

# Manly Council



Reference: 160209 DA436/08 DMS: HS  
Enquiries: Environmental Services

Baxter & Jacobson Architects  
37-39 The Corso  
MANLY NSW 2095

Attention: David Jacobson

Dear Sir,

Council Offices  
1 Belgrave Street  
Manly NSW 2095

Correspondence to  
General Manager  
PO Box 82  
Manly NSW 1655

DX 9205 Manly

Telephone 02 9976 1500  
Facsimile 02 9976 1400

[www.manly.nsw.gov.au](http://www.manly.nsw.gov.au)  
[records@manly.nsw.gov.au](mailto:records@manly.nsw.gov.au)

ABN 43 662 868 065

**Notice of Determination under Section 81(1)(a) of the  
Environmental Planning and Assessment Act, 1979  
Development Application No.436/08**

**Proposed Development: Basement additions to three (3) storey  
Residential Flat Building**

**Land to be developed: 5 Commonwealth Parade Manly**

Pursuant to the Building Code of Australia, the building is a Class 2 & 7(a) building.

Council determined this application and has granted consent subject to the conditions described below:

**DA1**

This approval relates to drawings No's 110.09 / S.96 / 02H, 03H, 08H, 10H, 11H and 12H; dated 11 November 2008 and received 27 November 2008.

**NOTE:** These drawings supersede the basement and ground floor plans approved under DA211/04, as amended. Apart from these works to the basement and ground floor, the approved drawings under DA211/04 as amended remain the approved plans.

**DA16**

Pursuant to Section 97 of the Local Government Act, 1993, Council requires, **prior to issue of the Construction Certificate, or commencement of any excavation and demolition works**, payment of a Trust Fund Deposit of \$5000.. The Deposit is required as security of compliance with Conditions of Consent, and as security against damage to Council property during works on the site.

**DA18**

Details of the builder's name and licence number contracted to undertake the works shall be provided to Council/Accredited Certifier **prior to issue of the Construction Certificate.**

**Note:** Should Council property adjoining the site be defective eg, cracked footpath, broken kerb etc., this shall be reported in writing to Council, **at least 7 days prior to the commencement of any work on site.**

DA19

Insurance must be undertaken with the contracted builder in accordance with the Home Building Act, 1997. Evidence of Insurance together with the contracted builders name and licence number must be submitted to Council /Accredited Certifier **prior to issue of the Construction Certificate.**

DA21

Toilet facilities are to be provided at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 person or part of 20 persons employed at the site, by effecting either a permanent or temporary connection to the Sydney Water's sewerage system or by approved closets.

DA22

Retaining walls being constructed in conjunction with excavations with such work being in accordance with structural engineer's details. Certification of compliance with the structural detail during construction shall be submitted to the Principal Certifying Authority.

DA23

No person shall use or occupy the building or alteration which is the subject of this approval without the **prior issue of an Occupation Certificate.**

DA24

A sign must be erected on the subject site in a prominent position stating that unauthorised entry is prohibited and giving details of the name of the builder or the person responsible for the site and 24 hour contact details. The sign is to have dimensions of approximately 500mm x 400mm.

Note: The sign is not required if the building on the site is to remain occupied during the course of the building works.

DA26

All construction works shall be strictly in accordance with the Reduced Levels (RLs) as shown on the approved plans with certification being submitted to the Principal Certifying Authority during construction from a registered surveyor certifying ground and finished ridge levels.

DA31

Consent given to build in close proximity to the allotment boundary is in no way to be construed as permission to build on or encroach over the allotment boundary. Your attention is directed to the provisions of the Dividing Fences Act which gives certain rights to adjoining owners, including use of the common boundary. In the absence of the structure standing well clear of the common boundary, it is recommended that you make yourself aware of your legal position which may involve a survey to identify the allotment boundary.

DA39

Four (4) certified copies of the Structural Engineer's details in respect of all reinforced concrete, structural steel support construction and any proposed retaining walls shall be submitted to the Council/Accredited Certifier **prior to the issue of the Construction Certificate.**

DA40

Where any excavation extends below the level of the base of the footing of a building on an adjoining allotment of land, the person causing the excavation shall support the neighbouring building in accordance with the requirements of the Building Code of Australia.

DA44

The floor surfaces of bathrooms, shower rooms, laundries and WC compartments are to be of an approved impervious material properly graded and drained and waterproofed in accordance with AS3740. Certification is to be provided to the Principal Certifying Authority from a licenced applicator prior to the fixing of any wall or floor tiles.

DA47

A suitable sub-surface drainage system being provided adjacent to all excavated areas and such drains being connected to an approved disposal system.

DA48

The implementation of adequate care during demolition/ excavation/ building/ construction to ensure that no damage is caused to any adjoining properties.

DA58

An adequate security fence, is to be erected around the perimeter of the site prior to commencement of any excavation or construction works, and this fence is to be maintained in a state of good repair and condition until completion of the building project.

DA59 Building work shall not progress beyond first floor level until such time as Registered Surveyor's details of levels are submitted to the Principal Certifying Authority. These levels shall confirm that the works are in accordance with the levels shown and approved in the development approval.

DA60

On completion of the building structure a Registered Surveyor's report is to be submitted to the Principal Certifying Authority confirming that the building has been completed in accordance with the levels as shown on the approved plan.

DA109

All demolition is to be carried out in accordance with AS2601-2001.

DA111

Asbestos cement sheeting must be removed in accordance with the requirements of the WorkCover Authority.

DA121

All building work must be carried out in accordance with the provisions of the Building Code of Australia.

DA261

A sediment/erosion control plan for the site shall be submitted for approval to the Council/Accredited Certifier **prior to the issue of the Construction Certificate**. Implementation of the scheme shall be completed prior to commencement of any works on the site and maintained until completion of the development.

DA269

A Construction Certificate Application is required to be submitted to and issued by the Council/Accredited Certifier **prior to any building works being carried out on site**.

DA270 Should you appoint Council as the Principal Certifying Authority (PCA) to undertake inspections during the course of construction then the following inspection/certification are required:-

Silt control fences  
Footing inspection –  
Reinforced concrete slab x 5  
Framework inspection  
Wet area moisture barrier  
Drainage inspection – pits & tanks  
Landscaping inspection  
Retaining wall steel  
Final inspection

The cost of these inspections by Council is \$2860. (being \$220.00 per inspection inclusive of GST). **Payment of the above amount is required prior to the first inspection. Inspection appointments can be made by contacting the Environmental Services Division on 9976 1573 or 9976 1587.**

At least 24 hours notice should be given for a request for an inspection and submission of the relevant inspection card. Any additional inspection required as a result of incomplete works will incur a fee of \$100.00.

DA271

An Occupation Certificate is to be issued by the Principal Certifying Authority **prior to occupation of the development**.

DA279

All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.

DA283 De-watering from the excavation or construction site must comply with the Protection of the Environment Operations Act 1997 and the following:

- a) Ground water or other water to be pumped from the site into council's stormwater system must be sampled and analysed by a NATA certified laboratory or Manly council for compliance with ANZECC Water Quality Guidelines

- b) If tested by NATA certified laboratory, the certificate of analysis issued by the laboratory must be forwarded to Manly Council as the appropriate regulatory authority under the Protection of the Environment Operations Act 1997, prior to the commencement of de-watering activities.
- c) Council will grant approval to commence site de-watering to the stormwater based on the water quality results received.
- d) It is the responsibility of the applicant to ensure that during de-watering activities, the capacity of the stormwater system is not exceeded, that there are no issues associated with erosion or scouring due to the volume of water pumped.
- e) Turbidity readings must not at any time exceed the ANZECC recommended 50ppm (parts per million) for receiving waters.
- f) Also the developer must contact the Department of Infrastructure, Planning and Natural Resources and comply with any of their requirements.

#### DA285

Roof and framing including provision for tie downs, bracing and fixings are to be designed by a practising Structural Engineer. The Engineer is to specify appropriate wind category relating to the site terrain, house design and height of the structure, with details being submitted to the Principal Certifying Authority **prior to the commencement of framework.**

#### DA289

Building or construction work must be confined to the hours between 7.00am to 6.00pm, Monday to Friday and 7.00am to 1.00pm, Saturday, with a total exclusion of such work on Public Holidays and Sundays. Non-offensive works where power operated plant is not used and including setting out, surveying, plumbing, electrical installation, tiling, internal timber or fibrous plaster fixing, glazing, cleaning down brickwork, painting, building or site cleaning by hand shovel and site landscaping, is permitted between the hours of 1.00pm to 4.00pm Saturdays.

Note: That the Protection of the Environment Operations Act 1997 may preclude the operation of some equipment on site during these permitted working hours.

#### DA290

The operations of mechanical services are not to give rise to an offensive noise within the meaning of the Protection of the Environment Operations Act 1997.

#### DA319

Details of the method of termite protection which will provide whole of building protection, inclusive of structural and non-structural elements shall be submitted to the Council/Accredited Certifier **prior to issue of the Construction Certificate.** Attention is drawn to the provisions of Australian Standard 3660.1 "Protection of Buildings from Subterranean Termites - New Buildings" and to Council's Code for the "Protection of Buildings Against Termite Attack".

DA320

**Prior to issue of the Occupation Certificate**, a durable termite protection notice shall be permanently fixed to the building in a prominent location detailing the form of termite protection which has been used in accordance with Council's Code for the "Protection of Buildings Against Termite Attack".

DA332

The capacity and effectiveness of erosion and sediment control devices must be maintained to Council's satisfaction at all times.

DA333

A copy of the Soil and Water Management Plan must be kept on-site at all times and made available to Council officers on request.

DA334

Stockpiles are not permitted to be stored on Council property (including nature strip) unless prior approval has been granted.

DA335

Stockpiles of topsoil, sand, aggregate, spoil or other material shall be stored clear of any drainage line or easement, natural watercourse, kerb or road surface.

DA336

Drains, gutters, roadways and access ways shall be maintained free of sediment and to the satisfaction of Council. Where required, gutters and roadways shall be swept regularly to maintain them free from sediment.

DA337

Building operations such as brickcutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.

DA338

All disturbed areas shall be stabilised against erosion to Council's satisfaction within 14 days of completion, and prior to removal of sediment controls.

DA339

Stormwater from roof areas shall be linked via a temporary downpipe to a Council approved stormwater disposal system immediately after completion of the roof area. Inspection of the building frame will not be made until this is completed to Council's satisfaction.

DA340

The applicant and/or builder must prior to the commencement of work, install at the periphery of the site, measures to control sedimentation and the possible erosion of the land.

The measures must include:-

- (i) siltation fencing;
- (ii) protection of the public stormwater system; and
- (iii) site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place.

DA357

Four (4) copies of Architectural Drawings consistent with the development consent and associated specifications are to be submitted to Council/Accredited Certifier **prior to the issue of the Construction Certificate.**

DA274

Payment of contributions in accordance with Section 94 of the Environmental Planning and Assessment Act, 1979, may be required for this development. If required the amount will be in accordance with Councils Section 94 Policy applicable at the time of payment prior to the issue of the Construction Certificate.

DA323

This approval shall expire if the development hereby permitted is not commenced within 2 years of the date hereof or any extension of such period which Council may allow in writing on an application made before such an expiry.

**WARNING:** Failure to obtain a Construction Certificate prior to the commencement of any building works is a serious breach of Section 81A(2) of the *Environmental Planning & Assessment Act 1979*. It is also a criminal offence which attracts substantial penalties and may also result in action in the Land and Environment Court and orders for demolition.

The reason for the imposition of the conditions is to ensure that the development generally conforms with section 79C of the Environmental Planning and Assessment Act, 1979, Building Code of Australia and Council's Development Control Plan and Policies.

In accordance with Clause 284 of the Environmental Planning and Assessment Regulation 2000, **non compliance** with the above **conditions** may result in Council issuing a **Penalty Notice of \$600.00.**

Notes:

1. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court (their address being Level 4, 225 Macquarie Street, Sydney NSW 2000) within 12 months after the date on which you receive this notice.
2. If you are dissatisfied with this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right of review by Council within twelve months of the date of determination.
3. Details in regard to Notice of Commencement of Building/Subdivision Work and appointment of the Principal Certifying Authority are to be submitted to Council following issue of the Construction Certificate and two (2) working days prior to commencement of building works.

It is necessary for payment of a Long Service Levy for works costing \$25,000 or more at a rate of 0.35% of the cost and insurance pursuant to the Building and Construction Industry Long Service Payments Act 1986 **prior to issue of a Construction Certificate.**

It is advised that your plans must be submitted to Sydney Water for approval at least fourteen days before commencement of works. Please phone Sydney Water on 13 20 92 for information regarding an office closest to you. Further, you are advised to consult with Sydney Electricity with respect to electrical installations, telephone installers with respect to any telecommunication lines and Australia Post should the proposal involve the provision of a letterbox.

The erection of a building in accordance with this development consent must not be commenced until:

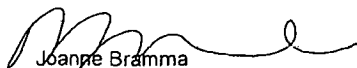
- (a) detailed plans and specifications of the building have been endorsed with a Construction Certificate by:
  - (i) the Consent Authority, or
  - (ii) an Accredited Certifier, and
- (b) the person having the benefit of the development consent:
  - (i) has appointed a Principal Certifying Authority, and
  - (ii) has notified the Consent Authority and the Council (if the Council is not the consent authority) of the appointment, and
- (c) the person having the benefit of the development consent has given at least two days' notice to the Council of the person's intention to commence the erection of the building.

Should you have any questions in relations to the matter, please contact Council's Environmental Services, on (02) 9976 1414, during business hours.

Signed below on behalf of the consent authority.

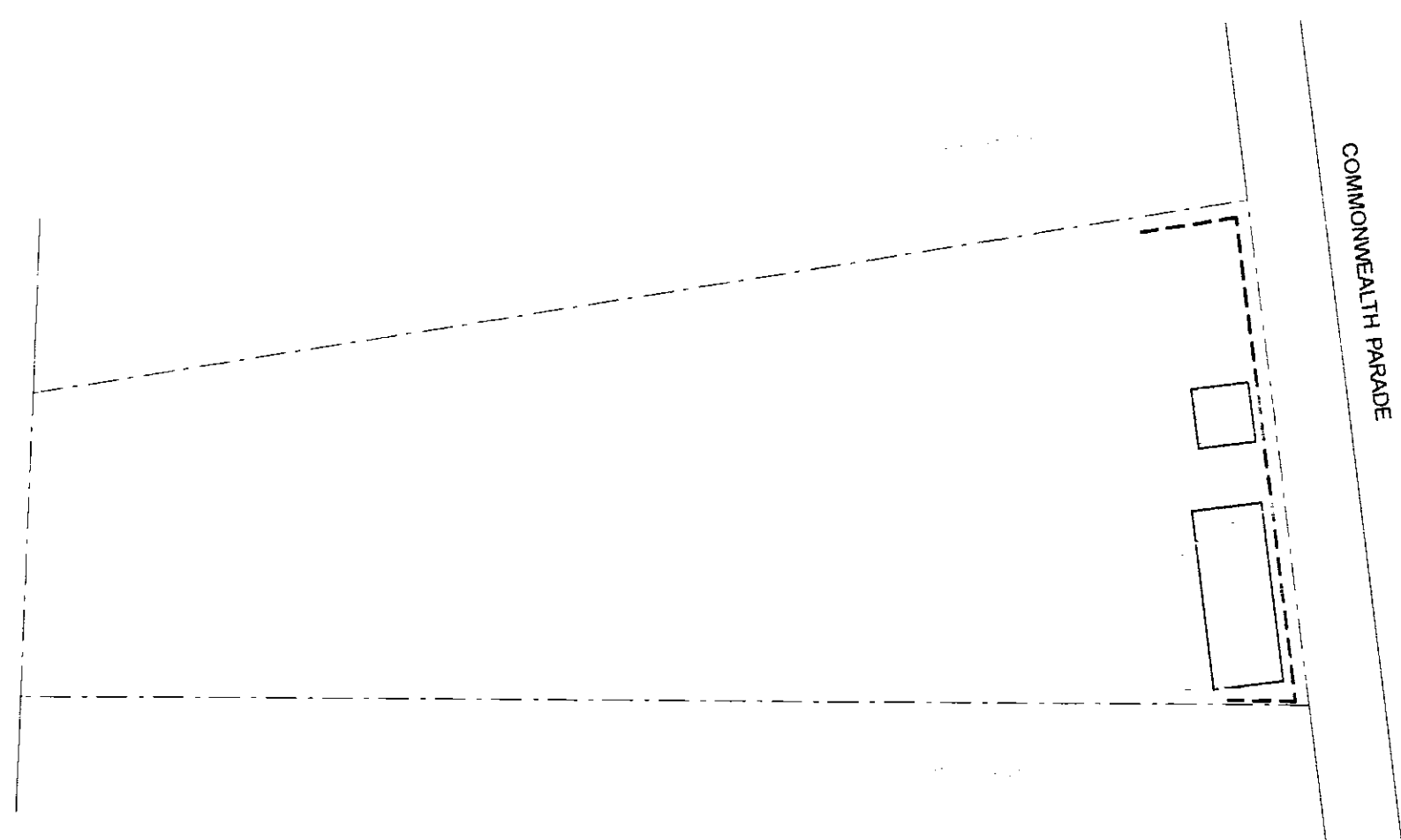
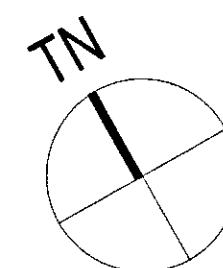
Yours faithfully,

Date: 3. 3. 09



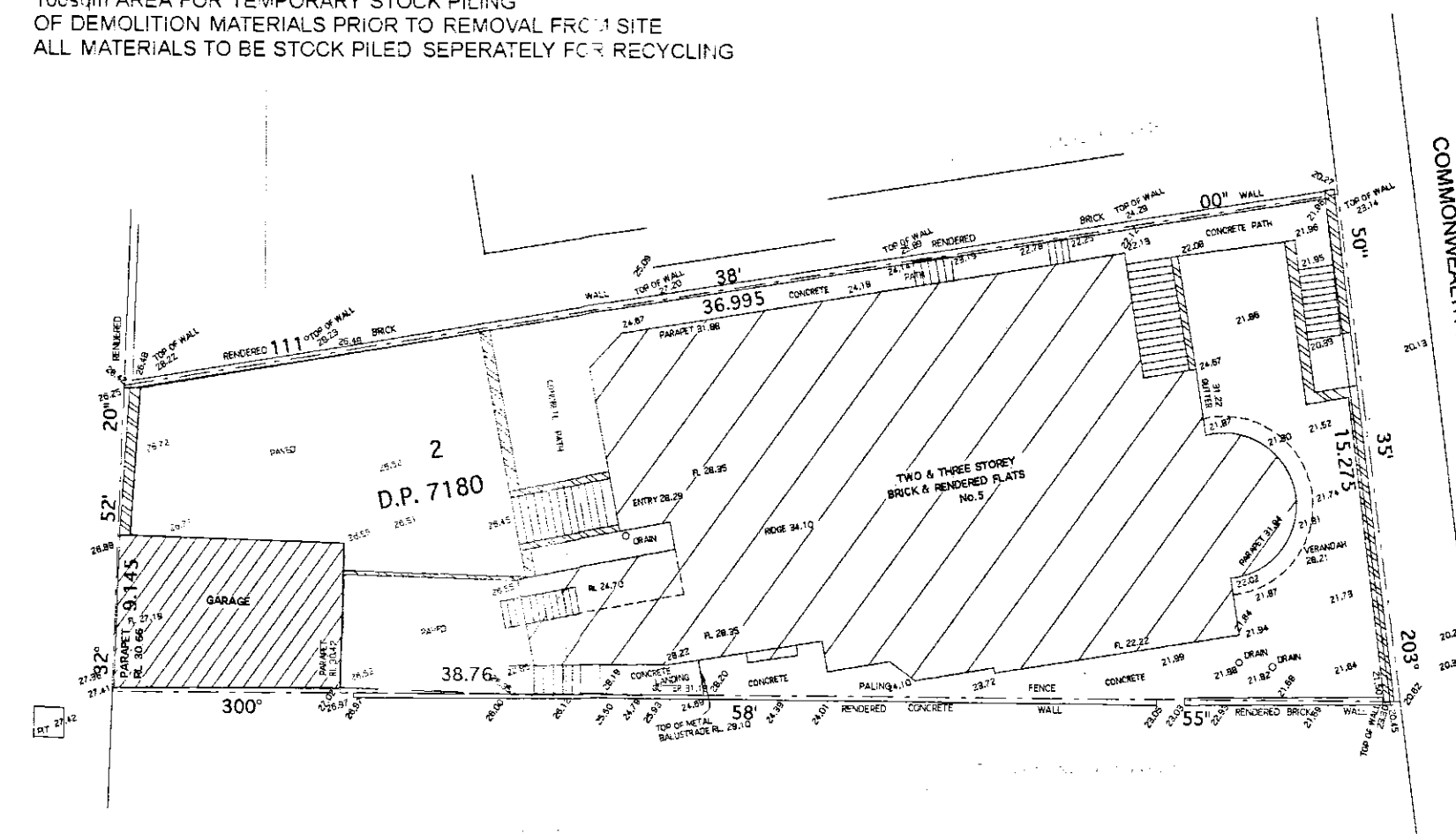
Public Officer



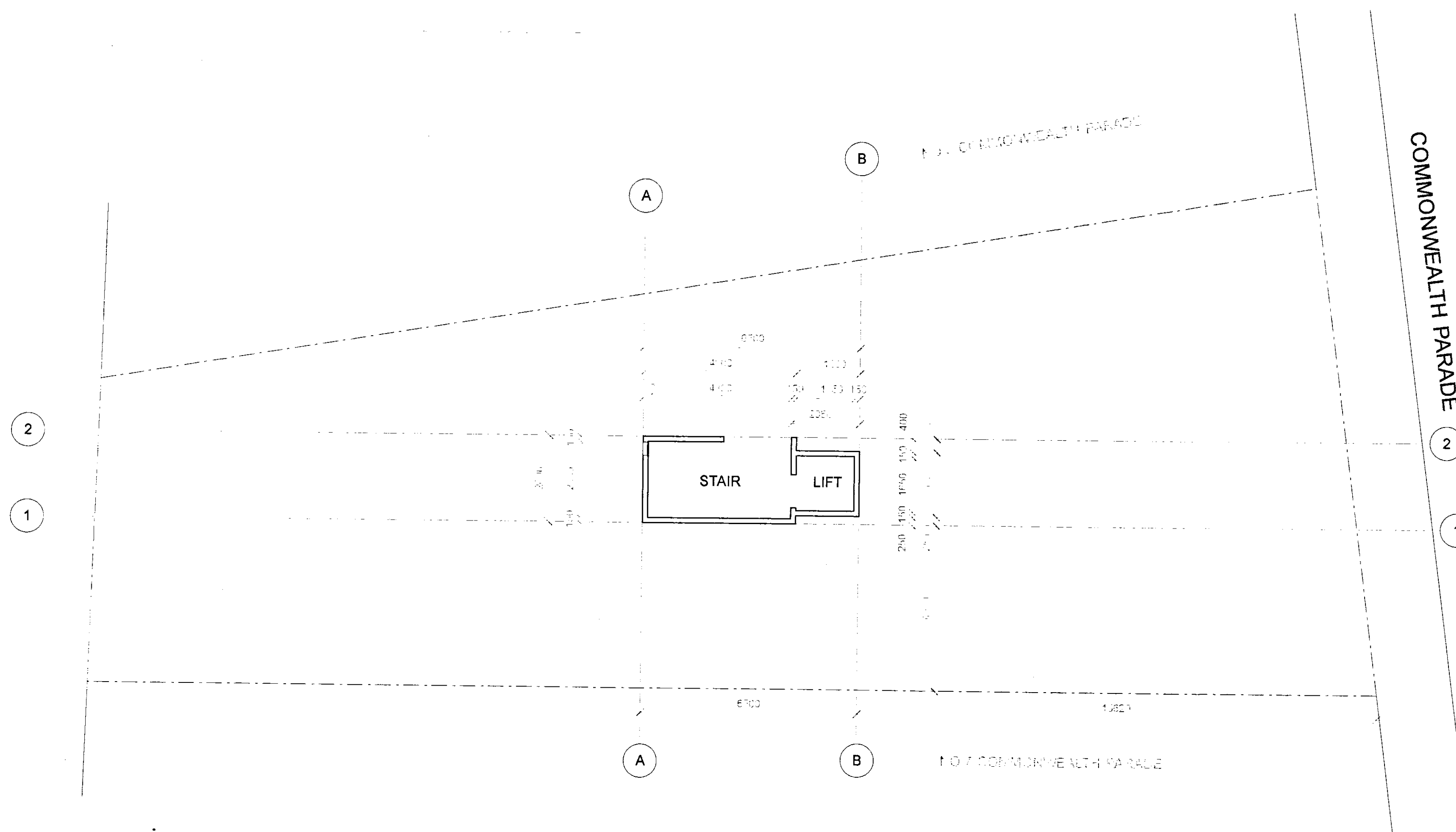


MANAGEMENT PLAN  
Scale 1:100

100sqm AREA FOR TEMPORARY STOCK PILING  
OF DEMOLITION MATERIALS PRIOR TO REMOVAL FROM SITE  
ALL MATERIALS TO BE STOCK PILED SEPERATELY FOR RECYCLING



DEMOLITION PLAN  
Scale 1:100



SET OUT PLAN  
Scale 1:100

ENDORSED PLANS  
THESE PLANS HAVE BEEN REFERRED TO IN  
THE CONSENT DATED: 19/12/2013  
APPICATION NO: CC10,05,1243  
BONDED  
PAUL ROLFE, ACCREDITED CERTIFIER

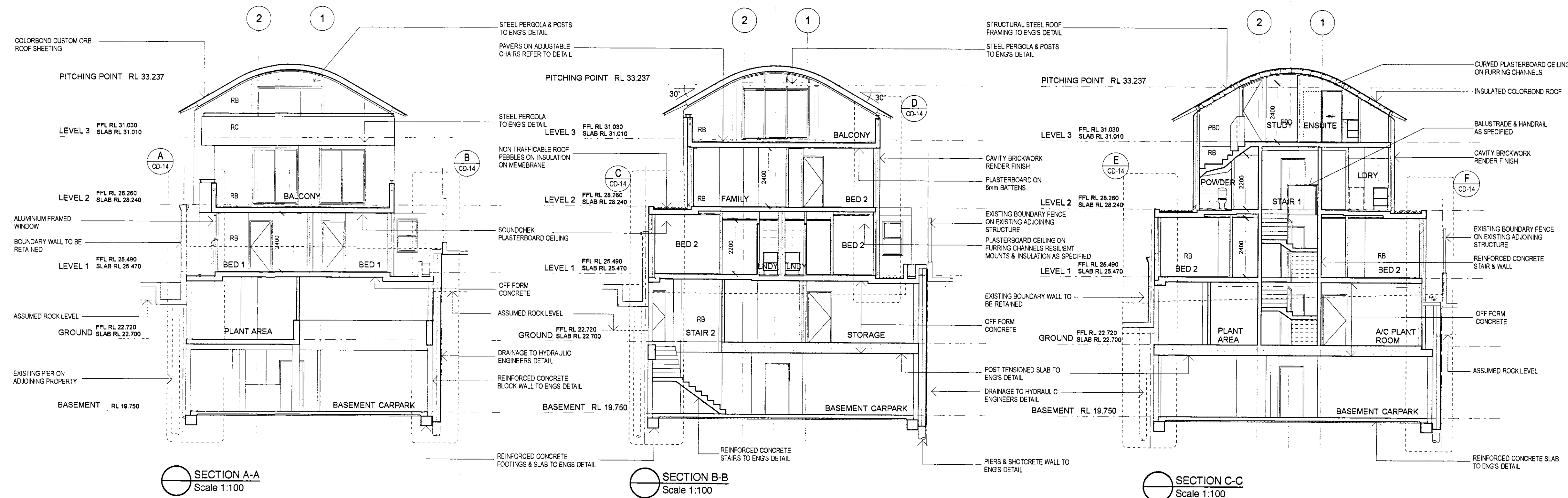
ISSUE	AMENDMENT	DATE
B	ISSUED FOR CONSTRUCTION CERTIFICATE	1/10/13
A	ISSUED TO CERTIFIER	22/8/13

BAXTER & JACOBSON ARCHITECTS PTY LTD  
Lvl 2, 37-39 The Corso Manly NSW 2095  
Tel: 02 9977 7648 Fax: 02 9977 0295 info@bja.net.au  
Web: bja.net.au Nominated Architect: David Jacobson  
NSW ARB Reg No: 4259 ABN: 9508 832 8769

PROJECT  
UNIT DEVELOPMENT  
ADDRESS  
5 COMMONWEALTH PARADE, MANLY  
CLIENT  
MR C. KOUTSOS  
DRAWING  
SET OUT PLAN  
DEMOLITION & MANAGEMENT PLAN

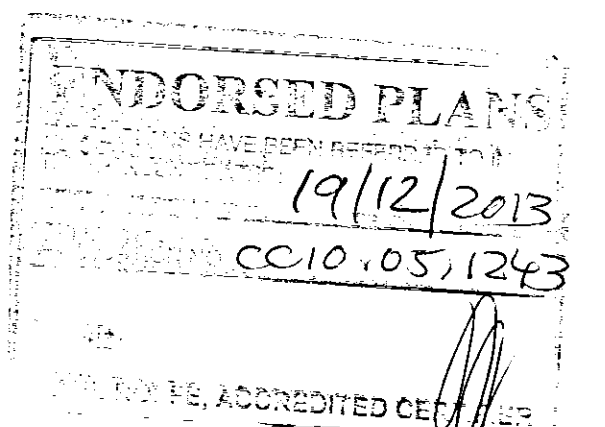
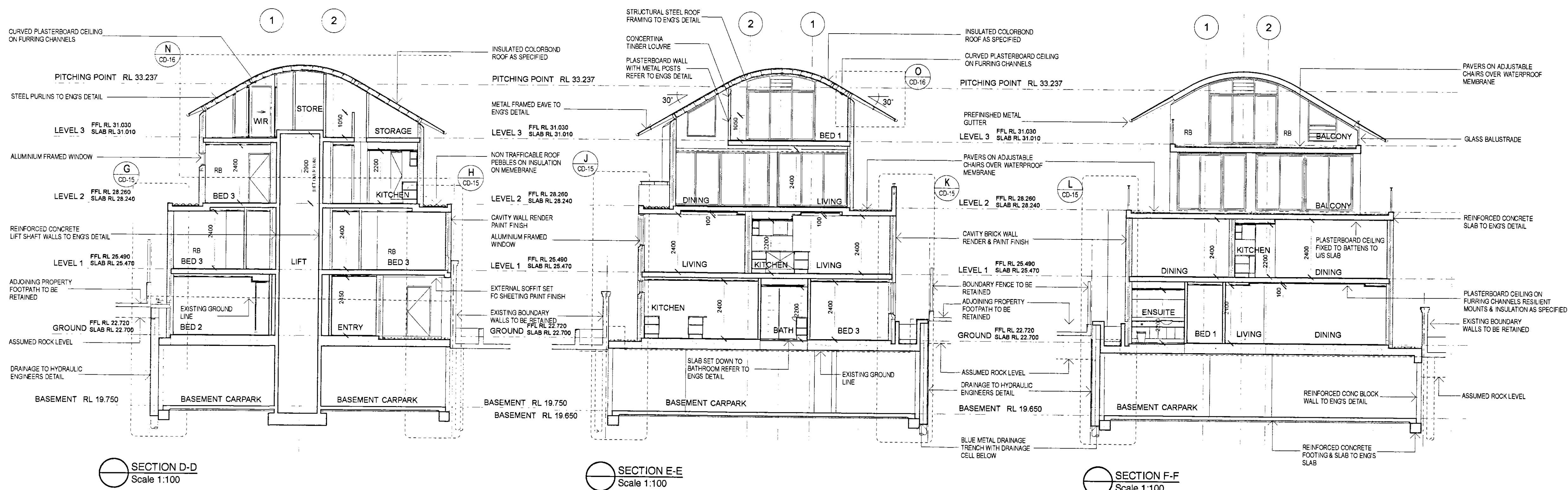
1:100 DWG No 110.09 / CC-02 (A)  
SCALE @ A1  
DRAWN AT  
CHKD

Verify all dimensions on site prior to commencement of building work.  
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#### LEGEND

CB	COLORBOND CUSTOM ORB
RB	RENDERED BRICK
RM	RENDERED MASONRY BLOCK
RC	RENDERED CONCRETE
PBD	PLASTERBOARD STUD WALL
GB	GLASS BALUSTRADE
PL	PANEL LIFT DOOR - OPEN MESH
TF	TIMBER FENCE
SF	SANDSTONE FACING TO BLOCKWORK
TP	TIMBER & STEEL PERGOLA
DP	DOWNPIPE
VG	VENTILATION GRILLE
CJ	CONTROL JOINT



ISSUE	AMENDMENT	DATE
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A	ISSUED TO CERTIFIER	22/08/13
ISSUE	AMENDMENT	DATE

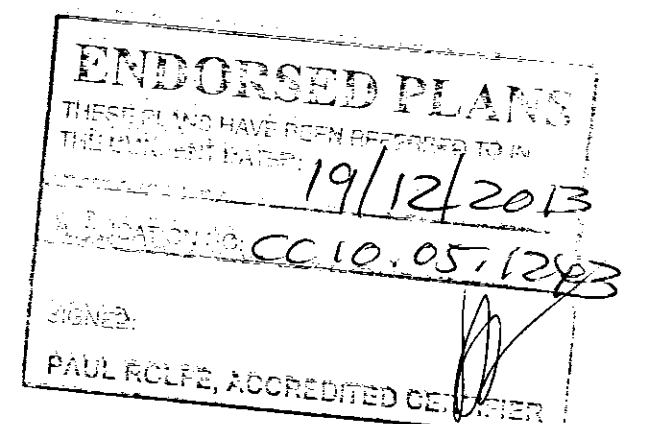
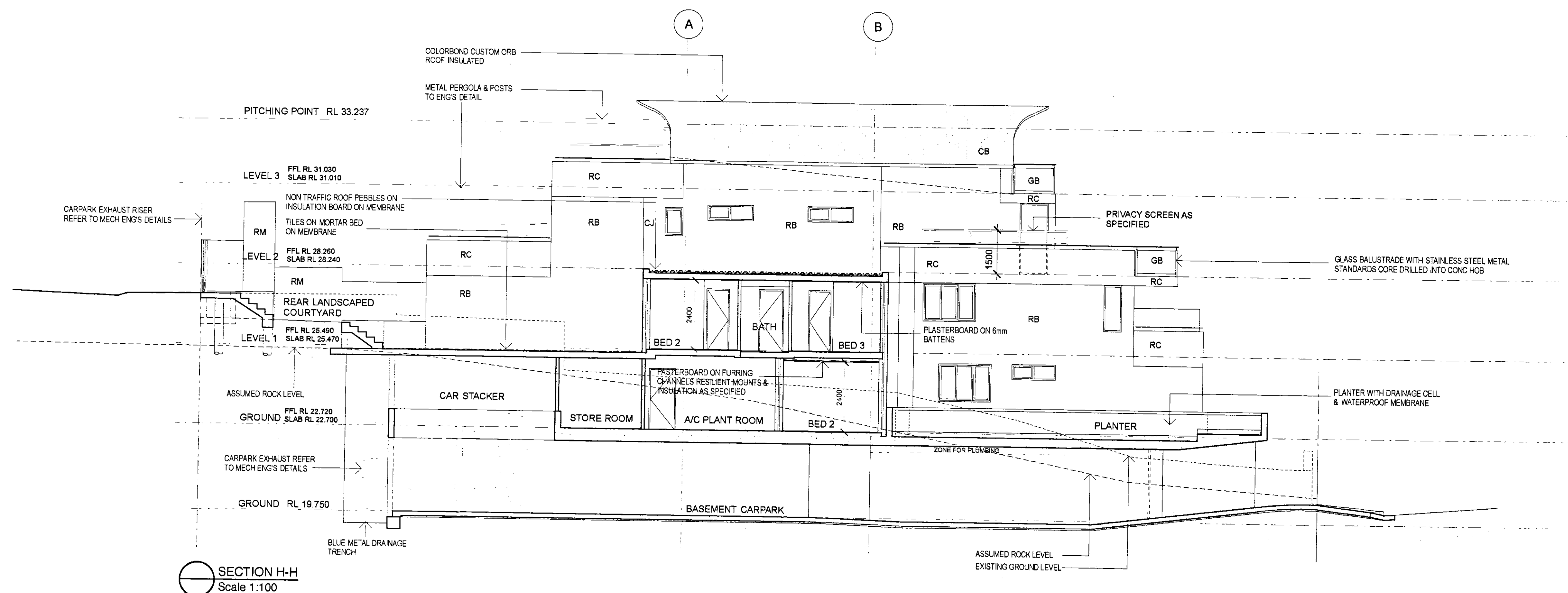
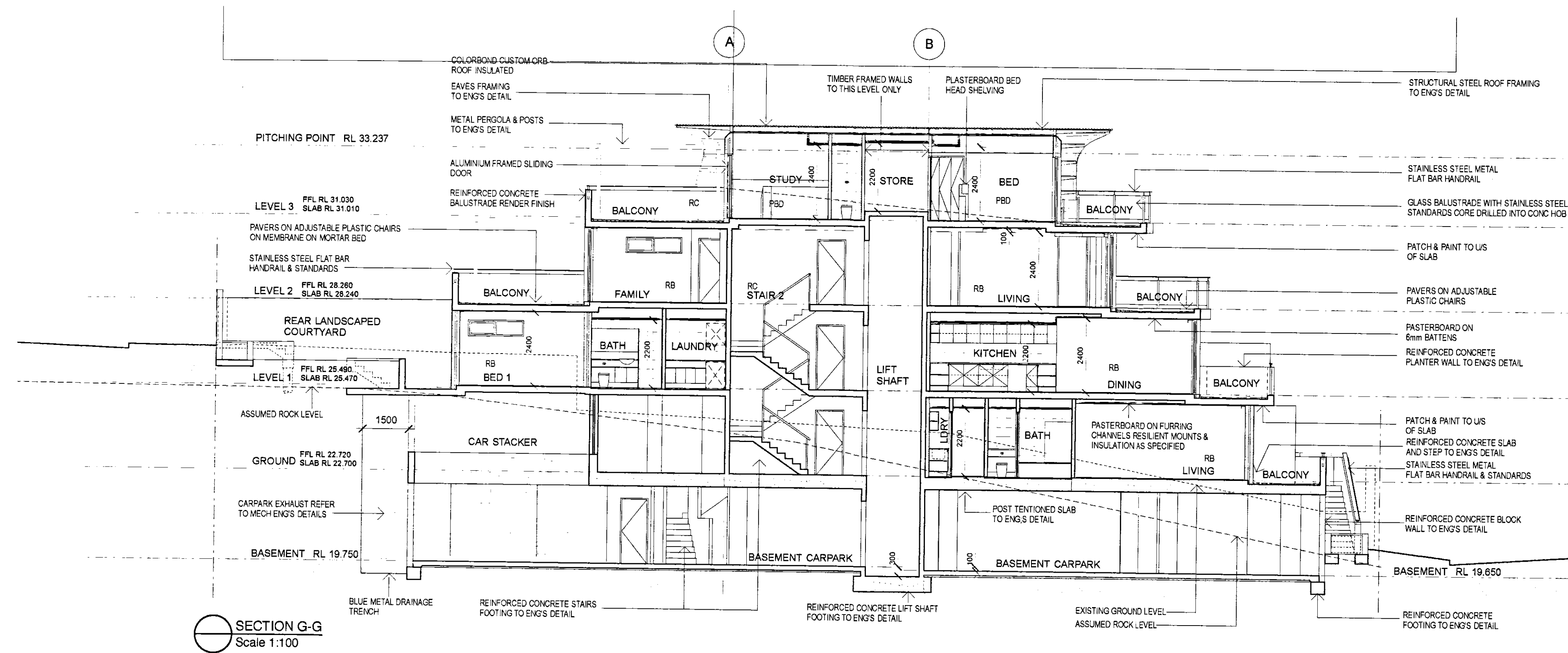


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 Tel: 02 9977 7548 Fax: 02 9977 0295 Info@bja.net.au  
 Web: bja.net.au Nominated Architect: David Jacobson  
 NSW ARB Reg No: 4259 ABN: 9508 832 8769

**PROJECT**  
**UNIT DEVELOPMENT**  
**ADDRESS**  
**5 COMMONWEALTH PARADE, MANLY**  
**CLIENT**  
**MR C. KOUTSOS**  
**DRAWING**  
**SECTIONS A, B, C, D, E, & F**

1:100 DWG No ISSUE  
 SCALE @ A1  
 DRAWN CHKD  
 AT 110.09 / CC-06 (B)

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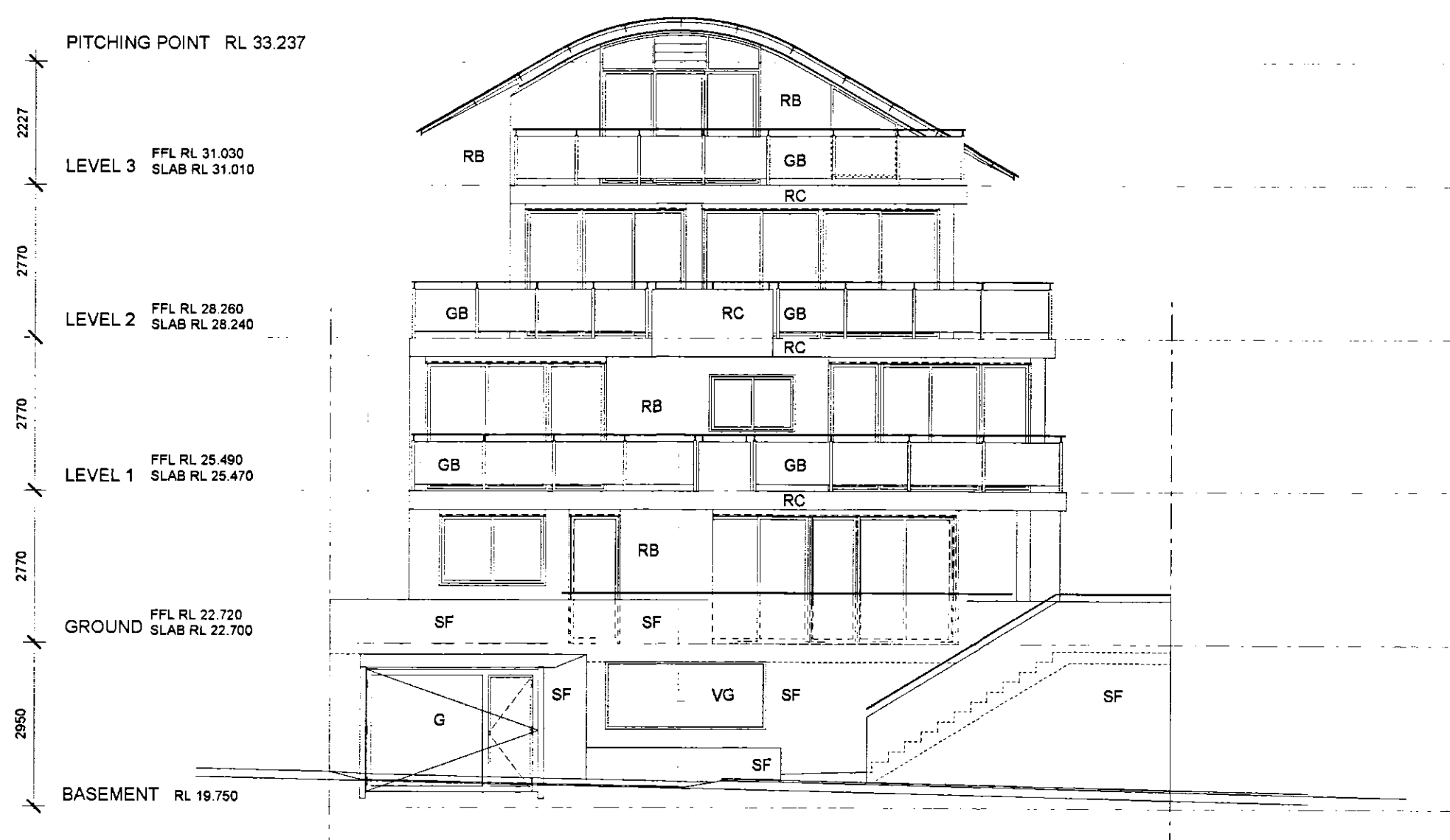
ISSUE	AMENDMENT	DATE
B	ISSUED FOR CONSTRUCTION CERTIFICATE	1/10/13
A	ISSUED TO CERTIFIER	22/8/13
ISSUE	AMENDMENT	DATE

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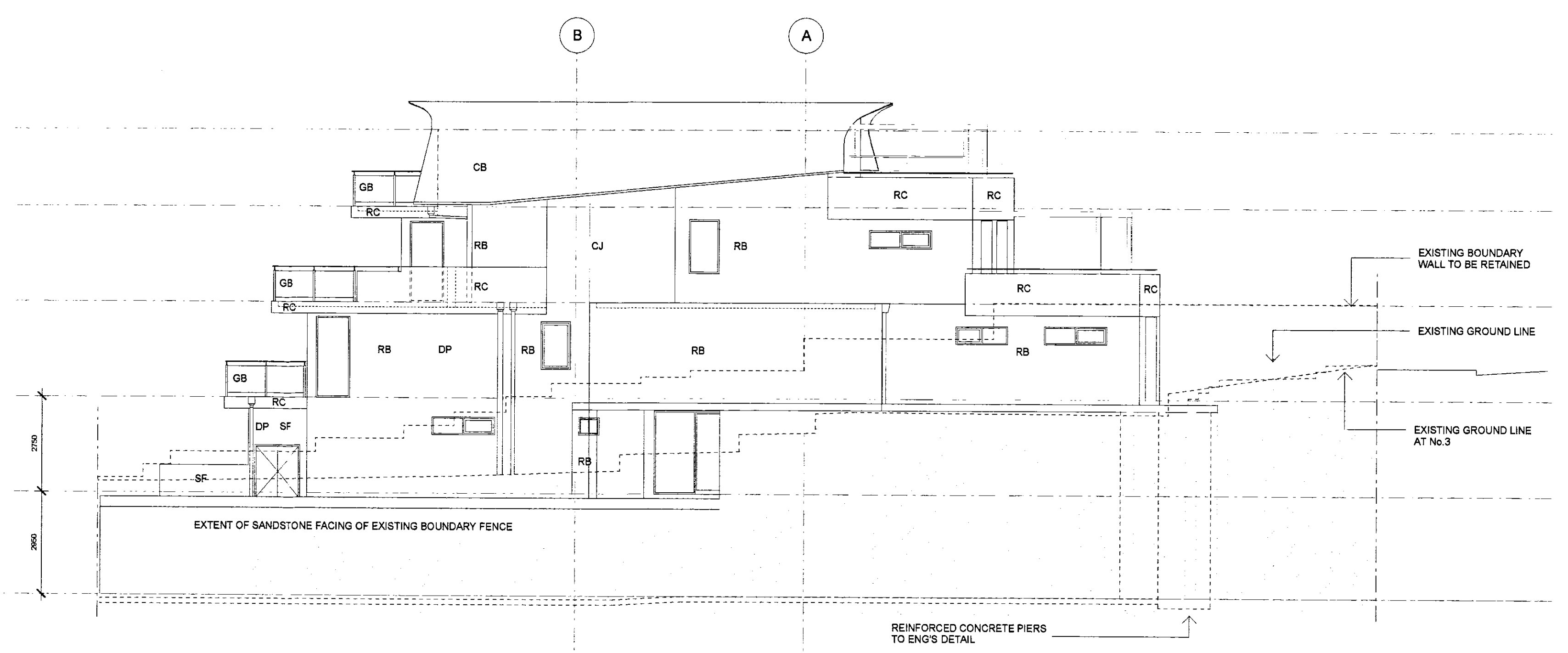
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**UNIT DEVELOPMENT**  
**ADDRESS**  
**5 COMMONWEALTH PARADE, MANLY**  
**CLIENT**  
**MR C. KOUTSOS**  
**DRAWING**  
**SECTIONS G & H**

**1:100** DWG No **110.09 / CC-07 (B)**  
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**DRAWN** AT **CHKD**

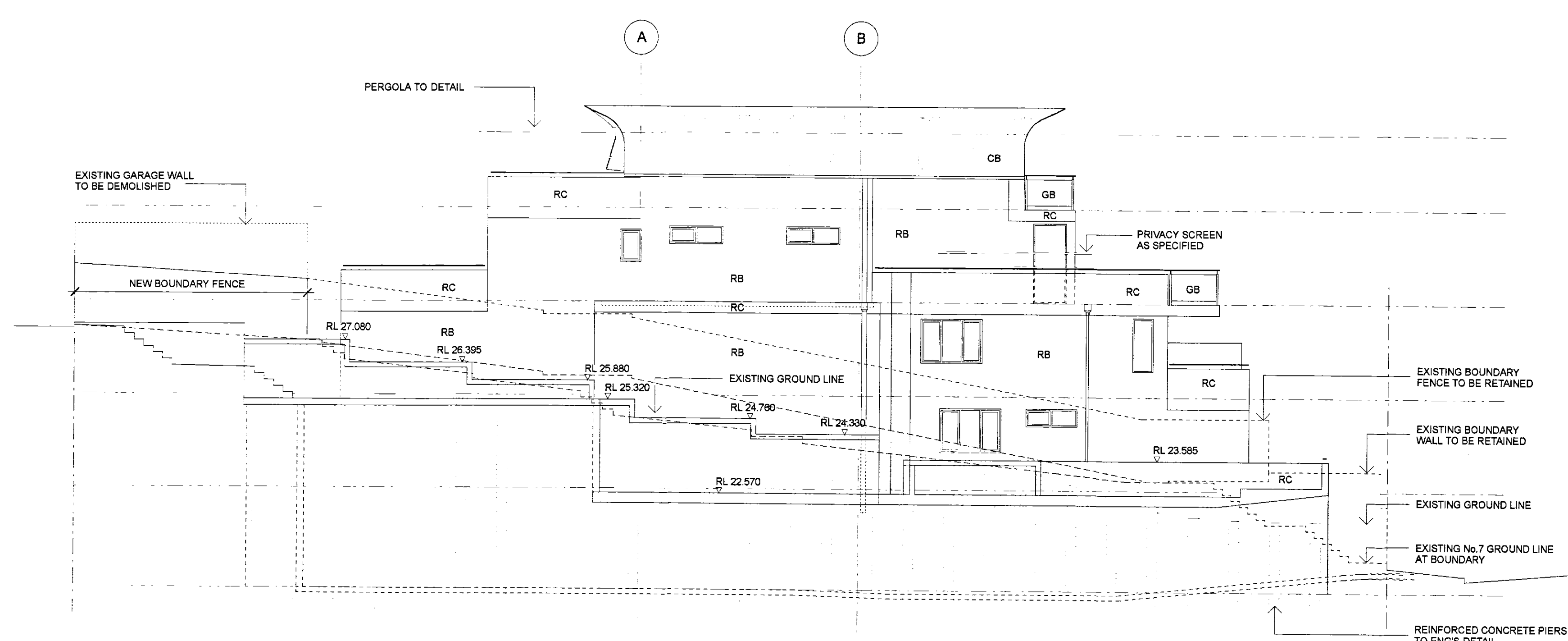
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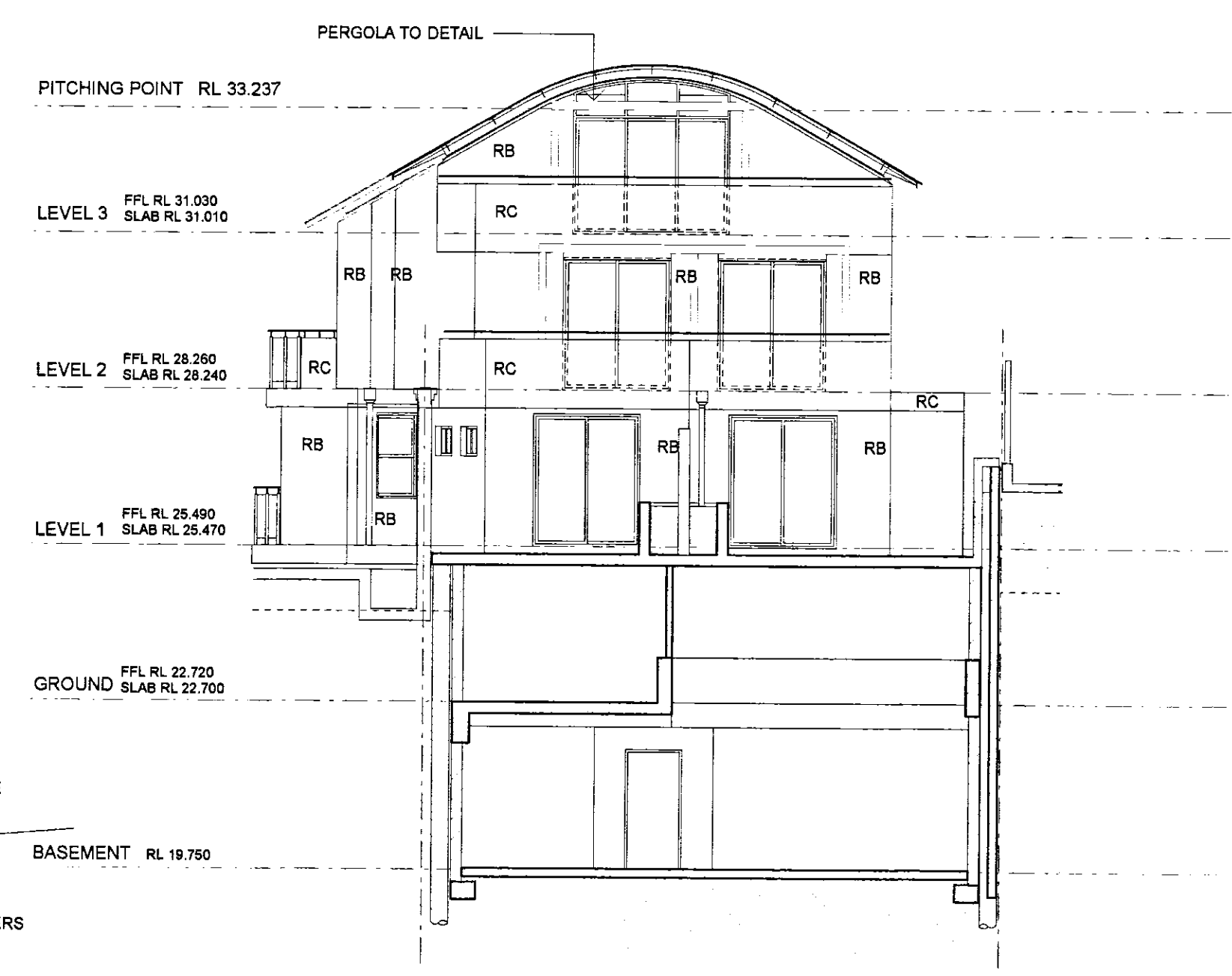
**EASTERN ELEVATION**  
Scale 1:100



**NORTHERN ELEVATION**  
Scale 1:100

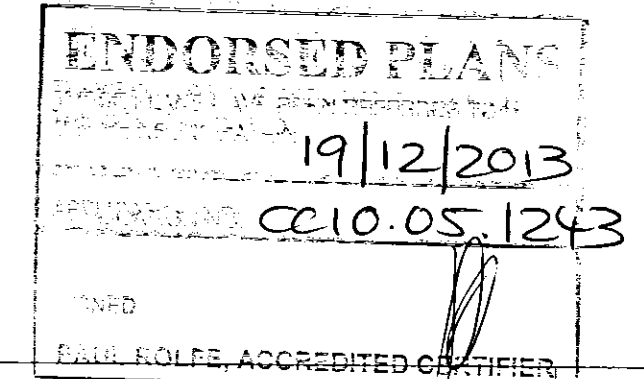


**NORTH ELEVATION**  
Scale 1:100



**WESTERN ELEVATION**  
Scale 1:100

- LEGEND**
- CB COLORBOND CUSTOM ORB
  - RB RENDERED BRICK
  - RM RENDERED MASONRY BLOCK
  - RC RENDERED CONCRETE
  - GB GLASS BALUSTRADE
  - G CARPARK ENTRY GATE
  - TF TIMBER FENCE
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  - TP TIMBER & STEEL PERGOLA
  - DP DOWNPIPE
  - VG VENTILATION GRILLE
  - CJ CONTROL JOINT



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A	ISSUED TO CERTIFIER	22/8/13
ISSUE	AMENDMENT	DATE



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**PROJECT**  
**UNIT DEVELOPMENT**

**ADDRESS**  
**5 COMMONWEALTH PARADE, MANLY**

**CLIENT**  
**MR C. KOUTSOS**

**DRAWING**  
**ELEVATIONS**

**1:100** DWG No **110.09 / CC-08 (B)** ISSUE  
**SCALE @ A1**  
 DRAWN **AT** CHKD

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STAIR 1 SECOND FLOOR LEVEL  
Scale 1:50

STAIR 1 FIRST FLOOR LEVEL  
Scale 1:50

STAIR 1 GROUND FLOOR LEVEL  
Scale 1:50

STAIR 1 SECTION A-A  
Scale 1:50

STAIR 1 SECTION B-B  
Scale 1:50

FRONT MAIN STAIR PLAN  
Scale 1:50

SECTION A-A  
Scale 1:50

SECTION B-B  
Scale 1:50

ENDORSED PLAIN

19/12/2013

CE 10.05.1243

PAUL POLICE, ACCREDITED CERTIFICATE

B	ISSUED FOR CONSTRUCTION CERTIFICATE	01/10/13
ISSUE	AMENDMENT	DATE

STAIR 2 BASEMENT PLAN  
Scale 1:50

STAIR 2 SECTION A-A  
Scale 1:50

STAIR 2 SECTION B-B  
Scale 1:50



BAXTER &amp; JACOBSON ARCHITECTS PTY LTD

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PROJECT \_\_\_\_\_

UNIT DEVELOPMENT

ADDRESS \_\_\_\_\_

5 COMMONWEALTH PARADE, MANLY

100%

CLIENT \_\_\_\_\_

MR C. KOUTSOS

**DRAWING**

WALL SECTIONS 1:20

### WALL SECTIONS 1.20

4-100 DWG No ISSUE

1:100

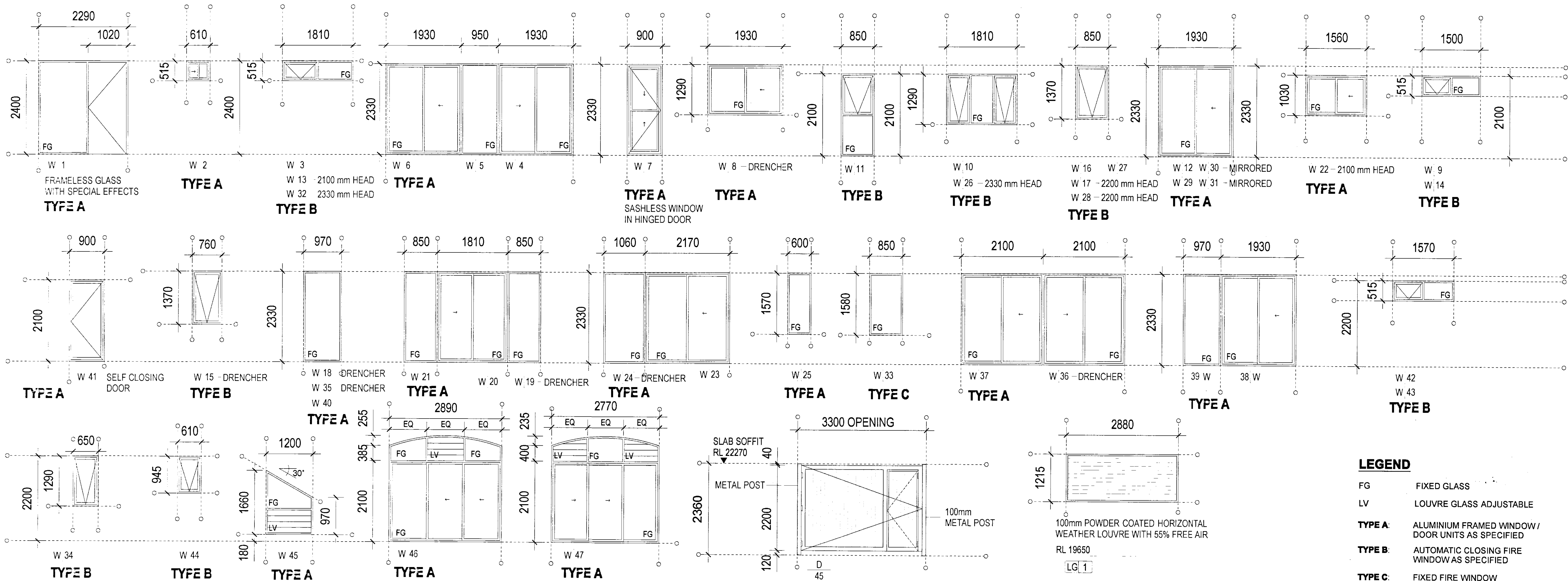
SCALE @ A1  
DRAWN CHKD 110.09 / CC-09 (A)

AT

Verify all dimensions on site prior to commencement of building work.  
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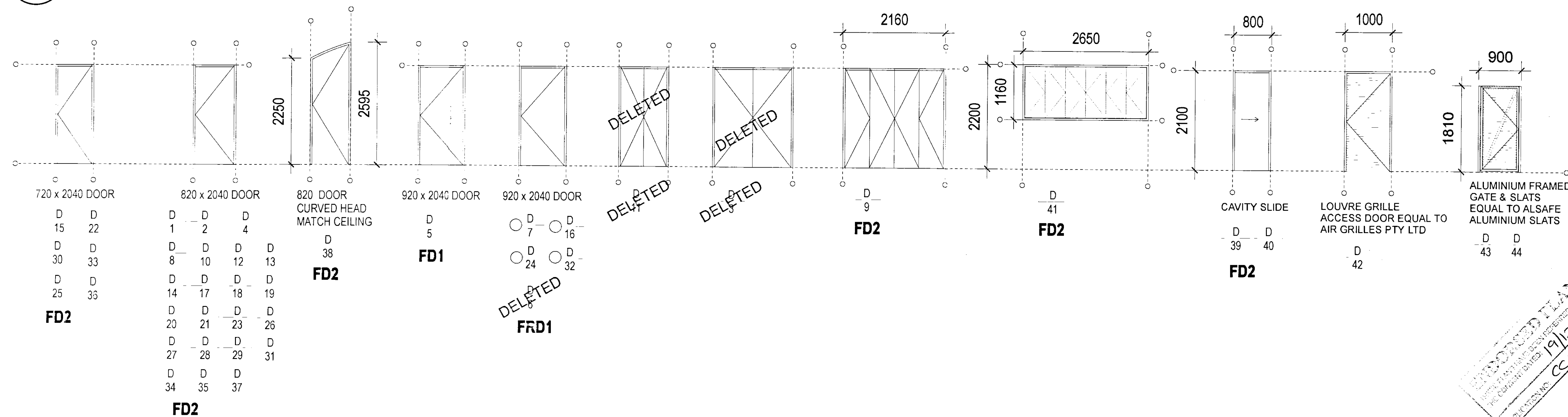
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**WINDOW SCHEDULE**  
Scale 1:50

**MAIN ENTRY GATE BASEMENT**  
Scale 1:50

**AIR LOUVRE SCHEDULE**  
Scale 1:50



**DOOR SCHEDULE**  
Scale 1:50

ISSUE	AMENDMENT	DATE
B	ISSUED FOR CONSTRUCTION CERTIFICATE	01/10/13
ISSUE	AMENDMENT	DATE

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 Lvl 2, 37-39 The Corso Manly NSW 2095  
 Tel: 02 9977 7448 Fax: 02 9977 0295 info@bja.net.au  
 Web: bja.net.au Nominated Architect: David Jacobson  
 NSW ARB Reg No: 4259 ABN: 9506 832 8769

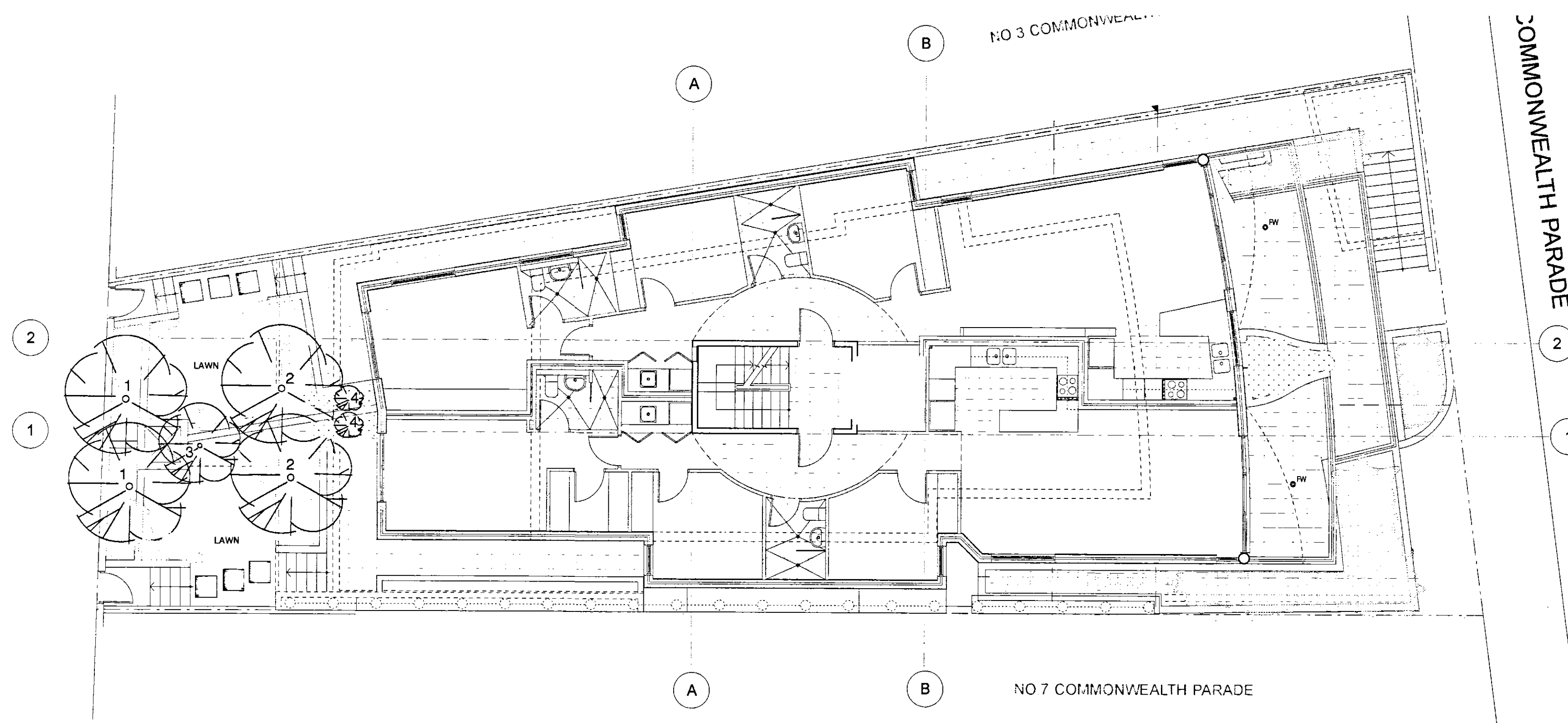
**PROJECT**  
 UNIT DEVELOPMENT  
**ADDRESS**  
 5 COMMONWEALTH PARADE, MANLY

**CLIENT**  
 MR C. KOUTSOS

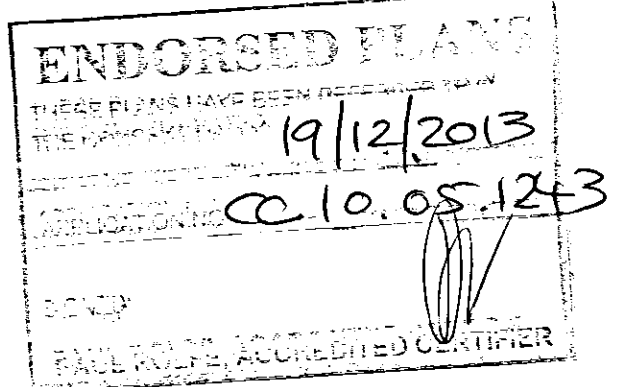
**DRAWING**  
**WINDOW & DOOR SCHEDULE**

**1:100** DWS No **110.09 / CC-10 (B)**  
**SCALE @ A1**  
**DRAWN** **CHKD** **AT**

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LEGEND	
	Ground cover to future detail.
	Shrubs to 2.5m high: -Leptospermum polygalifolium "Cardwell", -Callistemon citrinus.
	Westringia fruticosa.
	1 Ceratopetalum gummiferum (NSW Christmas bush)
	2 Melia azedarach australasica (White Cedar)
	3 Melaleuca nodosa
	4 Ricinocarpus pinifolius



ISSUE		
ISSUE	AMENDMENT	DATE
B	ISSUED FOR CONSTRUCTION CERTIFICATE	01/10/13



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 Web: bja.net.au Nominated Architect: David Jacobson  
 NSW ARB Reg No: 4259 ABN: 9508 832 8769

**PROJECT**  
**UNIT DEVELOPMENT**

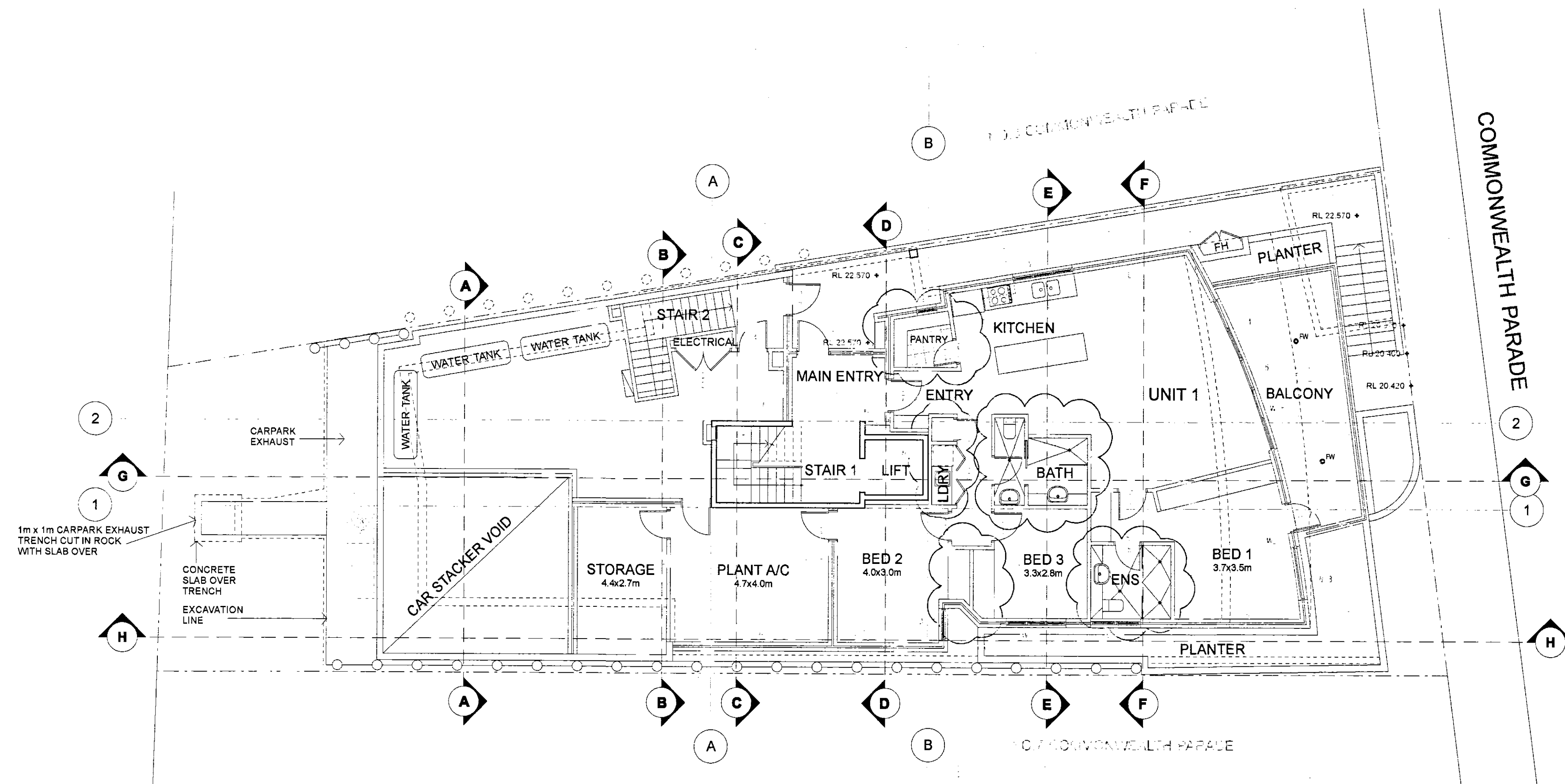
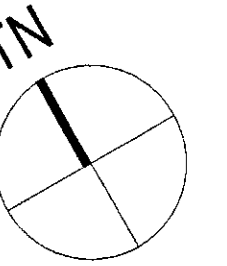
**ADDRESS**  
**5 COMMONWEALTH PARADE, MANLY**

**CLIENT**  
**MR C. KOUTSOS**

**DRAWING**  
**LANDSCAPE PLAN**

SCALE		DWG No	ISSUE
1:100			
SCALE @ A1			
DRAWN	CHKD	110.09 /	CC-11 (A)
AT			

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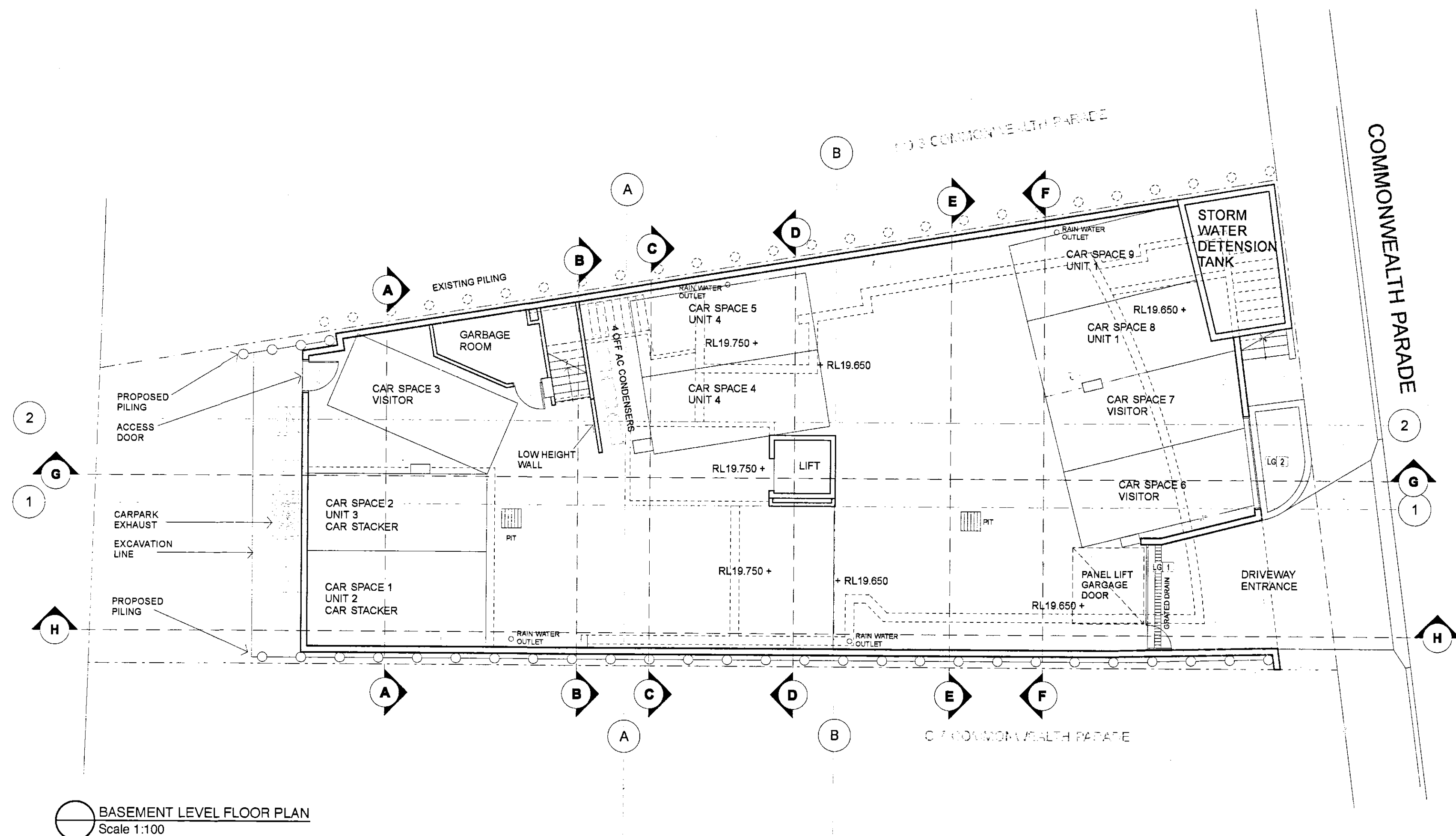


GROUND LEVEL FLOOR PLAN  
Scale 1:100

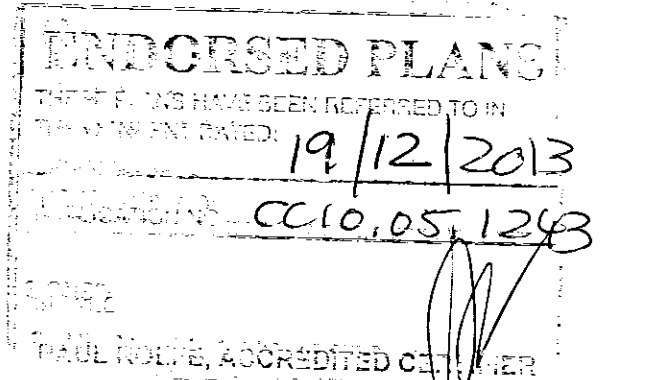
#### LEGEND

— PROPOSED EXTERNAL WALL WETTING SPRINKLERS

ELEMENT	MATERIAL	THICKNESS	MIN FRL	MIN RW
WL1	REINFORCED BLOCKWALL	190	90/90/90	--
WL2	INSITU CONCRETE, RENDER (STAIRWELL)	150	90/90/90	RW 50
WL3	INSITU CONCRETE, CAVITY + BRICK (LIFT SHAFT WALLS)	150+20+90	90/90/90	RW 50 DISCONT
WL4	CAVITY BRICK	110+50+110	90/90/90	RW 50 DISCONT.
WL5	SINGLE BRICK	90	--	--
WL6	CAVITY BRICK	110+50+110	90/90/90	--
WL7	CAVITY BRICK	110+50+90	90/90/90	--
COLUMNS				
C1		--	90/90/90	--



BASEMENT LEVEL FLOOR PLAN  
Scale 1:100



ISSUE	AMENDMENT	DATE
B	ISSUED FOR CONSTRUCTION CERTIFICATE	1/10/13
A	ISSUED TO CERTIFIER	22/8/13
ISSUE	AMENDMENT	DATE

Floor plans from CC set. Put back together when given. F&G has been viewed. IN BOX

PRGJ  
UNI  
ADDRESS  
5 CO. HEALTH PARADE, MANLY

CLIENT  
MR C. KOUTSOS

DRAWING  
BASEMENT & GROUND FLOOR PLAN

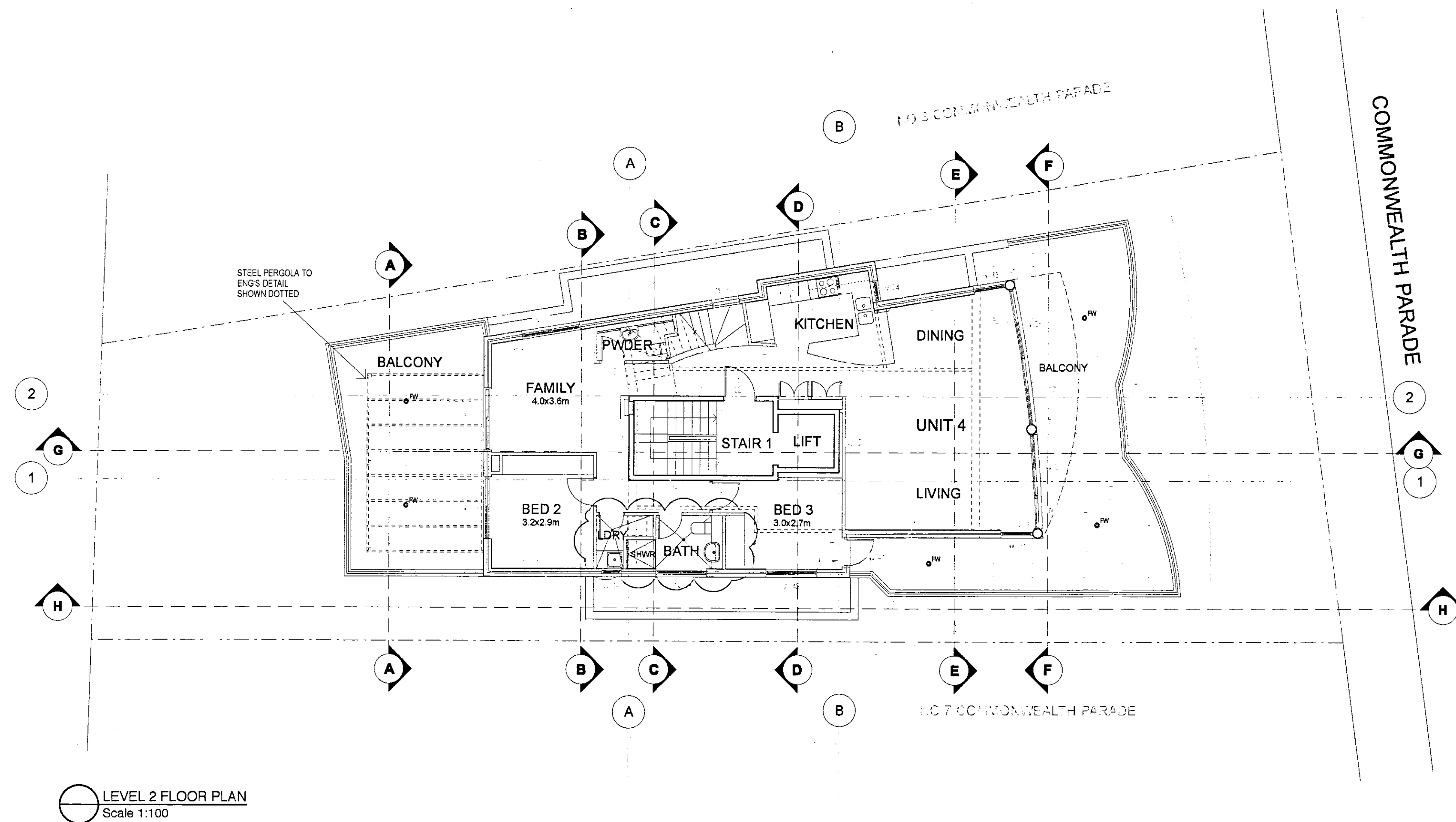
1:100  
SCALE @ A1  
DRAWN CHKD  
AT

DWG No  
110.09 / CC-03 (A)

ISSUE

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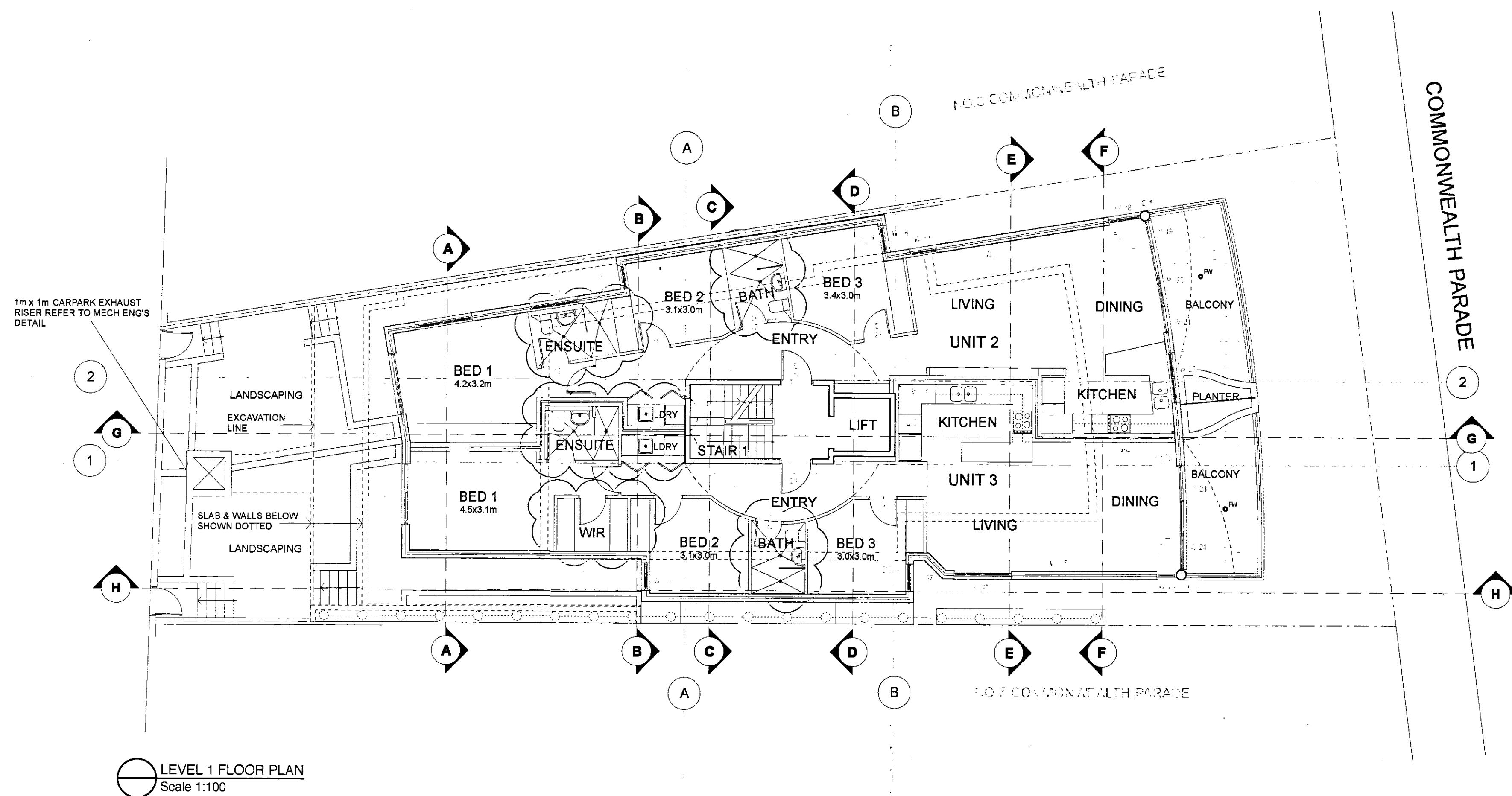




LEVEL 2 FLOOR PLAN  
Scale 1:100

— PROPOSED EXTERNAL WALL WETTING SPRINKLERS

ELEMENT	MATERIAL	THICKNESS	MIN FRL	MIN RW
WL1	REINFORCED BLOCKWALL	190	90/90/90	--
WL2	INSITU CONCRETE, RENDER (STAIRWELL)	150	90/90/90	RW 50
WL3	INSITU CONCRETE, CAVITY + BRICK (LIFT SHAFT WALLS)	150+20+90	90/90/90	RW 50 DISCONT
WL4	CAVITY BRICK	110+50+110	90/90/90	RW 50 DISCONT.
WL5	SINGLE BRICK	90	--	--
WL6	CAVITY BRICK	110+50+110	90/90/90	--
WL7	CAVITY BRICK	110+50+90	90/90/90	--
<b>COLUMNS</b>				
C1		--	90/90/90	--



LEVEL 1 FLOOR PLAN  
Scale 1:100

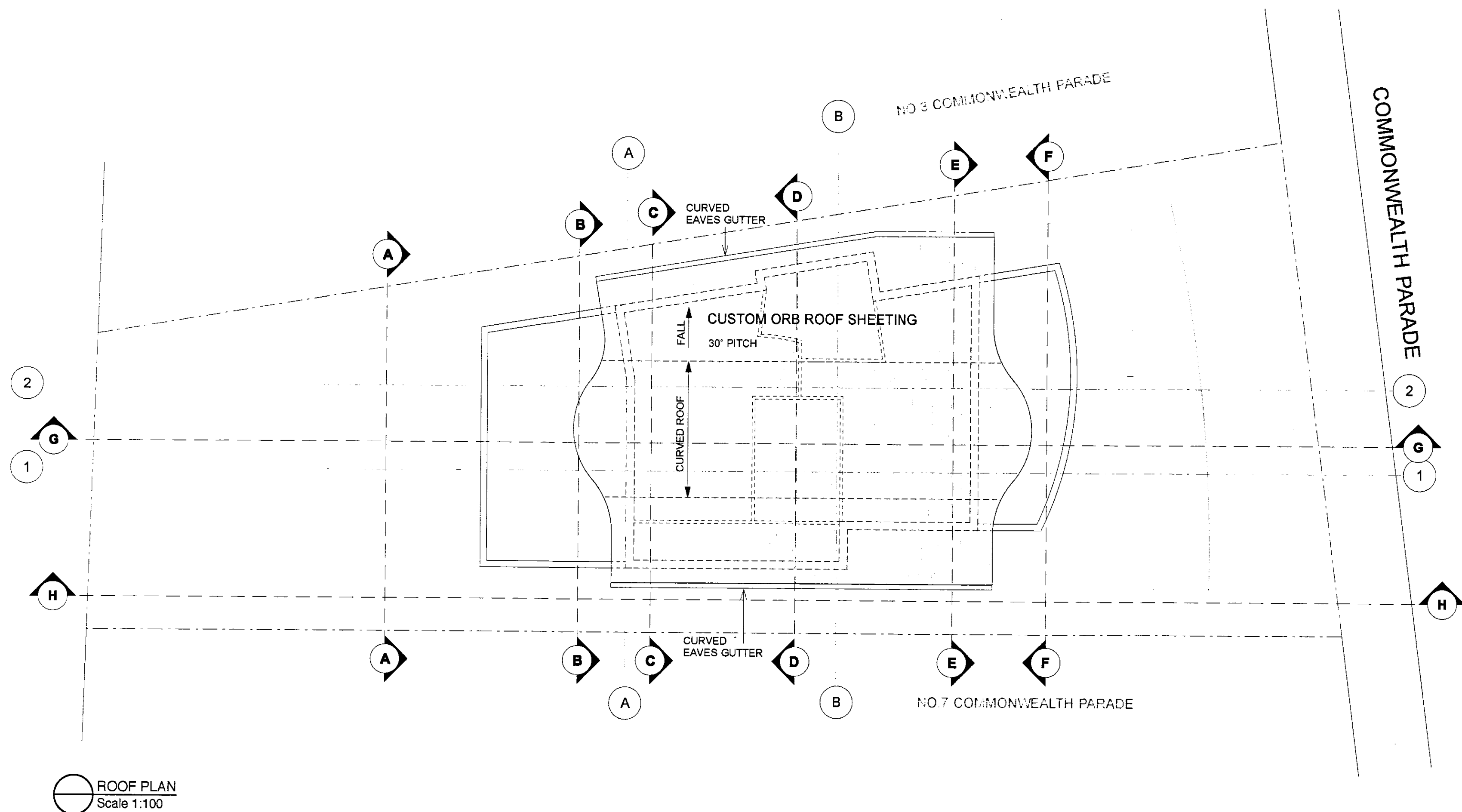
B	ISSUED FOR CONSTRUCTION CERTIFICATE	1/10/13
A	ISSUED TO CERTIFIER	22/8/13
ISSUE	AMENDMENT	DATE

Lvl 2, 37-39 The Corso Manly NSW 2095  
Tel: 02 9977 7648 Fax: 02 9977 0295 info@bja.net.au  
Web: bja.net.au Nominated Architect: David Jacobson  
NSW ARB Reg No: 4259 ABN: 9508 832 8769

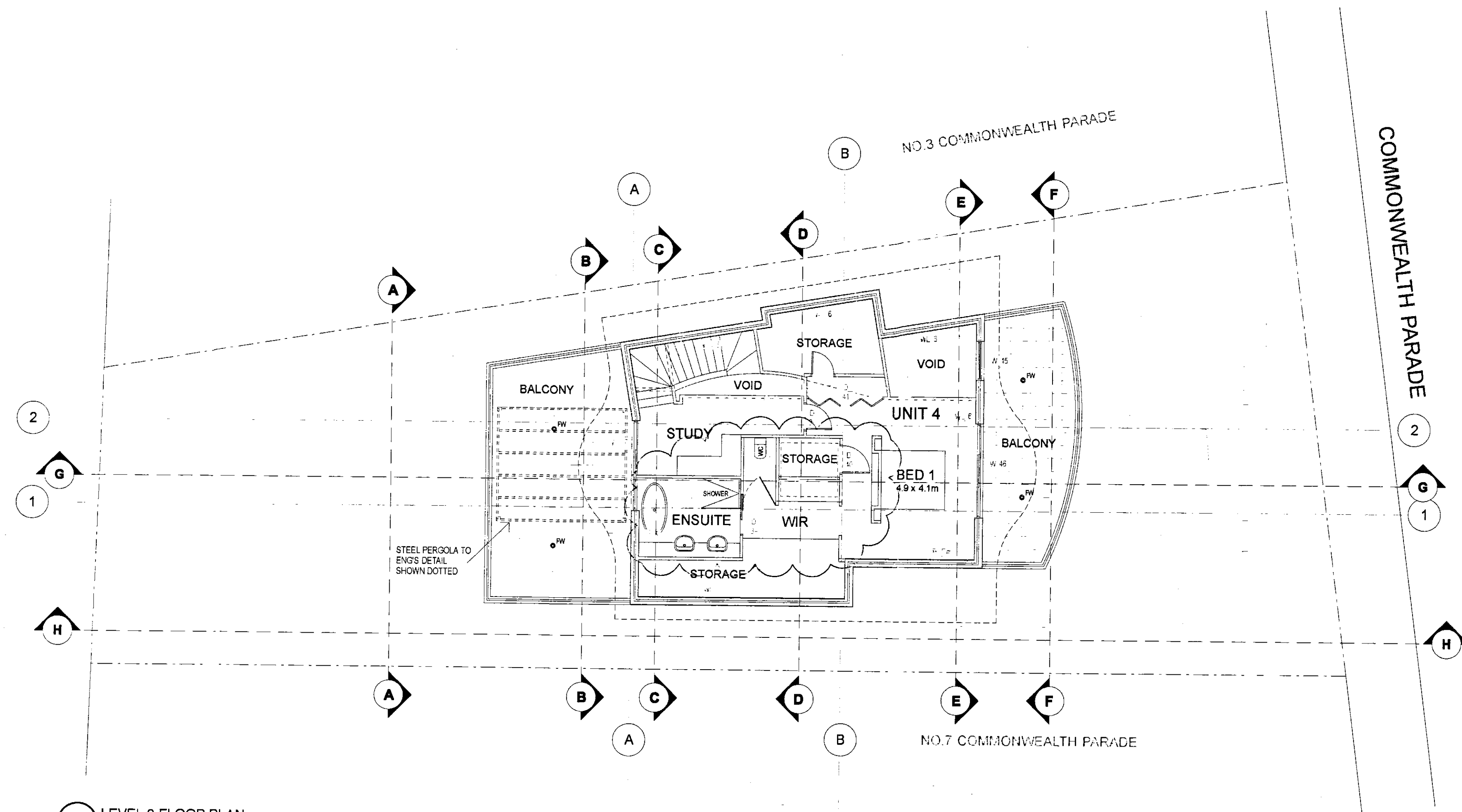
1:100		DWG No	ISSUE
SCALE @ A1			
DRAWN	CHKD	110.09 / <b>CC-04 (A)</b>	
AT			

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ROOF PLAN  
Scale 1:100

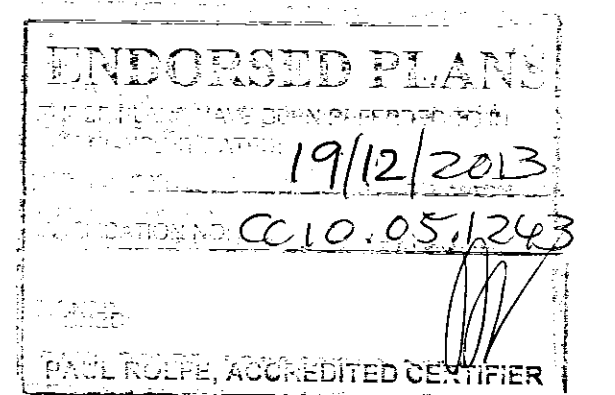


LEVEL 3 FLOOR PLAN  
Scale 1:100

#### LEGEND

— PROPOSED EXTERNAL WALL WETTING SPRINKLERS

ELEMENT	MATERIAL	THICKNESS	MIN FRL	MIN RW
WL1	REINFORCED BLOCKWALL	190	90/90/90	--
WL2	INSITU CONCRETE, RENDER (STAIRWELL)	150	90/90/90	RW 50
WL3	INSITU CONCRETE, CAVITY + BRICK (LIFT SHAFT WALLS)	150+20+90	90/90/90	RW 50 DISCONT.
WL4	CAVITY BRICK	110+50+110	90/90/90	RW 50 DISCONT.
WL5	SINGLE BRICK	90	--	--
WL6	CAVITY BRICK	110+50+110	90/90/90	--
WL7	CAVITY BRICK	110+50+90	90/90/90	--
COLUMNS				
C1		--	90/90/90	--



ISSUE	AMENDMENT	DATE
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A	ISSUED TO CERTIFIER	22/8/13
ISSUE	AMENDMENT	DATE



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NSW ARB Reg No: 4259 ABN: 9508 832 8769

PROJECT

UNIT DEVELOPMENT

ADDRESS

5 COMMONWEALTH PARADE, MANLY

CLIENT

MR C. KOUTSOS

DRAWING

LEVEL 3 & ROOF PLAN

1:100

DWG No

ISSUE

SCALE @ A1

DRAWN

AT

110.09 / CC-05 (A)

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