

NUMBER.	NAME.	REV.
A000 GENERAL		
A001	COVER	B
A002	BASIX COMMITMENTS	B
A100 SITE		
A101	SITE - CONTEXT PLAN	B
A200 GENERAL ARRANGEMENT PLANS		
A201	PLAN - EXISTING	B
A202	PLAN - DEMOLITION	B
A210	PLAN - PROPOSESED GROUND FLOOR	B
A211	PLAN - PROPOSESED FIRST FLOOR	B
A212	PLAN - PROPOSESED ROOF	B
A300 GENERAL ARRANGEMENT ELEVATIONS		
A301	ELEVATIONS - NORTH & EAST	B
A302	ELEVATIONS - SOUTH & WEST	B
A400 GENERAL ARRANGEMENT SECTIONS		
A401	SECTIONS - PROPOSED	B
A402	SECTIONS - PROPOSED	A
A500 GENERAL INFORMATION		
A501	MATERIAL PALETTE	B
A502	SHADOW DIAGRAMS	B
A503	PLAN - PROPOSED LANDSCAPE	B

DRAWING SYMBOLS

SETOUT GRID

DETAIL PLAN/SECTION SYMBOL

SECTION SYMBOL

ELEVATION SYMBOL

INTERNAL ELEVATION SYMBOL

SCALE BAR

NORTH

DETAIL CALL OUT

DETAIL SECTION CALL OUT

WINDOW TAG

DOOR TAG

WALL TYPE



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 152 square metres of the site.	✔	✔	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development		✔	✔
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Swimming Pool			
The swimming pool must not have a volume greater than 36 kilolitres.	✔	✔	
The swimming pool must be outdoors.	✔	✔	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✔	✔	✔

Frames	Maximum area - m2
aluminium	82.6
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	0
double	82.6
triple	0

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 26 to 30 STCs or better.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	132.3	none
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame.	111.88	none
floor - suspended floor above garage, concrete - suspended; frame: no frame.	6.48	none
garage floor - concrete slab on ground.	16.74	none
external wall: brick veneer; frame: timber - untreated softwood.	170.2	fibreglass batts or roll
external wall: framed (metal clad); frame: timber - untreated softwood.	9.5	fibreglass batts or roll
external garage wall: brick veneer; frame: timber - untreated softwood.	27.96	fibreglass batts or roll
internal wall: plasterboard; frame: timber - untreated softwood.	208.6	none
internal wall: single skin masonry; frame: timber - untreated softwood.	17.6	none
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - untreated softwood.	155	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): electric heat pump		✔	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: dual speed with a performance of 2 stars.		✔	
The applicant must install a timer for the swimming pool pump in the development.		✔	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
The photovoltaic system must consist of: <ul style="list-style-type: none">photovoltaic collectors with the capacity to generate at least 2.8 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north west	✔	✔	✔
Other			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✔	

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SCALE BAR

THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE PROPRIETOR PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS. ALL BUILDING WORKS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, NCC/BCA & DEVELOPMENT CONSENT CONDITIONS.



REV	DATE	DESCRIPTION
A	9/5/2025	Preliminary DA
B	10/7/2025	DA Submission

CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
BASIX COMMITMENTS

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A002	2403	1:1	MB	TB	B



1 SITE PLAN - CONTEXT
Scale : 1:1000 @ A1

2 SITE PLAN - EXISTING
Scale : 1:250 @ A1



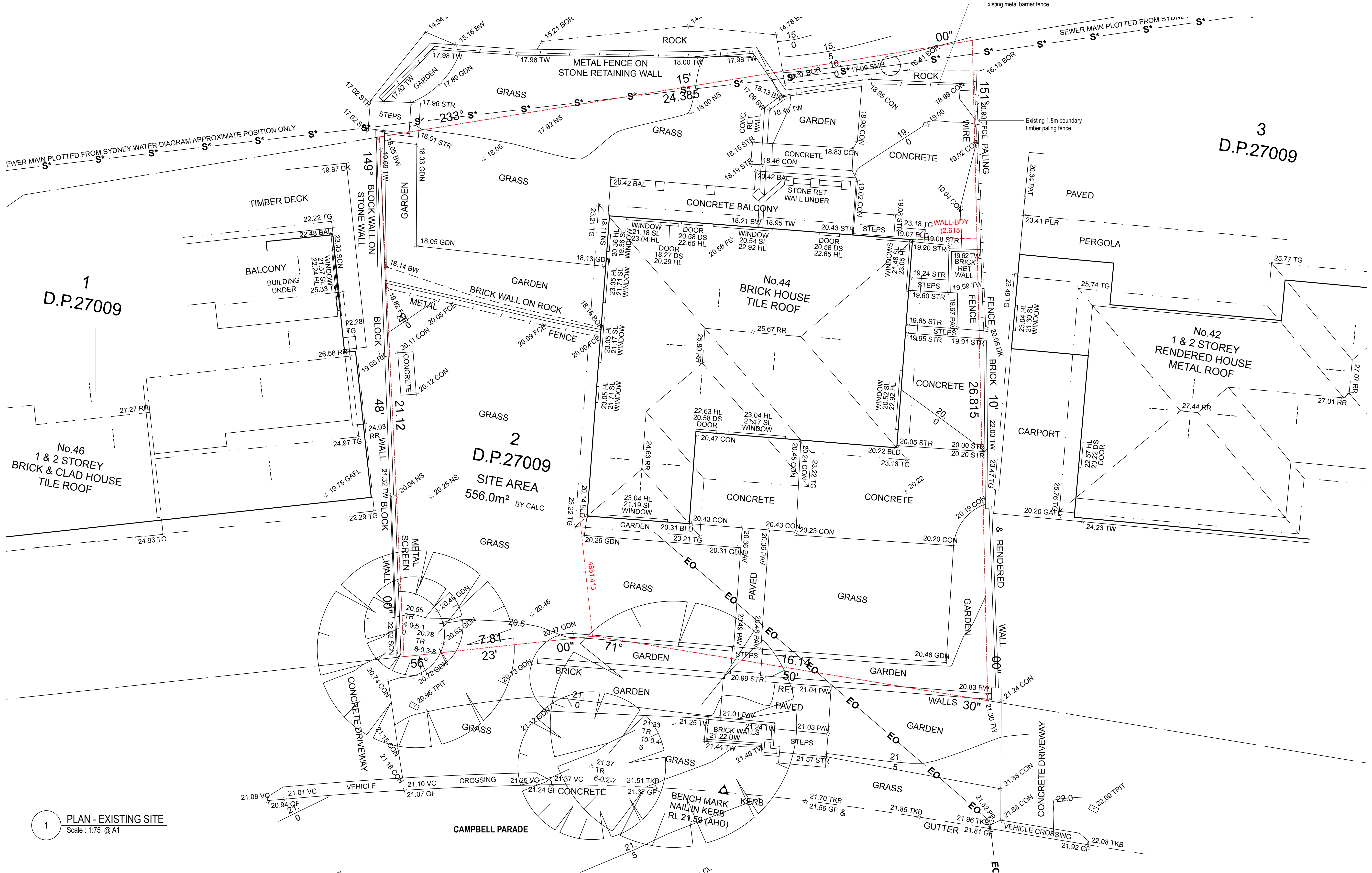
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CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE	DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
SITE - CONTEXT PLAN	A101	2403	AS NOTED	MB	TB	B

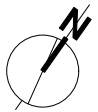


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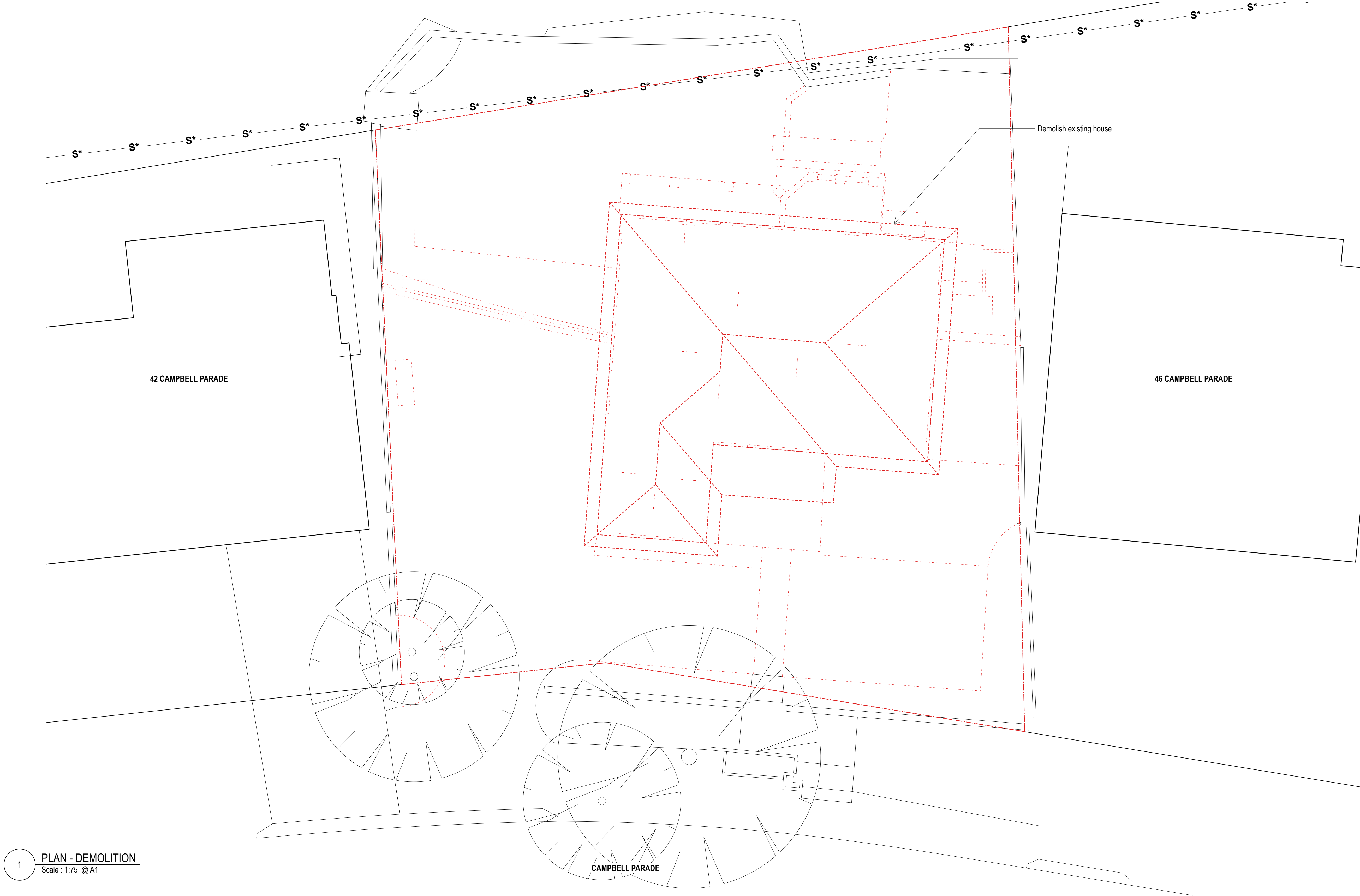
CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
PLAN - EXISTING

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A201	2403	1:75	MB	TB	B



1 PLAN - DEMOLITION
Scale : 1:75 @ A1



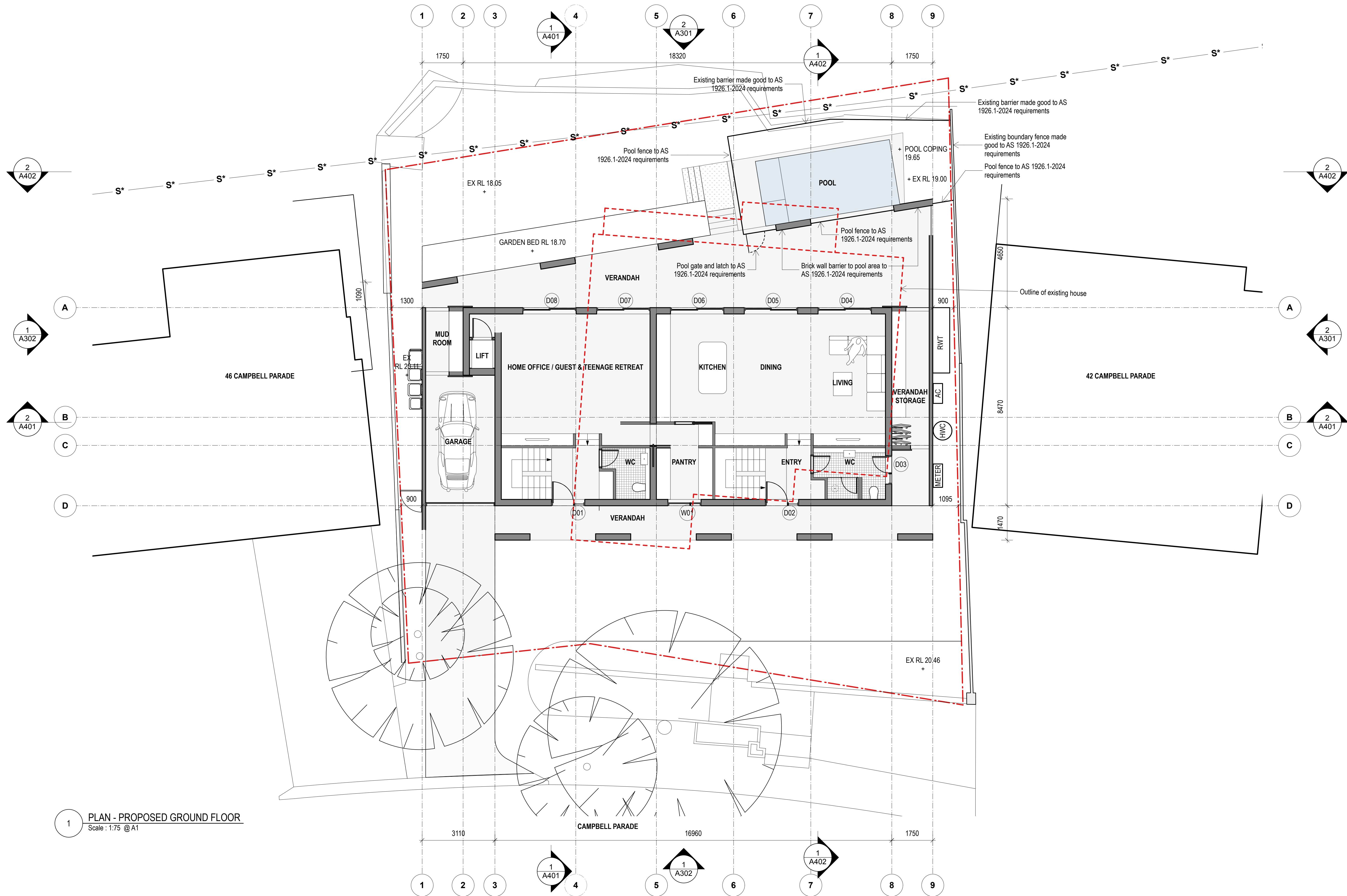
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Manly Vale

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**44 Campbell Parade,
Manly Vale**

TITLE					
PLAN - DEMOLITION					
DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A202	2403	1:75	MB	TB	B



1 PLAN - PROPOSED GROUND FLOOR
Scale : 1:75 @ A1

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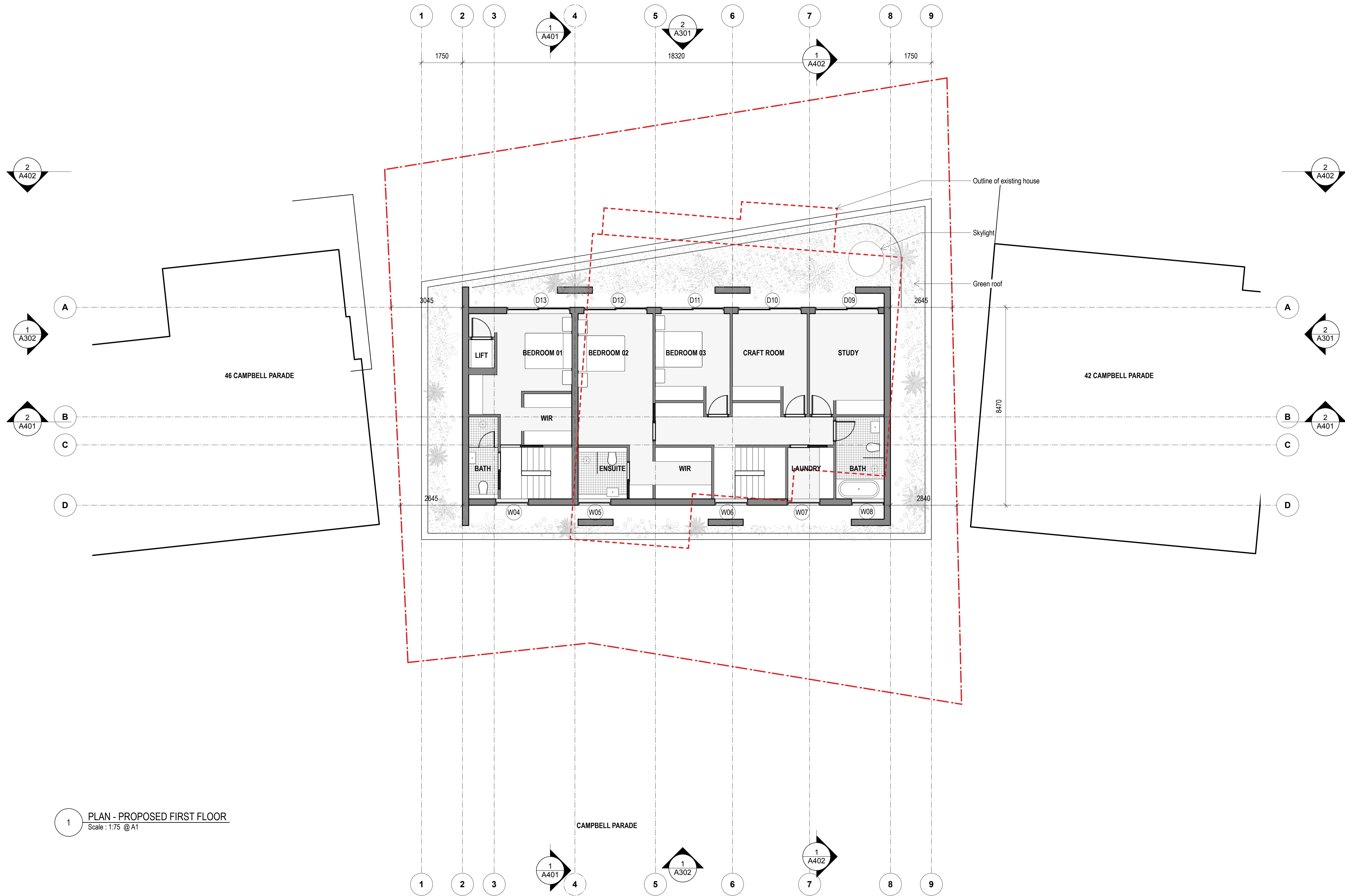
CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
PLAN - PROPOSED GROUND FLOOR

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A210	2403	1:75	MB	TB	B



1 PLAN - PROPOSED FIRST FLOOR
Scale : 1:75 @ A1

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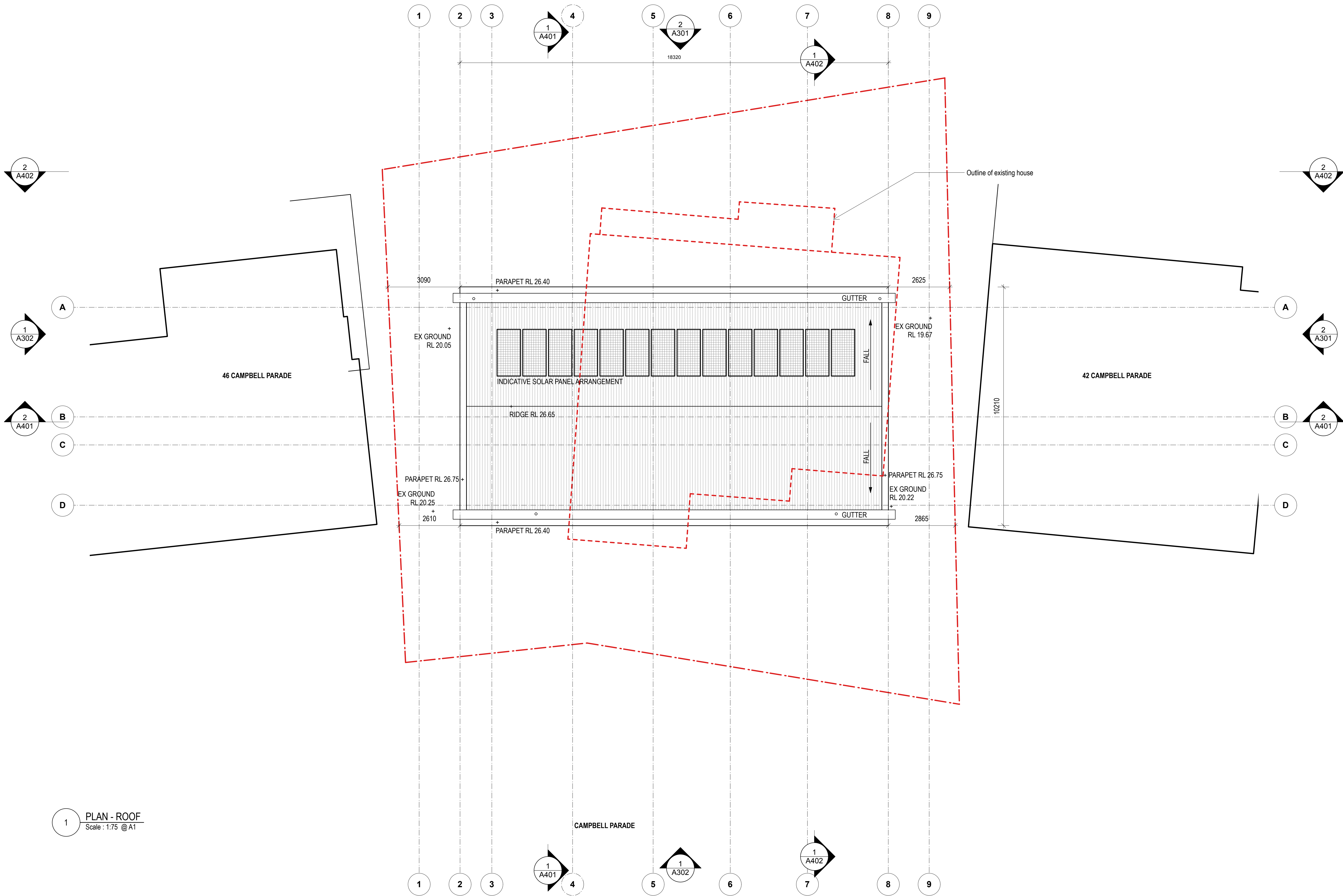
CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
PLAN - PROPOSED FIRST FLOOR

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A211	2403	1:75	MB	TB	B



1 PLAN - ROOF
Scale : 1:75 @ A1

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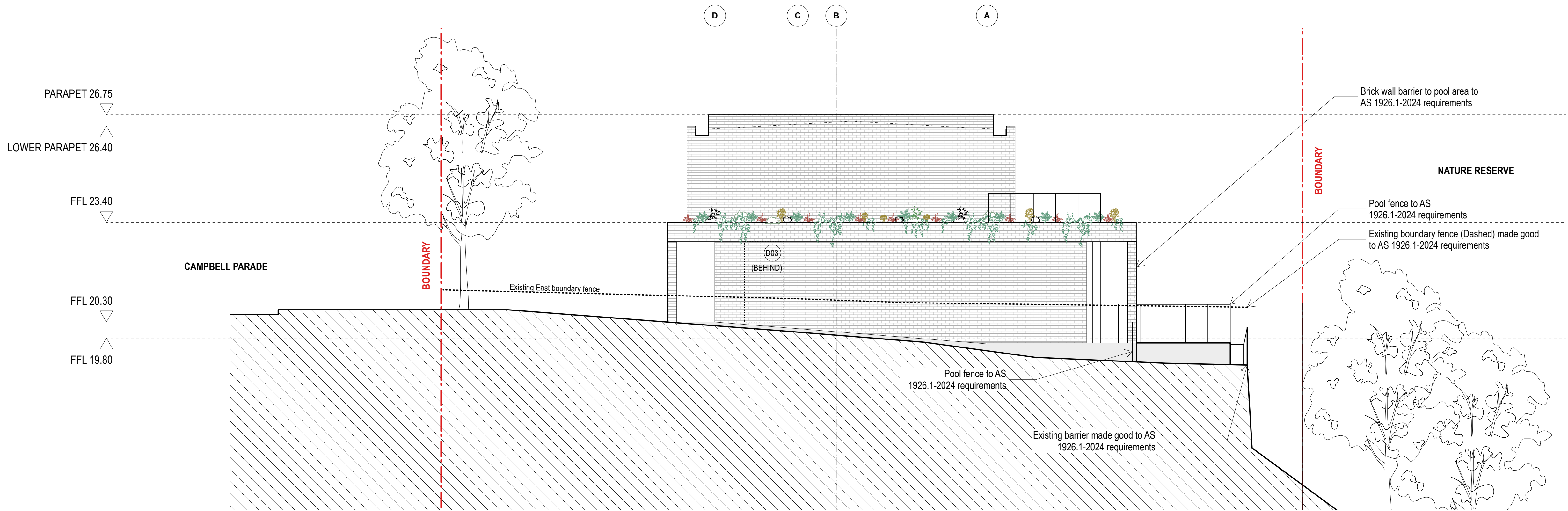
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PROJECT
Manly Vale

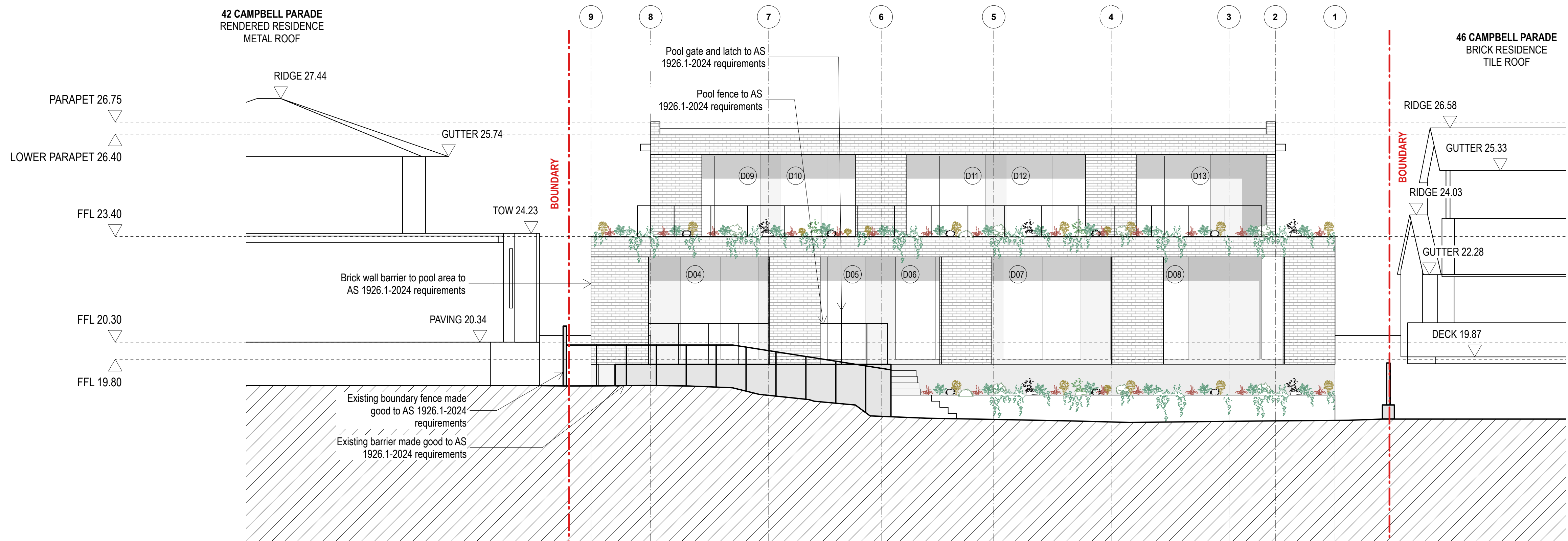
PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
PLAN - PROPOSED ROOF PLAN

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A212	2403	1:75	MB	TB	B

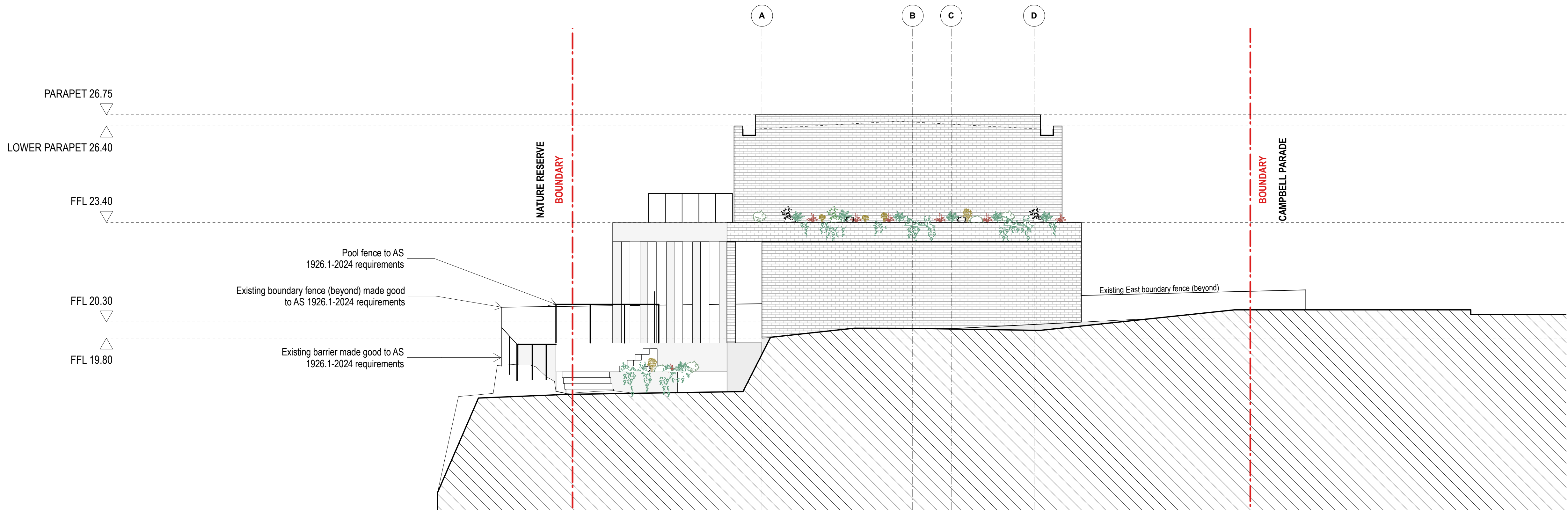


1 PROPOSED ELEVATION - EAST
Scale : 1:75 @A1

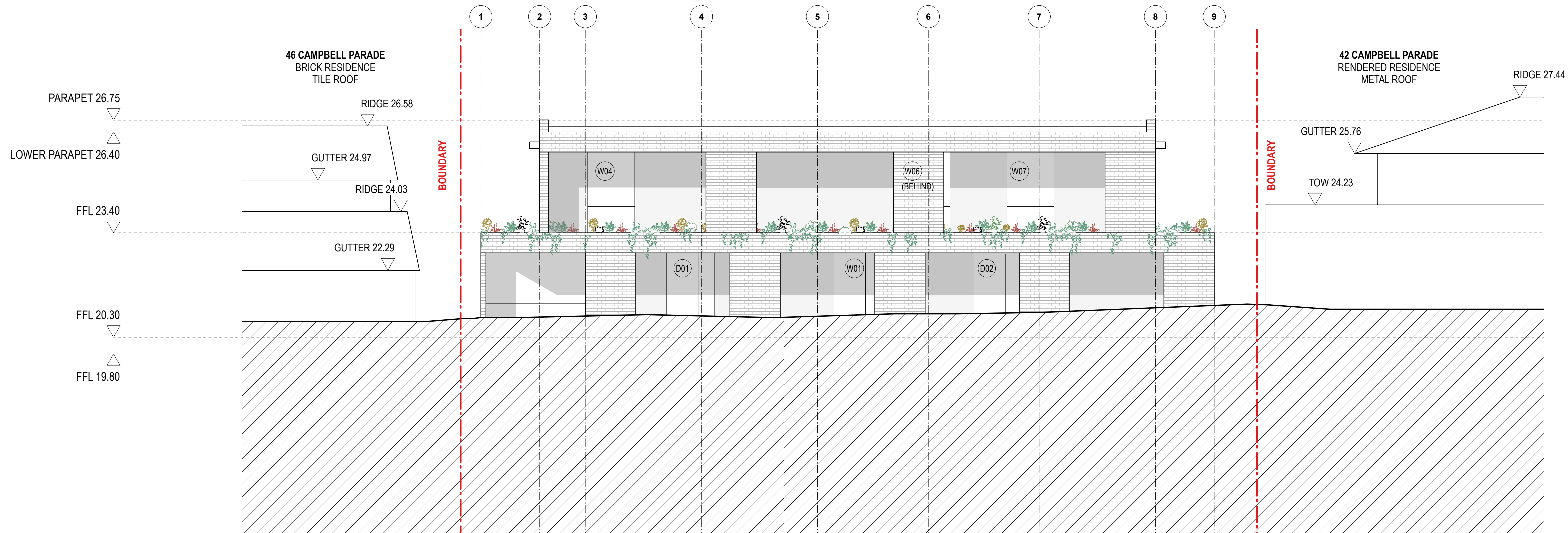


2 PROPOSED ELEVATION - NORTH
Scale : 1:75 @A1





1 PROPOSED ELEVATION - WEST
Scale : 1:75 @ A1



2 PROPOSED ELEVATION - SOUTH
Scale : 1:75 @ A1



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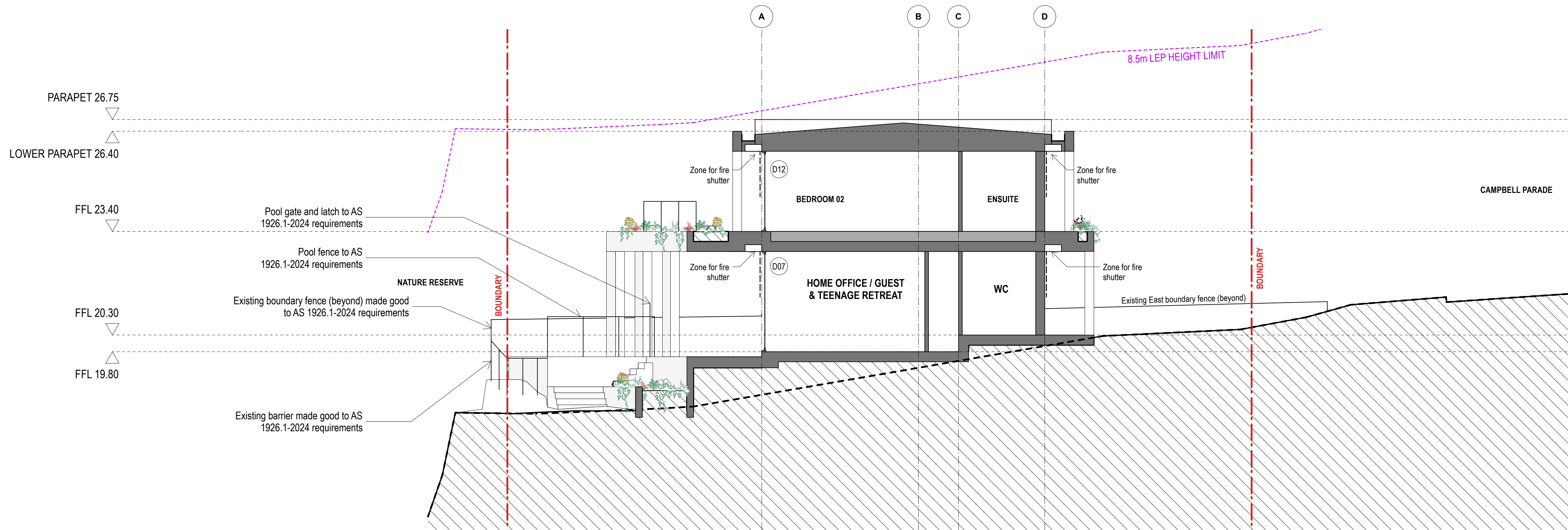
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PROJECT
Manly Vale

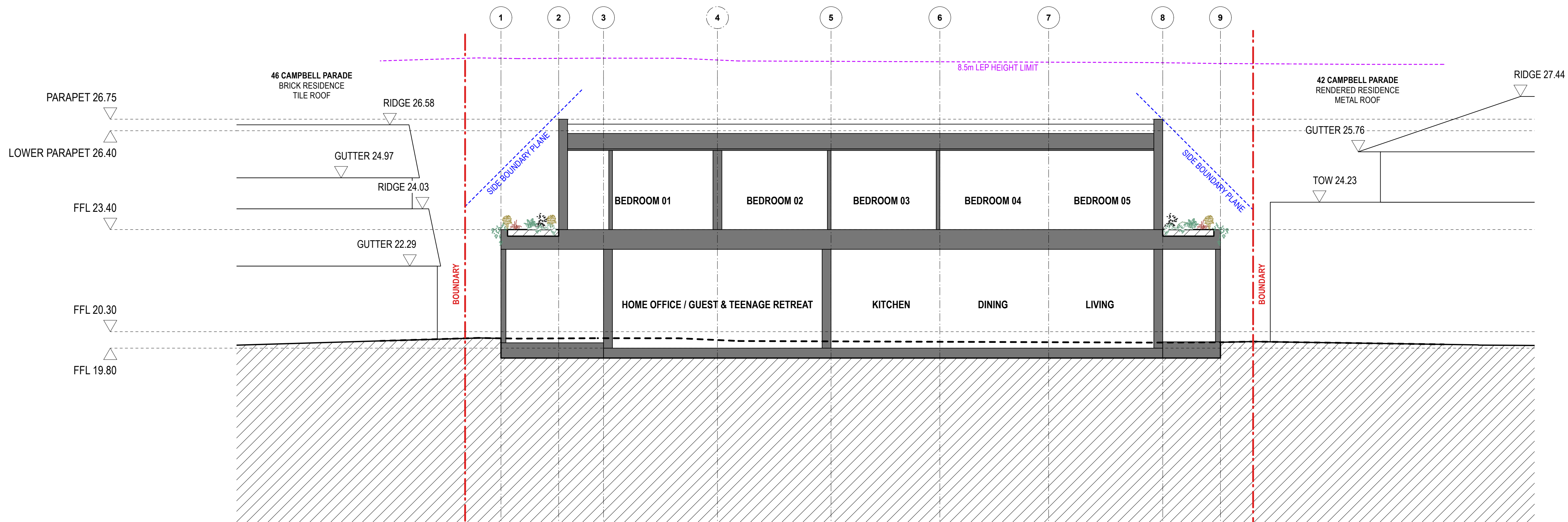
PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
ELEVATIONS - SOUTH + WEST

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A302	2403	1:75	MB	TB	B

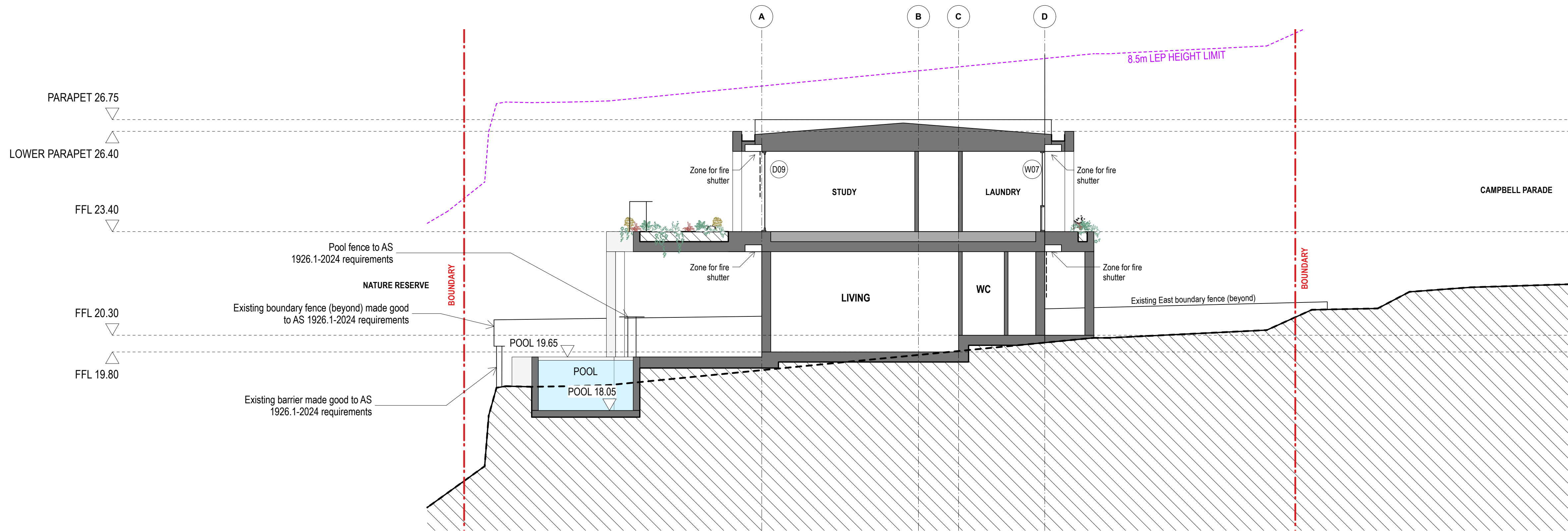


1 PROPOSED SECTION - CROSS
Scale : 1:75 @ A1

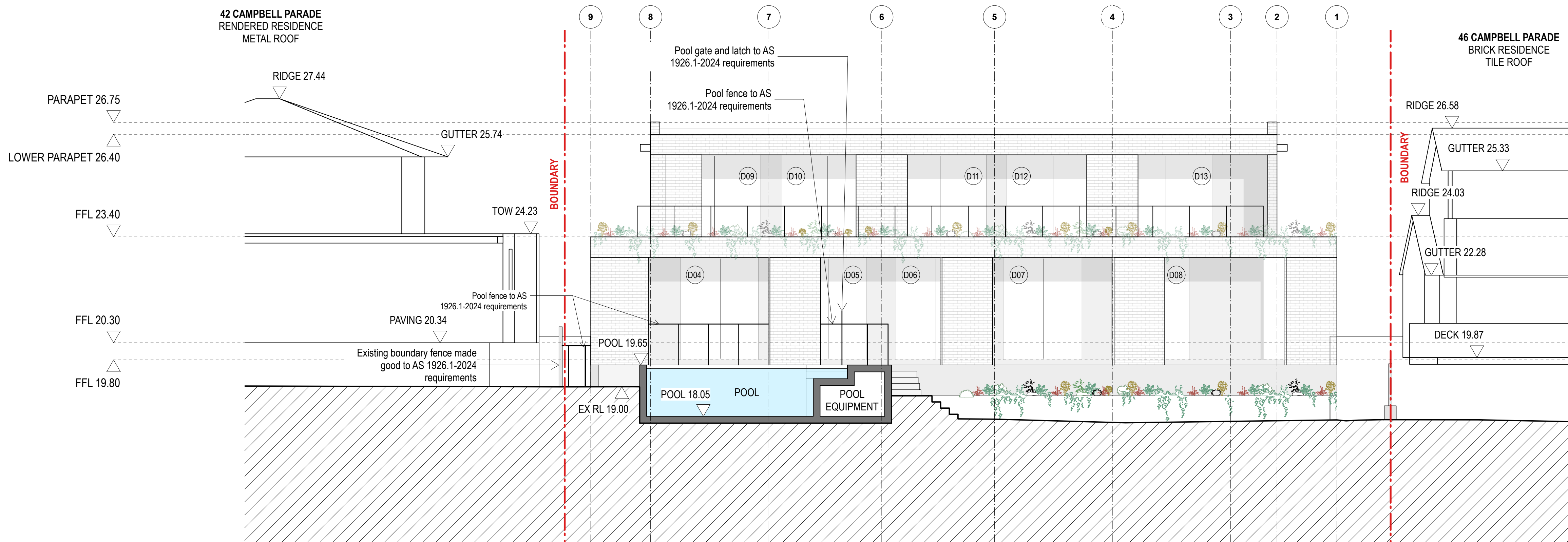


2 PROPOSED SECTION - LONG
Scale : 1:75 @ A1



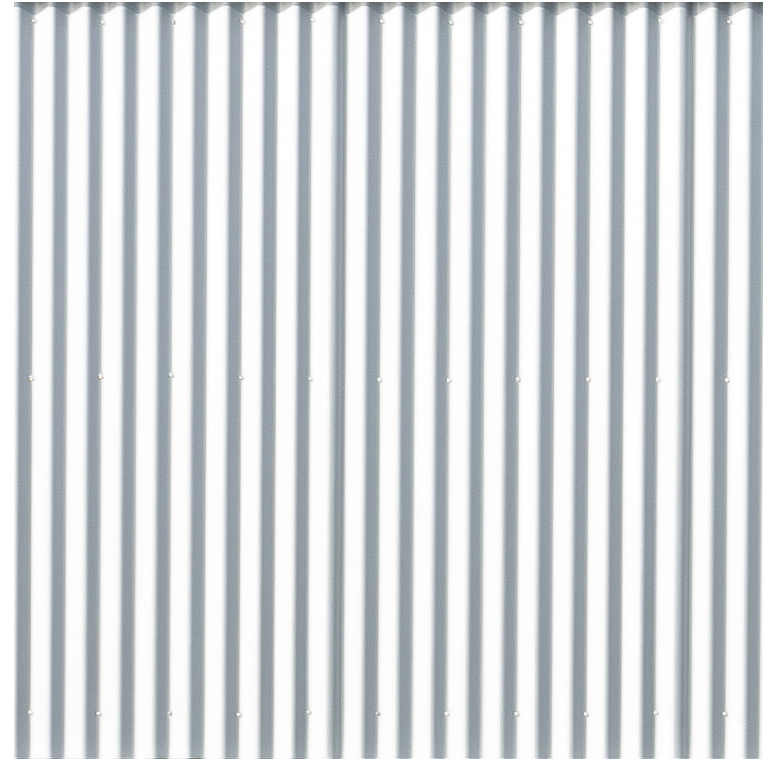


1 PROPOSED SECTION - CROSS
Scale : 1:75 @ A1



2 PROPOSED SECTION - LONG
Scale : 1:75 @ A1





RFS-101
GREY METAL ROOF



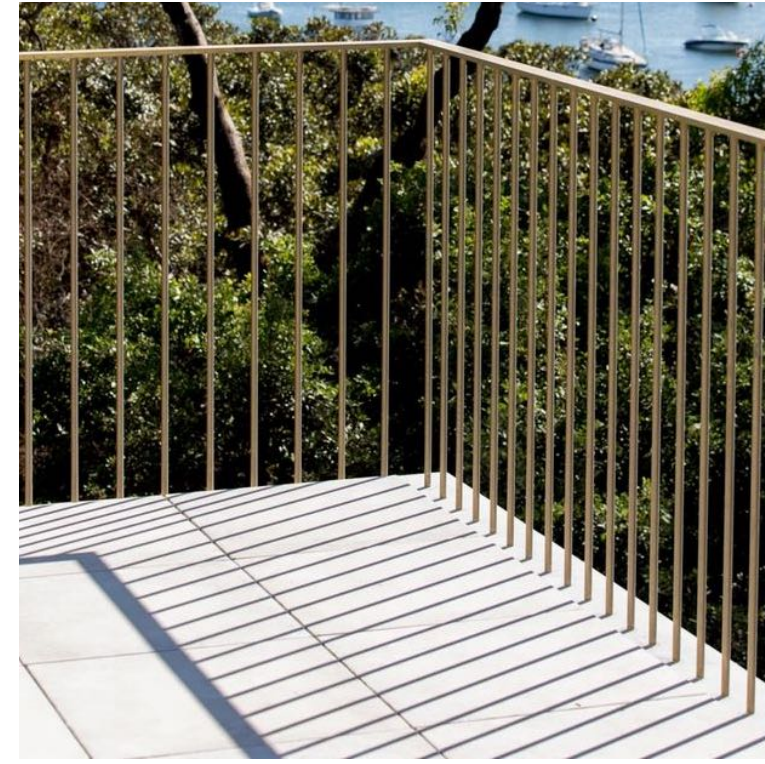
BRK-101
LIGHT BRICK /
LIGHT PAINTED BRICK



WD-01
ALUMINIUM FRAMED GLASS
WINDOWS & DOORS



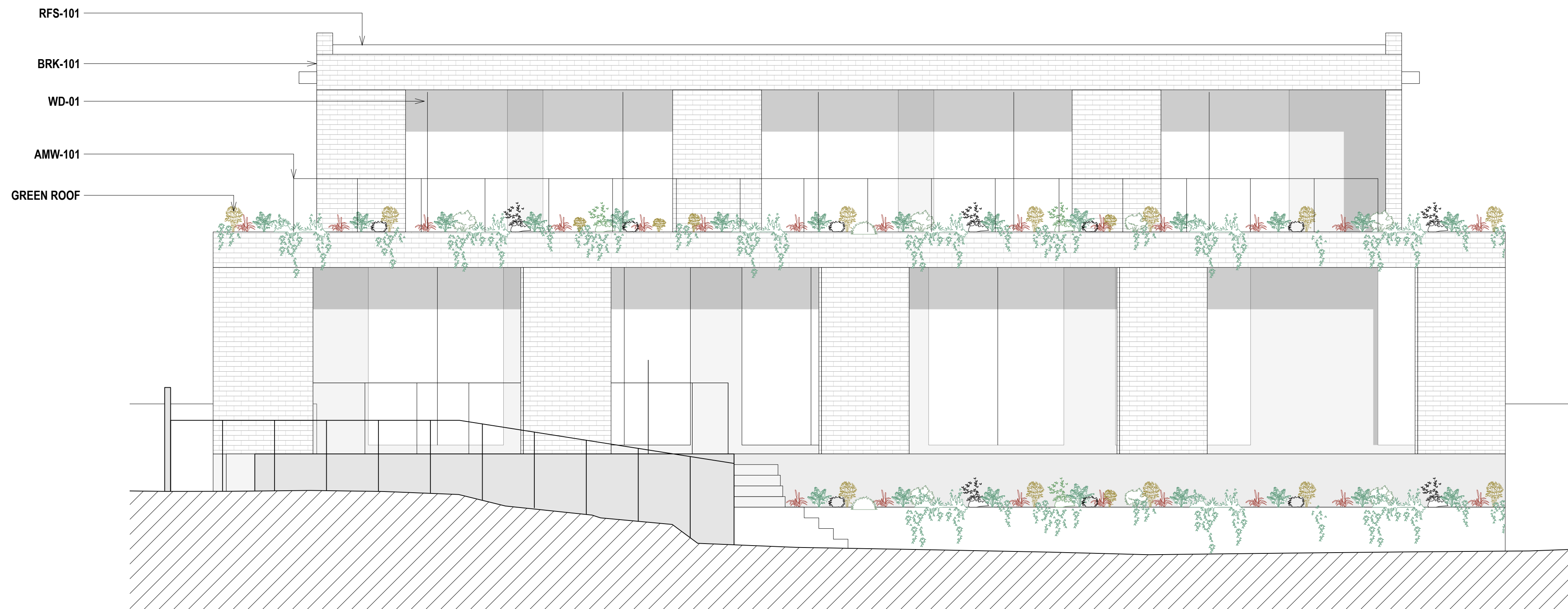
CON-101
GREY CONCRETE / RENDER
or BRK-101

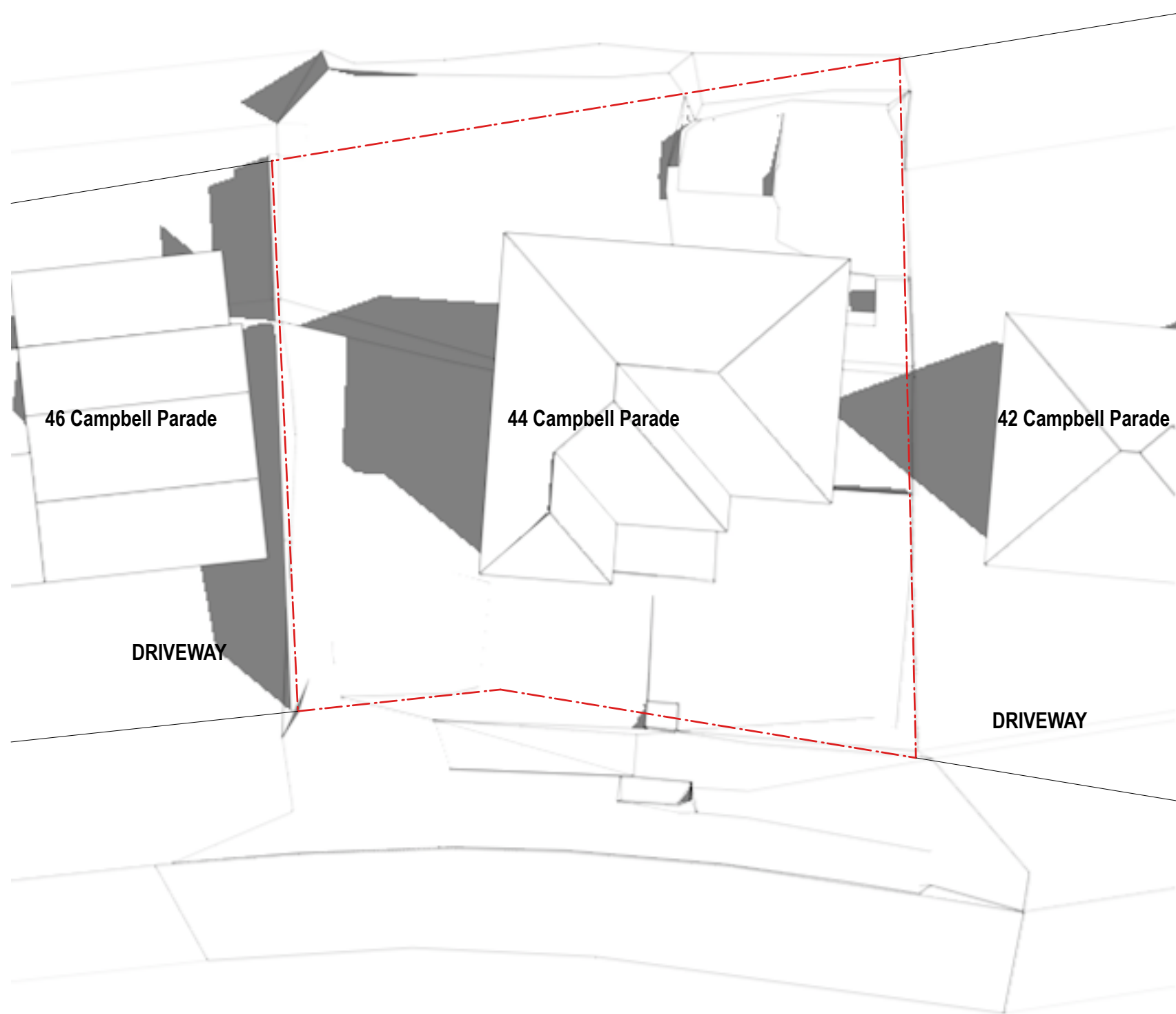


AMW-101
METAL BALUSTRADE

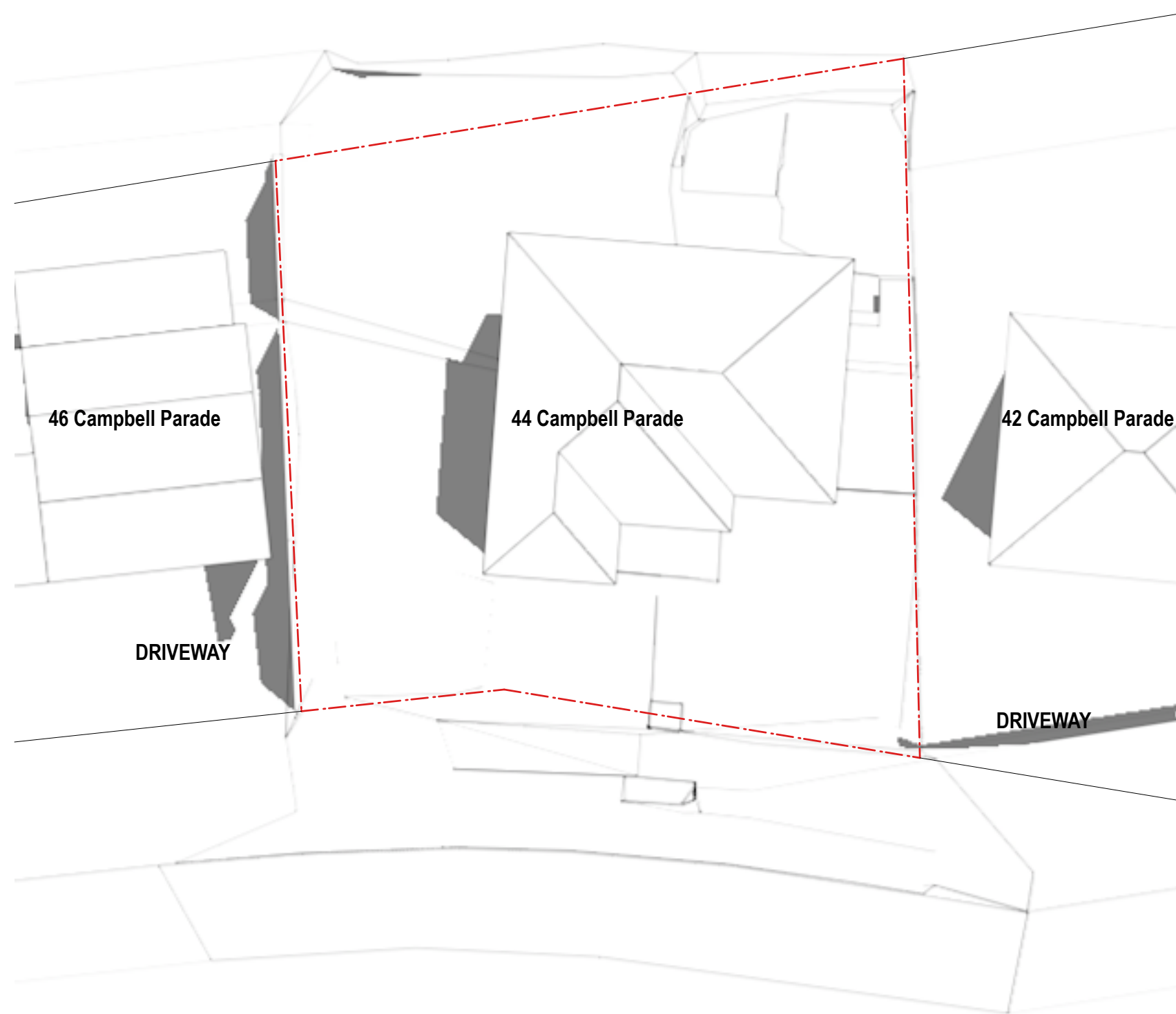


GREEN ROOF
THE GREEN WALL ECO PILLOW SYSTEM
OR EQUIVALENT

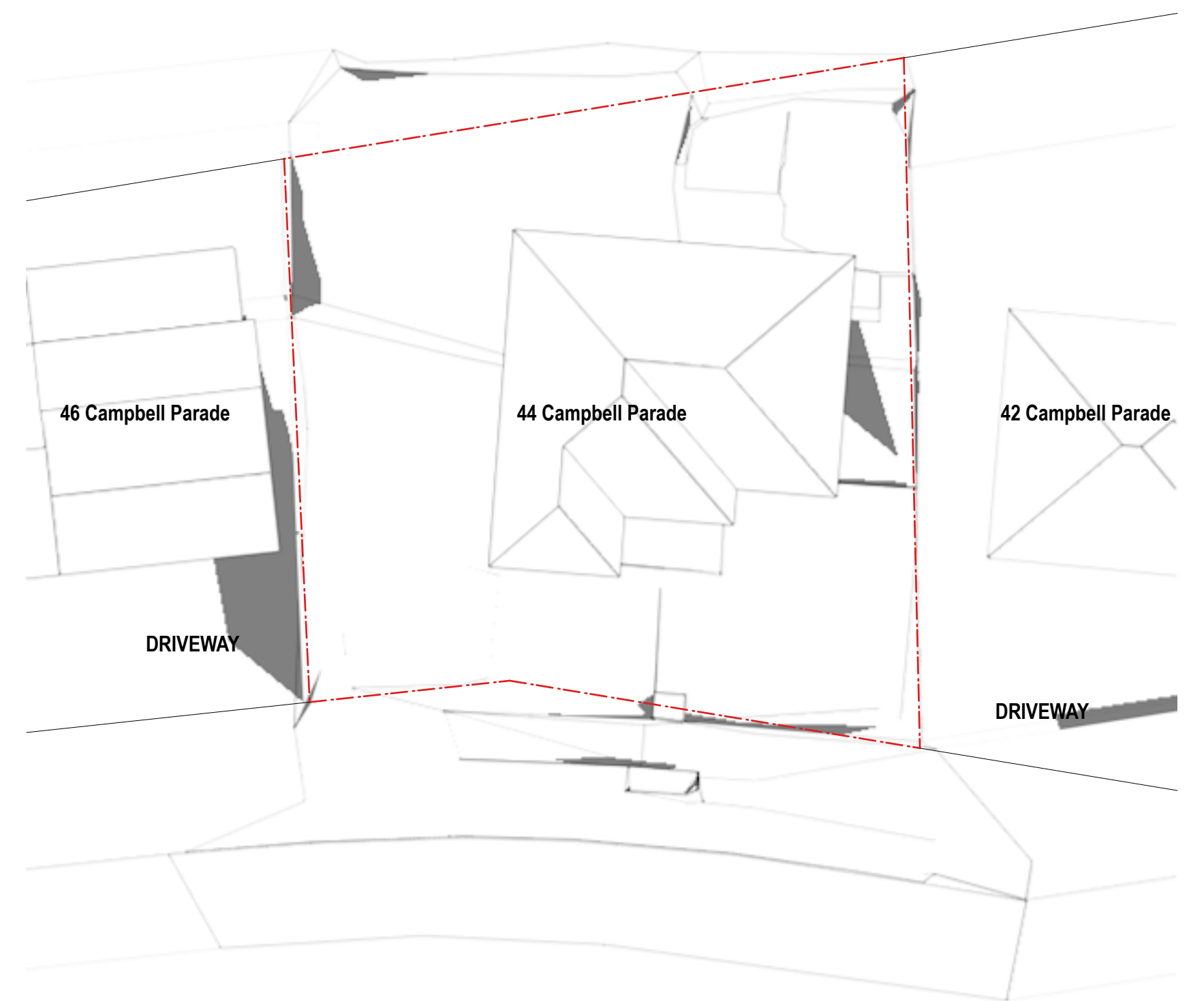




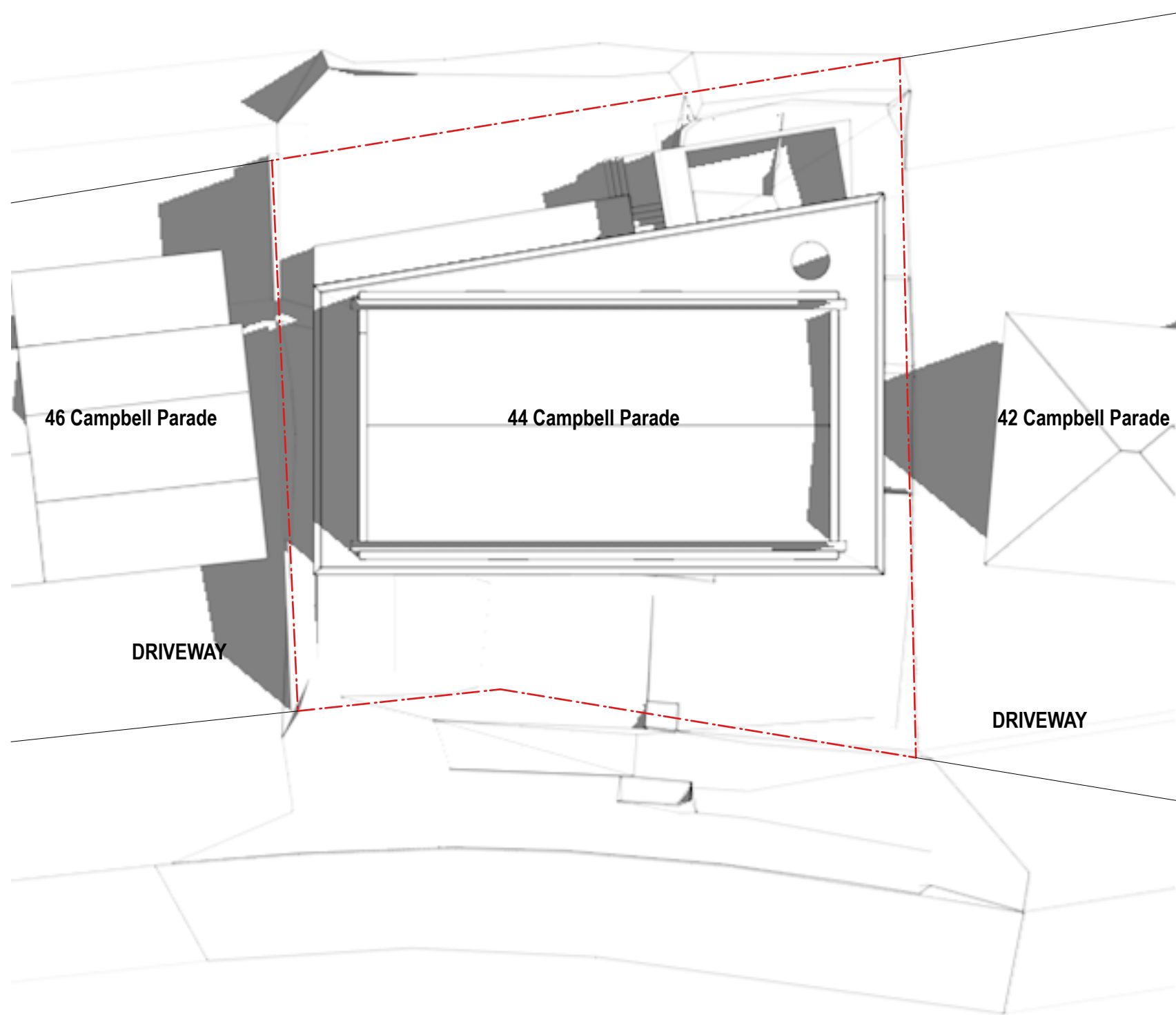
1 Sun Study - Existing - June 21st - 9:00am
Scale : 1:200 @ A1



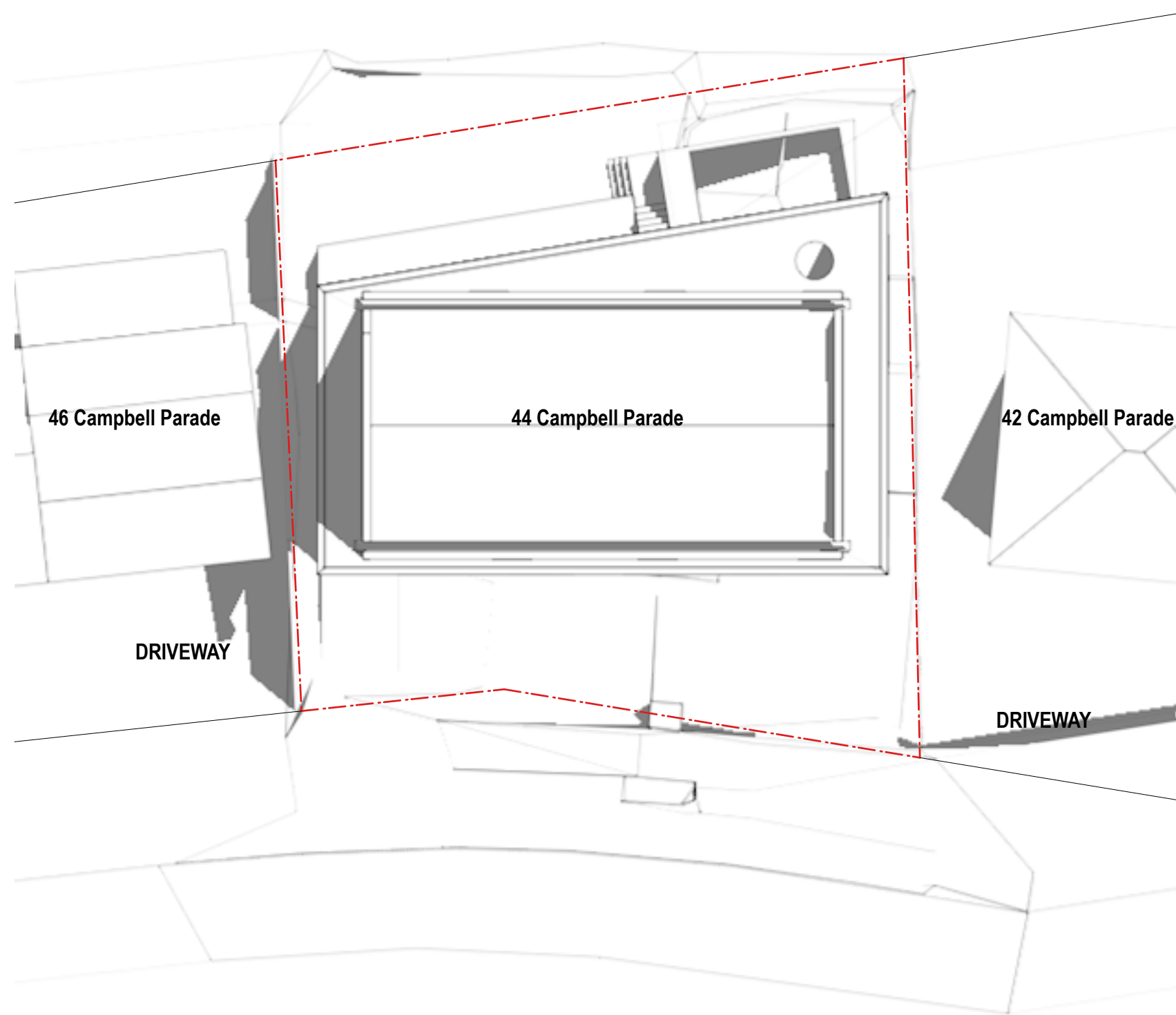
2 Sun Study - Existing - June 21st - 12:00pm
Scale : 1:200 @ A1



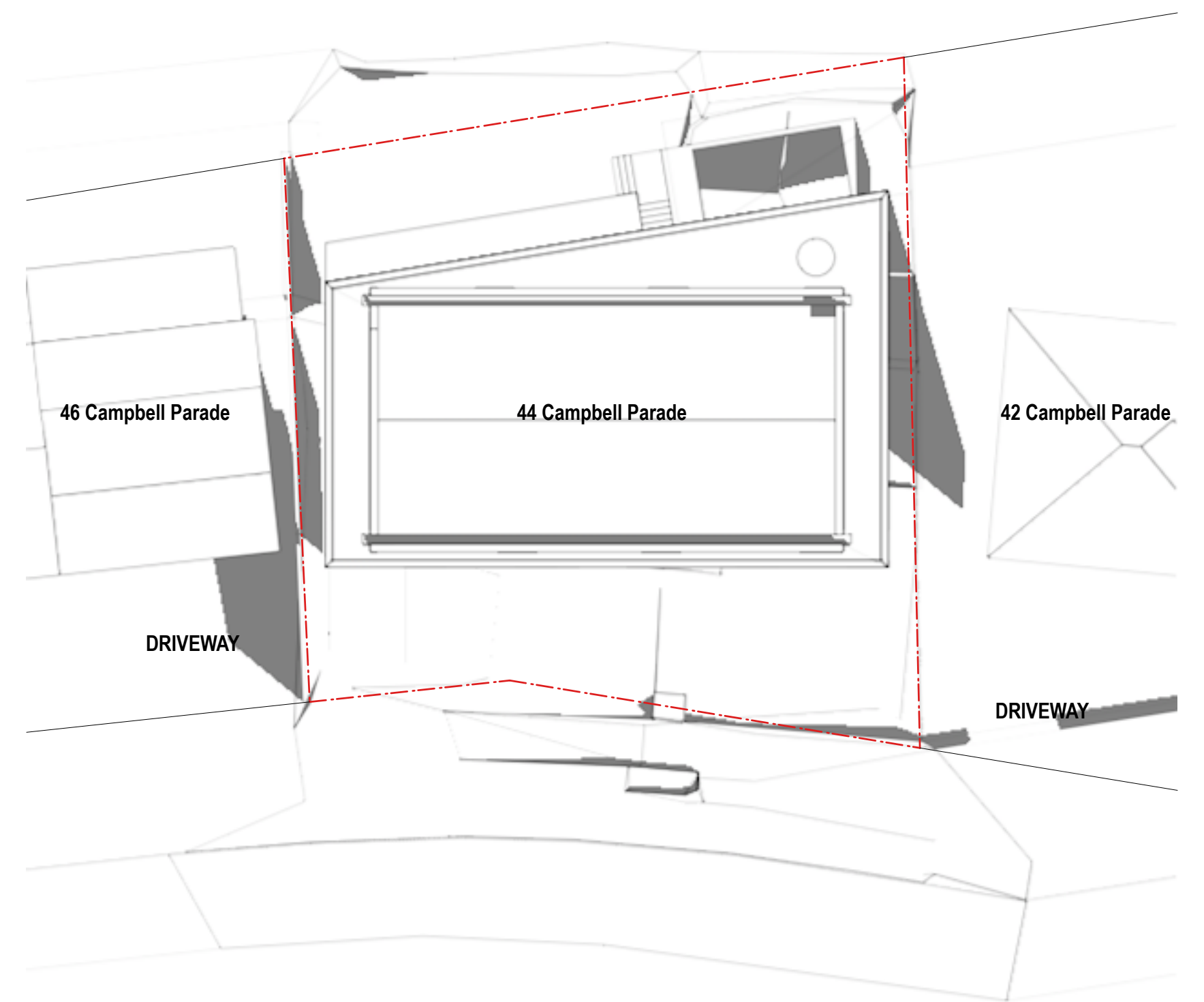
3 Sun Study - Existing - June 21st - 3:00pm
Scale : 1:200 @ A1



4 Sun Study - Proposed - June 21st - 9:00am
Scale : 1:200 @ A1



5 Sun Study - Proposed - June 21st - 12:00pm
Scale : 1:200 @ A1



6 Sun Study - Proposed - June 21st - 3:00pm
Scale : 1:200 @ A1

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SCALE BAR

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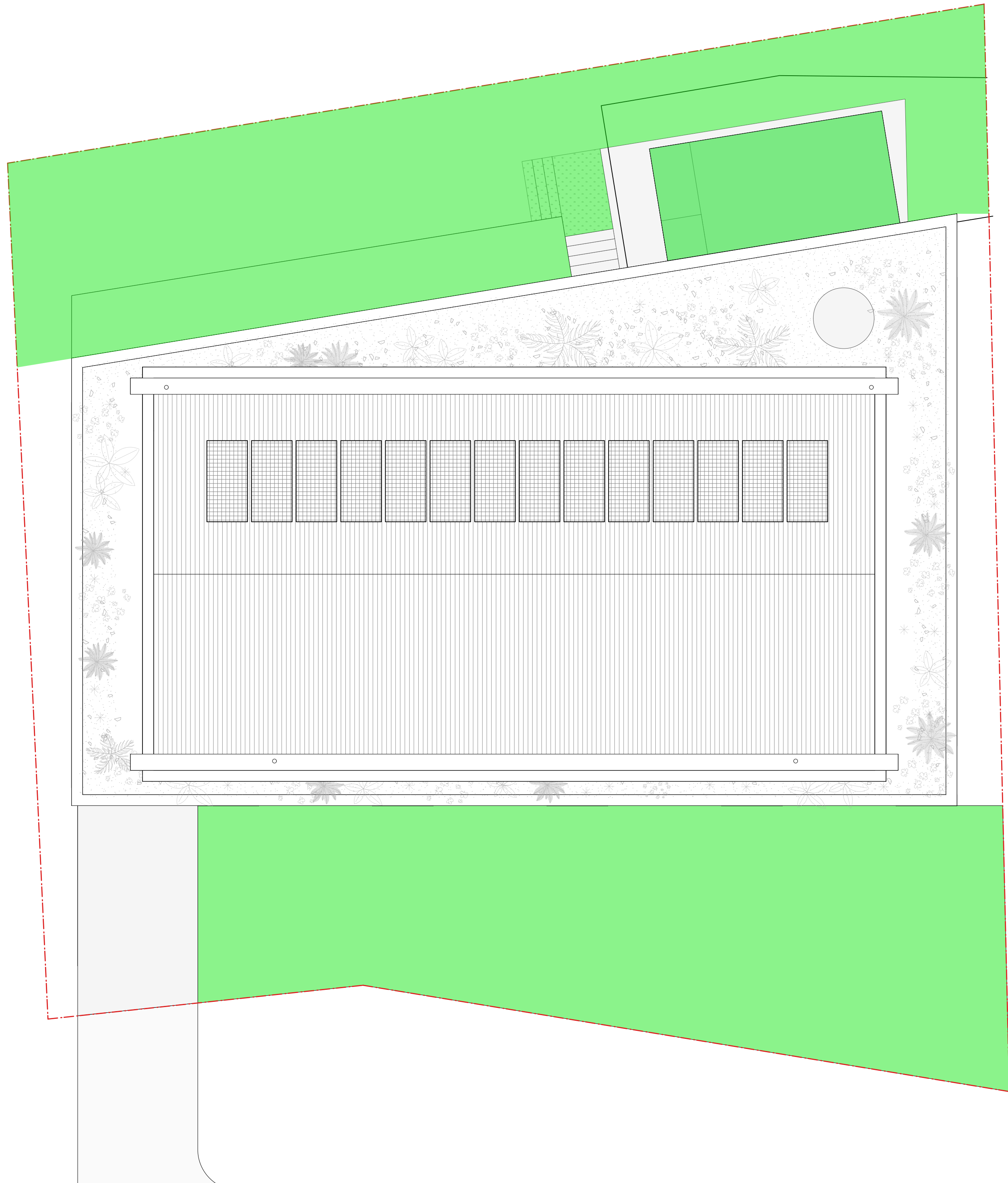
CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
SHADOW DIAGRAMS

DWG NO. A502	PROJECT NO. 2403	SCALE @ A1 1:200	DRAWN MB	CHECKED TB	REV. B
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1 **PLAN - PROPOSED LANDSCAPE AREA**
Scale : 1:75 @ A1

LEGEND

- LANDSCAPE AREA >2M: 224.3 sqm SITE AREA: 556 sqm
LANDSCAPE AREA >2M: 40% OF SITE AREA

SCALE BAR

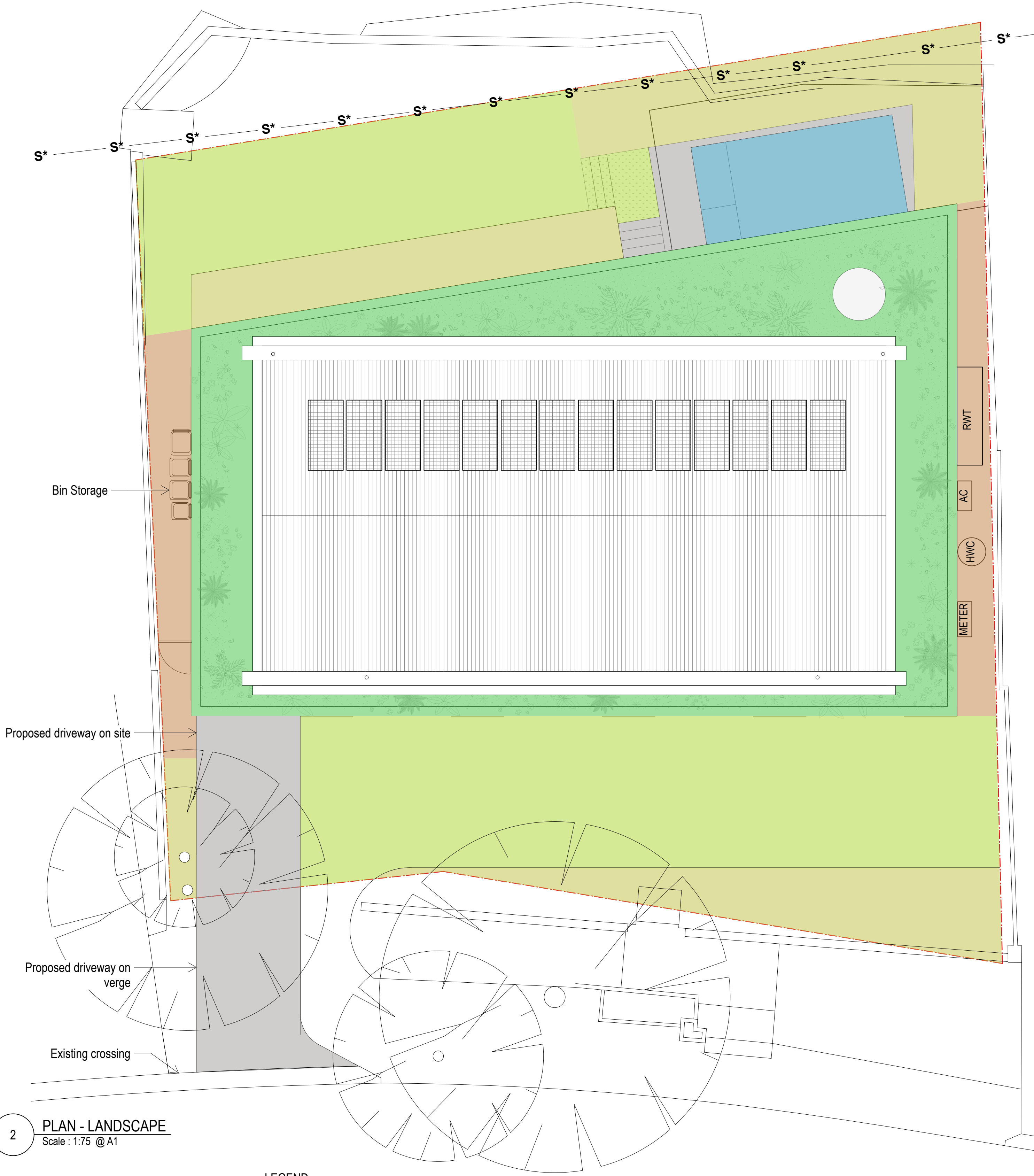
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ARCHI
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2 **PLAN - LANDSCAPE**
Scale : 1:75 @ A1

LEGEND

- POOL LAWN
 GRAVEL NATIVE LOW SHRUBS & GROUND COVERS (Species selected from NBC Native Planting Guide - Manly Ward)
 CONCRETE GREEN ROOF (Species selected from NBC Native Planting Guide - Manly Ward)

REV	DATE	DESCRIPTION
A	9/5/2025	Preliminary DA
B	10/7/2025	DA Submission

CLIENT
Robyn Storer

PROJECT
Manly Vale

PROJECT ADDRESS
**44 Campbell Parade,
Manly Vale**

TITLE
PLAN - PROPOSED LANDSCAPE

DWG NO.	PROJECT NO.	SCALE @ A1	DRAWN	CHECKED	REV.
A503	2403	1:75	MB	TB	B