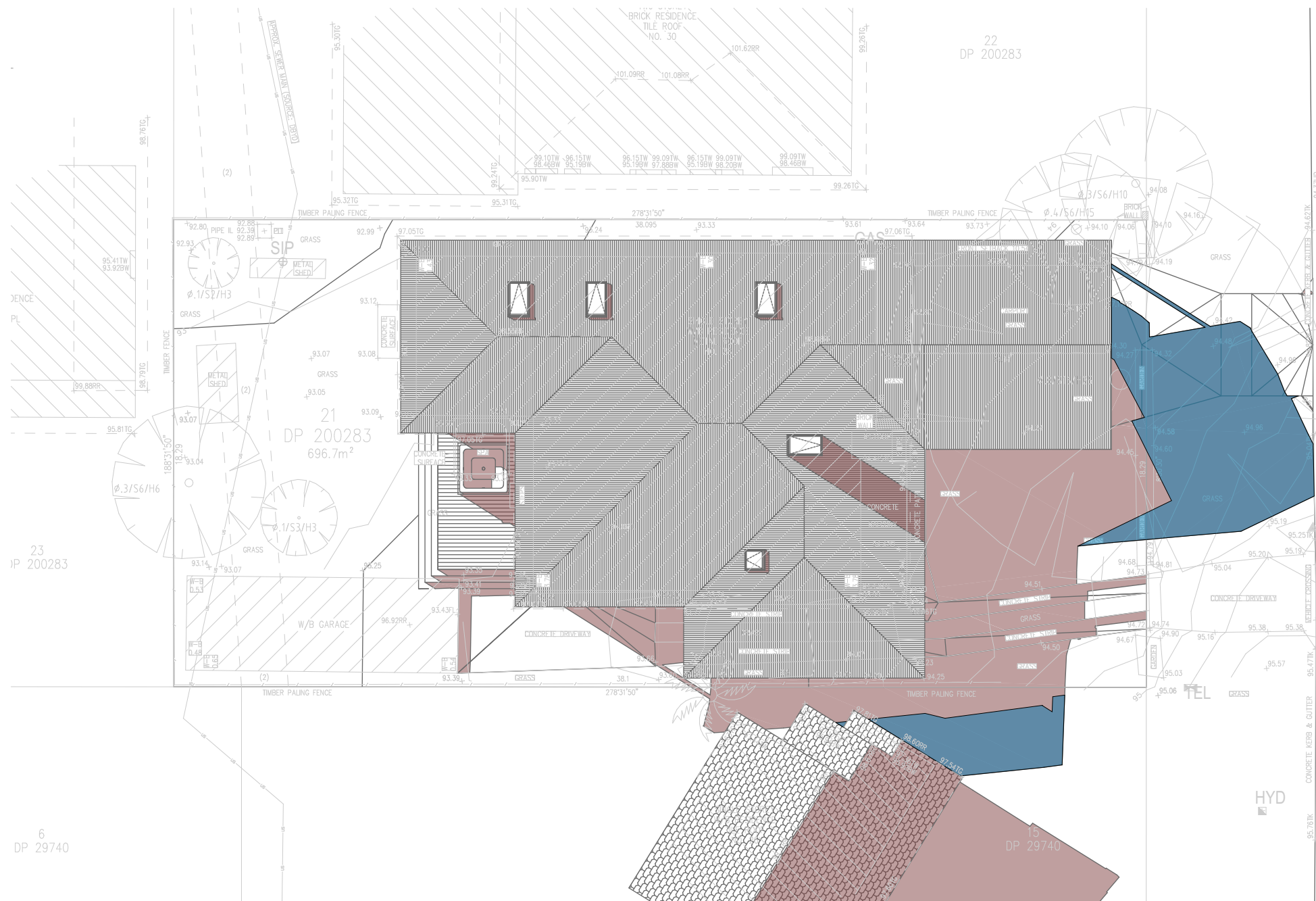
REVISION NO.

DRAWING NO.  
DA5003



Denotes Proposed Shadow

Denotes Existing Shadow



01

Shadow 21st June 3pm

1:200

DA APPLICATION  
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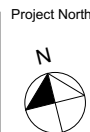
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Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
19/12/2024  
RP0919CER  
DA Rev 1

Client  
Site:  
Aleks Cerovic  
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
SHADOW PLAN 21st June  
3pm

PROJECT NAME :  
Alterations & Additions

REVISION NO.

DRAWING NO.  
DA5004

