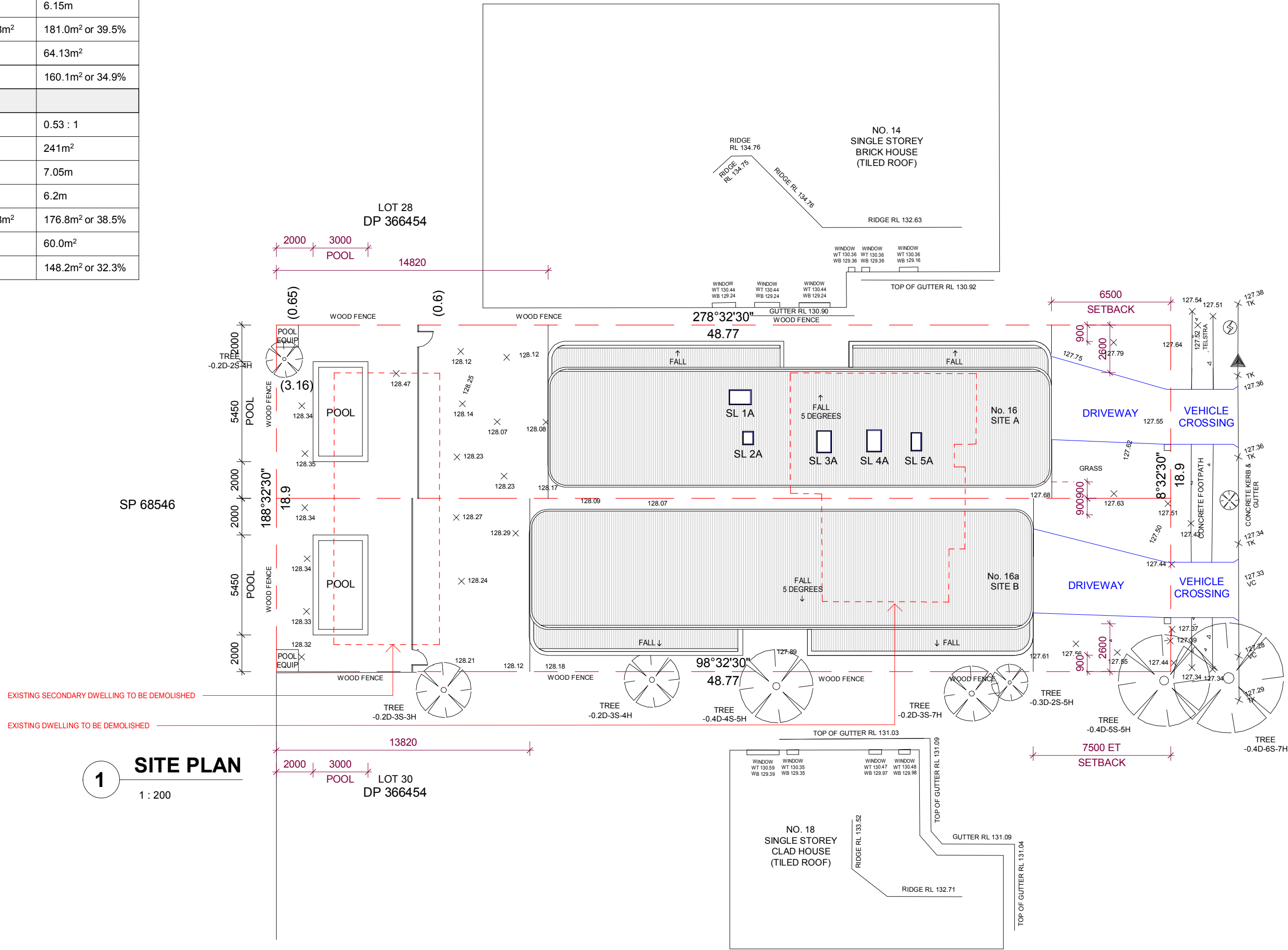
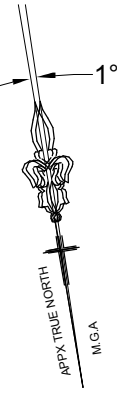


CALCULATIONS		
SITE AREA	916.9m ²	
	CONTROL	PROPOSED
SITE A (458.45m ²)		
FSR	0.65 : 1	0.53 : 1
GFA	297.95m ²	241m ²
HEIGHT	9.5m	6.95m
WALL HEIGHT	7.5m	6.15m
LANDSCAPED AREA	40% or 183.38m ²	181.0m ² or 39.5%
PRIVATE OPEN SPACE	60m ²	64.13m ²
DEEP SOIL		160.1m ² or 34.9%
SITE B (458.45m ²)		
FSR	0.65 : 1	0.53 : 1
GFA	297.95m ²	241m ²
HEIGHT	9.5m	7.05m
WALL HEIGHT	7.5m	6.2m
LANDSCAPED AREA	40% or 183.38m ²	176.8m ² or 38.5%
PRIVATE OPEN SPACE	60.0m ²	60.0m ²
DEEP SOIL		148.2m ² or 32.3%



1 SITE PLAN
1 : 200



MELWOOD AVENUE



AMENDMENTS	

THE WORKS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAS CODES AND AS/NZS 1171:2016.
THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS.
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PHONE: 0419 438 956
EMAIL: info@coronaprojects.com

DRAWING
SITE PLAN

SCALE
1 : 200 @ A2

PROJECT
NEW DUAL OCCUPANCY

ADDRESS
16 MELWOOD AVENUE FORESTVILLE

SHEET No
1

DATE:
MAY 2025



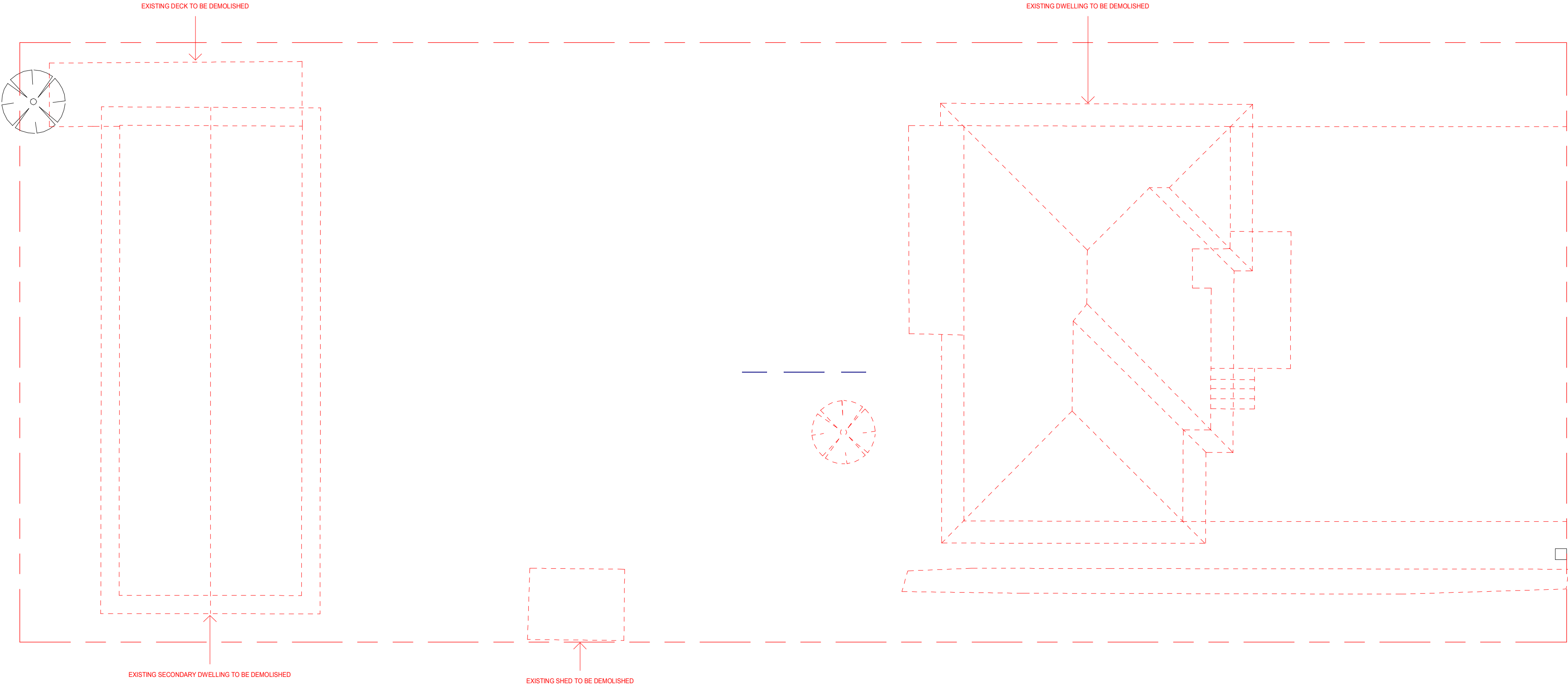
DEMOLITION WORK PLAN

THE DEMOLITION OF BUILDINGS AND THE REMOVAL, STORAGE, HANDLING AND DISPOSAL OF BUILDING MATERIALS MUST BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF WORKCOVER NSW, THE NSW DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE & WATER INCLUDING:

- WORK HEALTH & SAFETY ACT 2011 AND REGULATIONS
- WORKCOVER NSW CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS
- WORKCOVER NSW GUIDELINES AND CODES OF PRACTICE
- AUSTRALIAN STANDARD 2601 (2001) - DEMOLITION OF STRUCTURES
- THE PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997 AND REGULATIONS
- RELEVANT EPA GUIDELINES

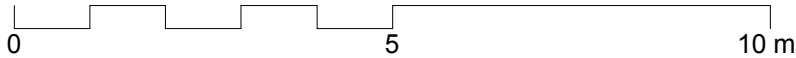
REMOVAL OF ASBESTOS MATERIALS
WORK INVOLVING THE DEMOLITION, STORAGE OR DISPOSAL OF ASBESTOS PRODUCTS AND MATERIALS MUST BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

- RELEVANT OCCUPATIONAL HEALTH & SAFETY LEGISLATION AND WORKCOVER NSW REQUIREMENTS
- A WORKCOVER LICENSED DEMOLITION OF ASBESTOS REMOVAL CONTRACTOR MUST UNDERTAKE REMOVAL OF MORE THAN 10m OF BONDED ASBESTOS (OR AS OTHERWISE SPECIFIED BY WORKCOVER OR RELEVANT LEGISLATION). REMOVAL OF FRIABLE ASBESTOS MATERIAL MUST ONLY BE UNDERTAKEN BY CONTRACTOR THAT HOLDS A CURRENT FRIABLE ASBESTOS REMOVAL LICENCE. A COPY OF THE RELEVANT LICENCE MUST BE PROVIDED TO THE PRINCIPAL CERTIFYING AUTHORITY.



1 DEMOLITION PLAN

1 : 100



AMENDMENTS		

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAS CODES AND ASBESTOS BY LAWS.
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DRAWING DEMOLITION PLAN SCALE 1 : 100 @ A2	PROJECT NEW DUAL OCCUPANCY	SHEET No 2	
	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	DATE: MAY 2025	

- PRIVATE OPEN SPACE 6.0 X 10.6

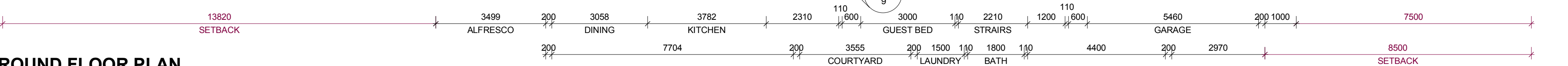
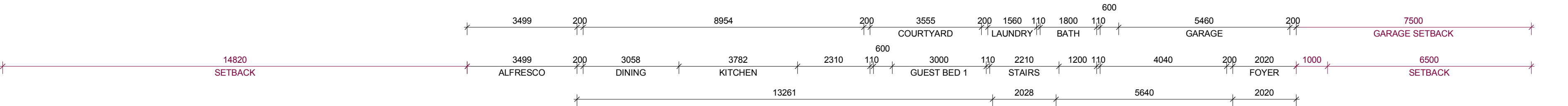
LANDSCAPED AREA 181.0m²

GFA 114.2m²

UPPER FLOOR
- LANDSCAPED AREA NOT INCLUDED IN CALACULATION

POOL AREA NOT INCLUDED IN DEEP SOIL LANDSCAPED CALACULATION

EXTENT OF DEEP SOIL CALCULATION
DEEP SOIL AREA 160.1m²



- GFA 114.2m²

LANDSCAPED AREA 176.7m²

PRIVATE OPEN SPACE 6.08 X 9.85

UPPER FLOOR
- LANDSCAPED AREA NOT INCLUDED IN CALACULATION

POOL AREA NOT INCLUDED IN DEEP SOIL LANDSCAPED CALACULATION

EXTENT OF DEEP SOIL CALCULATION
DEEP SOIL AREA 148.2m²

AMENDMENTS

Corona projects

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EMAIL: info@coronaprojects.com

DRAWING

GROUND FLOOR PLAN

SCALE

1 : 100 @ A2

PROJECT

NEW DUAL OCCUPANCY

ADDRESS

16 MELWOOD AVENUE FORESTVILLE

SHEET No

3

DATE:

MAY 2025

1

GROUND FLOOR PLAN

1 : 100

Certificate No. # E11TQOY4SO

Scan QR code or follow website link for rating details.

Assessor name
Akhtar Vaseem
Accreditation No.
101146
Property Address
16 Melwood Avenue
Forestville, NSW, 2087

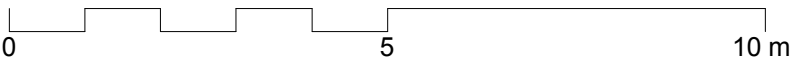
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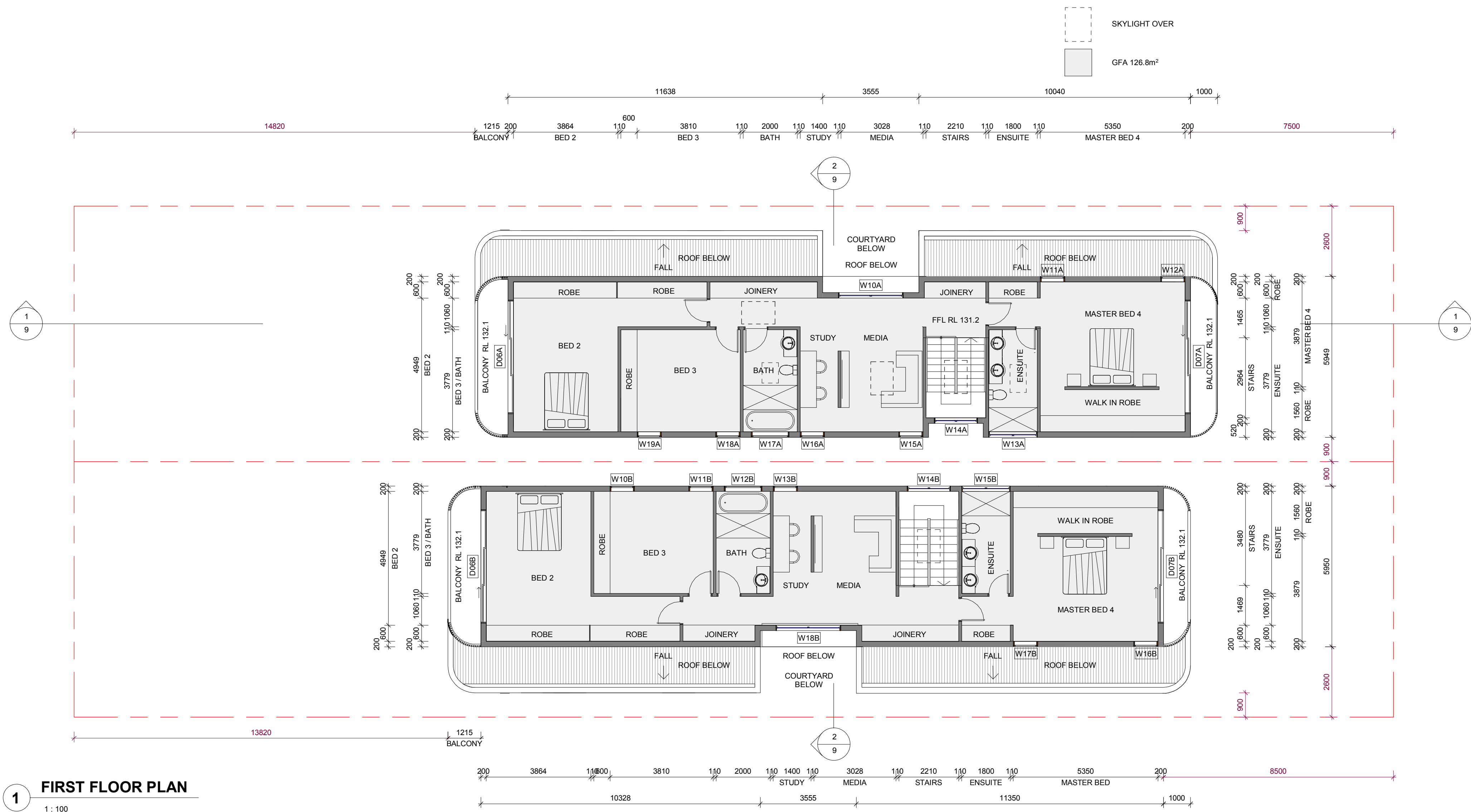
ABSA

Accreditation No. 301020001-200200006

Assessor Name: Akhtar Vaseem

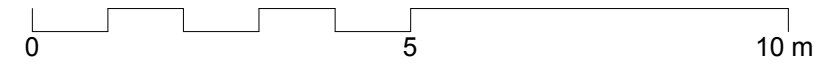
Assessor Number: 301466





1 FIRST FLOOR PLAN

1 : 100



AMENDMENTS	

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Corona projects

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EMAIL: info@coronaprojects.com

DRAWING
FIRST FLOOR PLAN

SCALE
1 : 100 @ A2

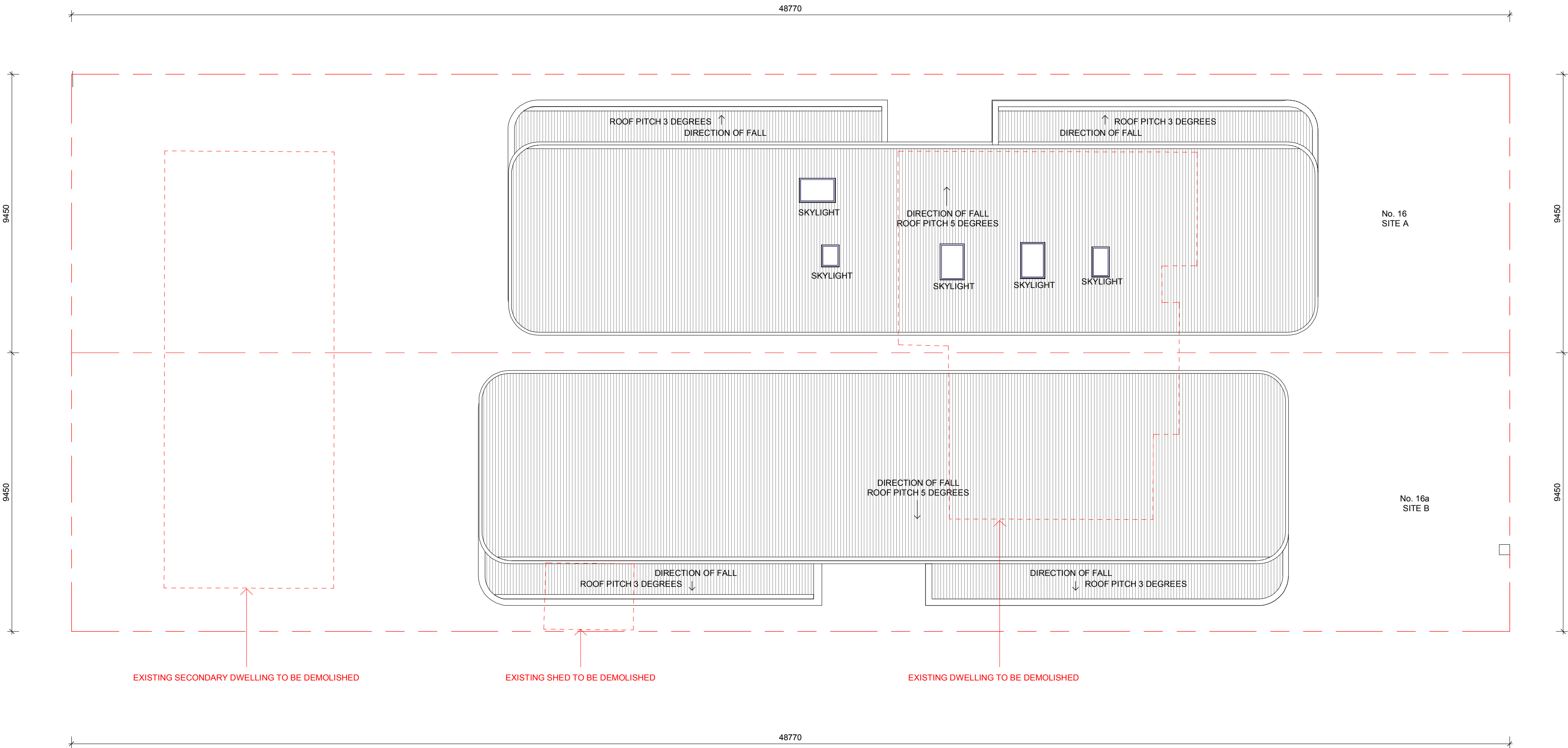
PROJECT
NEW DUAL OCCUPANCY

ADDRESS
16 MELWOOD AVENUE FORESTVILLE

SHEET No
4

DATE:
MAY 2025

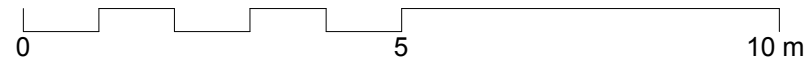
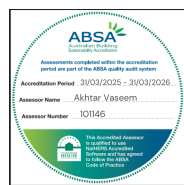






1

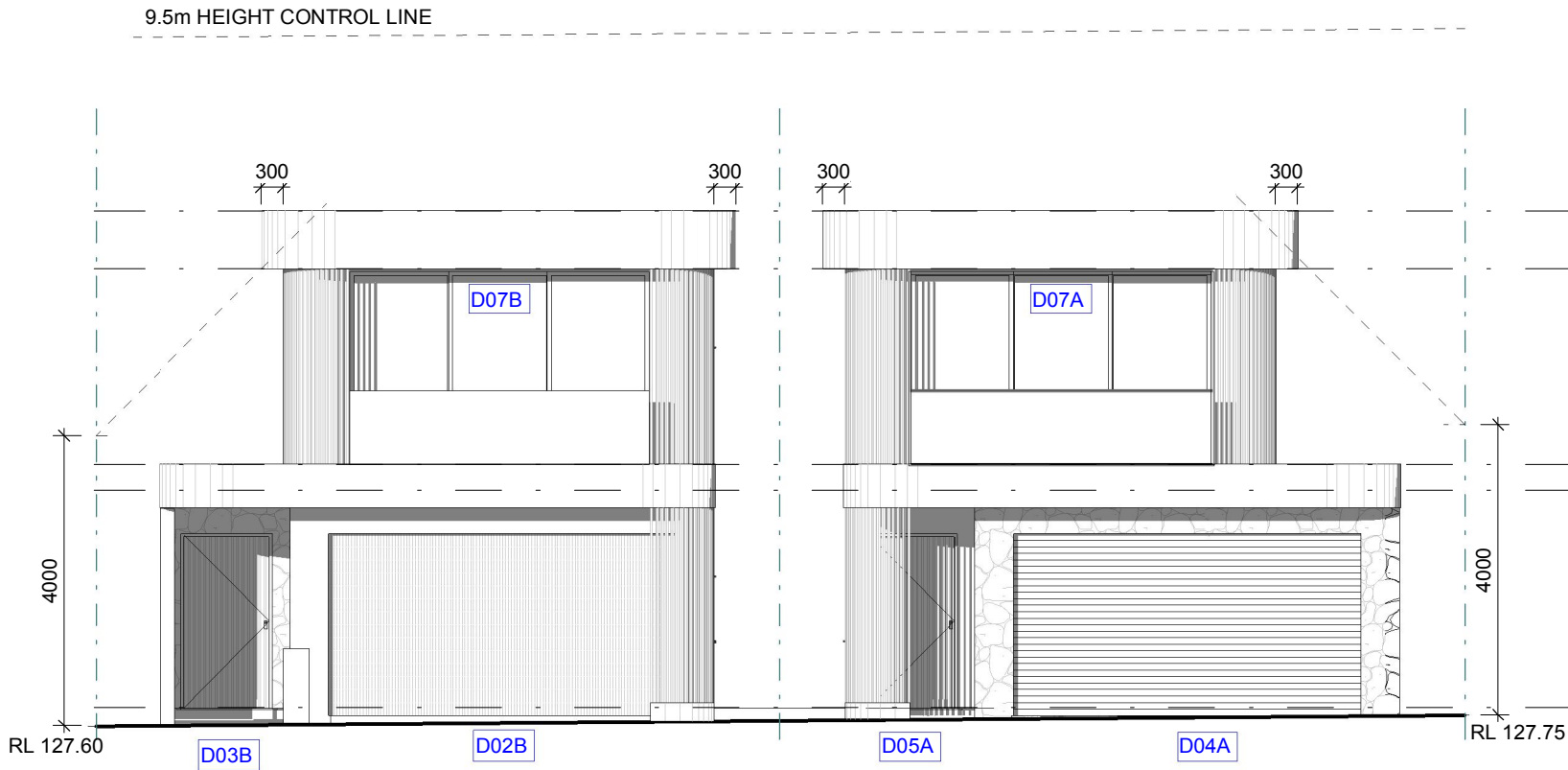
ROOF / SUB-DIVISION PLAN

1 : 100

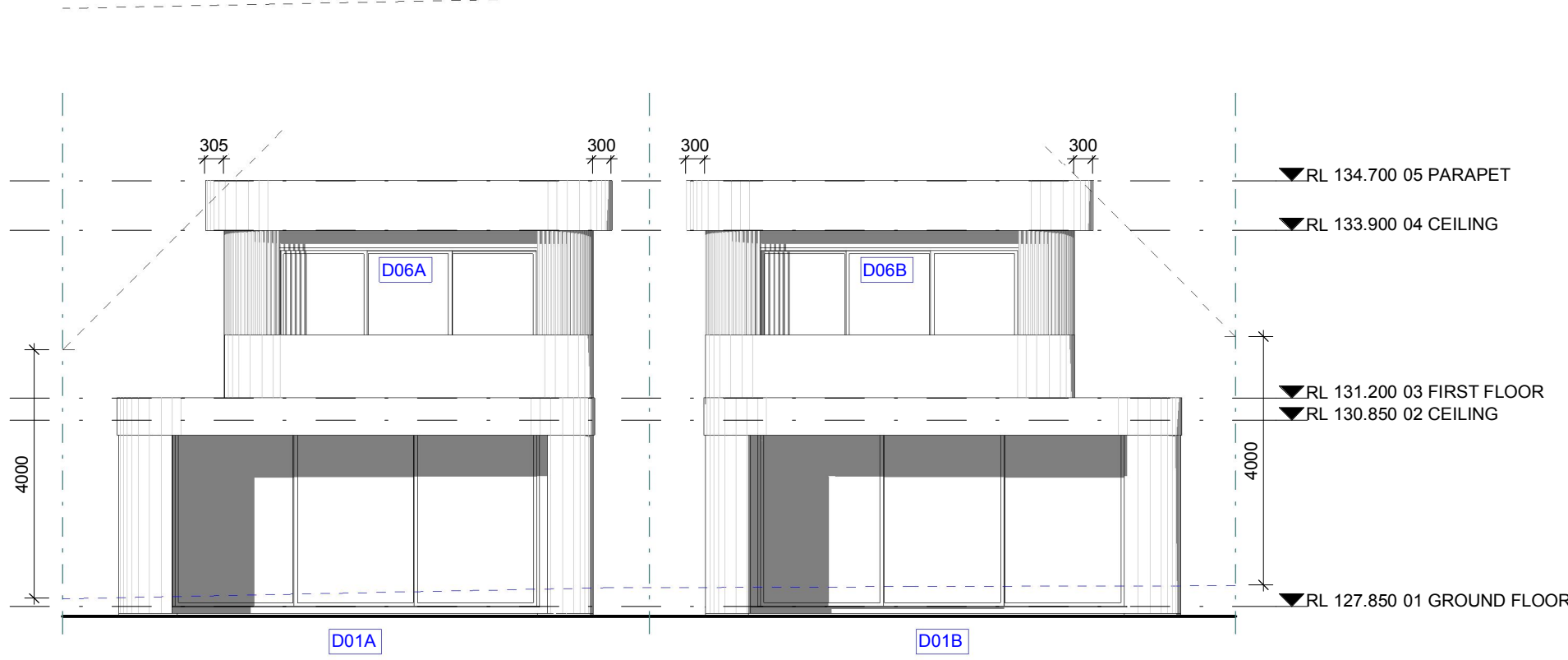


AMENDMENTS		<div><p>PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com</p></div>	DRAWING ROOF / SUB-DIVISION PLAN	PROJECT NEW DUAL OCCUPANCY	SHEET No 5	
			SCALE 1 : 100 @ A2	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	DATE: MAY 2025	

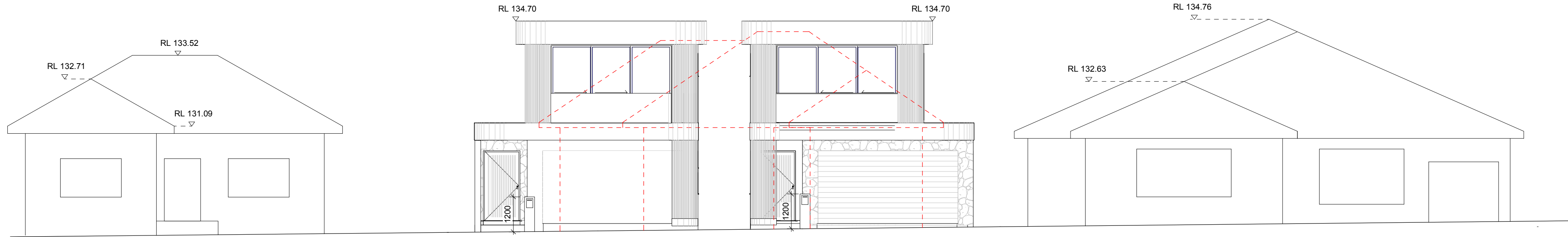
9.5m HEIGHT CONTROL LINE



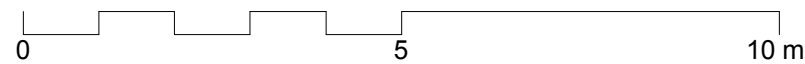
1 EAST ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100




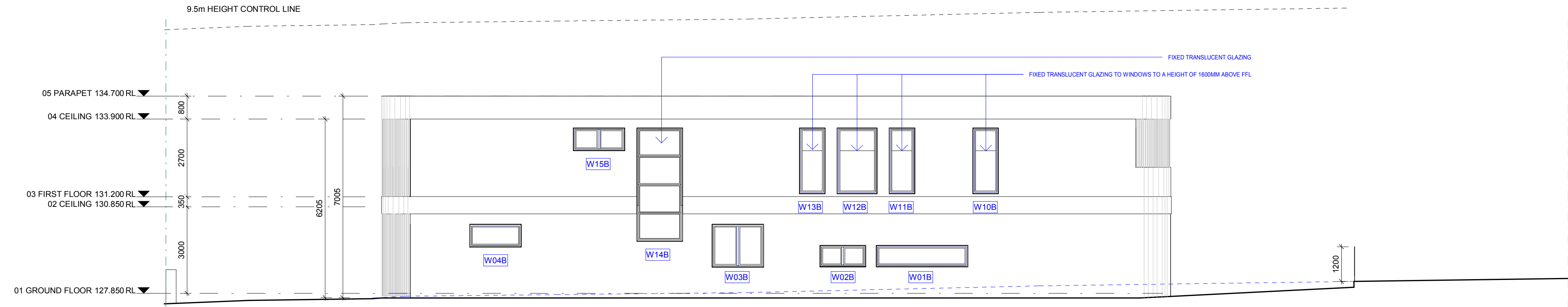
3 STREETSCAPE ELEVATION
1 : 100



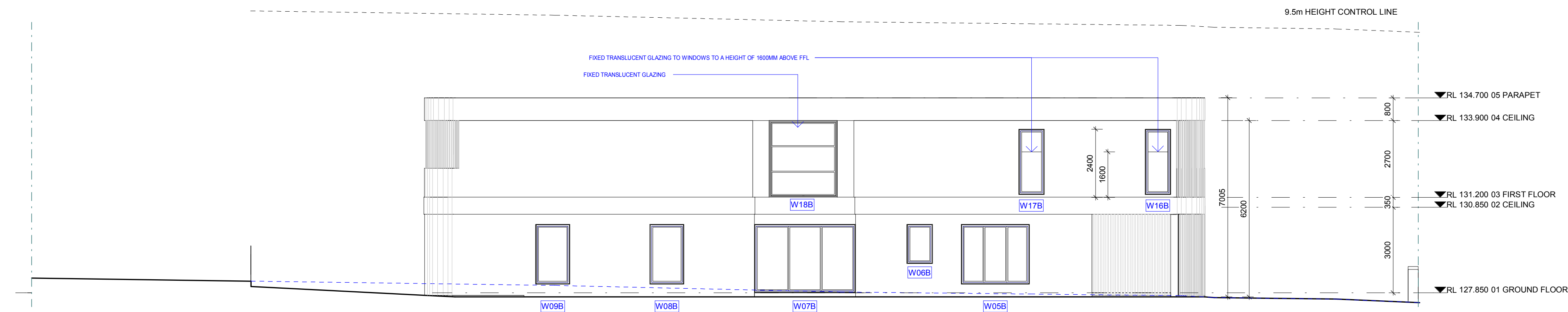
AMENDMENTS		Corona projects	DRAWING ELEVATIONS / STREETSCAPE	PROJECT NEW DUAL OCCUPANCY	SHEET No 6
THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAS CODES AND AS/AC/NZS BY LAW. THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK. PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. THESE DRAWINGS HAVE BEEN PREPARED BY CORONA PROJECTS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PARTY. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF CORONA PROJECTS AND ARE SUBJECT TO COPYRIGHT LAWS. A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL. DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.		PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com	SCALE 1 : 100 @ A2	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	DATE: MAY 2025



AMENDMENTS THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAN CODES AND MEASUREMENTS BY LAW. THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK. PREPARED BY CORONA PROJECTS. MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF CORONA PROJECTS AND ARE SUBJECT TO COPYRIGHT LAWS. A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE MAINS BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL. DESIGN INTENT ONLY, NOT FOR CONSTRUCTION.	 PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com	DRAWING ELEVATIONS	PROJECT NEW DUAL OCCUPANCY	SHEET No 7
		SCALE 1 : 100 @ A2	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	DATE: MAY 2025



1 NORTH ELEVATION 16a
1 : 100



2 SOUTH ELEVATION 16a
1 : 100

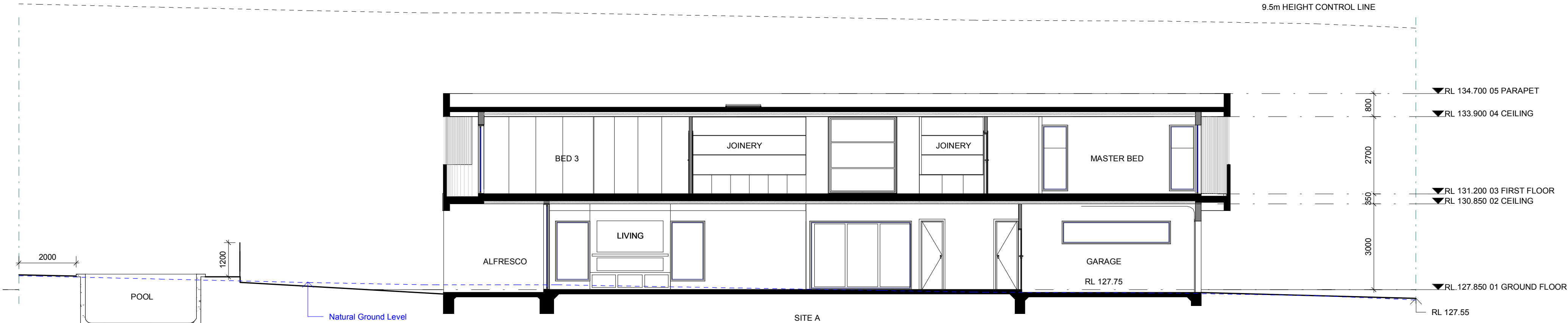


AMENDMENTS		

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DRAWING ELEVATIONS		PROJECT NEW DUAL OCCUPANCY		SHEET No 8	
SCALE 1 : 100 @ A2		ADDRESS 16 MELWOOD AVENUE FORESTVILLE		DATE: MAY 2025	

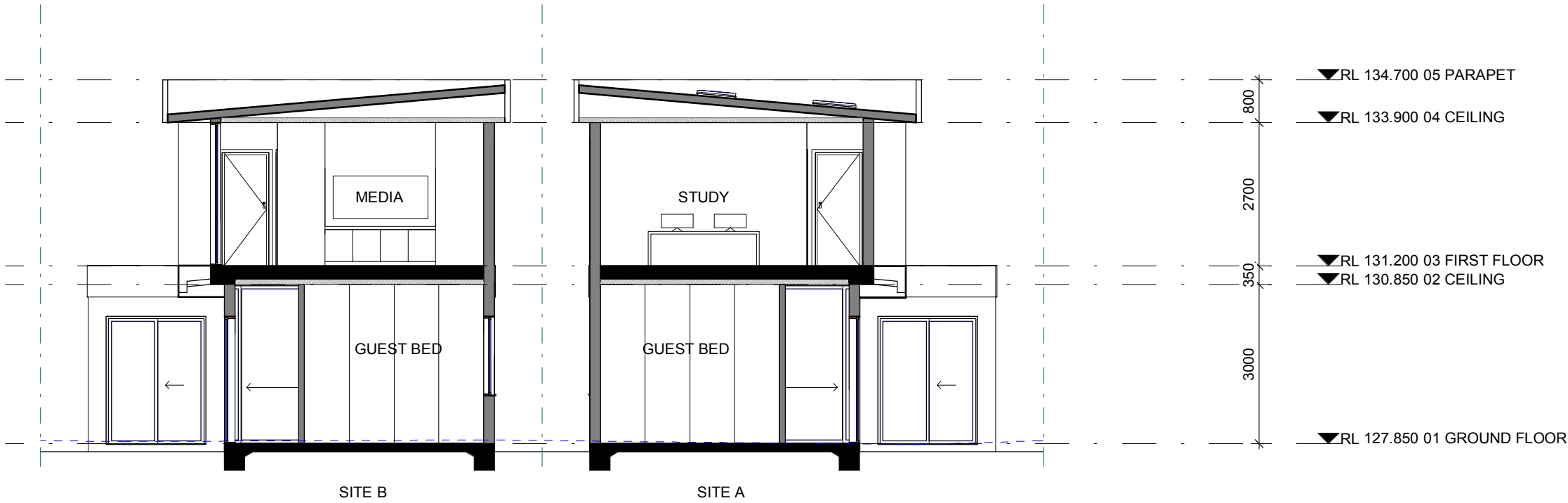


SECTION 1

1

1 : 100

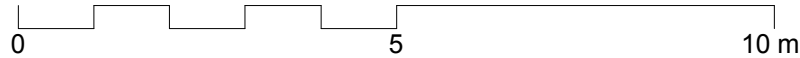
Specifications for compliance of Thermal section of BASIX '16 Melwood Avenue, Forestville, NSW 2087	
For full details of BASIX commitments refer to BASIX and NatHERS certificates.	
The following Specifications are the basis of the "BASIX" assessment and are subsequently indicated on the Assessor certificate. If they vary from drawings or other specifications these Specification shall take precedence. If only one specification is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specifications are detailed in the table below and/or clearly indicated on referenced documentation.	
Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works	
Building fabric:	External walls are masonry veneer type with R2.7 insulation and 40mm non-reflective air gaps.
Internal walls:	Internal walls are timber stud type without insulation except for walls separating the areas such as laundry, garage & Bath which are to be with R2.7 insulation between timber studs.
Floor construction:	Ground floor side to "waffle pods type" : 275mm waffle pod, 85mm thick concrete (R0.53). First floor is on 35mm Alpha panel and Timber joists with R2.0 (R4.0 for unit 16A) insulation between timber joists.
Floor coverings:	Timber on first floor and Tiles on ground floor and in wet areas.
Windows:	Windows are of single and double-glazed types with thermal performance as indicated on the NatHERS certificates. The thermal performance of the glazing is based on <i>Bradman's make</i> windows with thermal performance as indicated on NatHERS certificate.
Unit # 16:	U value of 3.02 and SHGC of 0.48 for Awning windows, U value of 4.15 and SHGC of 0.49 for fixed windows (garage), U value of 2.70 and SHGC of 0.45 for sliding windows, U value of 2.70 and SHGC of 0.40 for fixed windows, U value of 2.73 and SHGC of 0.53 for Stacking door, U value of 2.84 and SHGC of 0.40 for sliding door. Skylights are double clear type, shaft insulation to be R2.0 and shaft reflectance to be 0.75.
Unit # 16A:	U value of 2.54 and SHGC of 0.46 for Awning windows, U value of 2.70 and SHGC of 0.52 for fixed windows, U value of 2.57 and SHGC of 0.50 for sliding windows, U value of 2.73 and SHGC of 0.53 for Stacking door, U value of 2.73 and SHGC of 0.53 for sliding door.
Roof:	Exposed roofs are metal type with R1.8 insulation on the underside of the roof and R6.5 insulation on ceiling for unit 16A. The garage roof is also insulated with the same levels of insulation as all other areas of roof.
Color:	Roofs are light colored, and walls are light colored (with solar absorbance as indicated on the NatHERS certificate).
Ceiling insulation loss:	No loss of ceiling insulation due to downlights, as the lights considered to be R2.0 rated LED type downlights that do not require insulation loss.
Ceiling fans:	All exhaust fans are to be with self-closing damper.
Unit # 16:	1ea. Ceiling fans 1400mm dia. In guest bedroom.
Unit # 16A:	1ea. Ceiling fans 1400mm dia. In guest bedroom on ground floor, 1ea. Ceiling fans 1400mm dia. In the living area on the ground floor, 1ea. Ceiling fans 1400mm dia. In all bedroom areas, 1ea. Ceiling fan 1400mm dia. In the media room of first floor.
Lighting types:	4 ea. rated LED type downlights that do not require loss of ceiling insulation.
Ventilation fans:	Exhaust fans are for Kitchen, bath, ensuite and laundry are to be with self-closing damper. For full details please refer to the BASIX report.
Notes:	1. The dwelling design should allow for insulation to be installed in compliance with the National Construction Code Part 3.2.2.2. 2. Thermal breaks are installed in accordance with clauses 13.2.3(7) and 13.2.5(5). 3. The dwelling design should allow for the requirements of the National Construction Code Part 13.2.3(5) for compensating for loss of ceiling insulation. 4. 13.2.6(4), 13.2.6(5) and 13.2.6(6) for floor edge insulation part 13.4 for building sealing. 5. Windows and doors to be sealed with weather stripping. 6. All windows above 1.7m above the ground are with operability less than 125mm as per NCC 2022 BCA Vol Two Section 3.8.2.2 Protection of Operable windows. 7. All windows are considered to be with standard Holland blinds. 8. Thermal bridges are to be insulated with R0.2. 9. All air conditioning ducts are considered insulated. Hence, we have not allowed any ceiling insulation loss due to duct penetrations.



SECTION 2

2

1 : 100



AMENDMENTS		 PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com	DRAWING SECTIONS SCALE 1 : 100 @ A2	PROJECT NEW DUAL OCCUPANCY ADDRESS 16 MELWOOD AVENUE FORESTVILLE	SHEET No 9 DATE: MAY 2025



1 3D View 1



2 3D View 2



3 3D View 3



4 3D View 4



AMENDMENTS	

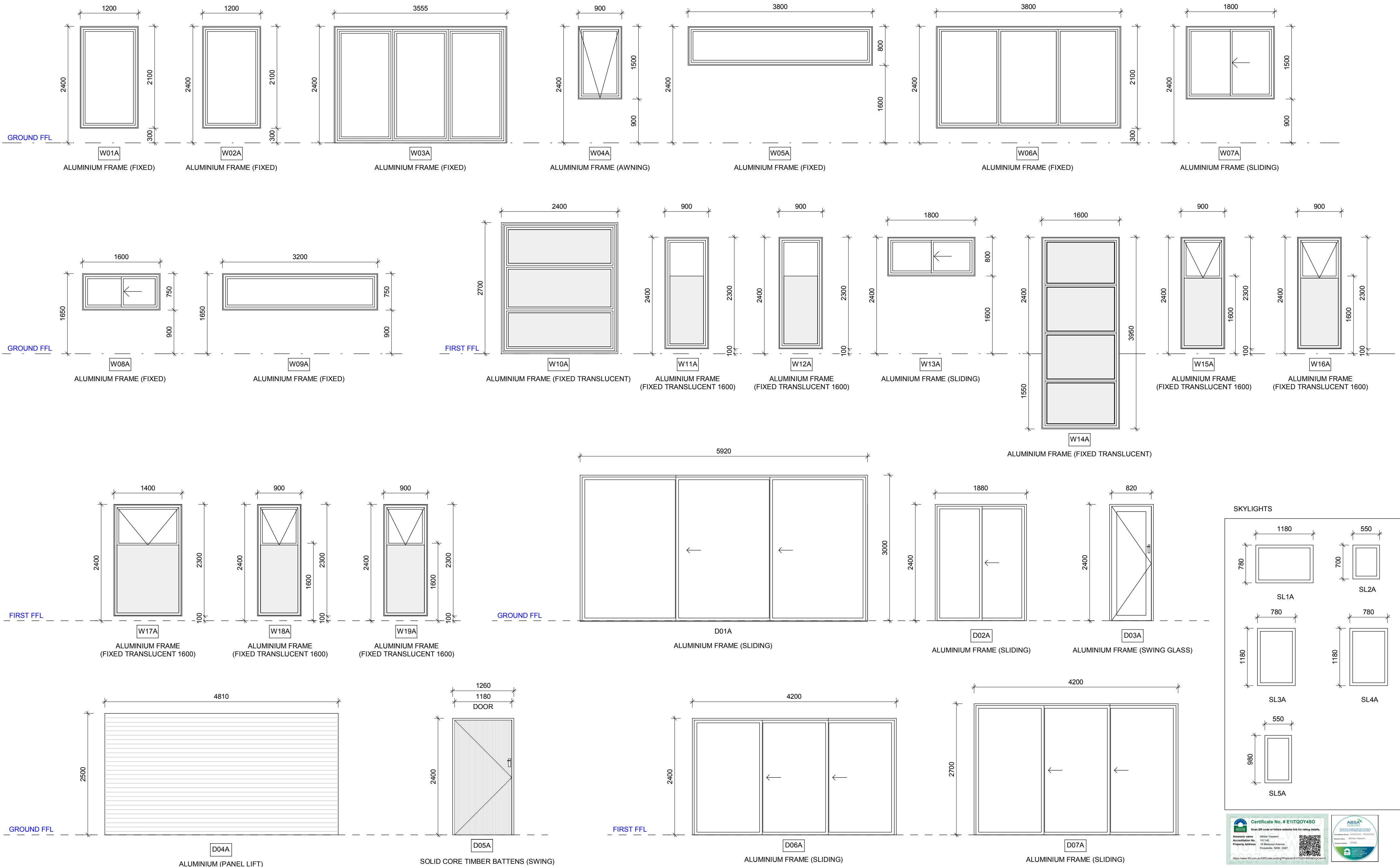
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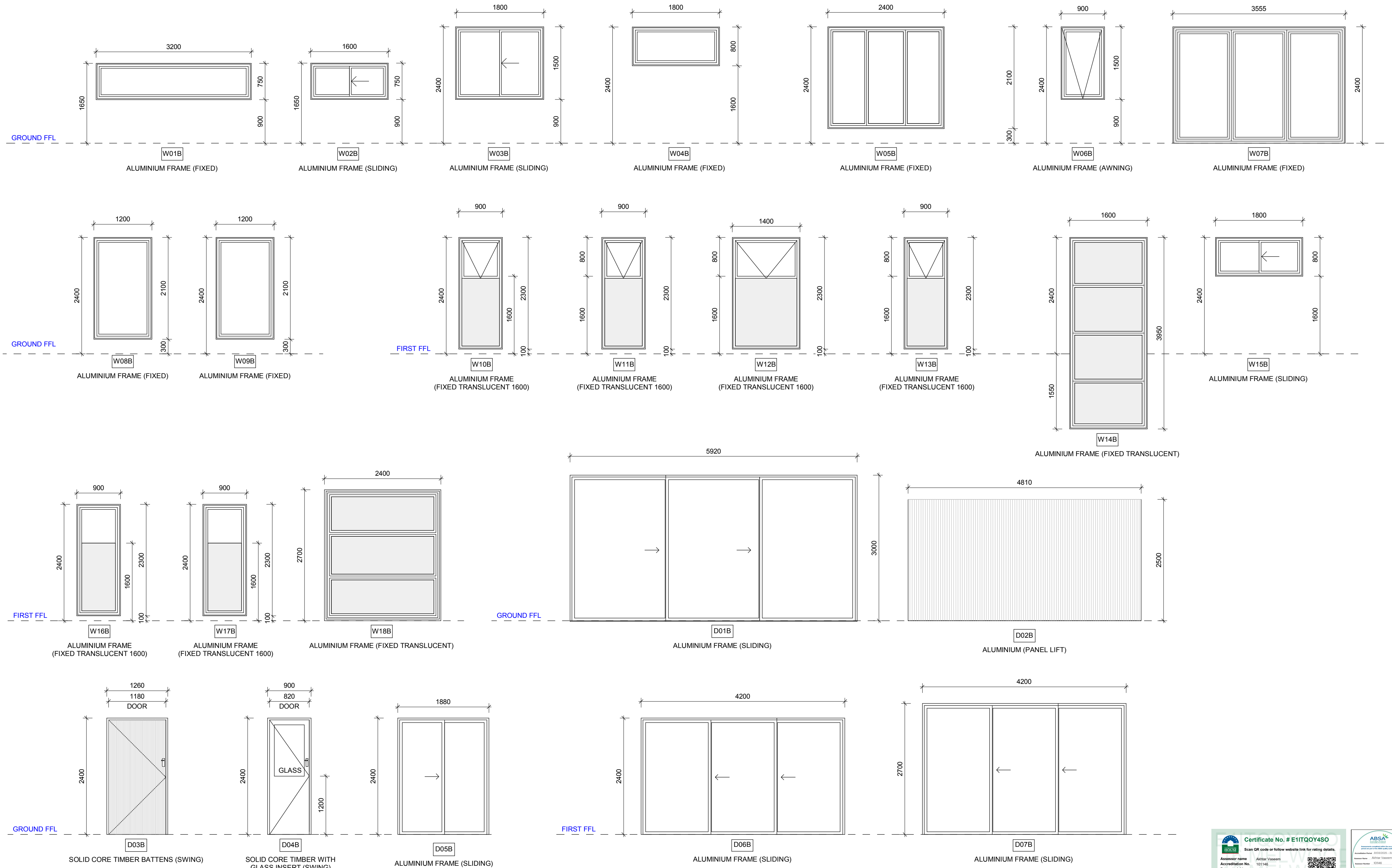
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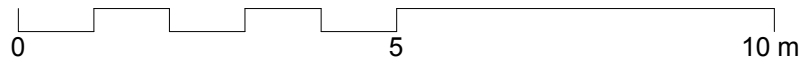
DRAWING FINISHES SCHEDULE	PROJECT NEW DUAL OCCUPANCY	SHEET No 10	
	SCALE	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	





1 WINDOW / DOOR SCHEDULE No.16a SITE B

1 : 50



AMENDMENTS			<div><div></div><div>Corona projects</div></div> <div>PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com</div>	DRAWING WINDOW / DOOR SCHEDULE	SCALE 1 : 50 @ A2	PROJECT NEW DUAL OCCUPANCY	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	SHEET No 12	DATE: MAY 2025



OBJECTIVES

TO ENSURE THAT NECESSARY MEASURES ARE EMPLOYED ON THE SITE THAT PROTECT BOTH THE NEIGHBOURHOOD AMENITY AND THE SURROUNDING ENVIRONMENT AND MINIMISE SITE DEGRADATION. THE RECYCLING OF MATERIALS WILL REDUCE TIPPING COSTS.

RESPONSIBILITY

THE CONTRACTOR WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS INCLUDES ASSUMING RESPONSIBILITY FOR THE ACTIONS OF ALL THE SUBCONTRACTORS AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT THE WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE VIEWED ALL APPROVED PLANS PRIOR TO THE COMMENCEMENT OF DEMOLITION, EARTHWORKS AND CONSTRUCTION WORKS.

COUNCIL PROPERTY

COUNCIL PROPERTY IS NOT TO BE USED FOR CONSTRUCTION OR STORAGE ACTIVITIES UNLESS PRIOR WRITTEN APPROVAL HAS BEEN OBTAINED. COUNCIL PROPERTY IS NOT TO BE DAMAGED AND IS TO BE KEPT IN A CLEAN, SAFE AND FUNCTIONAL CONDITION BEFORE, DURING AND ON COMPLETION OF THE WORKS.

SHOULD ANY COUNCIL PROPERTY INCLUDING FOOTPATHS BE INADVERTENTLY DAMAGED AS A RESULT OF THE WORKS, COUNCIL MUST BE NOTIFIED IMMEDIATELY.

HAZARDOUS MATERIALS

ASBESTOS CEMENT SHEETING IF ENCOUNTERED IS TO BE WRAPPED TIGHTLY IN PLASTIC TO COMPLY WITH THE AUSTRALIAN STANDARD AND WORK COVER AUTHORITIES REQUIREMENTS AND TAKEN TO AN APPROVED LANDFILL TIP.

BUILDING MATERIAL STOCKPILE

AT NO TIME MAY BUILDING MATERIALS OR STOCKPILES BE SITUATED ON A PUBLIC RESERVE, ROAD GUTTER OR FOOTPATH, THIS INCLUDES BUILDING OR DEMOLITION MATERIAL, WASTE CONTAINERS, PORTABLE SHEDS, PORTABLE TOILETS AND THE LIKE. ALL BUILDING MATERIALS ARE TO BE STORED WITHIN THE SEDIMENT FENCE ENVELOPE OF THE SUBJECT SITE. ALL LOOSE MATERIAL TO BE COVERED WITH TARPAILLINS. A SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS ETC. AS REQUIRED. THE FEASIBILITY OF THE NOMINATED SITE FOR THE STOCKPILE MUST BE CONFIRMED PRIOR TO COMMENCEMENT.

OPERATING HOURS

TO MINIMISE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION / EXCAVATION / CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT. NO PLANT OR MACHINERY MAY MOVE ON OR OFF THE SITE OUTSIDE OF RESTRICTED HOURS OF OPERATION.

LARGE EXCAVATION VEHICLES WAITING TO COMMENCE WORK MUST BE REMOTELY LOCATED FROM THE SITE SO AS NOT TO AFFECT THE LOCAL AMENITY. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONTRAVENTION BY SUBCONTRACTORS OF THESE CONDITIONS.

ACCESS POINT

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT POINT. A SEDIMENT CONTROL DEVICE IS TO BE PLACED AT THE SITE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERIAL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHICLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL. FORM VEHICLE CROSSING FROM 150x50 HARDWOOD PLANKS, CHAMFERED AT ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600 C/C.

CONTAINMENT OF SITE WASTE

BUILDING MATERIALS MUST NOT BE BURIED ON SITE. DEMOLITION WASTE RESULTING FROM THE WORKS IS NOT TO BE STORED ON FOOTPATHS, STREET GUTTERS OR ROADWAYS ETC. ALL WASTE TO BE PLACED IN RUBBISH SKIPS OR CONTAINERS FOR COLLECTION. IF ASBESTOS IS ENCOUNTERED DURING DEMOLITION IT IS TO BE REMOVED FROM SITE BY QUALIFIED SPECIALIST AND DISPOSED OF AT AN APPROVED FACILITY.

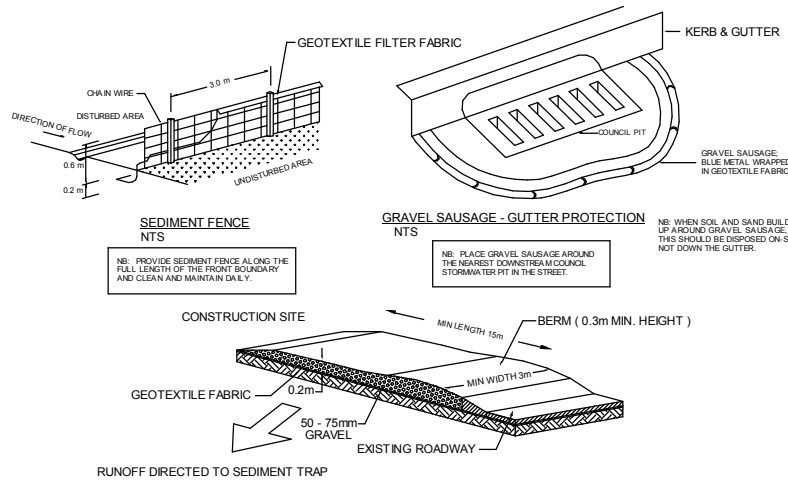
VEHICLE MOVEMENTS

ALL VEHICLES VISITING THE SITE ARE TO COMPLY WITH THE PARKING REGULATIONS IN THE AREA. ALL VEHICLES ARE TO BE WASHED DOWN BEFORE LEAVING THE SITE. ALL POLLUTED WATERS ARE TO REMAIN ON SITE FOR TREATMENT. ALL TRUCKS AND UTILITIES MUST COVER THEIR LOADS. NO VEHICLE VISITING THE SITE IS TO IMPED E LOCAL AREA TRAFFIC FLOWS. A LICENSED PERSON WILL DIRECT TRAFFIC AND PEDESTRIANS WHEN TRUCKS ENTER THE SITE.

DUST CONTROL

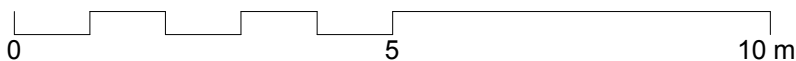
APPROPRIATE METHODS ARE TO BE USED TO PREVENT WIND BLOWN DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR ADJOINING PROPERTIES. WHERE DUST IS CREATED AS A RESULT OF THE WORKS OR SOIL EXPOSURE, THE BARE SOIL AREAS ARE TO BE WATERED DURING THE DAY AND AT THE END OF DAY TO LAY IN THE DUST. AVOID EARTH MOVING ACTIVITIES WHEN THE WIND IS STRONG ENOUGH TO RAISE VISIBLE DUST.

SITE WASTE MANAGEMENT PLAN



EROSION & SEDIMENT CONTROL DETAILS

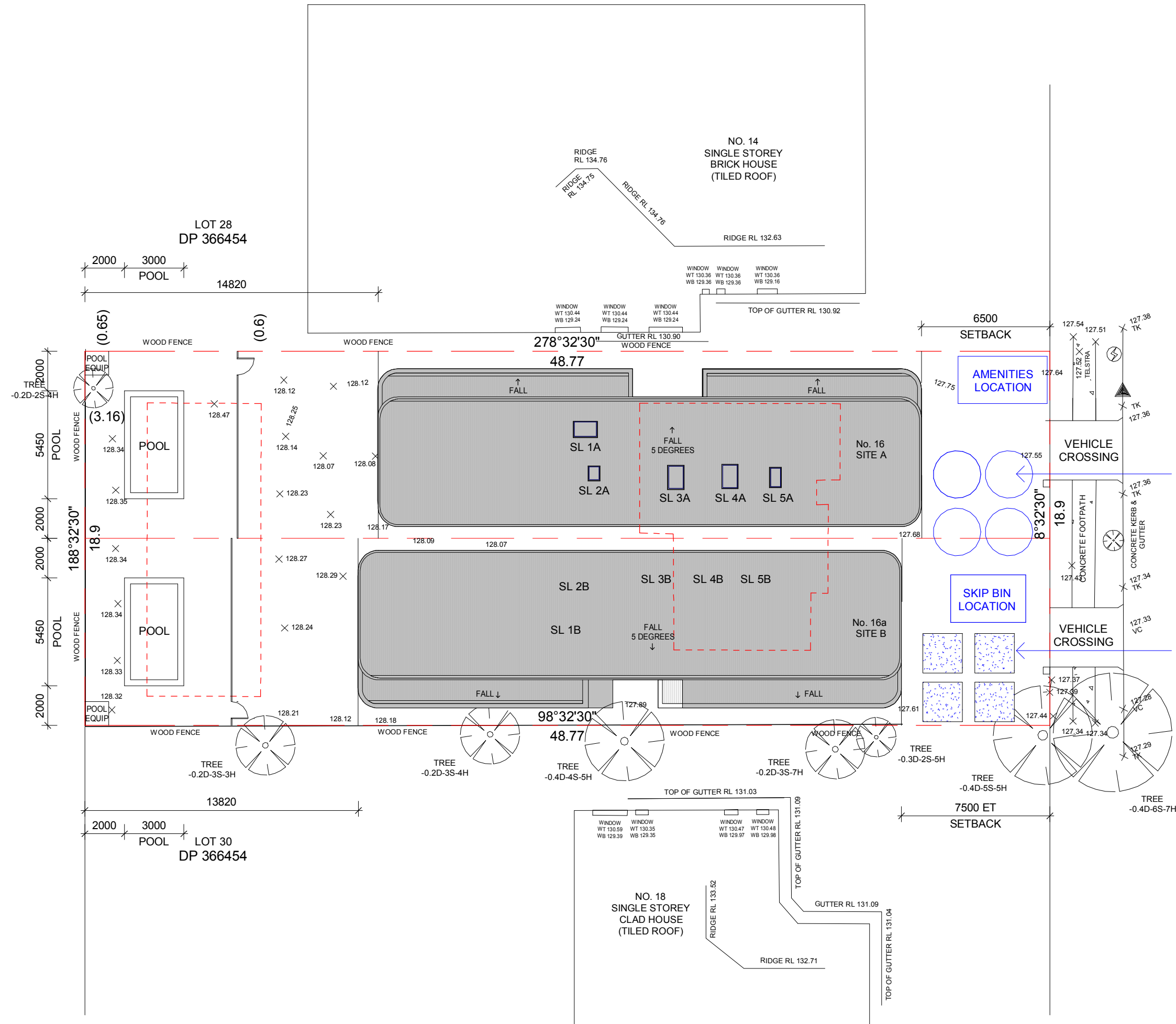
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1

CONSTRUCTION / WASTE MANAGEMENT PLAN

1 : 200



LOCATION OF STOCK PILE MATERIAL AND WASTE.
i.e. BRICKS TILES AND SIMILAR MATERIALS, TIMBER OFF CUTS
AND RECYCLABLE MATERIALS AND WASTE FOR LANDFILL,
TOP SOIL, SAND STOCKPILE TO BE COVERED AND PROTECTED
WITH GEOTEXTILE FABRIC

LOCATION OF CONSTRUCTION MATERIAL STORAGE.
MATERIALS TO BE WRAPPED OR COVERED AS REQUIRED
BY MANUFACTURERS REQUIREMENTS.

AMENDMENTS

NO.	DESCRIPTION	DATE

THE WORKS TO BE COMPLETED WITHIN THE BUILDING CODE OF AUSTRALIA, SAS CODES AND REGULATIONS BY LAW.
THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS.
THESE DRAWINGS HAVE BEEN PREPARED BY CORONA PROJECTS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PARTY.
THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF CORONA PROJECTS AND ARE SUBJECT TO COPYRIGHT LAWS.
A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERBOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.
DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.



PO BOX 1749 BONDI JUNCTION NSW 1535
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EMAIL: info@coronaprojects.com

DRAWING

CONSTRUCTION_WASTE PLAN

SCALE

1 : 200 @ A2

PROJECT

NEW DUAL OCCUPANCY

ADDRESS

16 MELWOOD AVENUE FORESTVILLE

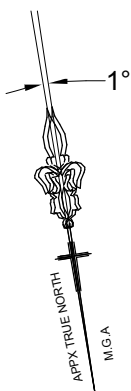
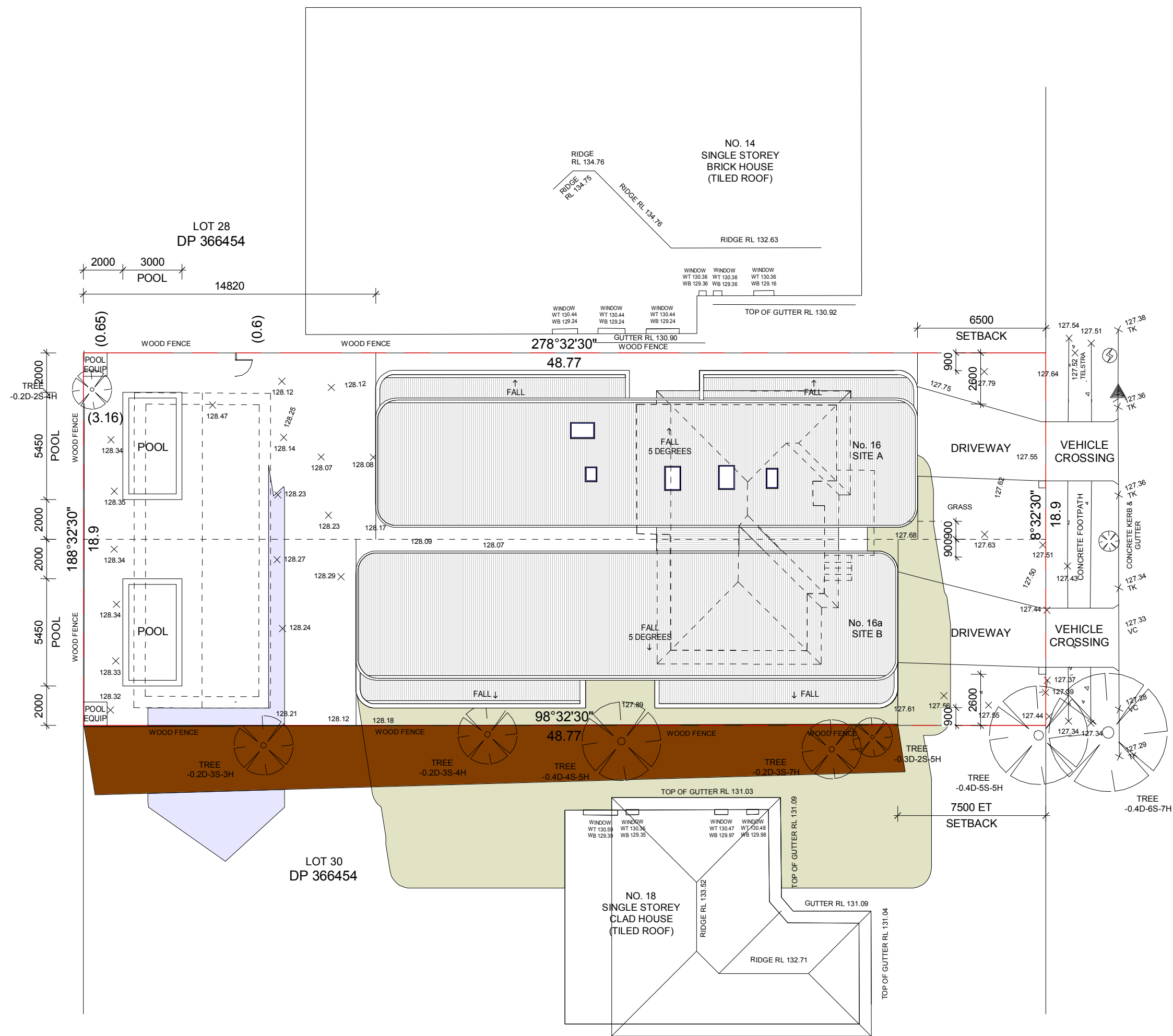
SHEET No

13

DATE:

MAY 2025



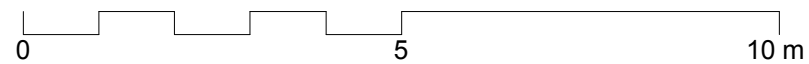


MELWOOD AVENUE

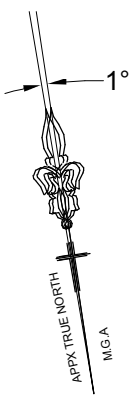
- EXISTING FENCE SHADOWS
- EXISTING SHADOW IMPACT REDUCED
- PROPOSED SHADOWS

SHADOWS 12PM

1 : 200



AMENDMENTS		<div><div></div><div>Corona projects</div><div>PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com</div></div>	DRAWING SHADOWS 12pm SCALE 1 : 200 @ A2	PROJECT NEW DUAL OCCUPANCY ADDRESS 16 MELWOOD AVENUE FORESTVILLE	SHEET No 15 DATE: MAY 2025	



1 : 200



THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, S.A CODES AND RELEVANT BY LAWS.

THE BUILDING / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RATES, MATERIALS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.

PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS.

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PHONE: 0419 438 956
EMAIL: info@coronaprojects.com

DRAWING
SHADOWS 3pm

SCALE
1 : 200 @ A2

PROJECT	NEW DUAL OCCUPANCY
---------	--------------------

ADDRESS
16 MELWOOD AVENUE FORESTVILLE

SHEET No
16

DATE:
MAY 2025

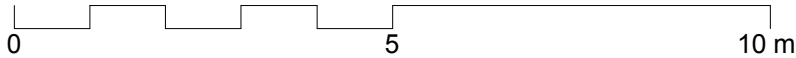




1

SUB-DIVISION PLAN

1 : 100



AMENDMENTS	<div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div></div>	<div><div>THE WORKS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAS CODES AND REGULATORY BY LAWS.</div><div>THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, FOUNDATIONS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div><div>PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS.</div><div>THESE DRAWINGS HAVE BEEN PREPARED BY CORONA PROJECTS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PARTY.</div><div>THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF CORONA PROJECTS AND ARE SUBJECT TO COPYRIGHT LAWS.</div><div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERBOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div><div>DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.</div></div>	<div><div></div><div>Corona projects</div><div>PO BOX 1749 BONDI JUNCTION NSW 1355</div><div>PHONE: 0419 438 956</div><div>EMAIL: info@coronaprojects.com</div></div>	DRAWING SUB-DIVISION PLAN	PROJECT NEW DUAL OCCUPANCY	SHEET No 17	<div><div></div></div>
				SCALE 1 : 100 @ A2	ADDRESS 16 MELWOOD AVENUE FORESTVILLE	DATE: MAY 2025	