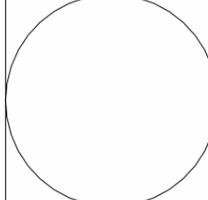


## 65 MARINE PARADE, AVALON

MODIFICATION TO APPROVED DA APPLICATION  
NUMBER DA2020/0278 - 30/06/2020

### LIST OF DOCUMENTS

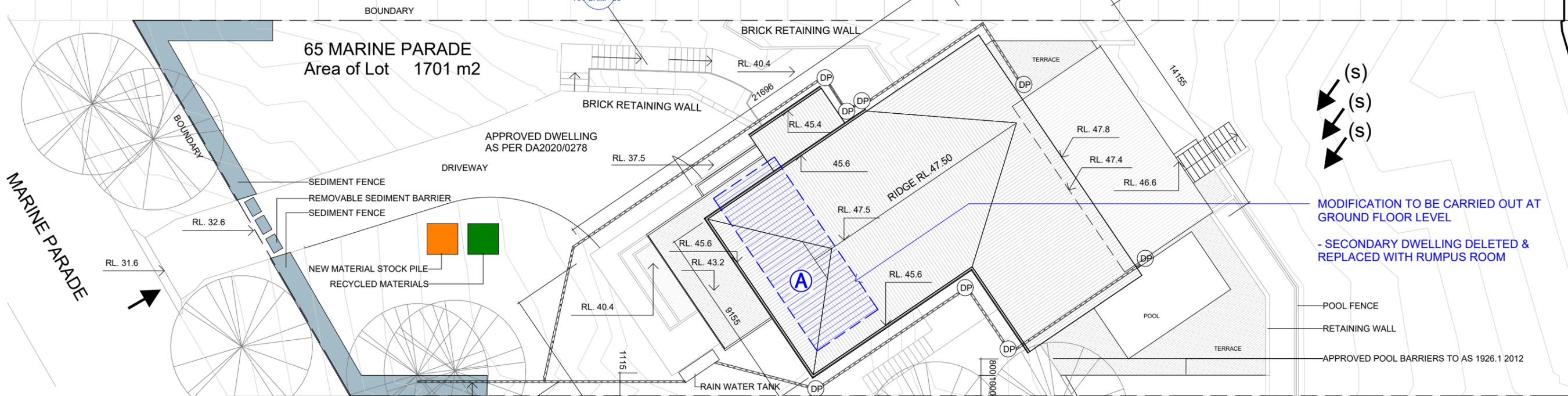
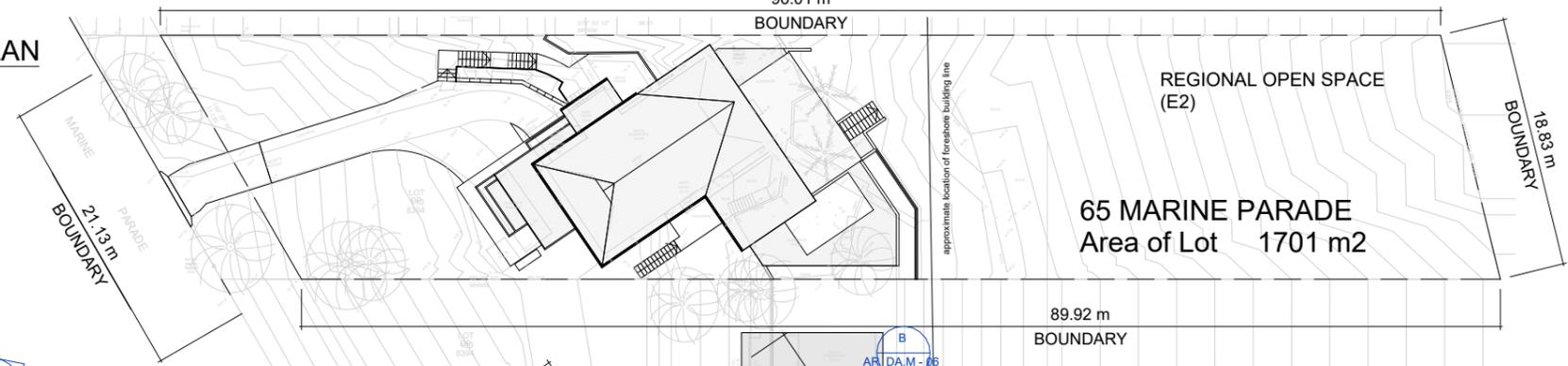
Sheet Number	Current Revision	Sheet Name
AR DA.M - 01	A	COVER PAGE
AR DA.M - 02	A	SITE ANALYSIS PLAN
AR DA.M - 03	A	UPPER FLOOR & ROOF PLAN - APPROVED
AR DA.M - 04	A	FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED
AR DA.M - 05	A	NORTH & SOUTH ELEVATION - APPROVED
AR DA.M - 06	A	EAST & WEST ELEVATION-APPROVED SECTIONS A&B MODIFIED
AR DA.M - 07	A	SHADOW DIAGRAM - APPROVED
AR DA.M - 08	A	NOTIFICATION PLAN

 <b>ARCLAB PTY LTD</b> A.C.N. 143472762 PO Box 1239 Newport Beach NSW 2106 Australia Telephone +61 416 886 537 email: arc@arclab.com.au www.arclab.com.au	Client <b>HALL RESIDENCE</b>	Sheet Number <b>AR DA.M - 01</b>	© COPYRIGHT All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction. The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.	ISSUE/REVISION			Job N°. 0167 HALL	DOC. MOD. S4.55(1A)	REV. A	
	Project Address <b>65 MARINE PARADE, AVALON</b>	Sheet Title <b>COVER PAGE</b>		N.º A	Date 02.08.24	Note COUNCIL SUBMISSION				

**SITE NOTES**

- NO KNOWN WATERCOURSES OR WATERWAYS ON SITE
- PROVIDE SILTRATION BARRIER AS REQUIRED BY COUNCIL
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORIZED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020
- ALL PROPOSED WORKS TO BE CARRIED OUT INSIDE APPROVED DWELLING

**1 PROPERTY PLAN**  
1 : 500



**2 SITE ANALYSIS PLAN**  
1 : 200

- KEY**
- EXISTING VEGETATION TO REMAIN
  - CAR ENTRY POINT
  - BOUNDARY
  - PREVAILING WINDS (summer)
  - PREVAILING WINDS (winter)
  - WINDOW TO LIVING SPACE IN ADJACENT DWELLING
  - EXISTING CONTOURS SLOPE OF LAND 500mm INCREMENT

- SEDIMENT FENCE
- RECYCLED MATERIALS
- NEW MATERIAL STOCK PILE
- ADJACENT DWELLINGS
- APPROVED DWELLING SHOWN IN BLACK LINEWORK

**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

DELETED ELEMENTS SHOWN IN BLUE LINEWORK

**1.1. Requirements**

- Applicants must demonstrate project management that seeks to:
- Incorporate the waste hierarchy principle of avoidance, resource recovery and disposal.
  - Minimise the waste sent for disposal.
  - Minimise the impact and disturbance on surrounding amenity, public safety, roadways and natural and built environment.
  - Adhere to any relevant legislation not limited to hazardous waste, storage and transportation regulations.
  - Send waste materials to a suitably licensed facility.
  - Identify suitable locations on the site for sorting and storing of materials for re-use, recycling and disposal. Factors to consider include slopes, drainage and personnel and vehicular access.
  - Maintain valid tipping dockets and receipts on site for inspection.

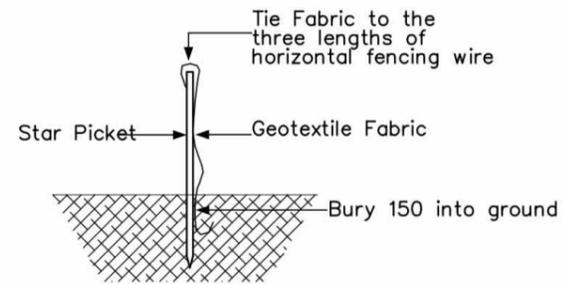


NORTHERN BEACHES COUNCIL Waste Management Guidelines  
Effective Date: 25 October 2016  
Page 2 of 4

**1.2. Re-use and recycling opportunities**

The table below provides guidance on re-use and recycling opportunities:

Material	Re-use and recycling opportunities
<b>Excavated materials</b>	Re-use for filling or levelling
<b>Concrete</b>	Re-use for filling, levelling or road base
<b>Bricks / Pavers</b>	Re-use or crush for landscaping and driveways
<b>Roof Tiles</b>	Re-use or crush for landscaping and driveways
<b>Untreated Timber</b>	Re-use as floorboards, fencing, furniture, mulch or send to second-hand timber suppliers
<b>Treated Timber</b>	Re-use as formwork, bridging, blocking and propping and send to second-hand timber suppliers
<b>Doors / Windows / Fittings</b>	Send to second-hand suppliers, or recycle
<b>Metals</b>	Re-use or recycle
<b>Green Waste</b>	Mulch or compost
<b>Plasterboard</b>	Re-use for landscaping, recycle or return to supplier
<b>Carpet</b>	Recycle or re-use in landscaping
<b>Plastics / Rubber</b>	Re-use or recycle



**SEDIMENTATION CONTROL FENCE**  
Scale 1: 10



**ARCLAB PTY LTD**  
A.C.N. 143472762  
PO Box 1239 Newport Beach  
NSW 2106 Australia  
Telephone +61 416 886 537  
email: arclab@arclab.com.au  
www.arclab.com.au

Client  
**HALL RESIDENCE**

Project Address  
**65 MARINE PARADE, AVALON**

Sheet Number  
**AR DA.M - 02**

Sheet Title  
**SITE ANALYSIS PLAN**

© COPYRIGHT  
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
Verify all dimensions on site prior to construction.  
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

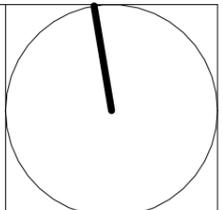
Job N.º  
**0167 HALL**

Scale  
As indicated

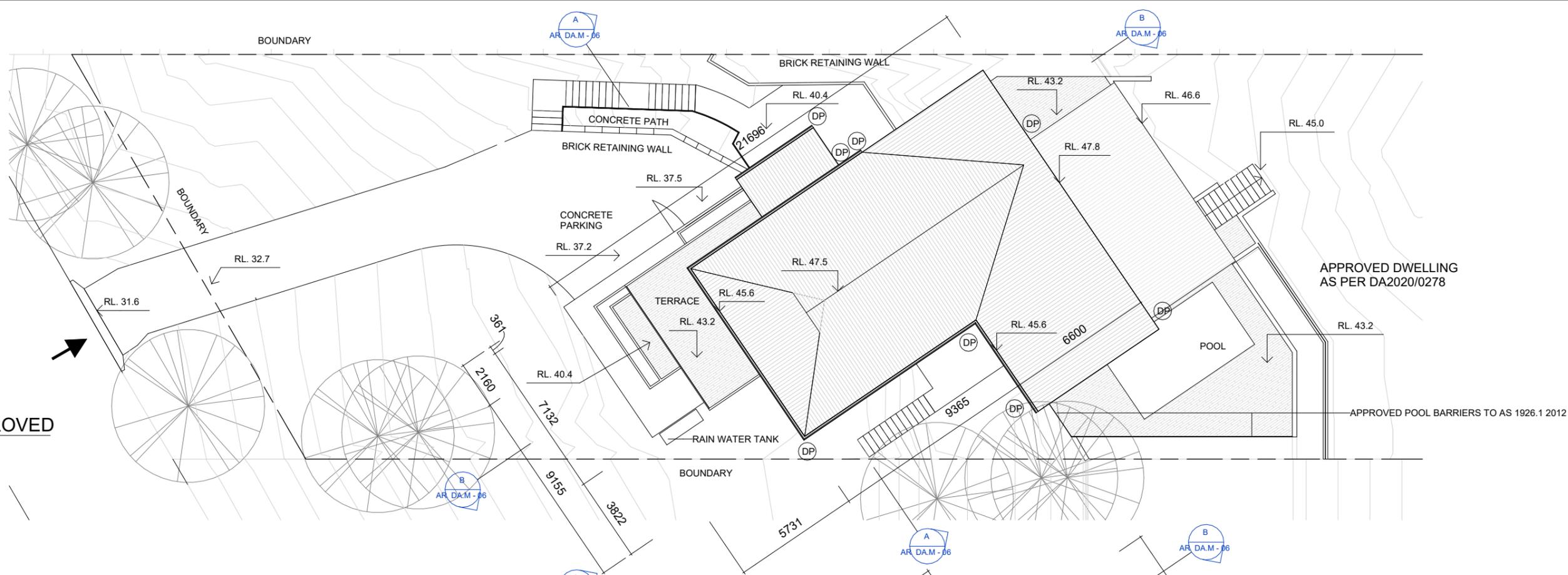
DOC. MOD.  
**S4.55(1A)**

Sheet  
**A 3**

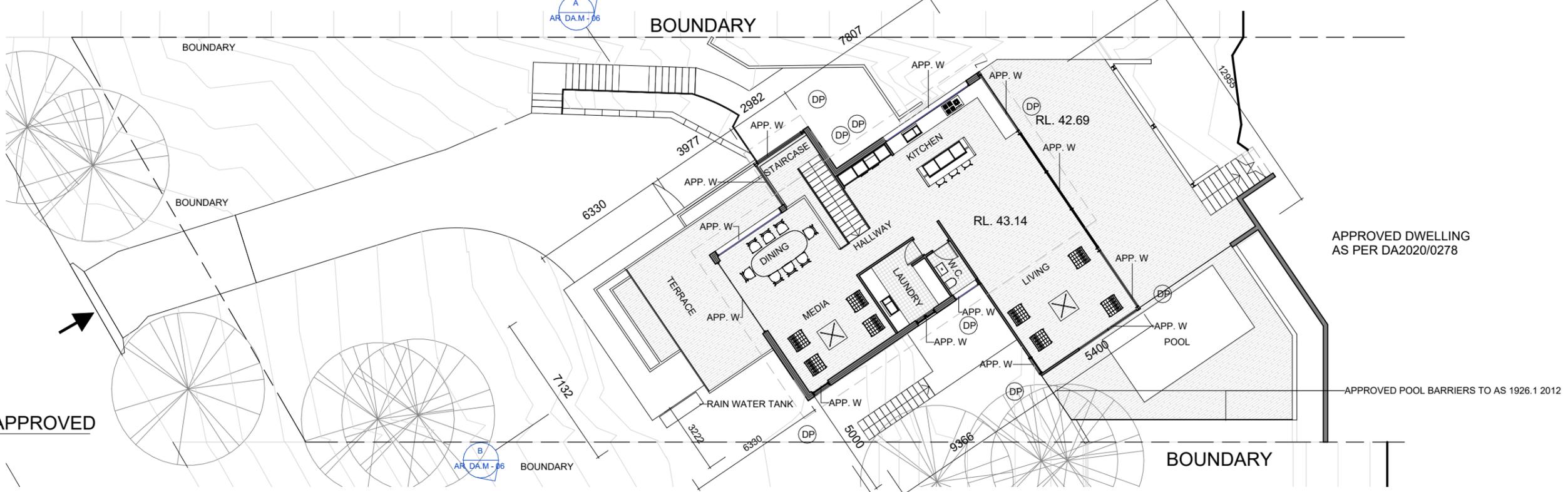
REV.  
**A**



1 ROOF PLAN - APPROVED  
1 : 200



2 SECOND FLOOR - APPROVED  
1 : 200



**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

DELETED ELEMENTS SHOWN IN BLUE LINEWORK

**-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020**



**ARCLAB PTY LTD**  
A.C.N. 143472762  
PO Box 1239 Newport  
Beach  
NSW 2106 Australia  
Telephone +61 416 886 537  
email: arclab@arclab.com.au  
www.arclab.com.au

Client  
**HALL RESIDENCE**  
  
Project Address  
**65 MARINE PARADE, AVALON**

Sheet Number  
**AR DA.M - 03**  
  
Sheet Title  
**UPPER FLOOR & ROOF PLAN - APPROVED**

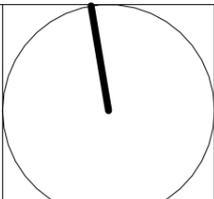
© COPYRIGHT  
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
Verify all dimensions on site prior to construction.  
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

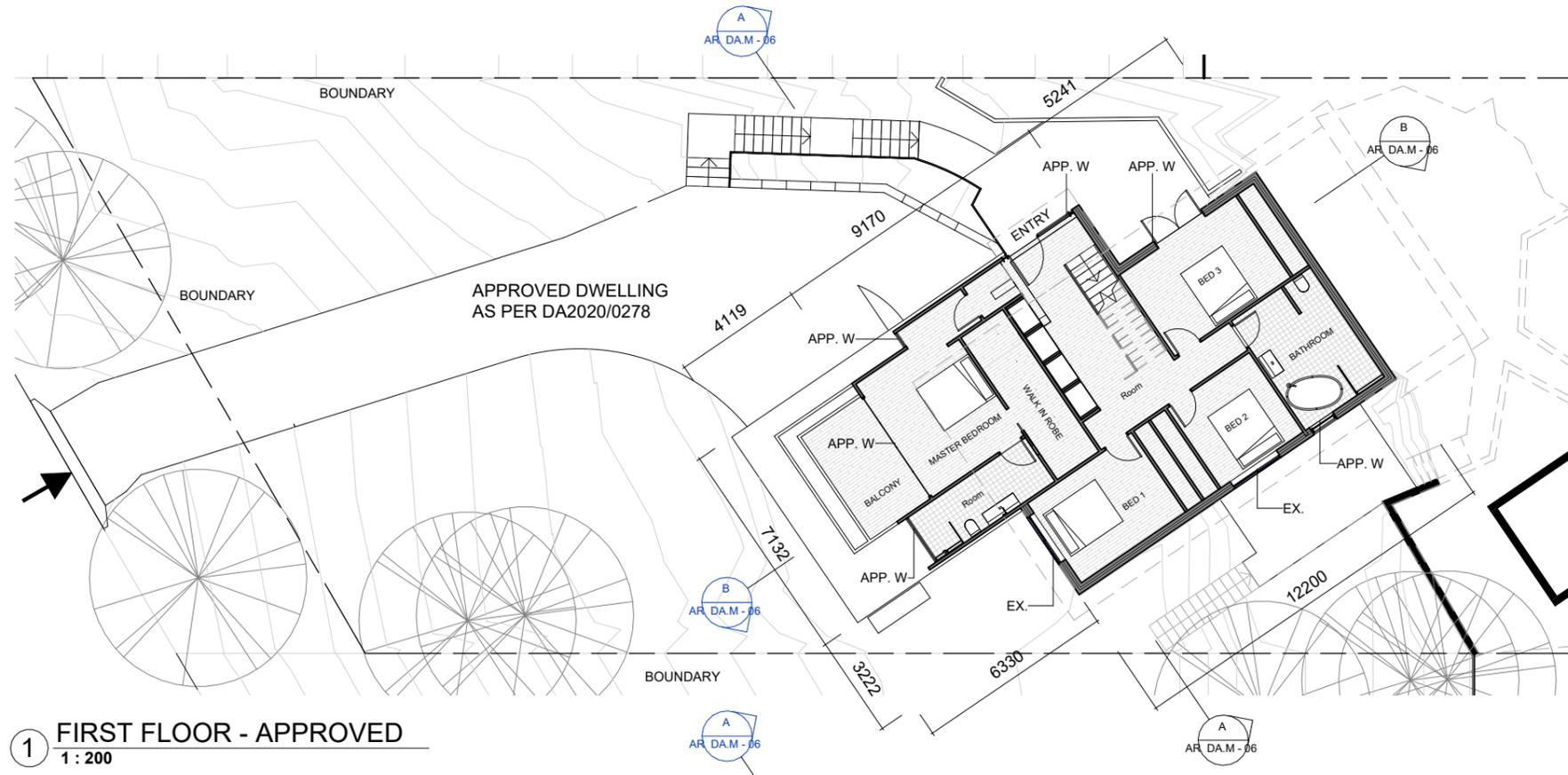
Job N.º  
**0167 HALL**  
  
Scale  
As indicated

DOC. MOD.  
**S4.55(1A)**  
  
Sheet  
**A 3**

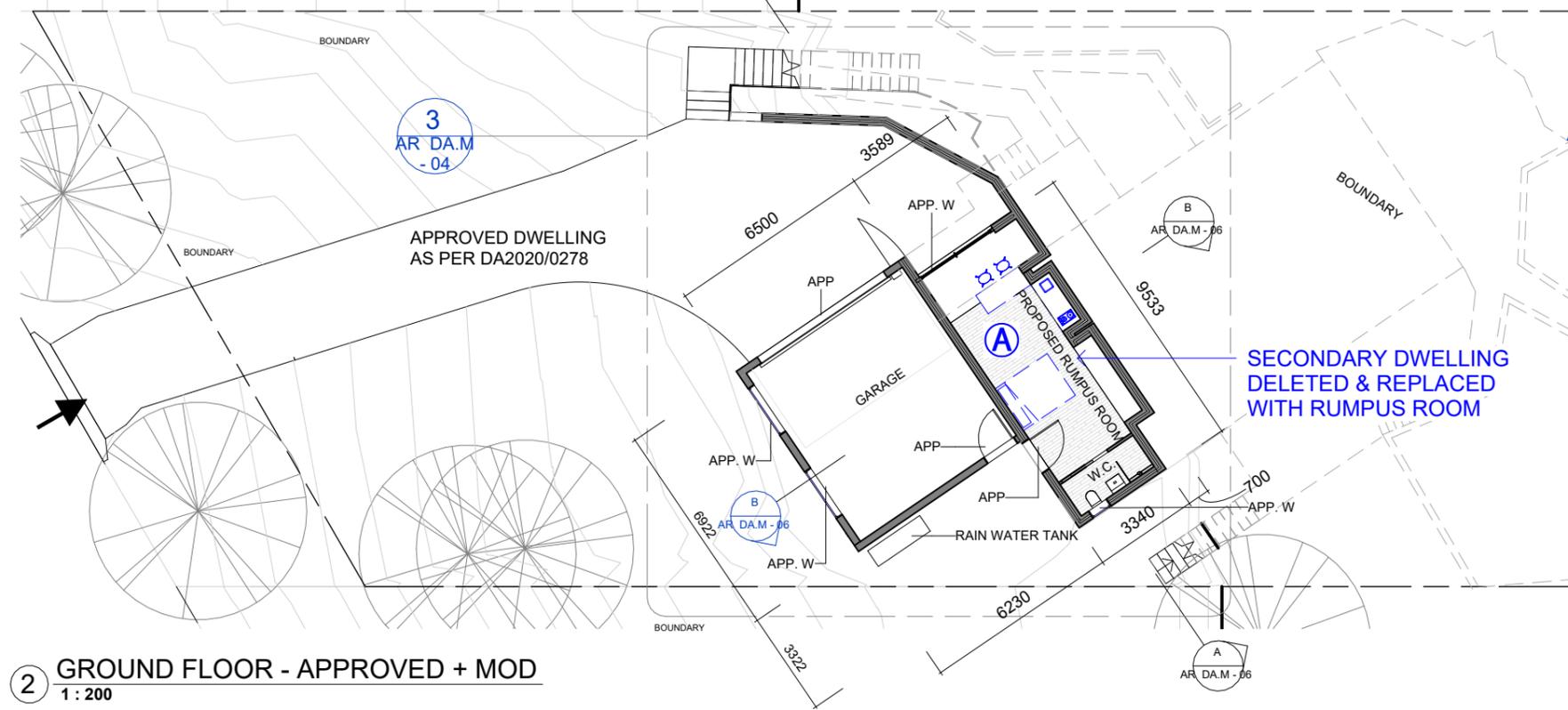
REV.  
**A**



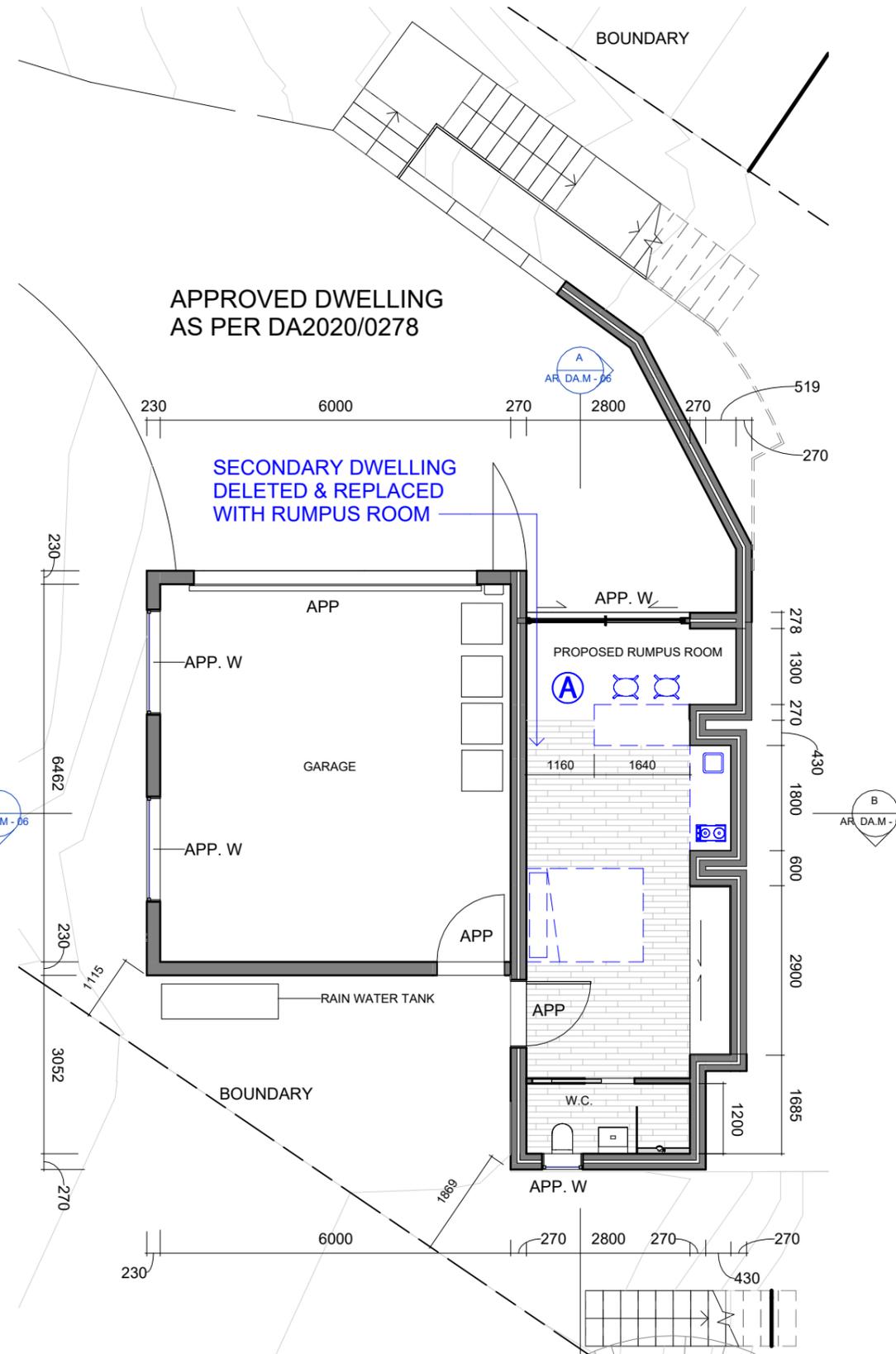
RAGM



1 FIRST FLOOR - APPROVED  
1 : 200



2 GROUND FLOOR - APPROVED + MOD  
1 : 200



3 GROUND FLOOR - PROPOSED  
1 : 100

**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM DELETED ELEMENTS SHOWN IN BLUE LINEWORK -PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD  
A.C.N. 143472762  
PO Box 1239 Newport  
Beach  
NSW 2106 Australia  
Telephone +61 416 886 537  
email:arc@arclab.com.au  
www.arclab.com.au

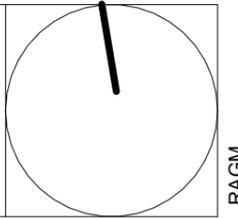
Client  
HALL RESIDENCE  
Project Address  
65 MARINE PARADE, AVALON

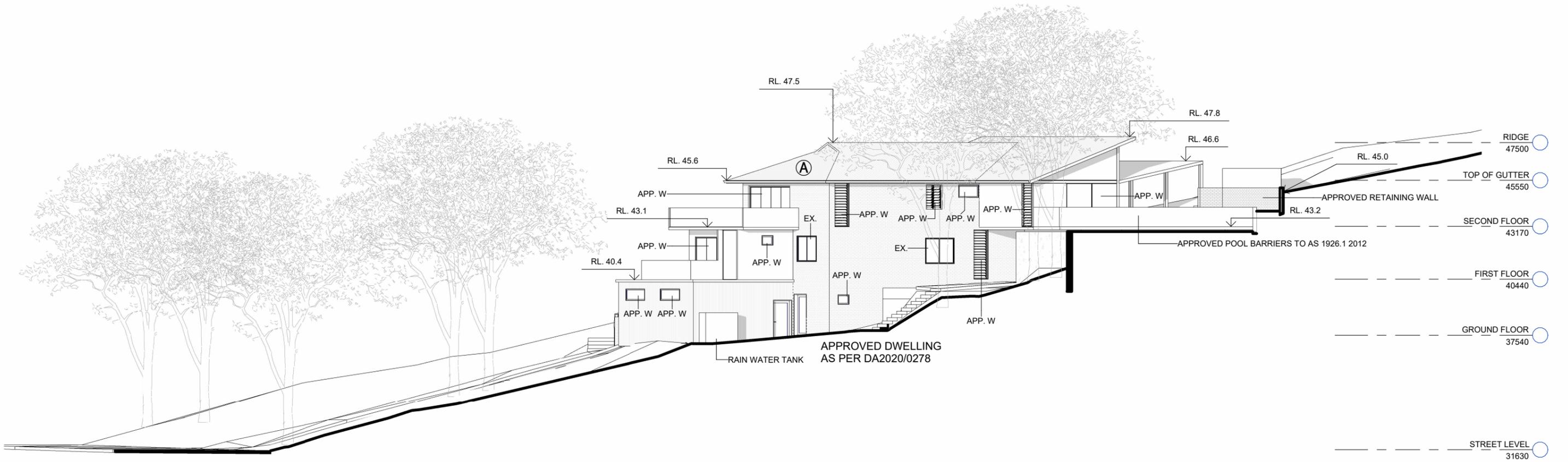
Sheet Number  
AR DA.M - 04  
Sheet Title  
FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED

© COPYRIGHT  
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
Verify all dimensions on site prior to construction.  
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

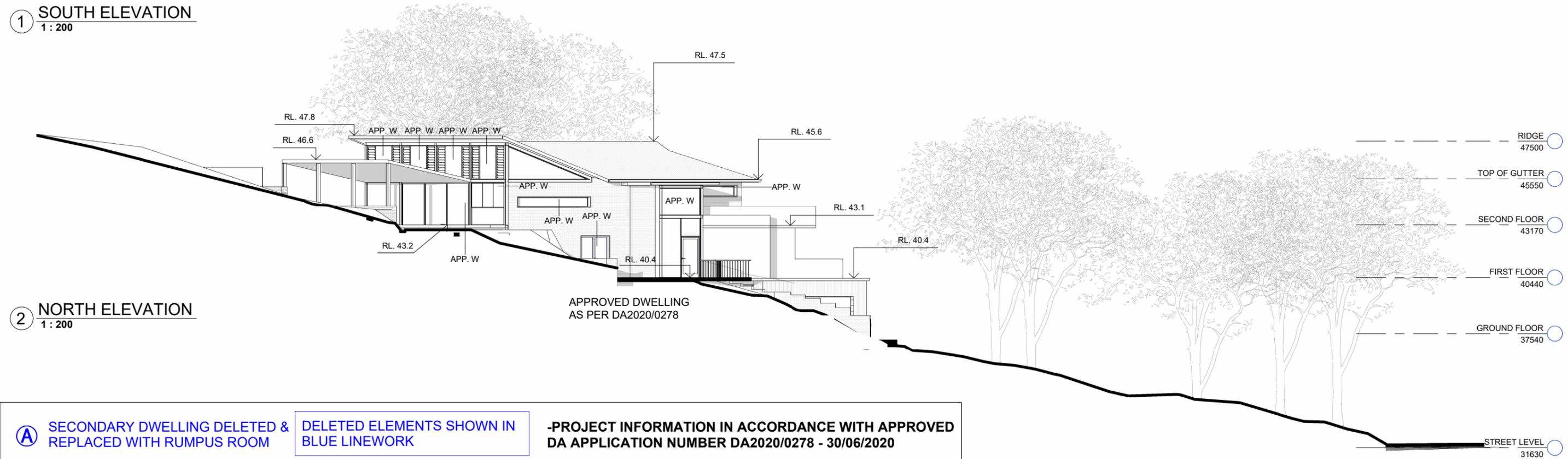
ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

Job N.º  
0167  
HALL  
Scale  
As indicated  
DOC.  
MOD.  
S4.55(1A)  
Sheet  
A 3  
REV.  
A





1 SOUTH ELEVATION  
1 : 200



2 NORTH ELEVATION  
1 : 200

**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM  
 DELETED ELEMENTS SHOWN IN BLUE LINEWORK  
 -PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD  
 A.C.N. 143472762  
 PO Box 1239 Newport  
 Beach  
 NSW 2106 Australia  
 Telephone +61 416 886 537  
 email:arc@arclab.com.au  
 www.arclab.com.au

Client  
 HALL RESIDENCE  
 Project Address  
 65 MARINE PARADE, AVALON

Sheet Number  
 AR DA.M - 05  
 Sheet Title  
 NORTH & SOUTH ELEVATION - APPROVED

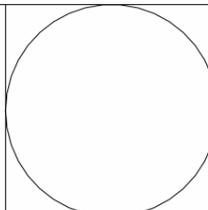
© COPYRIGHT  
 All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
 Verify all dimensions on site prior to construction.  
 The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

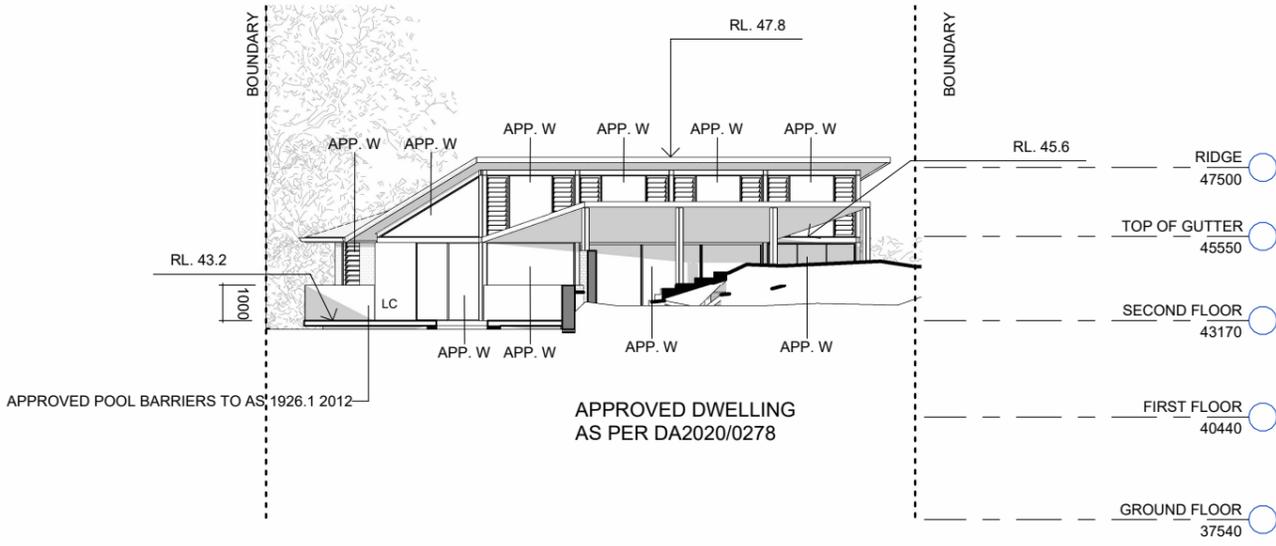
ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

Job N.º  
 0167 HALL  
 Scale  
 As indicated

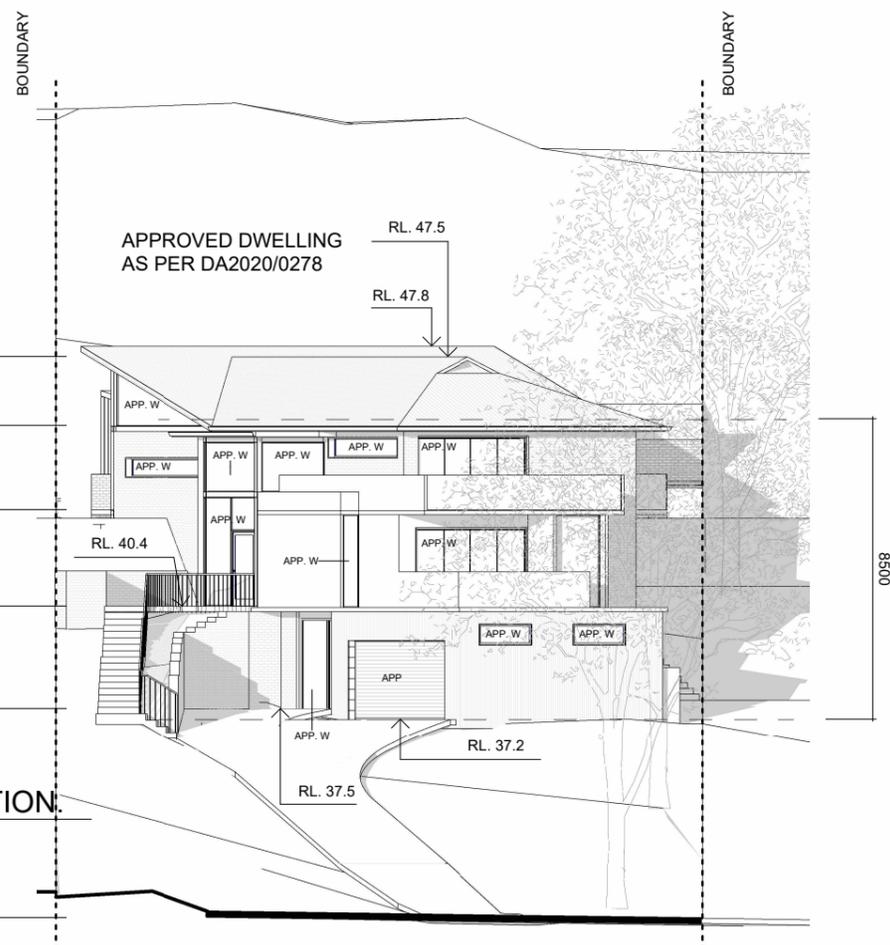
DOC. MOD.  
 S4.55(1A)  
 Sheet  
 A 3

REV.  
 A

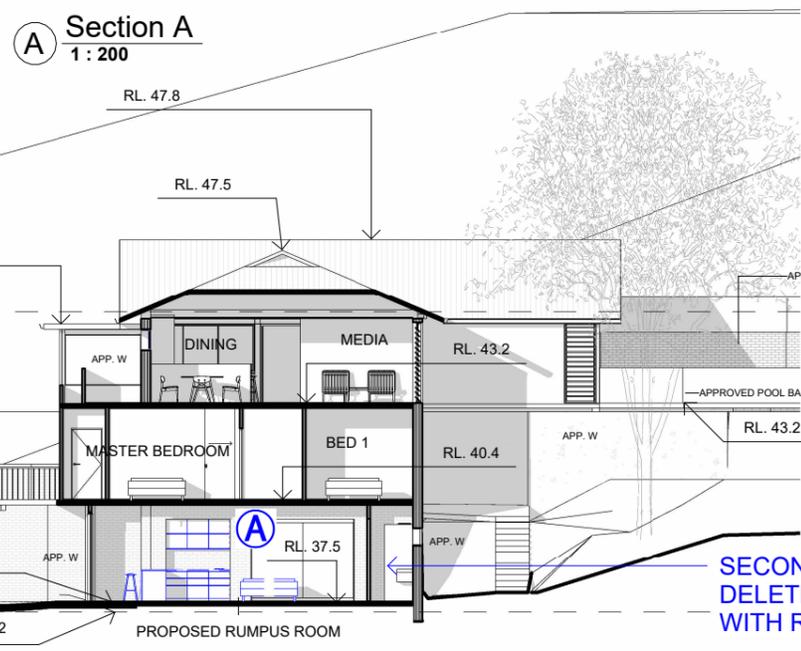




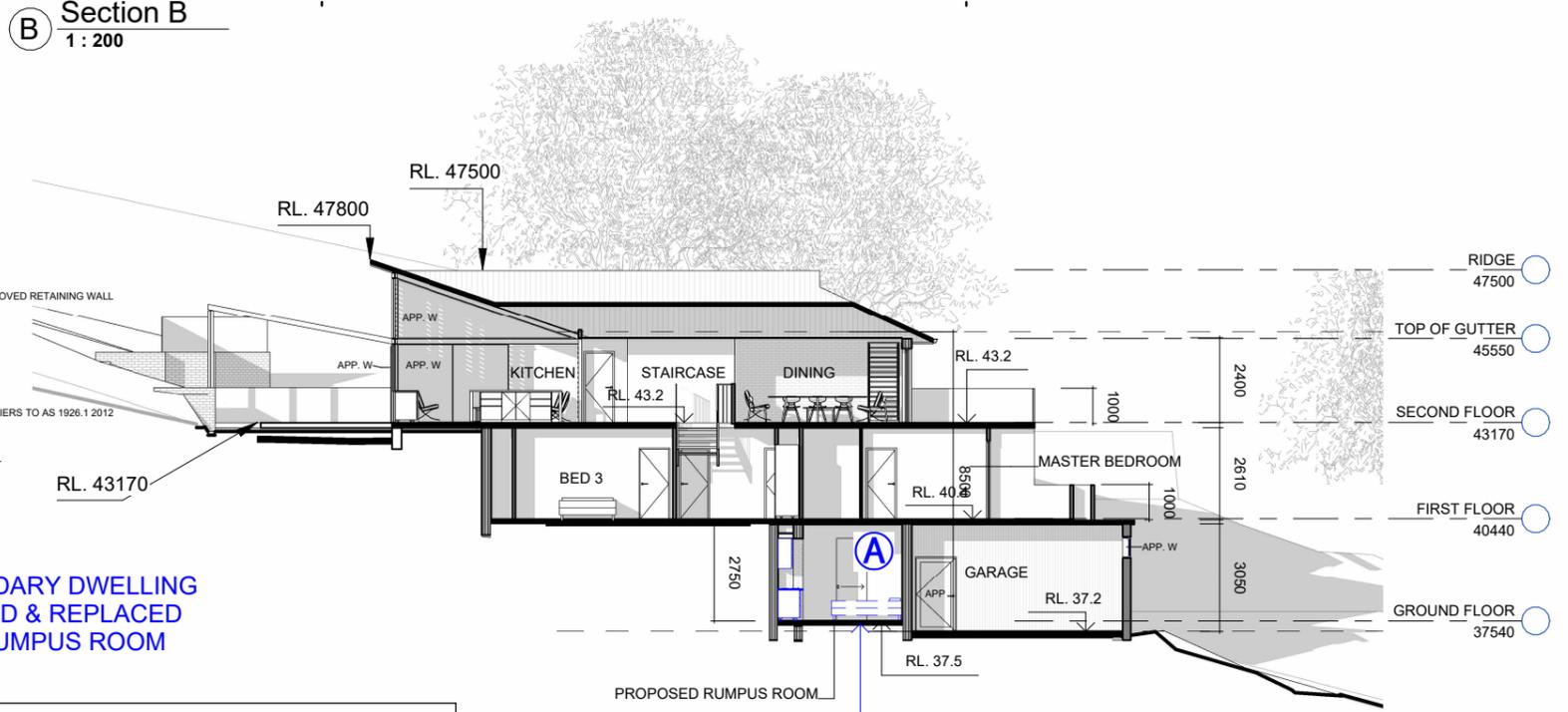
1 EAST ELEVATION.  
1 : 200



2 WEST ELEVATION.  
1 : 200



A Section A  
1 : 200



B Section B  
1 : 200

**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM  
**B** DELETED ELEMENTS SHOWN IN BLUE LINEWORK  
**-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020**



ARCLAB PTY LTD  
 A.C.N. 143472762  
 PO Box 1239 Newport  
 Beach  
 NSW 2106 Australia  
 Telephone +61 416 886 537  
 email: arc@arclab.com.au  
 www.arclab.com.au

Client  
**HALL RESIDENCE**  
 Project Address  
**65 MARINE PARADE, AVALON**

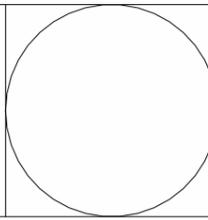
Sheet Number  
**AR DA.M - 06**  
 Sheet Title  
**EAST & WEST ELEVATION-APPROVED SECTIONS A&B MODIFIED**

© COPYRIGHT  
 All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
 Verify all dimensions on site prior to construction.  
 The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

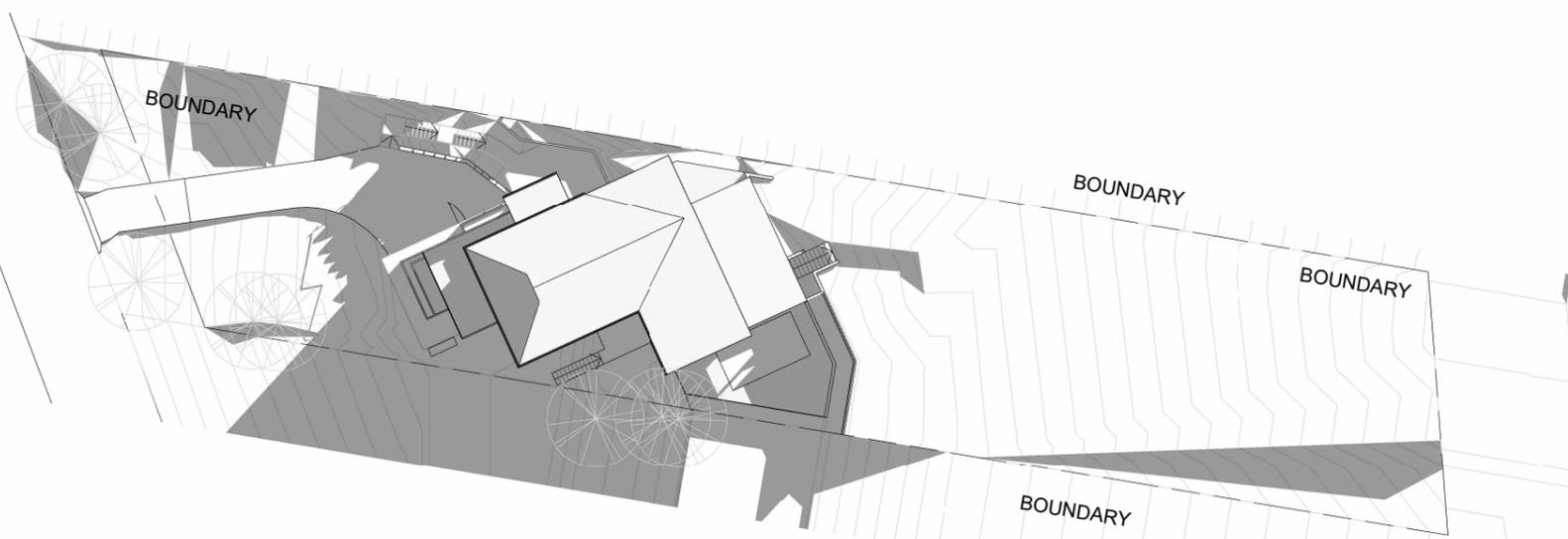
ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

Job N.º  
**0167 HALL**  
 Scale  
 As indicated  
 DOC. MOD.  
**S4.55(1A)**  
 Sheet  
**A 3**

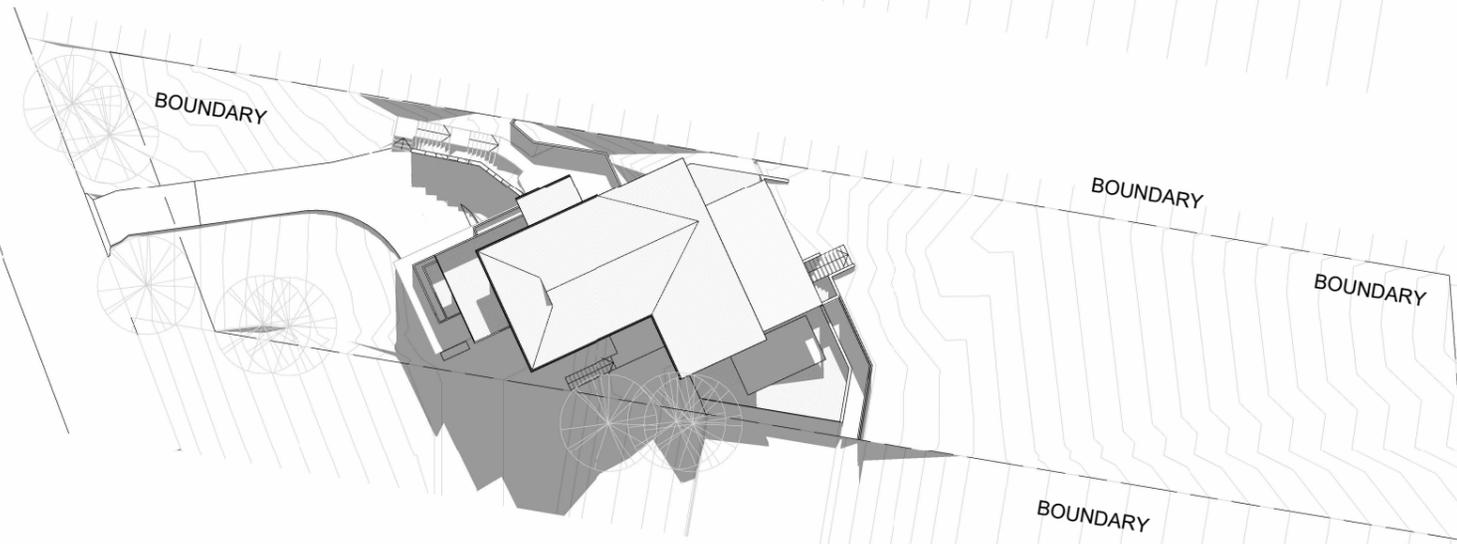
REV.  
**A**



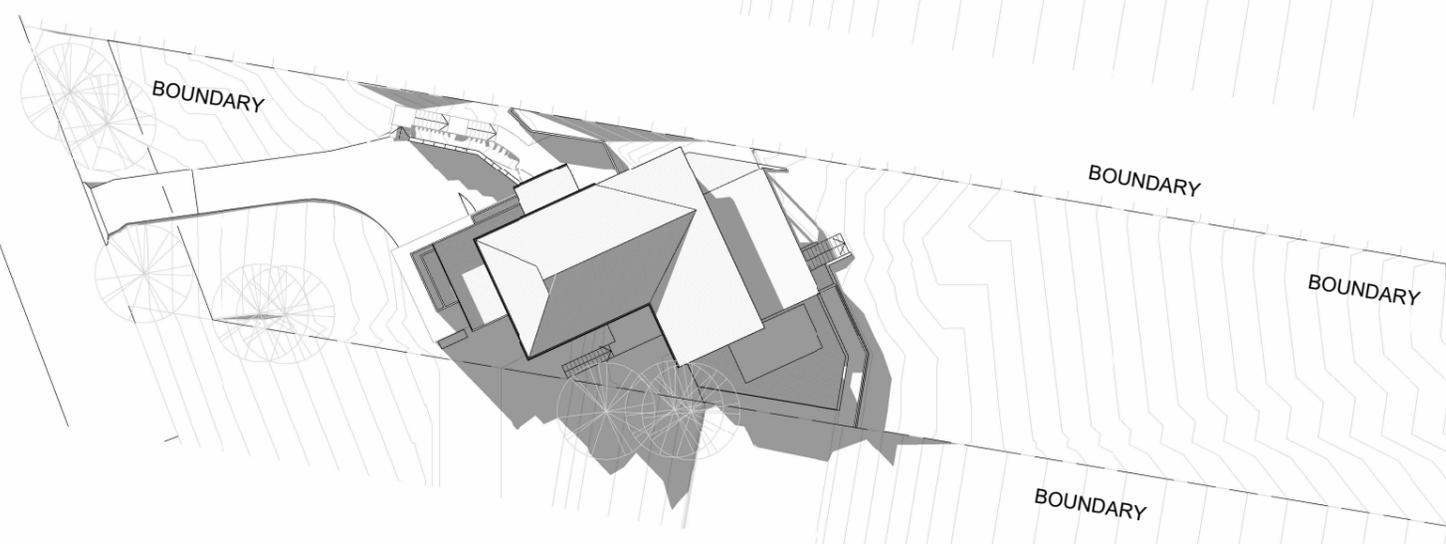
① APPROVED DWELLING - 22 JUNE 09 AM  
1 : 500



② APPROVED DWELLING - 22 JUNE 12 PM  
1 : 500



③ APPROVED DWELLING - 22 JUNE 03 PM  
1 : 500



**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM  
DELETED ELEMENTS SHOWN IN BLUE LINEWORK

**-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020**



ARCLAB PTY LTD  
A.C.N. 143472762  
PO Box 1239 Newport  
Beach  
NSW 2106 Australia  
Telephone +61 416 886 537  
email: arc@arclab.com.au  
www.arclab.com.au

Client  
**HALL RESIDENCE**  
  
Project Address  
**65 MARINE PARADE, AVALON**

Sheet Number  
**AR DA.M - 07**  
  
Sheet Title  
**SHADOW DIAGRAM - APPROVED**

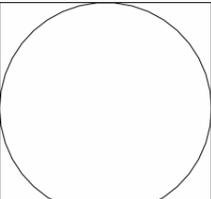
© COPYRIGHT  
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
Verify all dimensions on site prior to construction.  
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

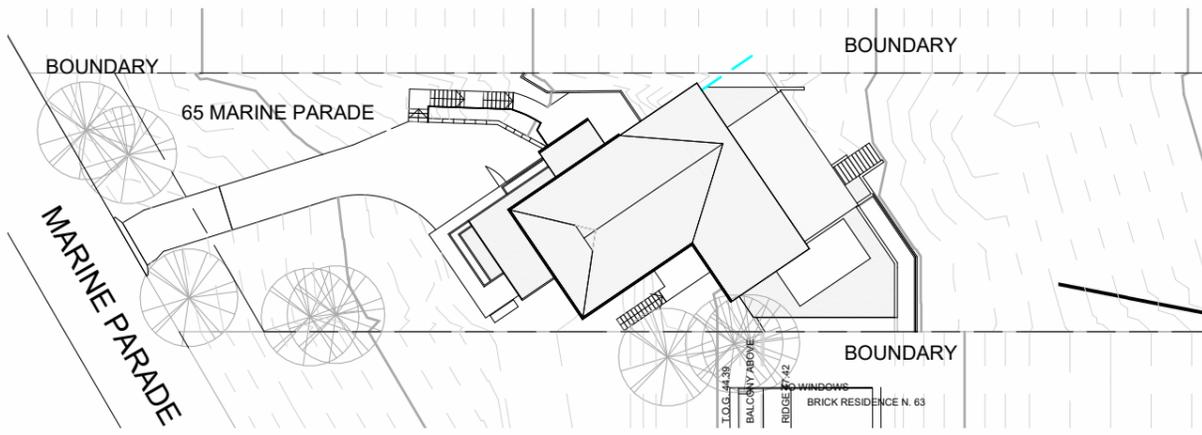
Job N.º  
**0167 HALL**  
  
Scale  
As indicated

DOC. MOD.  
**S4.55(1A)**  
  
Sheet  
**A 3**

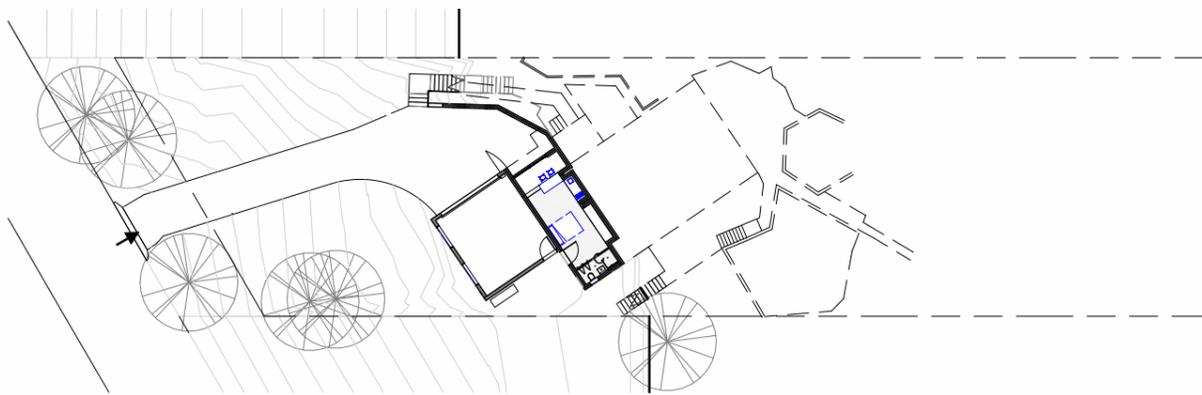
REV.  
**A**



Author



1 SITE PLAN  
1 : 500

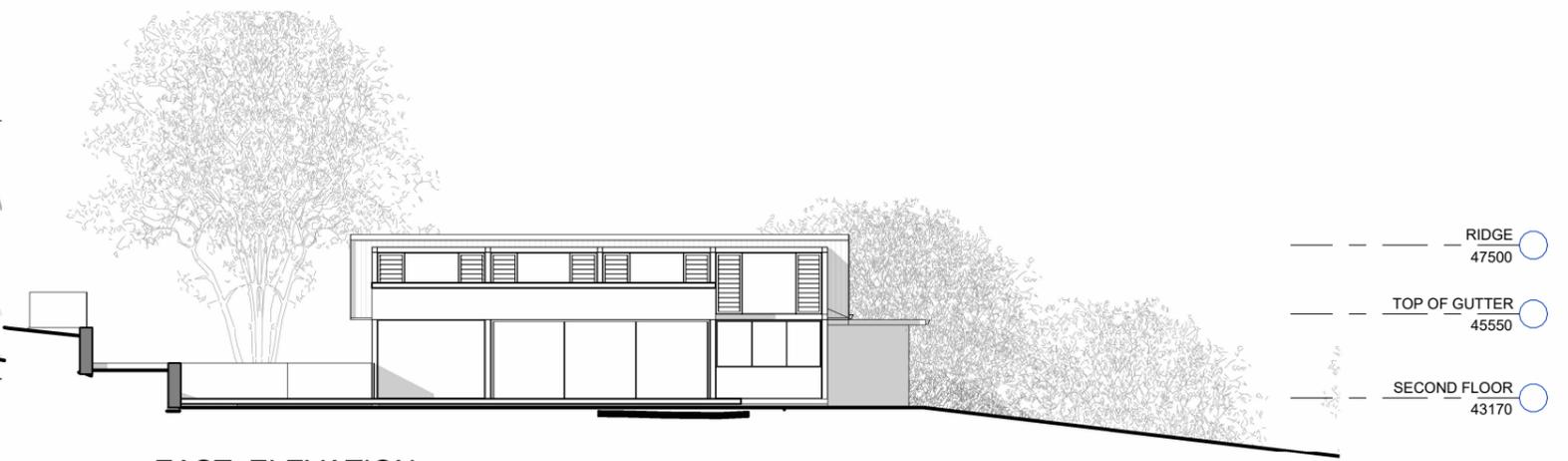


2 GROUND FLOOR - APPROVED + MOD.  
1 : 500



3 SOUTH ELEVATION  
1 : 200

- RIDGE 47500
- TOP OF GUTTER 45550
- SECOND FLOOR 43170
- FIRST FLOOR 40440
- GROUND FLOOR 37540



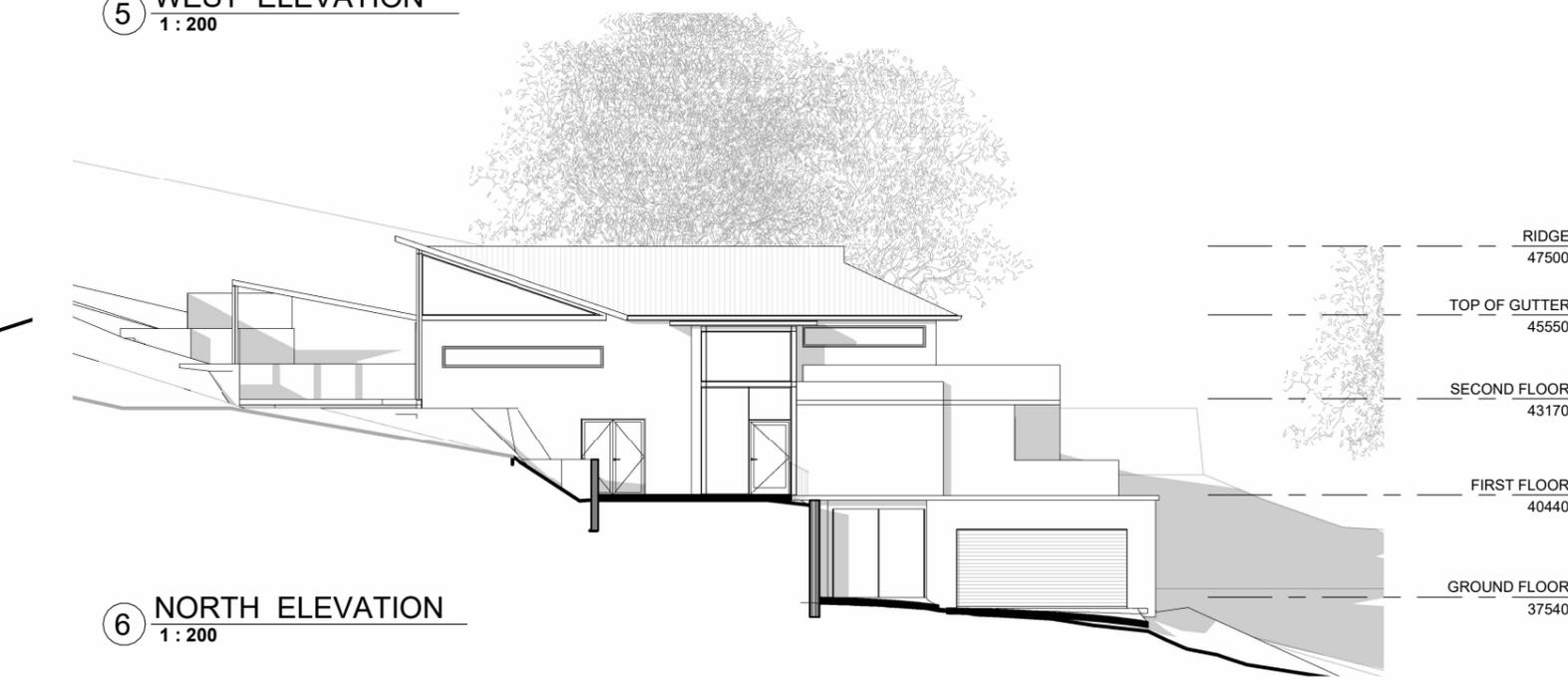
4 EAST ELEVATION  
1 : 200

- RIDGE 47500
- TOP OF GUTTER 45550
- SECOND FLOOR 43170
- FIRST FLOOR 40440



5 WEST ELEVATION  
1 : 200

- RIDGE 47500
- TOP OF GUTTER 45550
- SECOND FLOOR 43170
- FIRST FLOOR 40440
- GROUND FLOOR 37540



6 NORTH ELEVATION  
1 : 200

- RIDGE 47500
- TOP OF GUTTER 45550
- SECOND FLOOR 43170
- FIRST FLOOR 40440
- GROUND FLOOR 37540



ARCLAB PTY LTD  
A.C.N. 143472762  
PO Box 1239 Newport  
Beach  
NSW 2106 Australia  
Telephone +61 416 886 537  
email:arc@arclab.com.au  
www.arclab.com.au

Client  
HALL RESIDENCE  
  
Project Address  
65 MARINE PARADE, AVALON

Sheet Number  
AR DA.M - 08  
  
Sheet Title  
NOTIFICATION PLAN

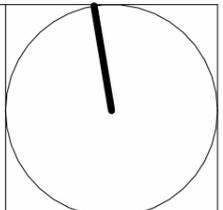
© COPYRIGHT  
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.  
Verify all dimensions on site prior to construction.  
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION

Job N.º  
0167  
HALL  
  
Scale  
As indicated

DOC.  
MOD.  
S4.55(1A)  
  
Sheet  
A 3

REV.  
A



RAGM