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LEGEND:

- AW

AWNING
- AH

ACCESS HATCH
- AC

A/C AIR CONDITIONING UNITS
- PH

FIRE HYDRANT
- PHR

FIRE HOSE REEL
- FS

FIRE ISOLATED STAIRS
- GC

GARAGE CHUTE
- HW

HIGHLIGHT WINDOW
- MY

MECHANICAL RISER
- MB

MALIBOX
- SK

SKYLIGHT
- ST

STORAGE
- HWU

HOT WATER UNIT

MATERIALS LEGEND:

- AFG

ALUMINIUM FRAMED GLAZING
- LV

ALUMINIUM ELLIPTICAL FIXED LOUVRES
- AW

AWNING WINDOW
- CONC

CONCRETE
- FB

FACED BRICK
- GB

GLASS BALUSTRADE
- MB

METAL BALUSTRADE
- PC

METAL FENCE
- PC

COMPOSITE METAL CLADDING
- PS

PRIVACY SCREEN
- PT

PAINT FINISH
- RD

ROLLER DOOR
- RW

RENDERED FINISH
- TC

TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

1. Internal Configuration to all apartments in general
2. Extension of basement shoring wall to GF subterranean area
3. Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
4. Addition of Skylights to unit 201/203/204/205
5. Lift overrun increased to 3580mm
6. Floor to floor height increased.
7. Lift Lobby Enclosure
8. Amended Driveway gradients
9. Lift lobby RL Height raised
10. Back of House Storage added on Ground floor
11. Gym added on the Ground floor with connecting stairs and hallway to each lobby.
12. Storage room added to G01 and G03 units.
13. Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
14. Relocation of GSD and Rainwater Tank.
15. Lobby A and B external Entry revised
16. Roof Terrace C lowered to Roof A lobby for accessibility compliance.
17. Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0125m

CLIENT: 



Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
COVER PAGE

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-000	



54 - 58 BEACONSFIELD STREET NEWPORT NEWPORT RESIDENTIAL FLAT BUILDING

SHEET	SHEET NAME	REV	DATE
AR-S4-000	COVER PAGE	1	25/03/2025
AR-S4-001	PROJECT INFORMATION	1	25/03/2025
AR-S4-002	SITE PLAN	1	25/03/2025
AR-S4-100	BASEMENT FLOOR PLAN	1	25/03/2025
AR-S4-101	GROUND FLOOR PLAN	1	25/03/2025
AR-S4-102	FIRST FLOOR PLAN	1	25/03/2025
AR-S4-103	SECOND FLOOR PLAN	1	25/03/2025
AR-S4-104	ROOF PLAN	1	25/03/2025
AR-S4-200	ELEVATION SHEET 01	1	25/03/2025
AR-S4-201	ELEVATION SHEET 02	1	25/03/2025
AR-S4-300	SECTION SHEET 01	1	25/03/2025
AR-S4-301	SECTION SHEET 02	1	25/03/2025
AR-S4-302	SECTION SHEET 03	A	30/01/2025
AR-S4-400	SCHEDULE OF COLOURS AND MATERIALS	1	25/03/2025
AR-S4-500	LANDSCAPE AREA	1	25/03/2025
AR-S4-501	HEIGHT LIMIT DIAGRAM	1	25/03/2025
AR-S4-502	4.2M HEIGHT ENVELOPE DIAGRAM	1	25/03/2025
AR-S4-503	CROSS VENTILATION DIAGRAM	1	25/03/2025
AR-S4-504	STORAGE CALCULATION DIAGRAM	1	25/03/2025
AR-S4-600	SOLAR ACCESS VIEWS	1	25/03/2025
AR-S4-601	SOLAR ACCESS VIEWS	1	25/03/2025
AR-S4-700	LOBBY B PERSPECTIVE	1	25/03/2025
AR-S4-701	LOBBY A PERSPECTIVE	1	25/03/2025
AR-S4-702	SHADOW DIAGRAMS	1	25/03/2025

S4.55 APPLICATION

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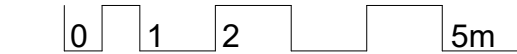
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ARCHICORE

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Nominated Architect
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NSW #12663

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PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
PROJECT INFORMATION

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-001	

54-58 Beaconsfield Street, Newport

PROJECT SUMMARY

SITE AREA 2113.5
ZONE R3

PROPOSED SCHEME

LEVEL	UNIT NO.	TYPE	INTERNAL AREA (M2)	TERRACE BALCONY (M2)	STORAGE COMPLIANCE	STORAGE WITHIN APARTMENT	BASEMENT STORAGE	TOTAL STORAGE
GROUND	G01	3 BED	170	87	Y	11.76	13.8	25.56
	G02	3 BED	152	81	Y	8.4	11.1	19.5
	G03	3 BED	175	62	Y	14.4	19.1	33.5
	101	3 BED	131	17	Y	4.8	11.9	16.7
	102	3 BED	133	104	Y	9.12	11.9	21.02
LEVEL 01	103	3 BED	156	40	Y	18	13.3	31.3
	104	3 BED	161	62	Y	18	15	33
	105	3 BED	163	69	Y	11.04	15.4	26.44
	201	3 BED	131	17	Y	4.8	10.8	15.6
	202	3 BED	129	18	Y	7.68	10.5	18.18
LEVEL 02	203	3 BED	156	24	Y	15.84	10.2	26.04
	204	3 BED	154	30	Y	19.68	16.6	36.28
	205	3 BED	162	22	Y	11.04	25.7	36.74

SOLAR COMPLIANCE	PERCENTAGE	AREA
REQUIRED LANDSCAPE AREA	50%	1056.8 SQM
PROPOSED LANDSCAPE AREA	50%	1062.6 SQM
LANDSCAPE COMPLIANCE		
COMMUNAL OPEN SPACE		
REQUIRED COMMUNAL OPEN SPACE	25%	528.37 SQM
PROPOSED COMMUNAL OPEN SPACE	19%	398 SQM
PARKING		
TOTAL		
REQUIRED CAR PARKING	2 X 13 UNITS + 4.3 VISITOR = 30	
PROPOSED CAR PARKING	30 (INC 4 VISITOR)	
CROSS VENTILATION		
REQUIRED CROSS VENTILATION	60%	7.8 UNITS
PROPOSED CROSS VENTILATION	59%	9 UNITS

SOLAR COMPLIANCE CHECK

LEVEL	UNIT NO.	LIVING ROOM (JUNE 21)							TOTAL
		9AM	10AM	11AM	12PM	1PM	2PM	3PM	
GROUND	G01								0
	G02								0
	G03	Y	Y	Y					2
	101								1
	102			Y	Y	Y	Y	Y	4
LEVEL 01	103			Y	Y	Y	Y	Y	4
	104	Y	Y	Y	Y	Y	Y	Y	6
	105	Y	Y	Y	Y	Y	Y	Y	6
	201	Y	Y	Y	Y	Y	Y	Y	6
	202		Y	Y	Y	Y	Y	Y	5
LEVEL 02	203		Y	Y	Y	Y	Y	Y	5
	204	Y	Y	Y	Y	Y	Y	Y	6
	205	Y	Y	Y	Y	Y	Y	Y	6

LEGEND:



COMPLIANT

NON-COMPLIANT

UNIT COMPLIANT 10

TOTAL UNIT 13

SOLAR COMPLIANCE 76.9%

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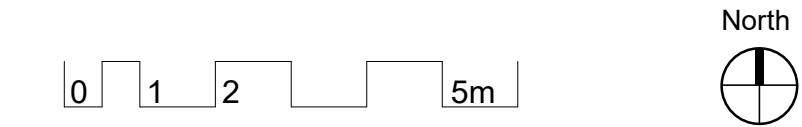
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Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



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PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

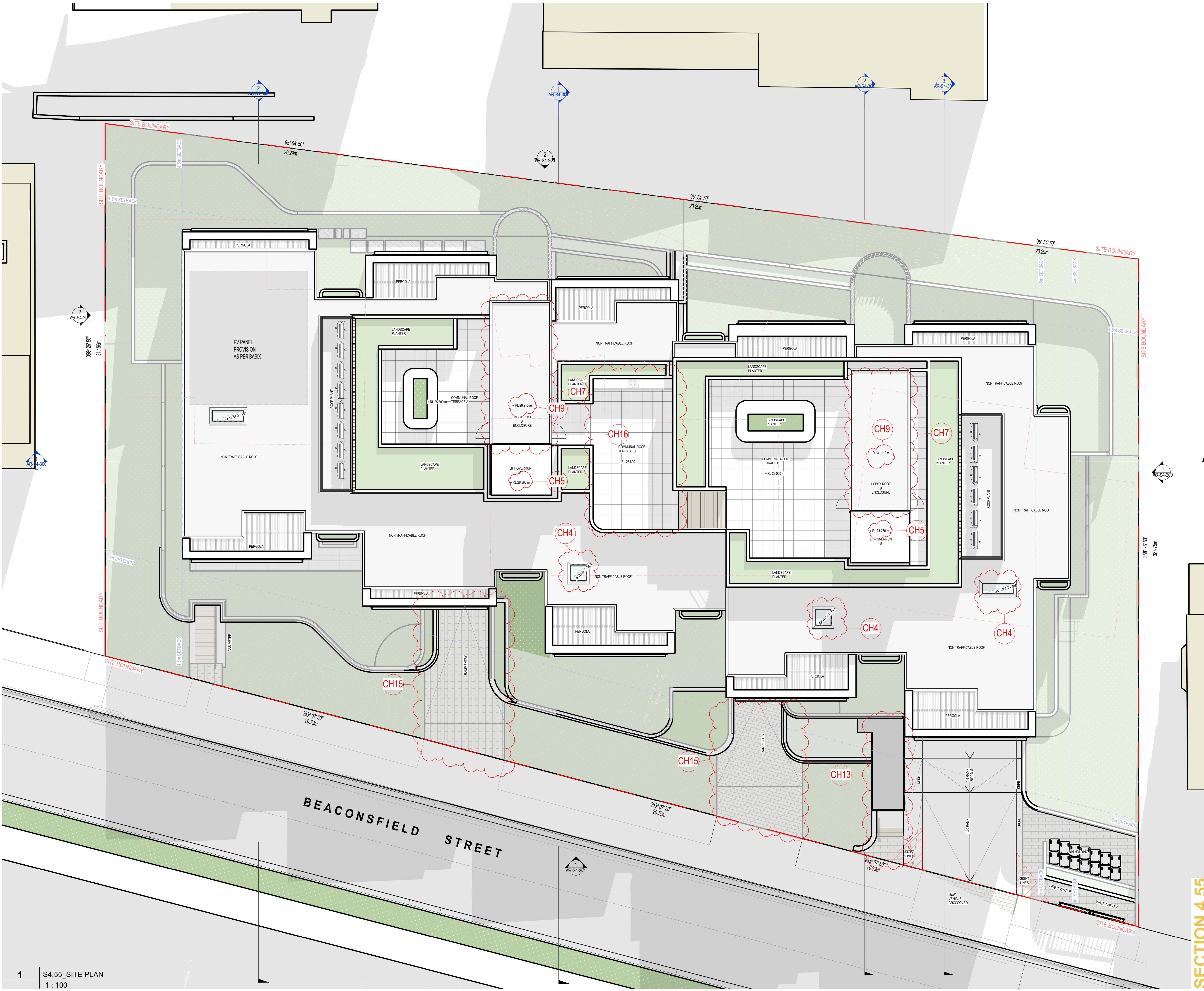
DRAWING TITLE:

SITE PLAN

DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025

PROJECT NO:	DRAWING ISSUE
2021079	1

DRAWING SCALE	DRAWING NUMBER
As indicated @A1	AR-S4-002



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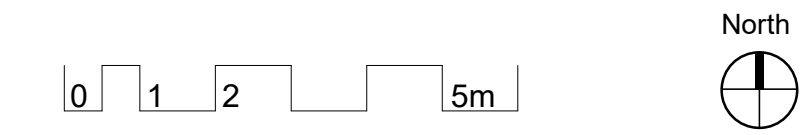
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Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



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PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

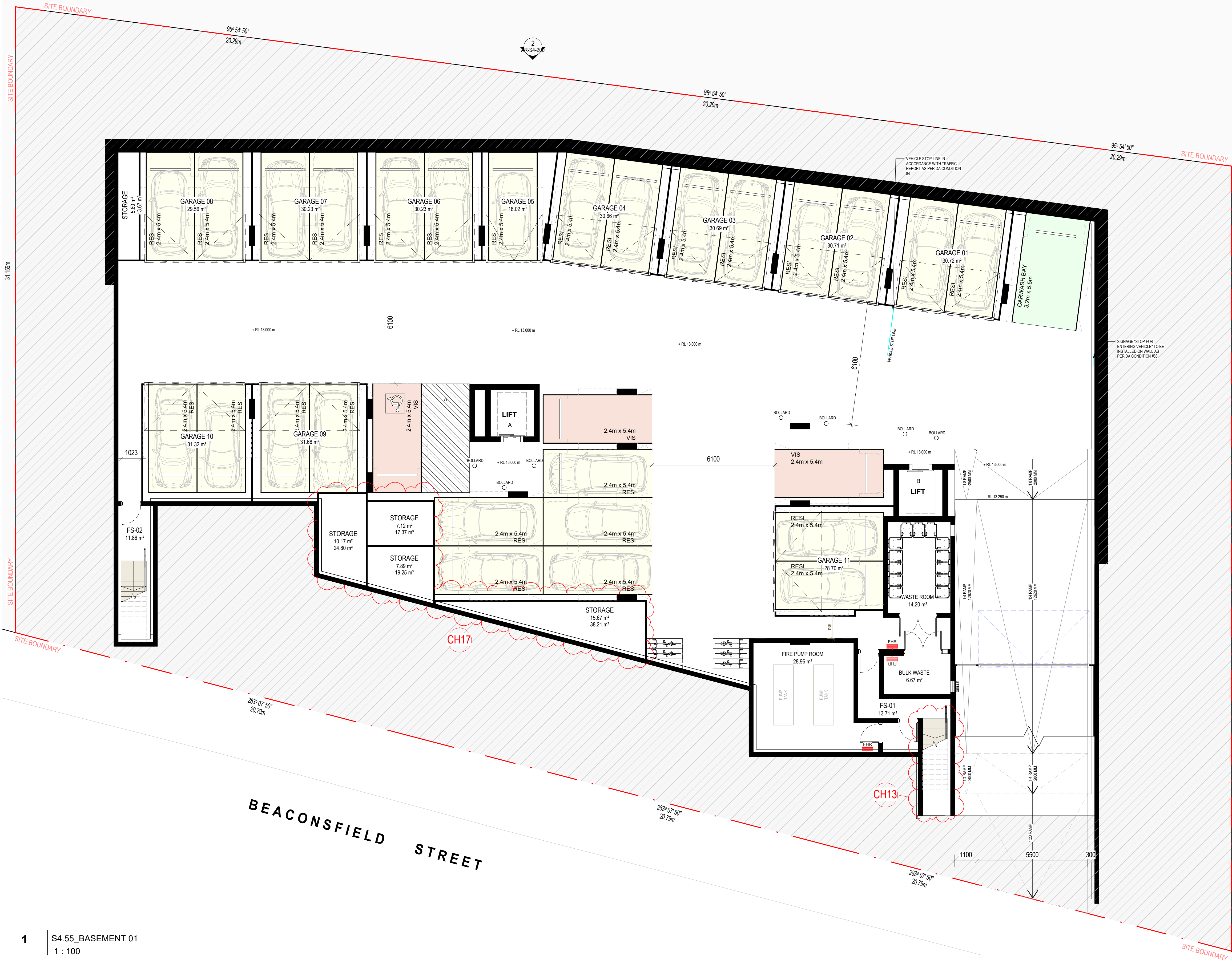
54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
BASEMENT FLOOR PLAN

DRAWING BY: NH
CHECKED BY: GA
DATE: 25/03/2025

PROJECT NO: 2021079
DRAWING ISSUE: 1

DRAWING SCALE: As indicated @A1
DRAWING NUMBER: AR-S4-100



1 | S4.55_BASEMENT 01
1 : 100

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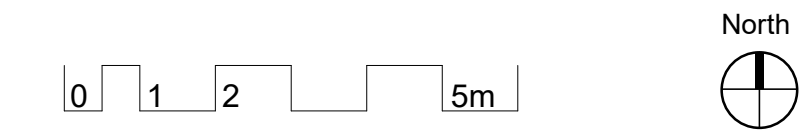
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A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
GROUND FLOOR PLAN

DRAWING BY:
NH

CHECKED BY:
GA

DATE
25/03/2025

PROJECT NO:
2021079

DRAWING ISSUE
1

DRAWING SCALE
As indicated @A1

DRAWING NUMBER
AR-S4-101



1 | S4.55_GROUND FLOOR
1 : 100

SECTION 4.55

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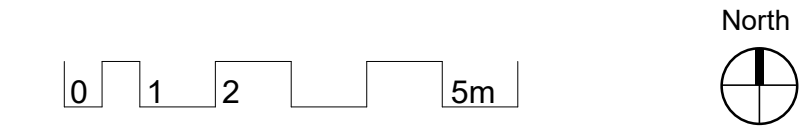
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PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025

PROJECT NO:	DRAWING ISSUE
2021079	1

DRAWING SCALE	DRAWING NUMBER
As indicated @A1	AR-S4-102



1 | S4.55_LEVEL 01
1 : 100

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT AND RELEVANT AUSTRALIAN BUILDING STANDARDS.
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LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C AIR CONDITIONING UNITS
- PH FIRE HYDRANT
- FR FIRE HOSE REEL
- FS FIRE ISOLATED STAIRS
- GC GARBAGE CHUTE
- HW HIGHLIGHT WINDOW
- MY MECHANICAL RISER
- MB MAILBOX
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNIT

MATERIALS LEGEND:

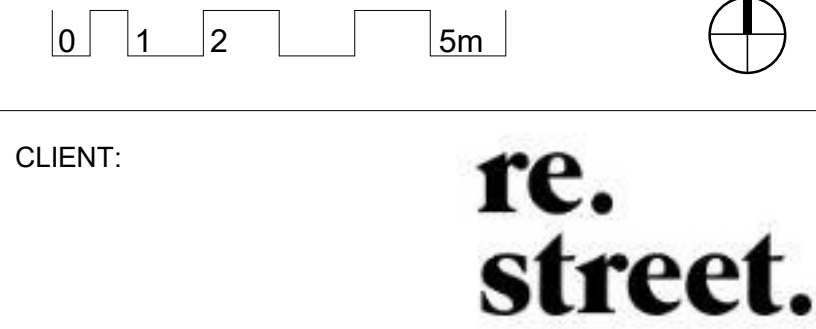
- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVRES
- AW AWNING WINDOW
- CONC CONCRETE
- FB FACED BRICK
- GB GLASS BALUSTRADE
- MB METAL BALUSTRADE
- PC COMPOSITE METAL CLADDING
- PS PRIVACY SCREEN
- PF PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED FINISH
- TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line a south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
- Back of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units.
- Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
- Relocation of GSD and Rainwater Tank.
- Lobby A and B external Entry revised.
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

North



Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

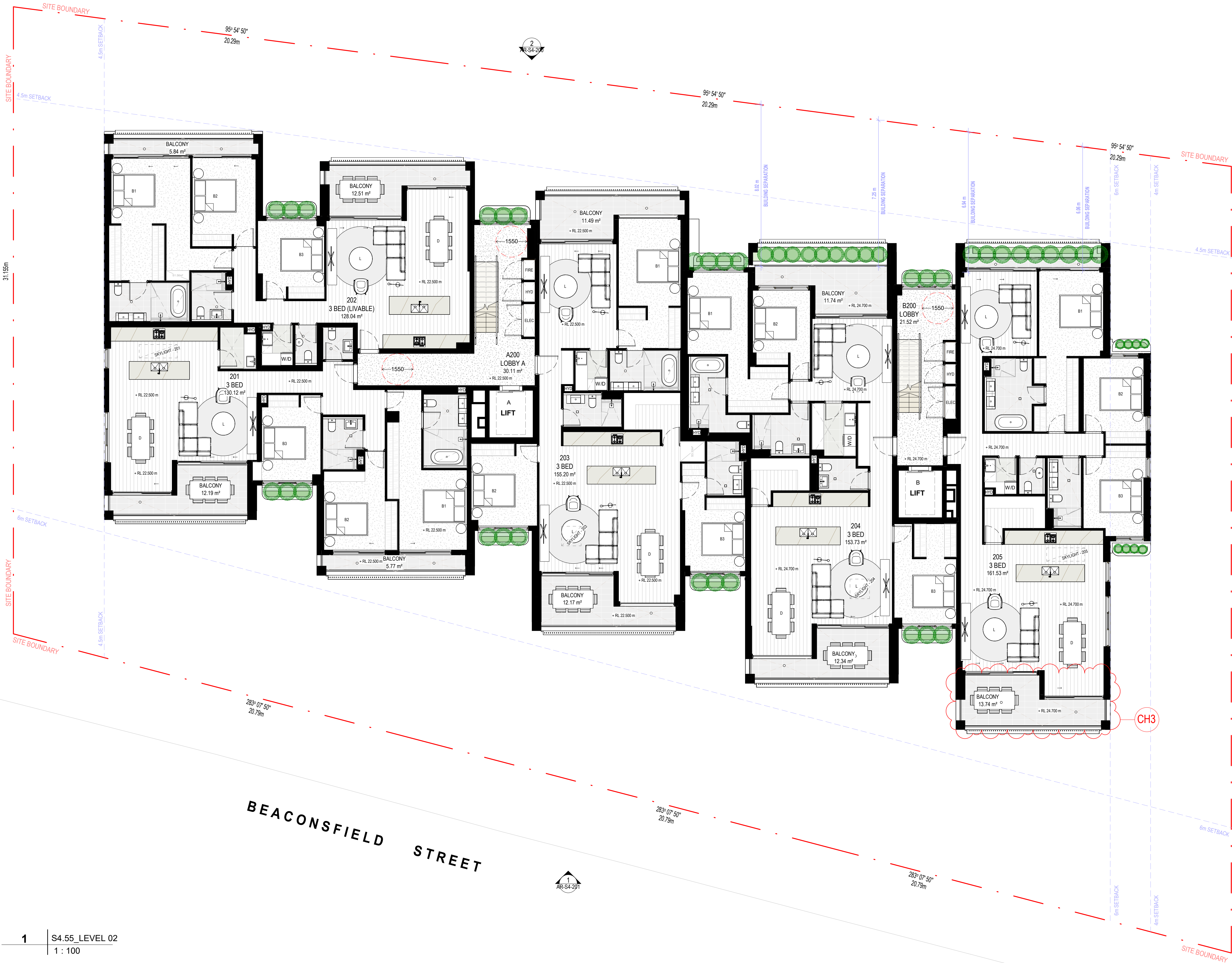
E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
SECOND FLOOR PLAN

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-103	



1 | S4.55_LEVEL 02
1 : 100

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT AND RELEVANT AUSTRALIAN BUILDING STANDARDS.
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LEGEND:

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AH ACCESS HATCH
AC A/C AIR CONDITIONING UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE ISOLATED STAIRS
GC GARBAGE CHUTE
HW HIGHLIGHT WINDOW
MY MECHANICAL RISER
MB MUXBOX
SK SKYLIGHT
ST STORAGE
HWU HOT WATER UNIT

MATERIALS LEGEND:

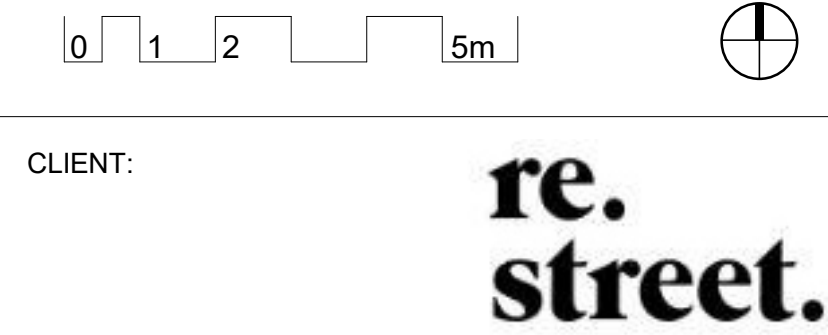
- AFG ALUMINUM FRAMED GLAZING
AW ALUMINUM ELLIPTICAL FIXED LOUVRES
LV LIVING WINDOW
CONC CONCRETE
PB FACED BRICK
GB GLASS BALUSTRADE
MB METAL BALUSTRADE
PC COMPOSITE METAL CLADDING
PS PRIVACY SCREEN
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED FINISH
TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
- Back of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units.
- Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
- Relocation of OSD and Rainwater Tank.
- Lobby A and B external Entry revised.
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

North



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Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

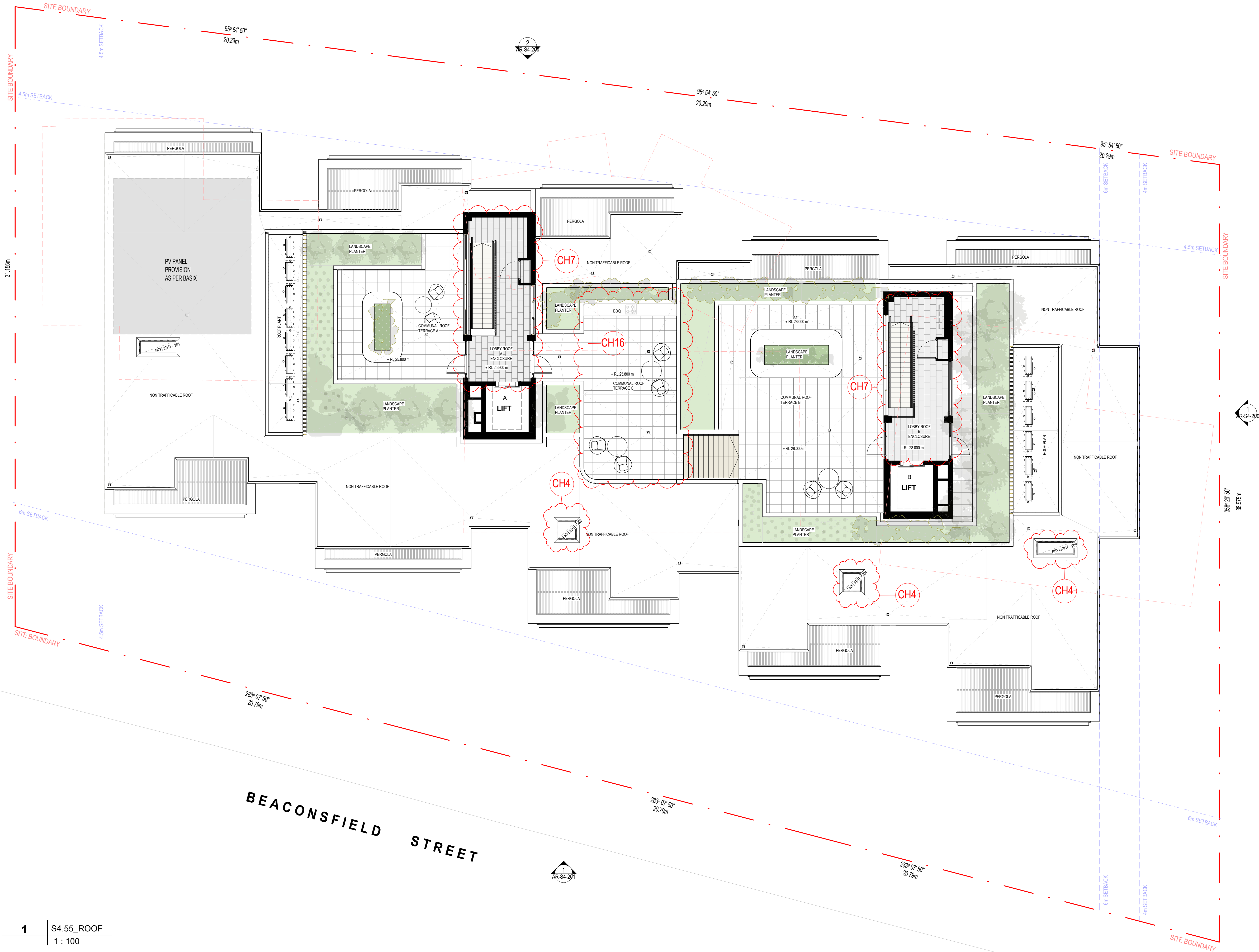
54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:

ROOF PLAN

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-104	

1 | S4.55_ROOF
1 : 100



GENERAL NOTES:

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LEGEND:

- AW AWNING
AH ACCESS HATCH
AC A/C AIR CONDITIONING UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE ISOLATED STAIRS
GC GARAGE CHUTE
HW HIGHLIGHT WINDOW
MB MECHANICAL RISER
MB MALIBOX
SK SKYLIGHT
ST STORAGE
HWU HOT WATER UNIT

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
LV ALUMINIUM ELLIPTICAL FIXED LOUVRES
AW AWNING WINDOW
CONC CONCRETE
PB FACED BRICK
GB GLASS BALUSTRADE
MB METAL BALUSTRADE
PC COMPOSITE METAL CLADDING
PS PRIVACY SCREEN
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED FINISH
TC TIMBER LOOK CLADDING

BEACONSFIELD STREET

SITE BOUNDARY

B - LIFT OVERRUN
31780
B - STAIR ROOF
31100

B - ROOF TERRACE
28000

B - LEVEL 02
24700

B - LEVEL 01
21500

B - GROUND FLOOR
18300

SITE BOUNDARY

B - LIFT OVERRUN
31780
B - STAIR ROOF
31100

B - ROOF TERRACE
28000

B - LEVEL 02
24700

B - LEVEL 01
21500

B - GROUND FLOOR
18300

SITE BOUNDARY

S4.55 MODIFICATION
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
- Back of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units.
- Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
- Relocation of OSD and Rainwater Tank.
- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

1

S4.55_ELEVATIONS_EAST
1 : 100

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0 1 2 5m

CLIENT:

re.
street.

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Nominated Architect
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NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:

ELEVATION SHEET 01

DRAWING BY:
NH

CHECKED BY:
GA

DATE
25/03/2025

PROJECT NO:
2021079

DRAWING ISSUE
1

DRAWING SCALE
As indicated @A1

DRAWING NUMBER
AR-S4-200

SITE BOUNDARY

4000

B - LIFT OVERRUN
31780
B - STAIR ROOF
31100

B - ROOF TERRACE
28000

B - LEVEL 02
24700

B - LEVEL 01
21500

B - GROUND FLOOR
18300

CH9

CH16

CH9

SITE BOUNDARY

4500

A - LIFT OVERRUN
29580
A - STAIR ROOF
28900

A - ROOF TERRACE
25800

A - LEVEL 02
22500

A - LEVEL 01
19300

A - GROUND FLOOR
16100

CH6

2

S4.55_ELEVATION_NORTH
1 : 100

SECTION 4.55

GENERAL NOTES:

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MY MECHANICAL RISER
MB MUXBOX
SK SKYLIGHT
ST STORAGE
HWU HOT WATER UNIT

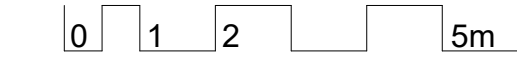
MATERIALS LEGEND:

- AFG ALUMINUM FRAMED GLAZING
LV ALUMINUM ELLIPTICAL FIXED LOUVRES
AW AWNING WINDOW
CONC CONCRETE
PB FACED BRICK
GB GLASS BALUSTRADE
NB METAL BALUSTRADE
PC COMPOSITE METAL CLADDING
PS PRIVACY SCREEN
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED FINISH
TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
- Back of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units.
- Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
- Relocation of GSD and Rainwater Tank.
- Lobby A and B external Entry revised.
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



CLIENT: **re. street.**

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

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A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
ELEVATION SHEET 02

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-201	



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AW	AWNING
AH	ACCESS HATCH
AC	A/C AIR CONDITIONING UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE ISOLATED STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER
MB	MAILBOX
SK	SKYLIGHT
ST	STORAGE
HWU	HOT WATER UNIT

AFG	ALUMINUM FRAMED GLAZING
LV	ALUMINUM ELLIPTICAL FIXED LOUVRES
AW	AWNING WINDOW
CONC	CONCRETE
FB	FACEBRICK
GB	GLASS BALUSTRADE
MB	METAL BALUSTRADE
FC	METAL FENCE
PC	COMPOSITE METAL CLADDING
PS	PRIVACY SCREEN
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED FINISH
TC	TIMBER LOOK CLADDING

- Internal Configuration to all apartments in general
- Extension of basement showing wall to GF subterranean area
- Amendment to placing line a south facing balconies unit 10/20/25 to improve outdoor living / furnisability
- Adding of Skylights to unit 201 to 213/24/25/26/25
- Lift overrun increased to 350mm
- Floor to floor height increased
- Lift Lobby Enclosure
- Amended Houseway gradients
- Lift lobby RL Height raised
- Backed of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units
- Fire Exit 01 Enclosure on ground floor for BCCA compliance of all access to Fire pump room via fire isolated stairs.
- Relocation of OSD and Rainwater Tank
- Lobby A and B external Entry revised
- Ramp Topsoil Covered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



CLIENT:

**re.
street.**

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

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A: Sydney, 2000 NSW

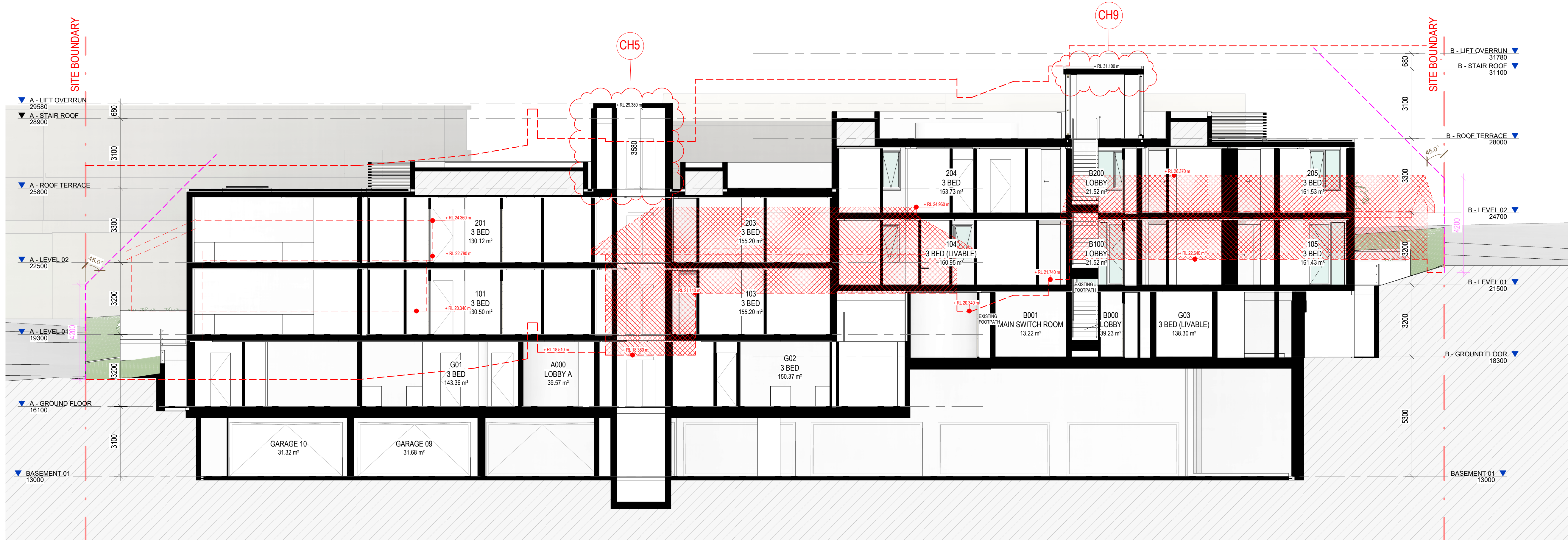
PROJECT:
**NEWPORT RESIDENTIAL FLAT
BUILDING**

54 - 58 BEACONSFIELD STREET NEWPORT

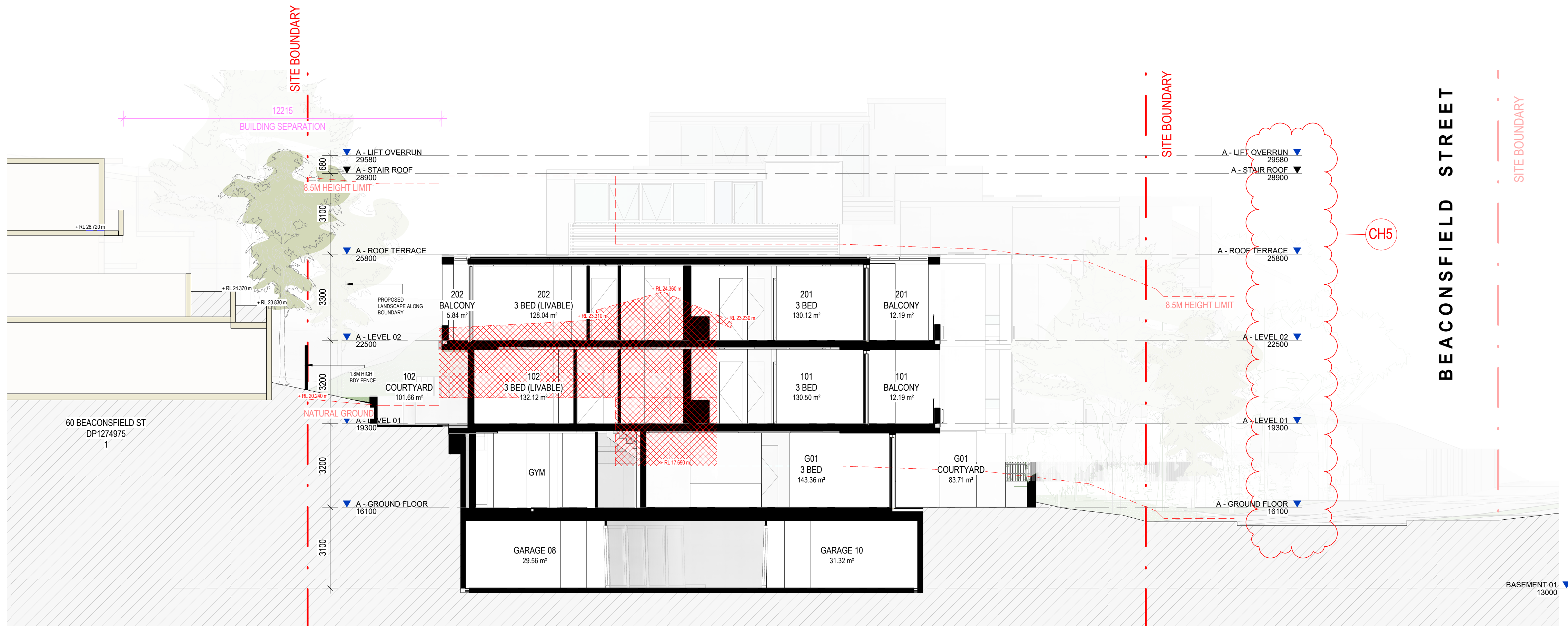
DRAWING TITLE:

SECTION SHEET 01

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-300	



1	S4.55_SECTION 01
	1 : 100



2	S4.55_SECTION 02
	1 : 100

GENERAL NOTES:

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- HWU HOT WATER UNIT

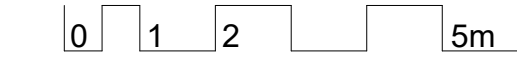
MATERIALS LEGEND:

- AFG ALUMINUM FRAMED GLAZING
- LV ALUMINUM ELLIPTICAL FIXED LOUVRES
- AW AWING WINDOW
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S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnisability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
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- Storage room added to G01 and G03 units.
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- Relocation of OSD and Rainwater Tank.
- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



CLIENT: **re. street.**

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

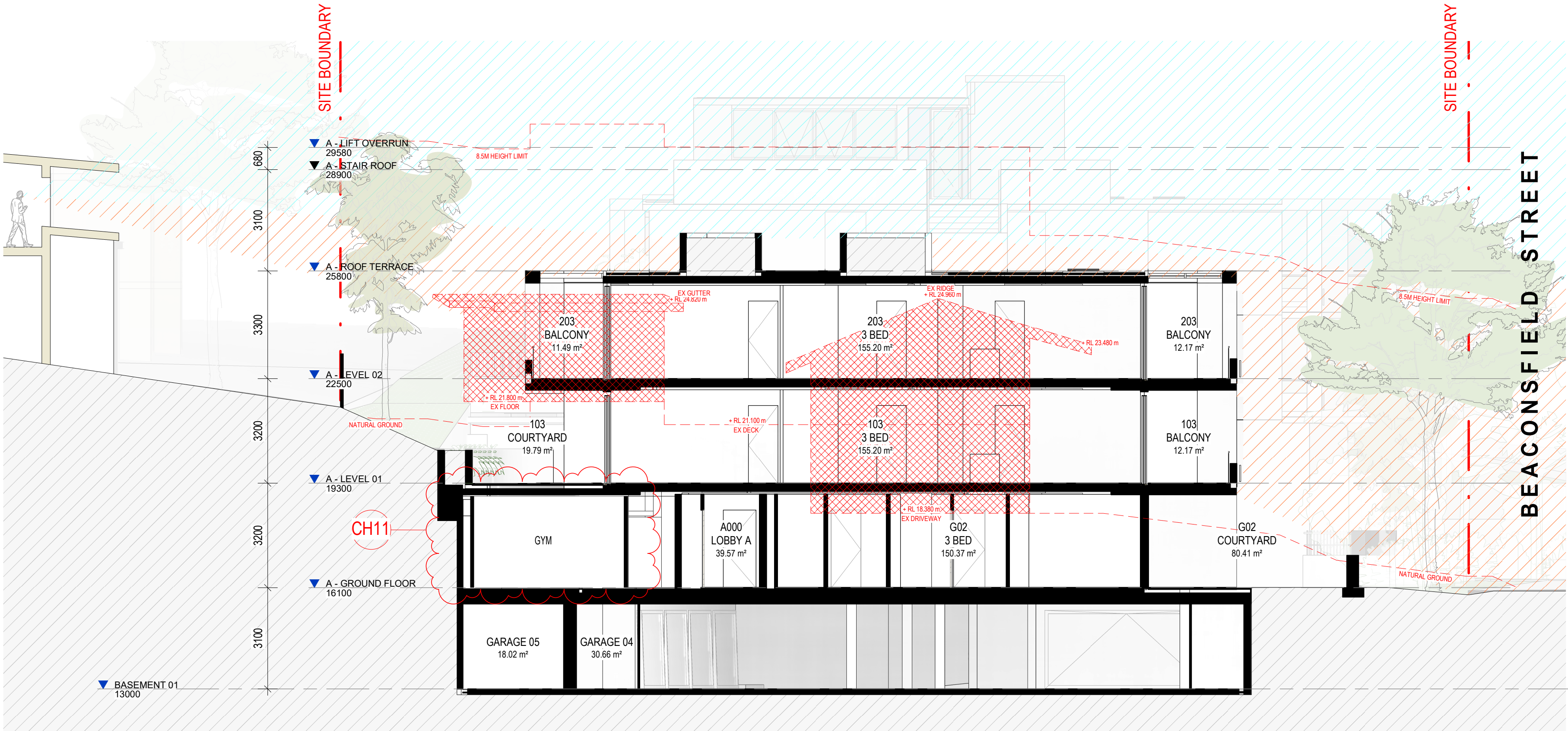
E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

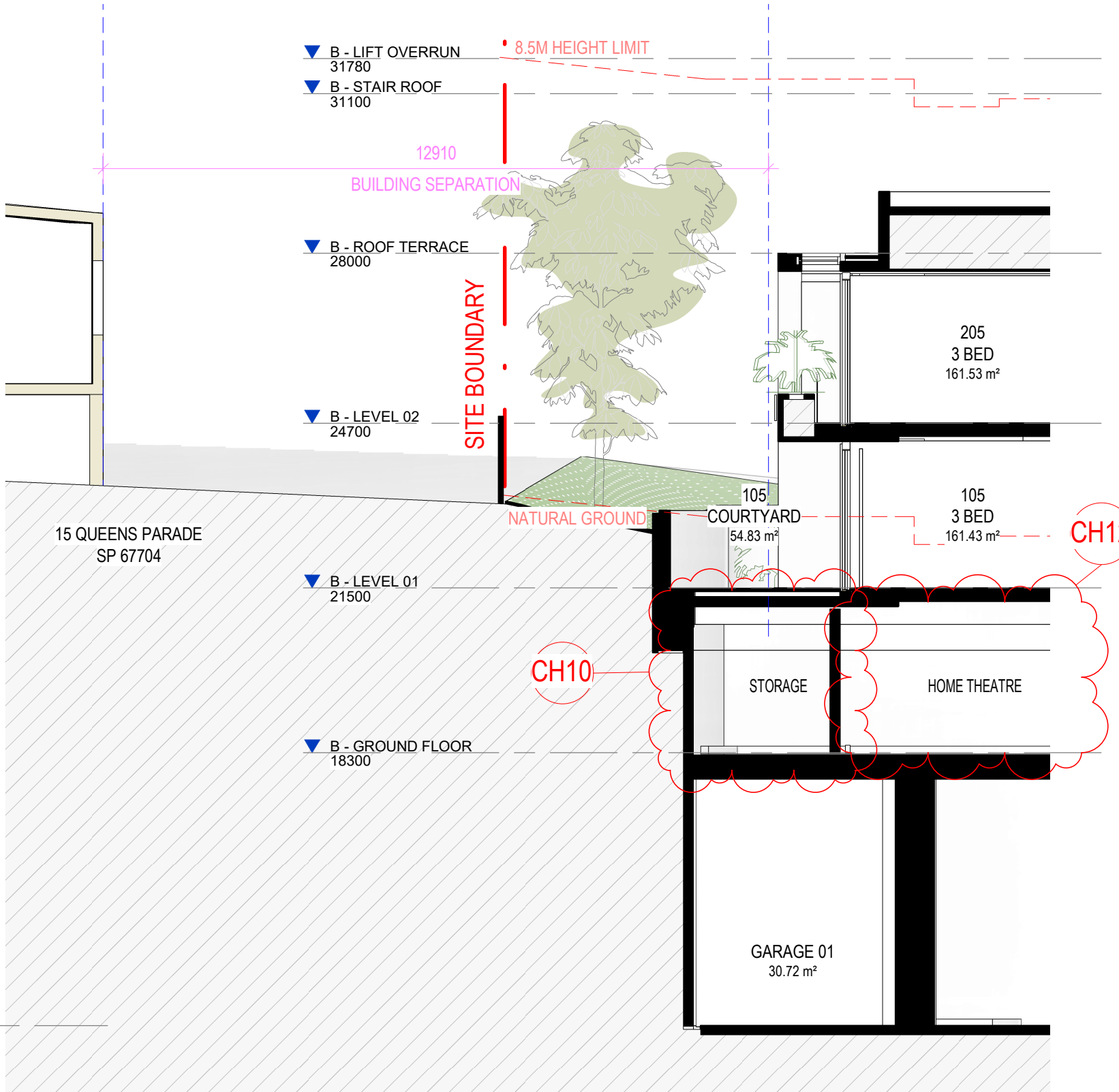
54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
SECTION SHEET 02

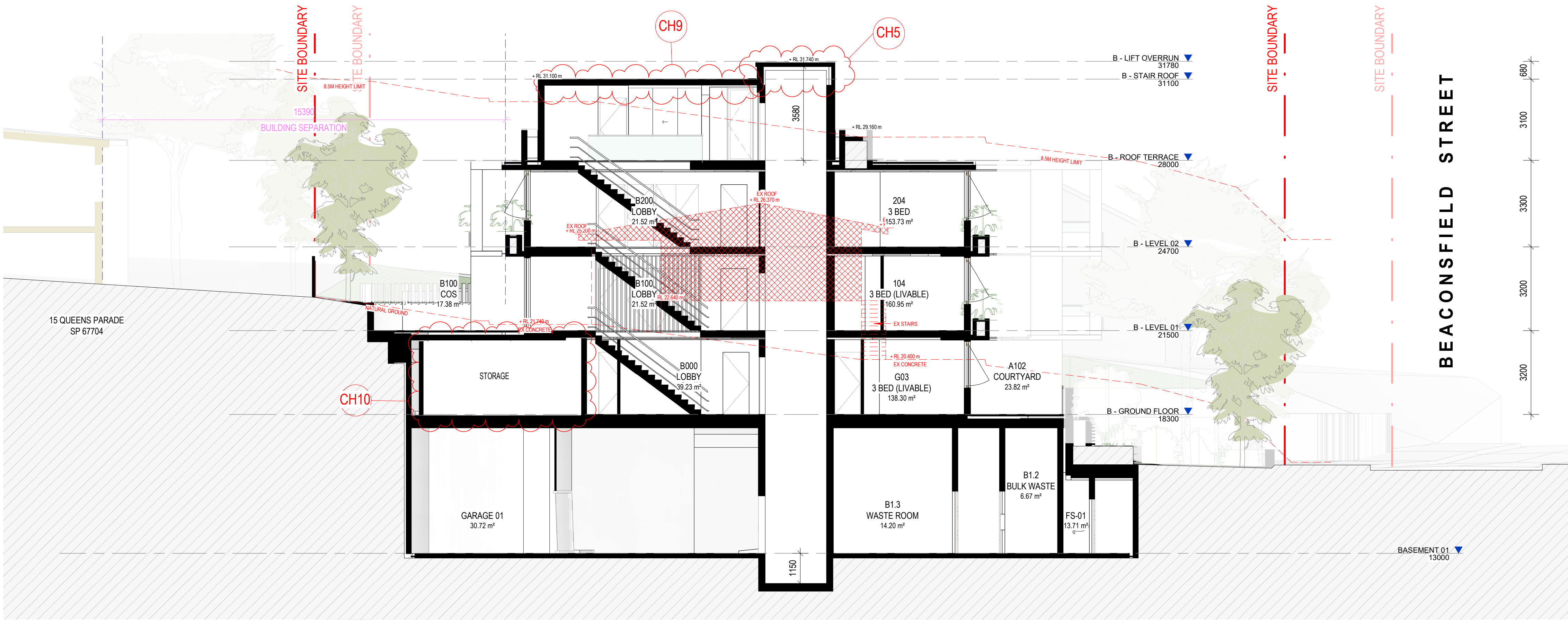
DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-301	



1 | S4.55_SECTION 03
1 : 100



3 | S4.55_SECTION 05
1 : 100



2 | S4.55_SECTION 04
1 : 100

GENERAL NOTES:

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AC A/C AIR CONDITIONING UNITS
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FHR FIRE HOSE REEL
FS FIRE ISOLATED STAIRS
GC GARBAGE CHUTE
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MY MECHANICAL RISER
MB MUXBOX
SK SKYLIGHT
ST STORAGE
HWU HOT WATER UNIT

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
LV ALUMINIUM ELLIPTICAL FIXED LOUVRES
AW AWNING WINDOW
CONC CONCRETE
PB FACED BRICK
GB GLASS BALUSTRADE
NB METAL BALUSTRADE
PC METAL FENCE
PC COMPOSITE METAL CLADDING
PS PRIVACY SCREEN
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED FINISH
TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
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- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
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- Relocation of GSD and Rainwater Tank.
- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
A	30/01/2025	ISSUED FOR COORDINATION

0 1 2 5m

CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

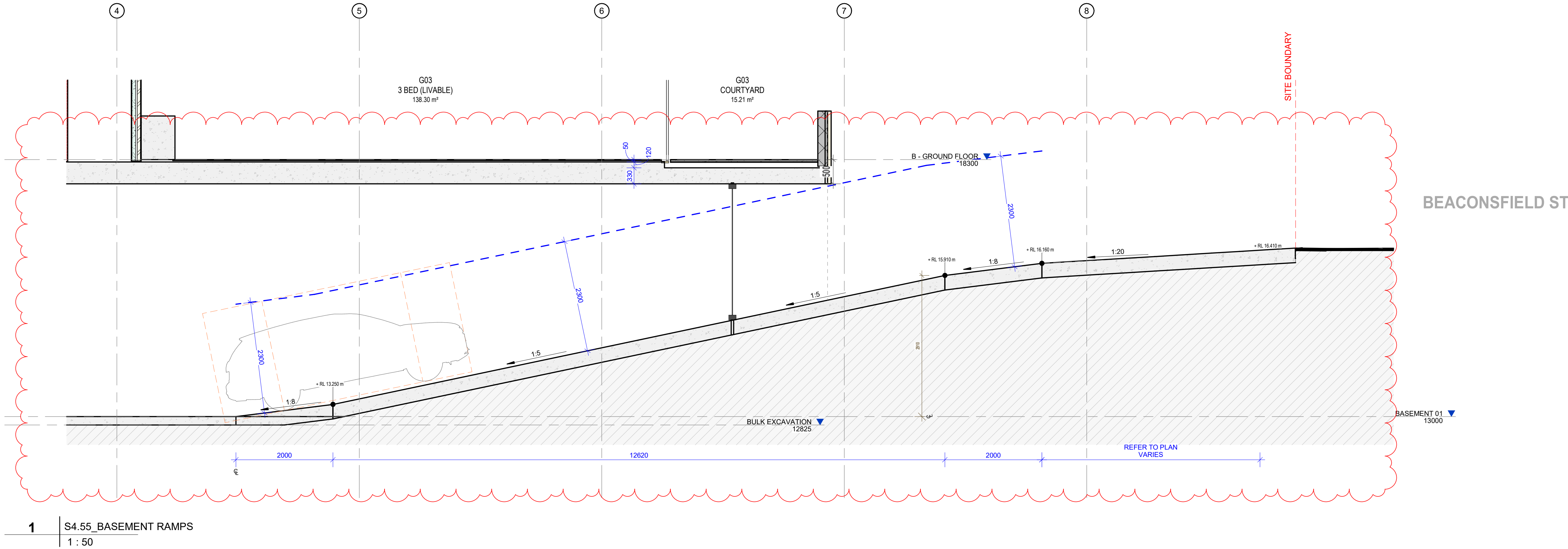
E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
SECTION SHEET 03

DRAWING BY: NH	CHECKED BY: GA	DATE 30/01/2025
PROJECT NO: 2021079	DRAWING ISSUE A	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-302	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT AND RELEVANT AUSTRALIAN BUILDING STANDARDS.
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LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C AIR CONDITIONING UNITS
- PH FIRE HYDRANT
- FR FIRE HOSE REEL
- PS FIRE ISOLATED STAIRS
- GC GARBAGE CHUTE
- HW HIGHLIGHT WINDOW
- MR MECHANICAL RISER
- MB MAILBOX
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNIT

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVRES
- AW AWNING WINDOW
- CONC CONCRETE
- FB FACED BRICK
- GB GLASS BALUSTRADE
- MB METAL BALUSTRADE
- PC METAL FENCE
- CS COMPOSITE METAL CLADDING
- PS PRIVACY SCREEN
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED FINISH
- TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
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- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0 1 2 5m

CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
SCHEDULE OF COLOURS AND
MATERIALS

DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025

PROJECT NO:	DRAWING ISSUE
2021079	1

DRAWING SCALE	DRAWING NUMBER
As indicated @A1	AR-S4-400



AFG
ALUMINIUM FRAME GLAZING -WHITE



GR
GRAVEL BALLASTED ROOF OR EQUIVALENT



MB2
GLASS BALUSTRADE



CONC
NATURAL OFF-FORM CONCRETE



MC
METAL VERTICAL BATTENS POWDERCOATED
WHITE OR EQUIVALENT



MR
METAL PERGOLA STRUCTURE
(ABOVE SECOND FLOOR BALCONIES)



MB1
METAL FENCE/BALUSTRADE
LIGHT BRONZE FINISH (GROUND FLOOR TERRACE)



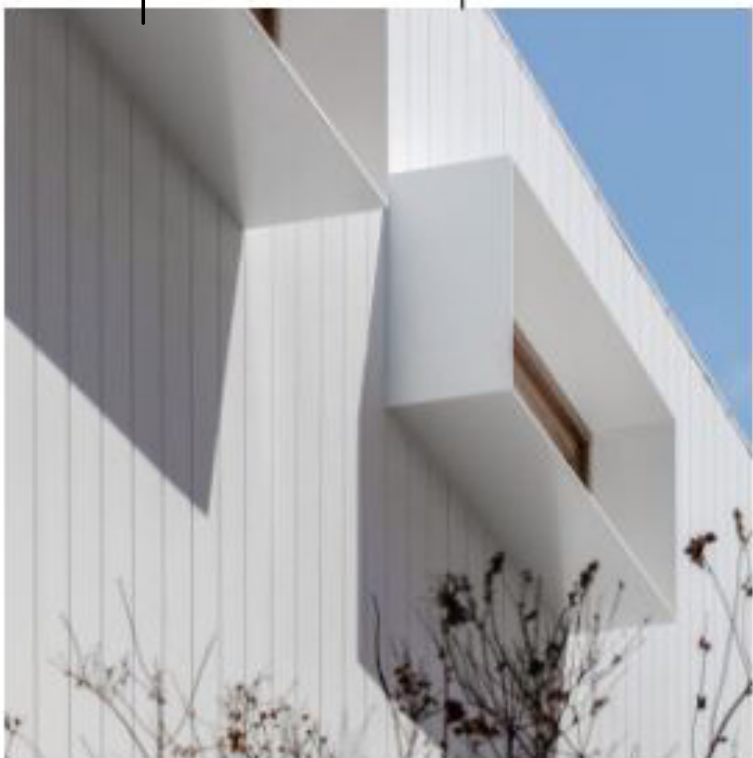
ST2
NATURAL LIMESTONE PAVER (FOOTPATH/
TERRACE) OR EQUIVALENT.



ST3
CONCRETE STEPPING STONE
(REFER TO LANDSCAPED ARCHITECTS PLAN)



ST1
NATURAL STONE CLADDING
ECO-OUTDOOR CANYONFELL OR EQUIVALENT



WB
WEATHERBOARD CLADDING
JAMES HARDIE AXON OR EQUIVALENT

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4. Addition of Skylights to unit 201/203/204/205
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6. Floor to floor height increased.
7. Lift Lobby Enclosure
8. Amended Driveway gradients
9. Lift lobby RL Height raised
10. Back of House Storage added on Ground floor
11. Gym added on the Ground floor with connecting stairs and hallway to each lobby.
12. Storage room added to G01 and G03 units.
13. Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
14. Relocation of OSD and Rainwater Tank.
15. Lobby A and B external Entry revised
16. Roof Terrace C lowered to Roof A lobby for accessibility compliance.
17. Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

North

0 1 2 5m

CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

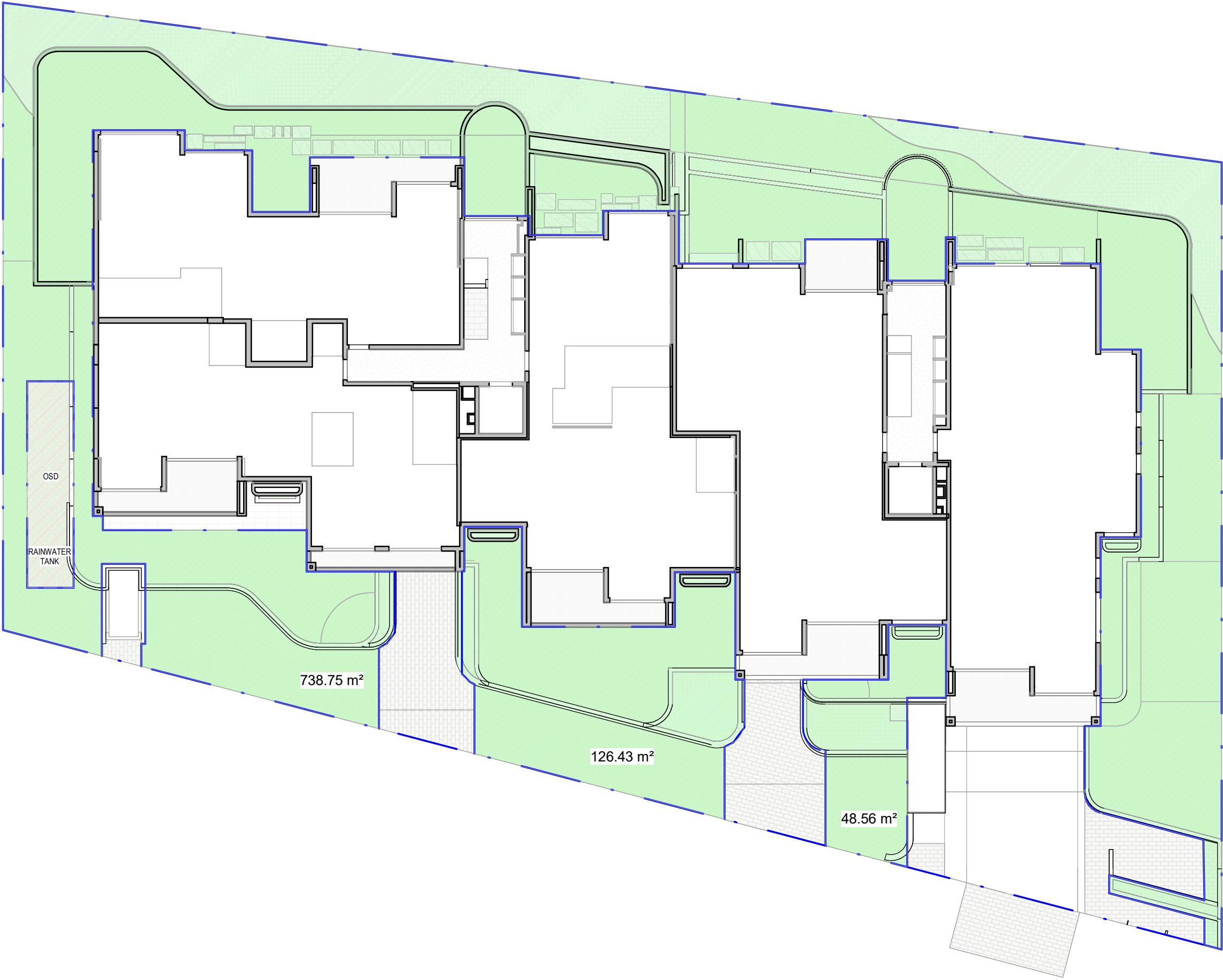
E: info@archicore.com.au
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PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

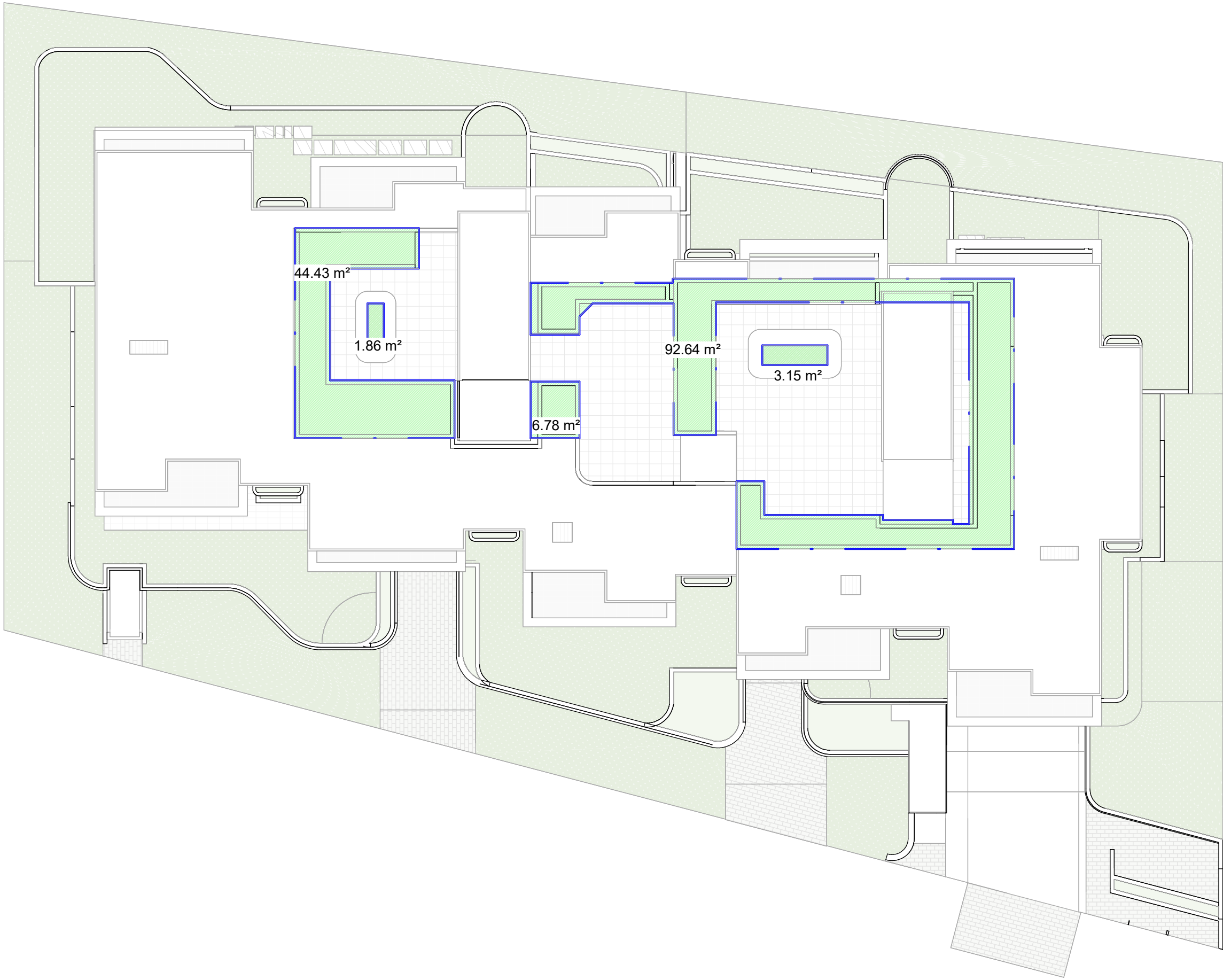
54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
LANDSCAPE AREA

DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025
PROJECT NO:	DRAWING ISSUE	
2021079	1	
DRAWING SCALE	DRAWING NUMBER	
As indicated @A1	AR-S4-500	



1 | LANDSCAPE AREA - GROUND
1 : 200



2 | LANDSCAPE AREA - ROOF
1 : 200

PROPERTY DETAILS:

SITE AREA: 2,113.5 m²

ZONE: RE MEDIUM DENSITY RESIDENTIAL

LANDSCAPED AREA SUMMARY:

REQUIRED:

MIN LANDSCAPE AREA: 50%

MIN LANDSCAPE AREA: 1,056m²

APPROVED:

PROPOSED LANDSCAPE AREA: 50%

PROPOSED LANDSCAPE AREA: 1,065m²

PROPOSED:

GROUND	LANDSCAPING	913.74 m²
ROOF	LANDSCAPING	148.87 m²
		1062.60 m²

PROPOSED LANDSCAPE AREA: 50%

PROPOSED LANDSCAPE AREA: 1,062.6m²

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- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0 1 2 5m

CLIENT:

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Nominated Architect
William Clarke
NSW #12663

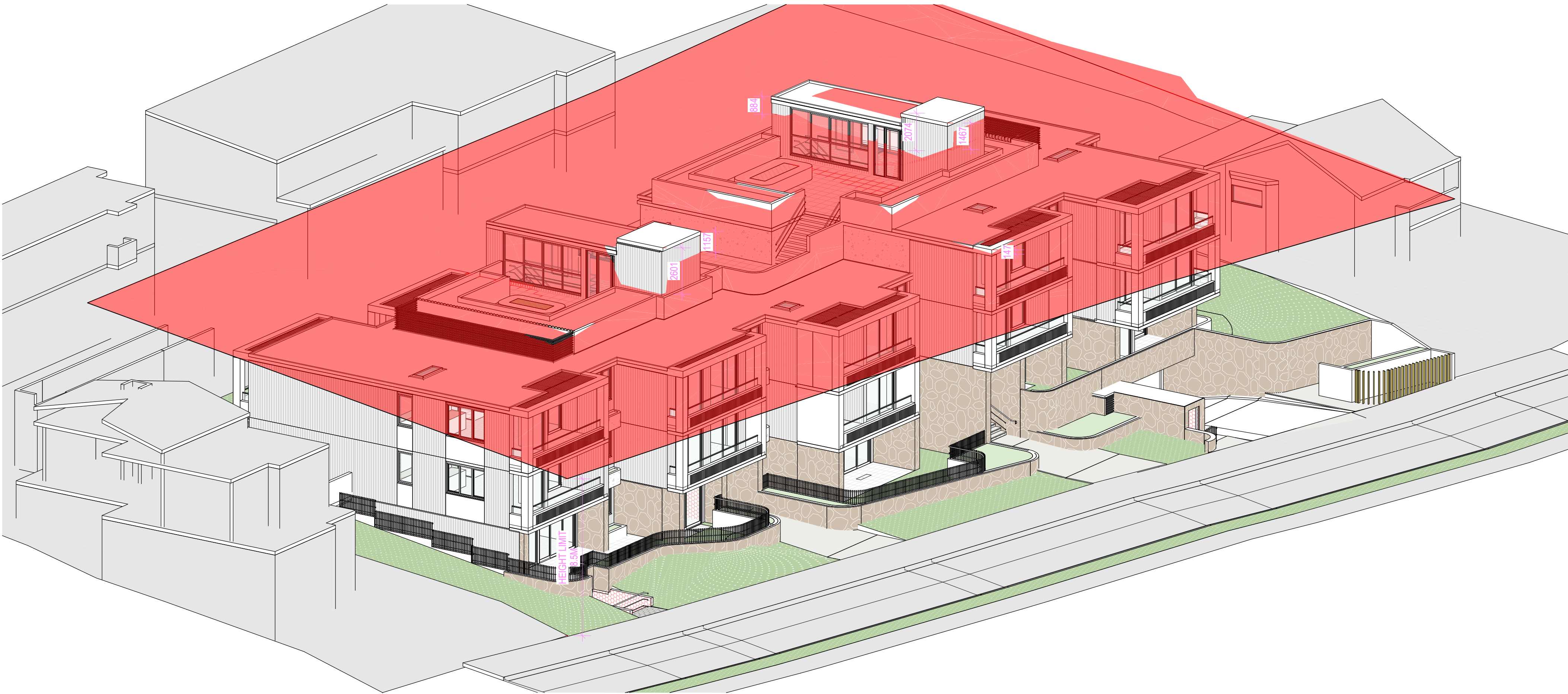
E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
HEIGHT LIMIT DIAGRAM

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-501	



1 | 3D HEIGHT PLANE - 01



2 | 3D HEIGHT PLANE - 02

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Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

North

0 1 2 5m

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A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
4.2M HEIGHT ENVELOPE DIAGRAM

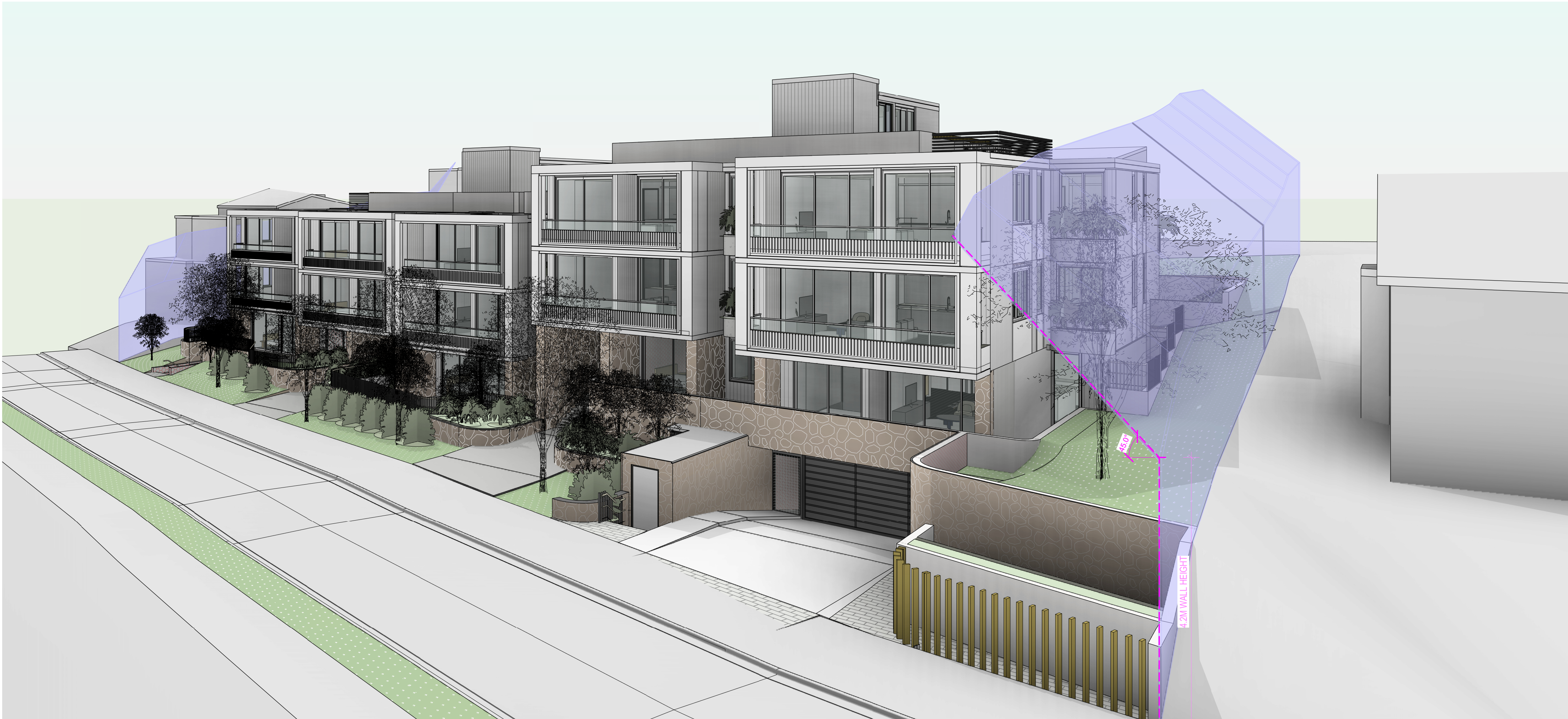
DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025

PROJECT NO:	DRAWING ISSUE
2021079	1

DRAWING SCALE	DRAWING NUMBER
As indicated @A1	AR-S4-502



1 | 4.2m WALL HEIGHT (AXO 1)



2 | 4.2M WALL HEIGHT (AXO 2)

GENERAL NOTES:

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MATERIALS LEGEND:

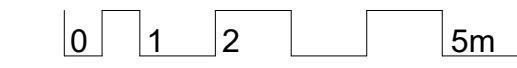
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Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

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PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
CROSS VENTILATION DIAGRAM

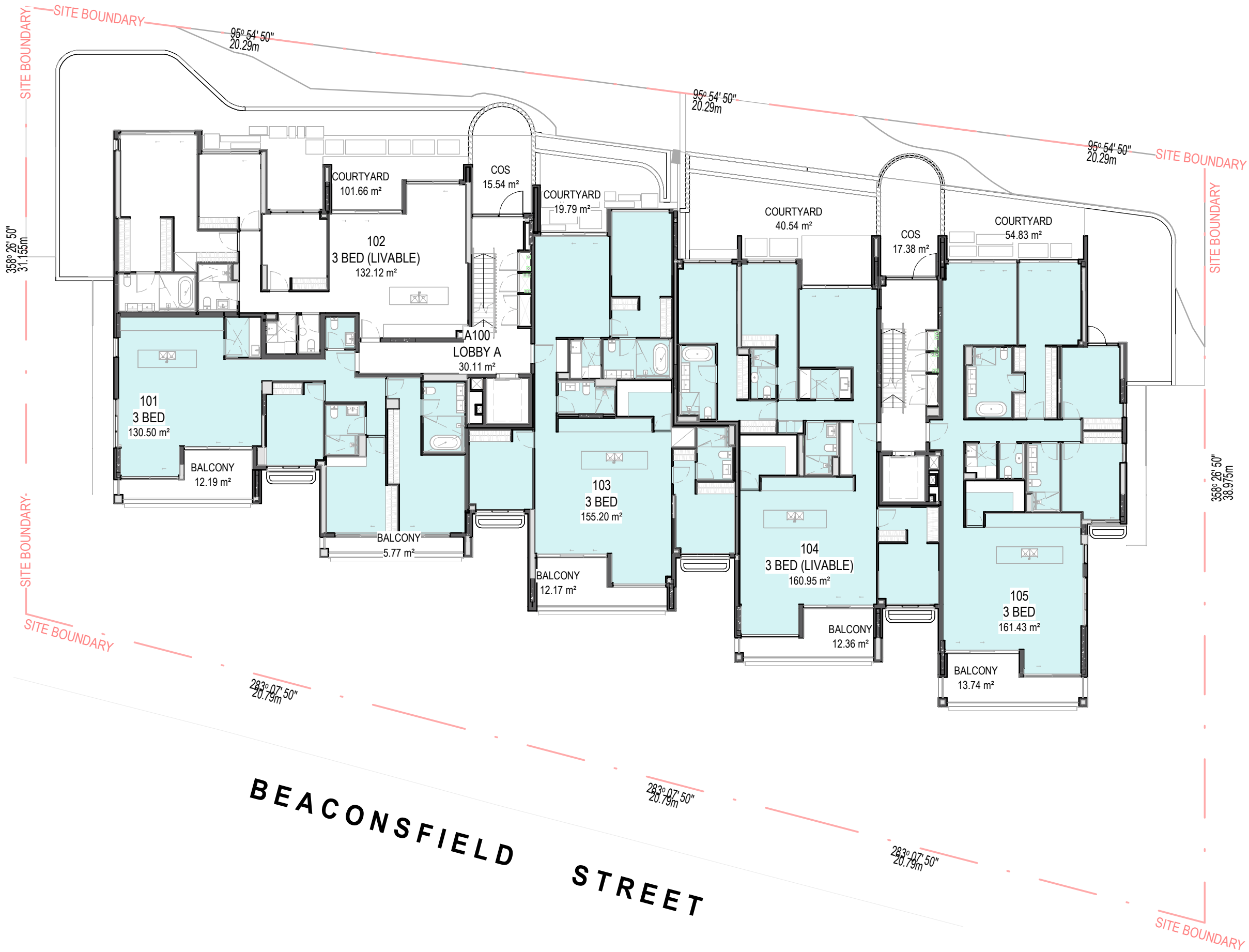
DRAWING BY: NH
CHECKED BY: GA
DATE: 25/03/2025

PROJECT NO: 2021079
DRAWING ISSUE: 1

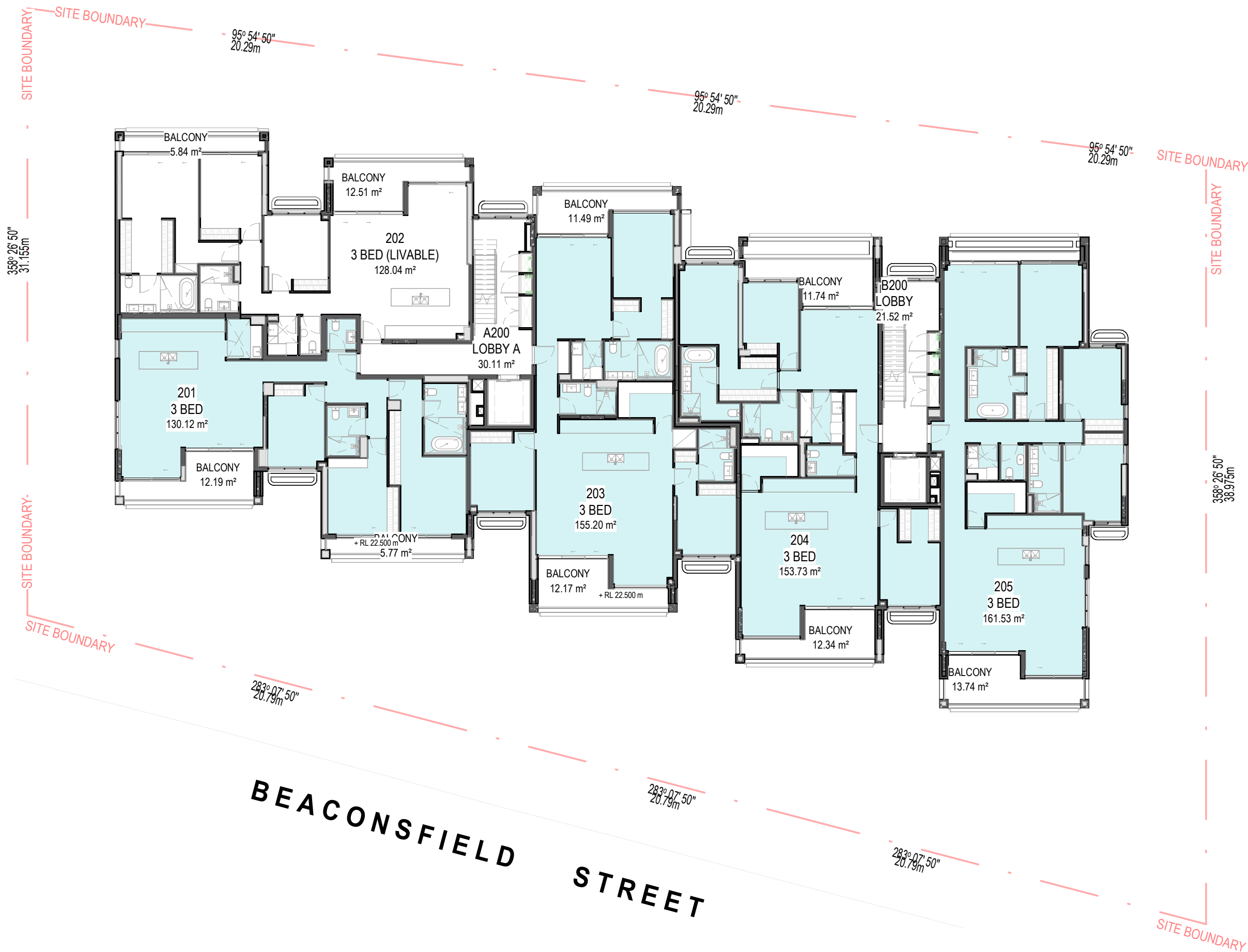
DRAWING SCALE: As indicated @A1
DRAWING NUMBER: AR-S4-503



1 | S4.55_CROSS VENTILATION_GROUND FLOOR
1 : 200



2 | S4.55_CROSS VENTILATION_LEVEL 01
1 : 200



3 | S4.55_CROSS VENTILATION_LEVEL 02
1 : 200

LEGEND:

NATURALLY CROSS VENTILATED UNITS

NATURAL VENTILATION CALCULATIONS

APARTMENT DESIGN GUIDE
- ALL HABITABLE ROOMS ARE NATURALLY VENTILATED
- AT LEAST 60% OF ALL APARTMENTS ARE NATURALLY CROSS VENTILATED

TOTAL NUMBER OF APARTMENTS: 13 UNITS
NATURALLY CROSS VENTILATED APARTMENTS: 9 UNITS OR (69%)

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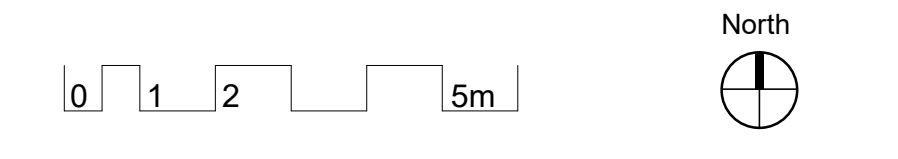
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Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



CLIENT: **re. street.**

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PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

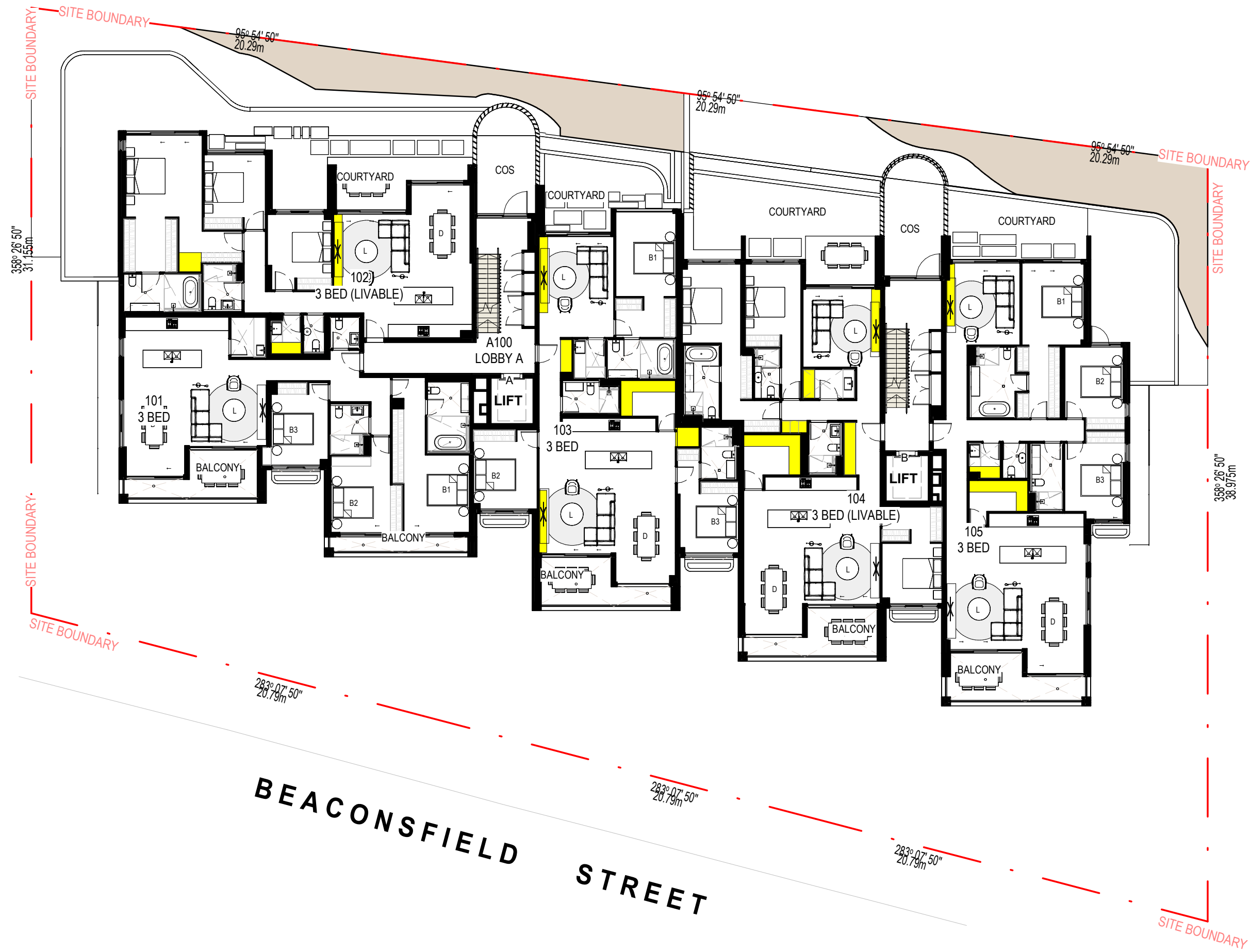
54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
STORAGE CALCULATION DIAGRAM

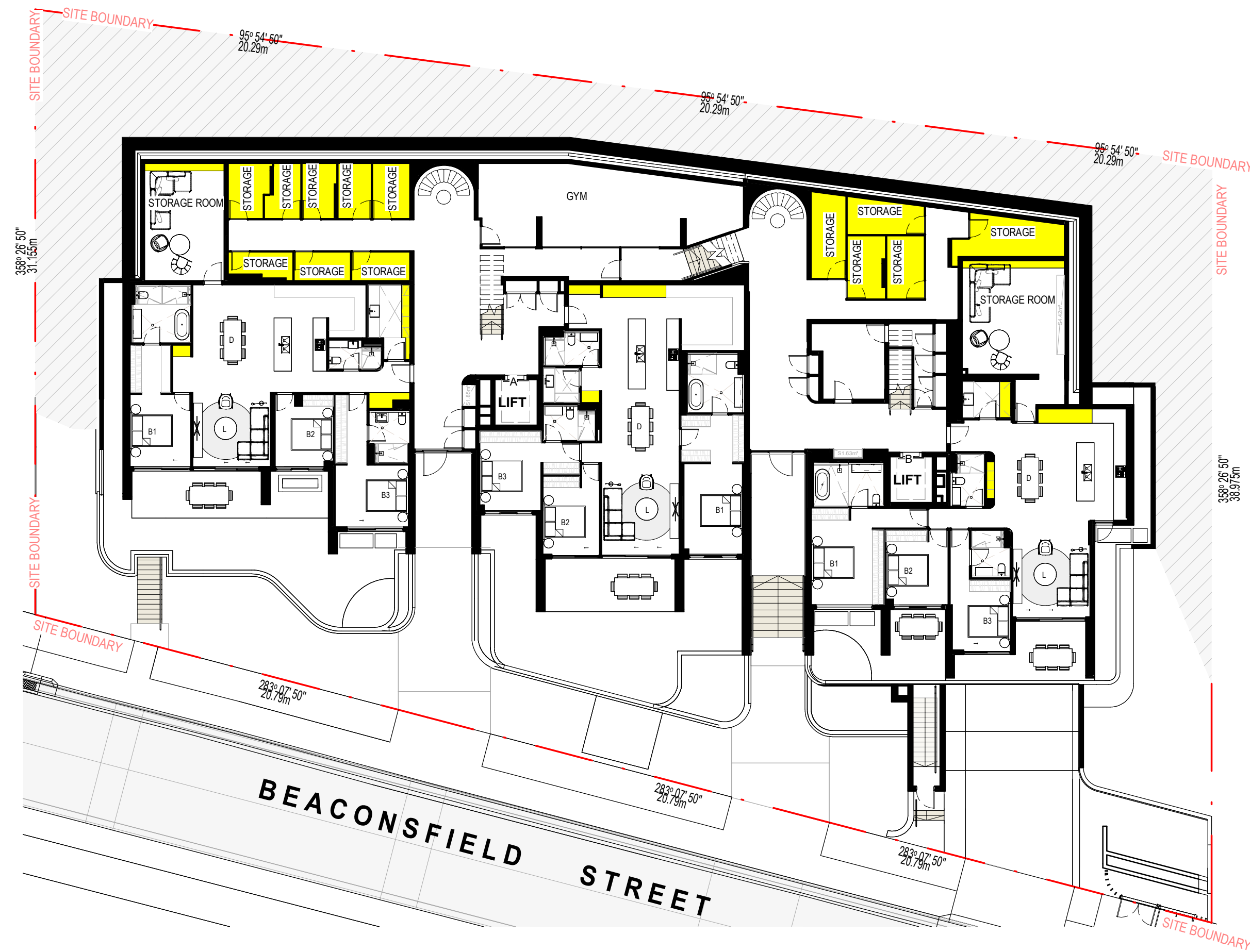
DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-504	



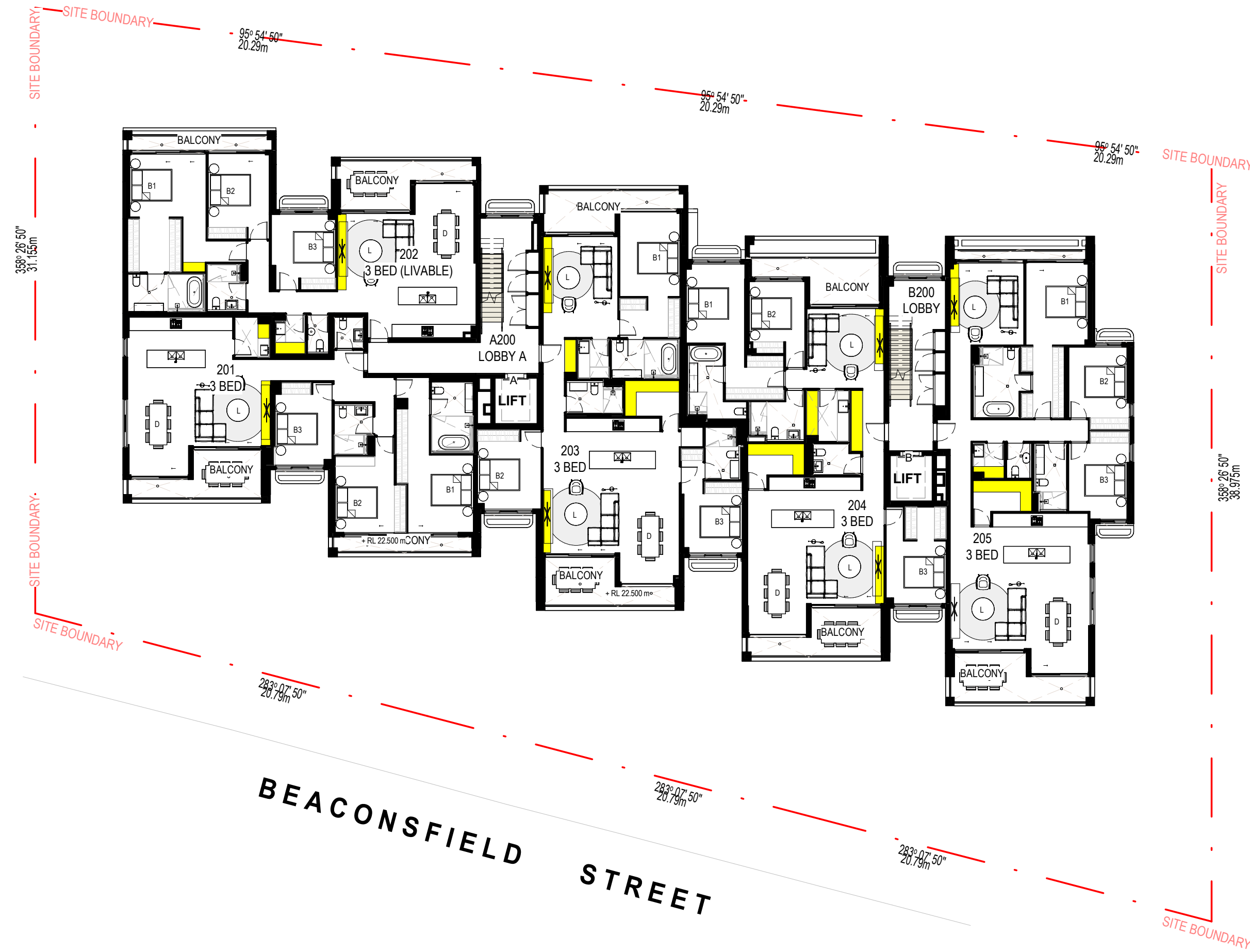
1 | S4.55_BASEMENT 01_STORAGE
1 : 200



3 | S4.55_LEVEL 01_STORAGE
1 : 200



2 | S4.55_GROUND FLOOR_STORAGE
1 : 200



4 | S4.55_LEVEL 02_STORAGE
1 : 200

NOTE: REFER TO DRAWING
AR-S4-001 FOR STORAGE
CALCULATIONS

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LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C AIR CONDITIONING UNITS
- PH FIRE HYDRANT
- FR FIRE HOSE REEL
- FS FIRE ISOLATED STAIRS
- GC GARBAGE CHUTE
- HW HIGHLIGHT WINDOW
- MY MECHANICAL RISER
- MB MAILBOX
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNIT

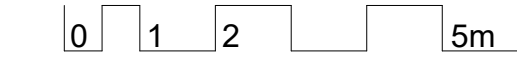
MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVRES
- AW AWNING WINDOW
- CONC CONCRETE
- FB FACED BRICK
- GB GLASS BALUSTRADE
- MB METAL BALUSTRADE
- PC COMPOSITE METAL CLADDING
- PS PRIVACY SCREEN
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED FINISH
- TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased.
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
- Back of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units.
- Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
- Relocation of OSD and Rainwater Tank.
- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION



CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:

SOLAR ACCESS VIEWS

DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025
PROJECT NO:	DRAWING ISSUE	
2021079	1	
DRAWING SCALE	DRAWING NUMBER	
As indicated @A1	AR-S4-600	

1 | SOLAR_JUNE 21_9AM



2 | SOLAR_JUNE 21_10AM

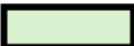


3 | SOLAR_JUNE 21_11AM

SOLAR COMPLIANCE CHECK

LEVEL	UNIT NO.	LIVING ROOM (JUNE 21)							TOTAL
		9AM	10AM	11AM	12PM	1PM	2PM	3PM	
GROUND	G01								0
	G02								0
	G03	Y	Y	Y					2
	101								1
	102				Y	Y	Y	Y	4
LEVEL 01	103			Y	Y	Y	Y	Y	4
	104	Y	Y	Y	Y	Y	Y	Y	6
	105	Y	Y	Y	Y	Y	Y	Y	6
	201	Y	Y	Y	Y	Y	Y	Y	6
	202		Y	Y	Y	Y	Y	Y	5
LEVEL 02	203		Y	Y	Y	Y	Y	Y	5
	204	Y	Y	Y	Y	Y	Y	Y	6
	205	Y	Y	Y	Y	Y	Y	Y	6

LEGEND:



COMPLIANT



NON-COMPLIANT

UNIT COMPLIANT 10

TOTAL UNIT 13

SOLAR COMPLIANCE 76.9%

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT AND RELEVANT AUSTRALIAN BUILDING STANDARDS.
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LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C AIR CONDITIONING UNITS
- PH FIRE HYDRANT
- FR FIRE HOSE REEL
- FS FIRE ISOLATED STAIRS
- GC GARAGE CHUTE
- HW HIGHLIGHT WINDOW
- MY MECHANICAL RISER
- MB MALLBOX
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNIT

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVRES
- AW AWNING WINDOW
- CONC CONCRETE
- FB FACED BRICK
- GB GLASS BALUSTRADE
- MB METAL BALUSTRADE
- PC COMPOSITE METAL CLADDING
- PS PRIVACY SCREEN
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED FINISH
- TC TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
- Lift overrun increased to 3580mm
- Floor to floor height increased
- Lift Lobby Enclosure
- Amended Driveway gradients
- Lift lobby RL Height raised
- Back of House Storage added on Ground floor
- Gym added on the Ground floor with connecting stairs and hallway to each lobby.
- Storage room added to G01 and G03 units.
- Fire Stair 01 Enclosed on Ground floor for BCA compliance of all access to Fire pump room via fire isolated stairway.
- Relocation of OSD and Rainwater Tank.
- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0 1 2 5m

CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:

SOLAR ACCESS VIEWS

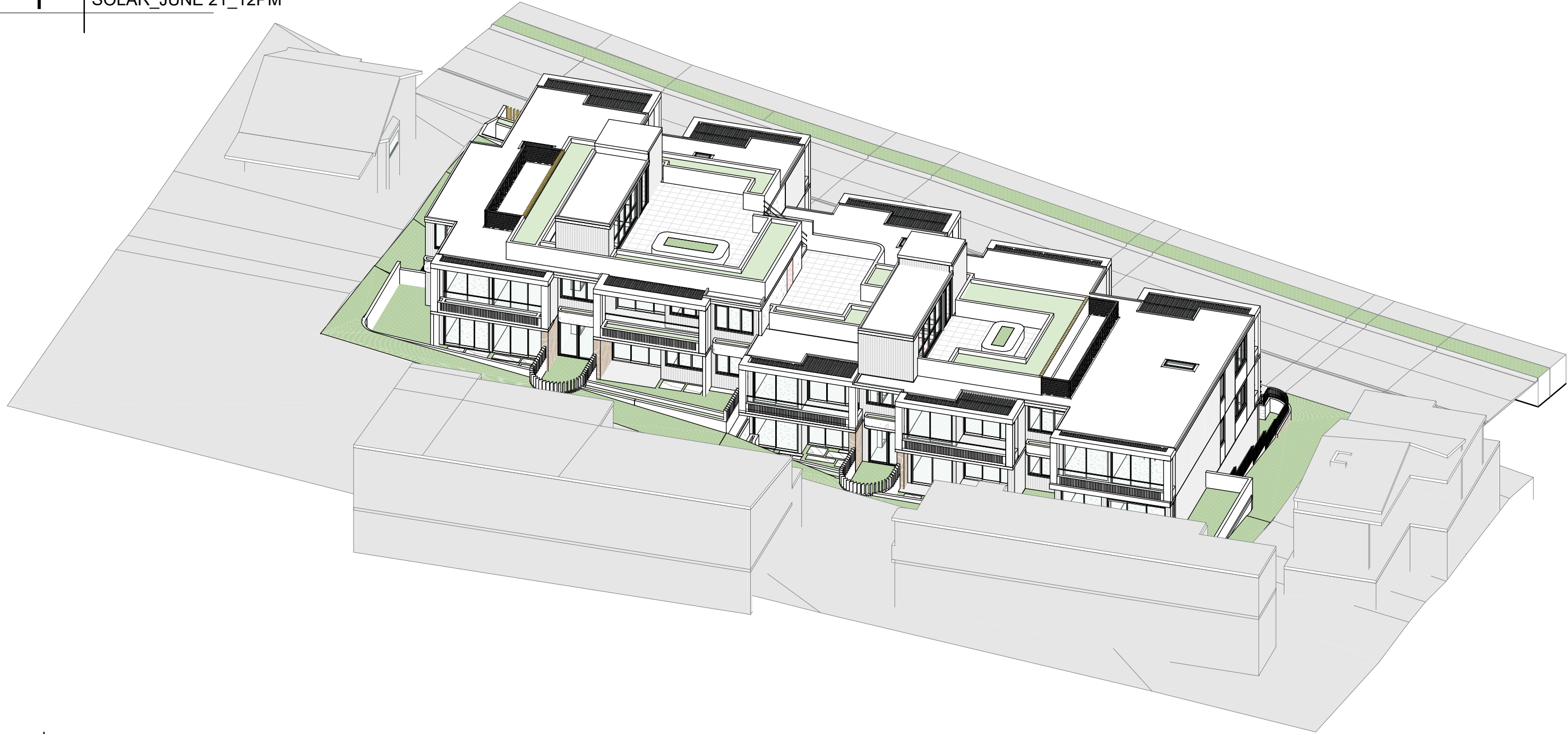
DRAWING BY: NH
CHECKED BY: GA
DATE: 25/03/2025

PROJECT NO: 2021079
DRAWING ISSUE 1

DRAWING SCALE: As indicated @A1
DRAWING NUMBER: AR-S4-601



1 | SOLAR_JUNE 21_12PM



2 | SOLAR_JUNE 21_1PM

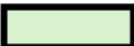


3 | SOLAR_JUNE 21_2PM

SOLAR COMPLIANCE CHECK

LEVEL	UNIT NO.	LIVING ROOM (JUNE 21)							TOTAL
		9AM	10AM	11AM	12PM	1PM	2PM	3PM	
GROUND	G01								0
	G02								0
	G03	Y	Y	Y					2
	101			Y	Y	Y	Y	Y	1
	102			Y	Y	Y	Y	Y	4
LEVEL 01	103			Y	Y	Y	Y	Y	4
	104	Y	Y	Y	Y	Y	Y	Y	6
	105	Y	Y	Y	Y	Y	Y	Y	6
	201	Y	Y	Y	Y	Y	Y	Y	6
	202	Y	Y	Y	Y	Y	Y	Y	5
LEVEL 02	203	Y	Y	Y	Y	Y	Y	Y	5
	204	Y	Y	Y	Y	Y	Y	Y	6
	205	Y	Y	Y	Y	Y	Y	Y	6

LEGEND:



COMPLIANT



NON-COMPLIANT

UNIT COMPLIANT 10

TOTAL UNIT 13

SOLAR COMPLIANCE 76.9%

GENERAL NOTES:

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LEGEND:

- AW

AWING
- AH

ACCESS HATCH
- AC

A/C AIR CONDITIONING UNITS
- PH

FIRE HYDRANT
- PHR

FIRE HOSE REEL
- PS

FIRE ISOLATED STAIRS
- GC

GARAGE CHUTE
- HW

HIGHLIGHT WINDOW
- MR

MECHANICAL RISER
- MS

MALLOX
- SK

SKYLIGHT
- ST

STORAGE
- HWU

HOT WATER UNIT

MATERIALS LEGEND:

- AFG

ALUMINIUM FRAMED GLAZING
- LV

ALUMINIUM ELLIPTICAL FIXED LOUVRES
- AW

AWNING WINDOW
- CONC

CONCRETE
- FB

FACED BRICK
- GB

GLASS BALUSTRADE
- MB

METAL BALUSTRADE
- PC

METAL FENCE
- PC

COMPOSITE METAL CLADDING
- PS

PRIVACY SCREEN
- PT

PAINT FINISH
- RD

ROLLER DOOR
- RW

RENDERED FINISH
- TC

TIMBER LOOK CLADDING

S4.55 MODIFICATION:
SCHEDULE OF CHANGES

- Internal Configuration to all apartments in general
- Extension of basement shoring wall to GF subterranean area
- Amendment to glazing line o south facing balconies unit 105/205 to improve outdoor living / furnishability
- Addition of Skylights to unit 201/203/204/205
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- Lobby A and B external Entry revised
- Roof Terrace C lowered to Roof A lobby for accessibility compliance.
- Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0125m

CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
LOBBY B PERSPECTIVE

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-700	



GENERAL NOTES:

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LEGEND:

- | | |
|-----|----------------------------|
| AW | AWNING |
| AH | ACCESS HATCH |
| AC | A/C AIR CONDITIONING UNITS |
| PH | FIRE HYDRANT |
| FR | FIRE HOSE REEL |
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Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0 1 2 5m

CLIENT:

re.
street.

ARCHICORE

Archicore Pty Ltd
Nominated Architect
William Clarke
NSW #12663

E: info@archicore.com.au
A: Sydney, 2000 NSW

PROJECT:
NEWPORT RESIDENTIAL FLAT
BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:
LOBBY A PERSPECTIVE

DRAWING BY: NH	CHECKED BY: GA	DATE 25/03/2025
PROJECT NO: 2021079	DRAWING ISSUE 1	
DRAWING SCALE As indicated @A1	DRAWING NUMBER AR-S4-701	



CH16

GENERAL NOTES:

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S4.55 MODIFICATION:
SCHEDULE OF CHANGES

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4. Addition of Skylights to unit 201/203/204/205
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6. Floor to floor height increased.
7. Lift Lobby Enclosure
8. Amended Driveway gradients
9. Lift lobby RL Height raised
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14. Relocation of OSD and Rainwater Tank.
15. Lobby A and B external Entry revised
16. Roof Terrace C lowered to Roof A lobby for accessibility compliance.
17. Basement Storage Revised

Rev	Date	Description
1	25/03/2025	S4.55 MODIFICATION

0 1 2 5m

CLIENT:

re.
street.

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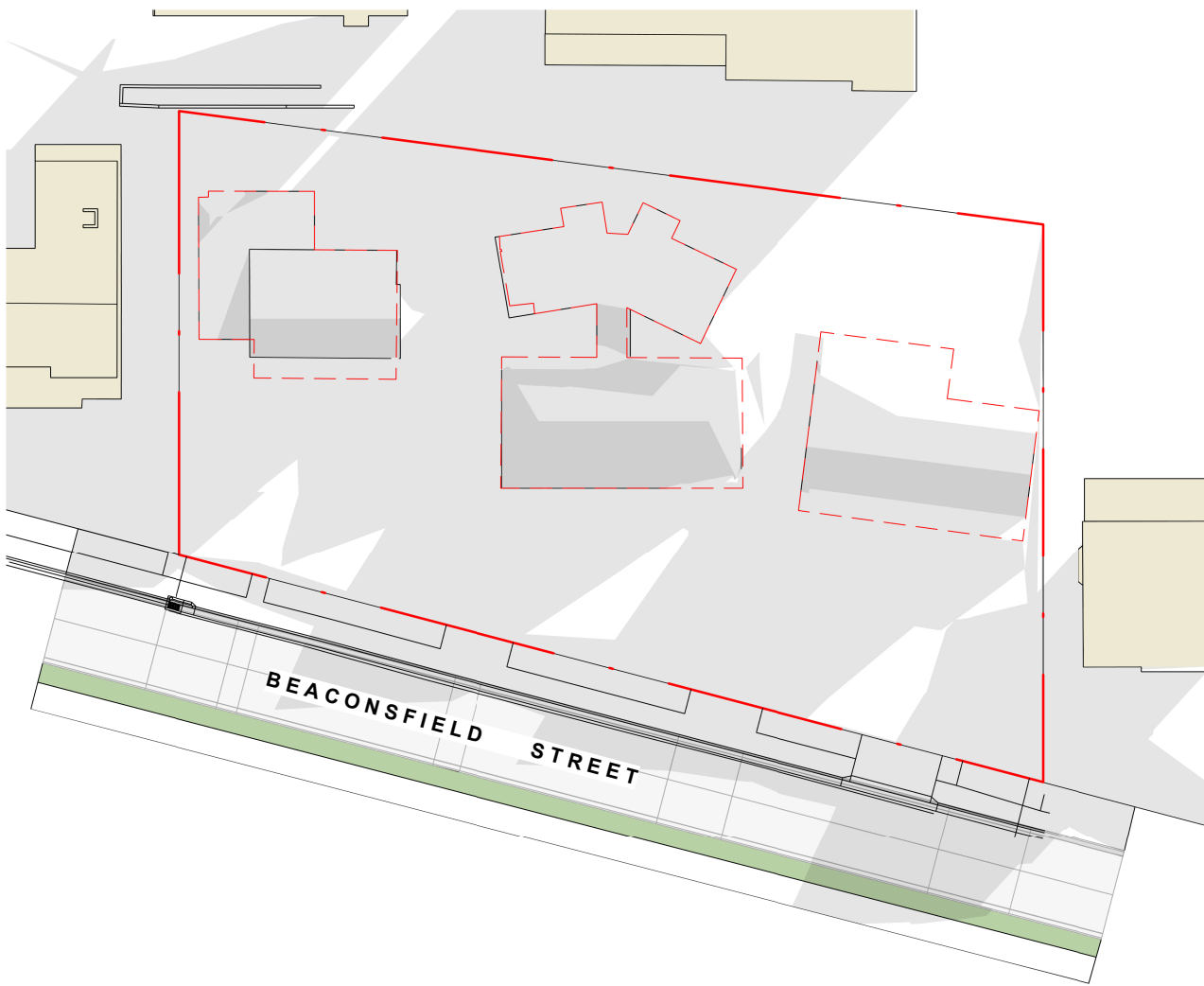
PROJECT:
NEWPORT RESIDENTIAL FLAT BUILDING

54 - 58 BEACONSFIELD STREET NEWPORT

DRAWING TITLE:

SHADOW DIAGRAMS

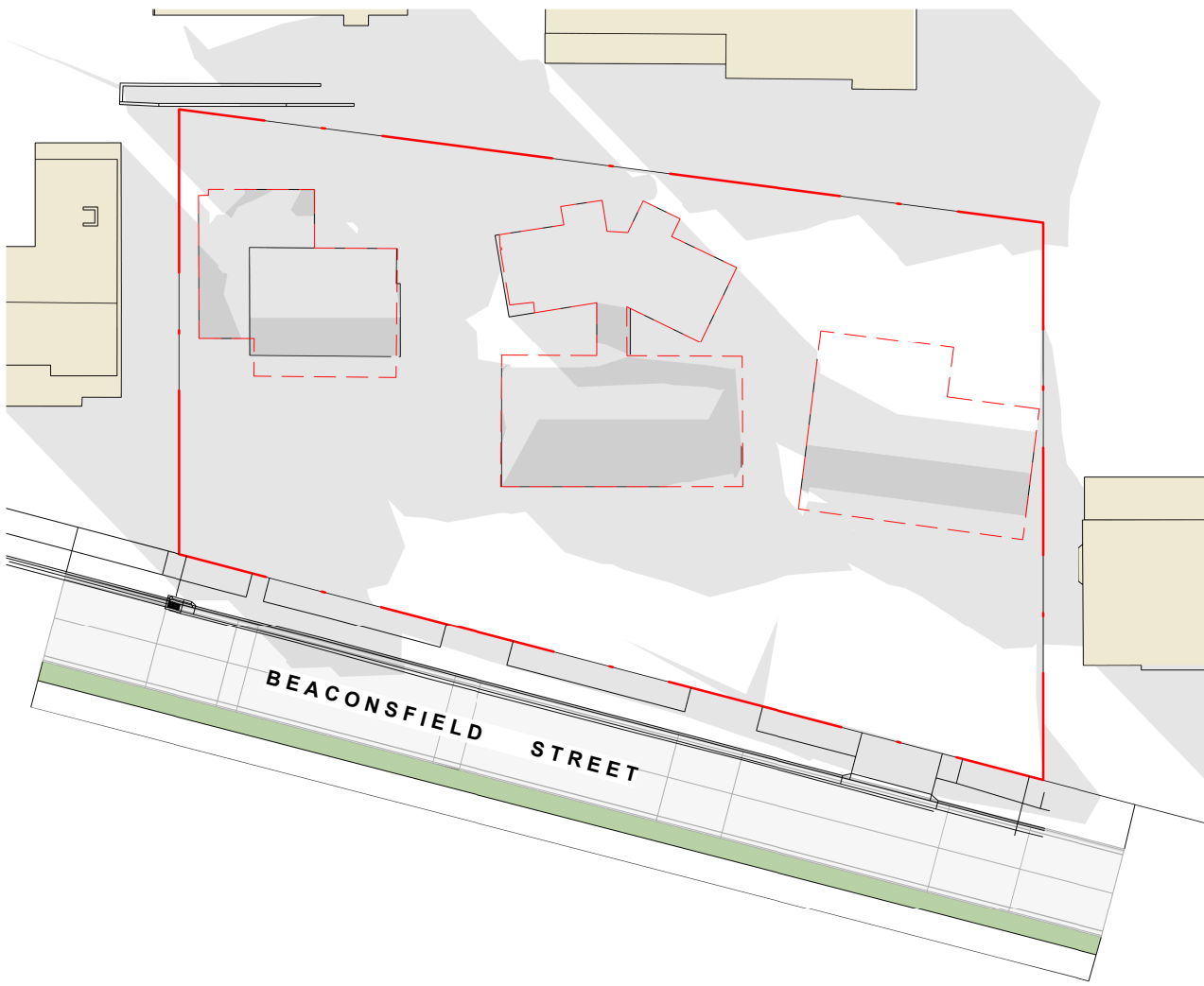
DRAWING BY:	CHECKED BY:	DATE
NH	GA	25/03/2025
PROJECT NO:	DRAWING ISSUE	
2021079	1	
DRAWING SCALE	DRAWING NUMBER	
As indicated @A1	AR-S4-702	



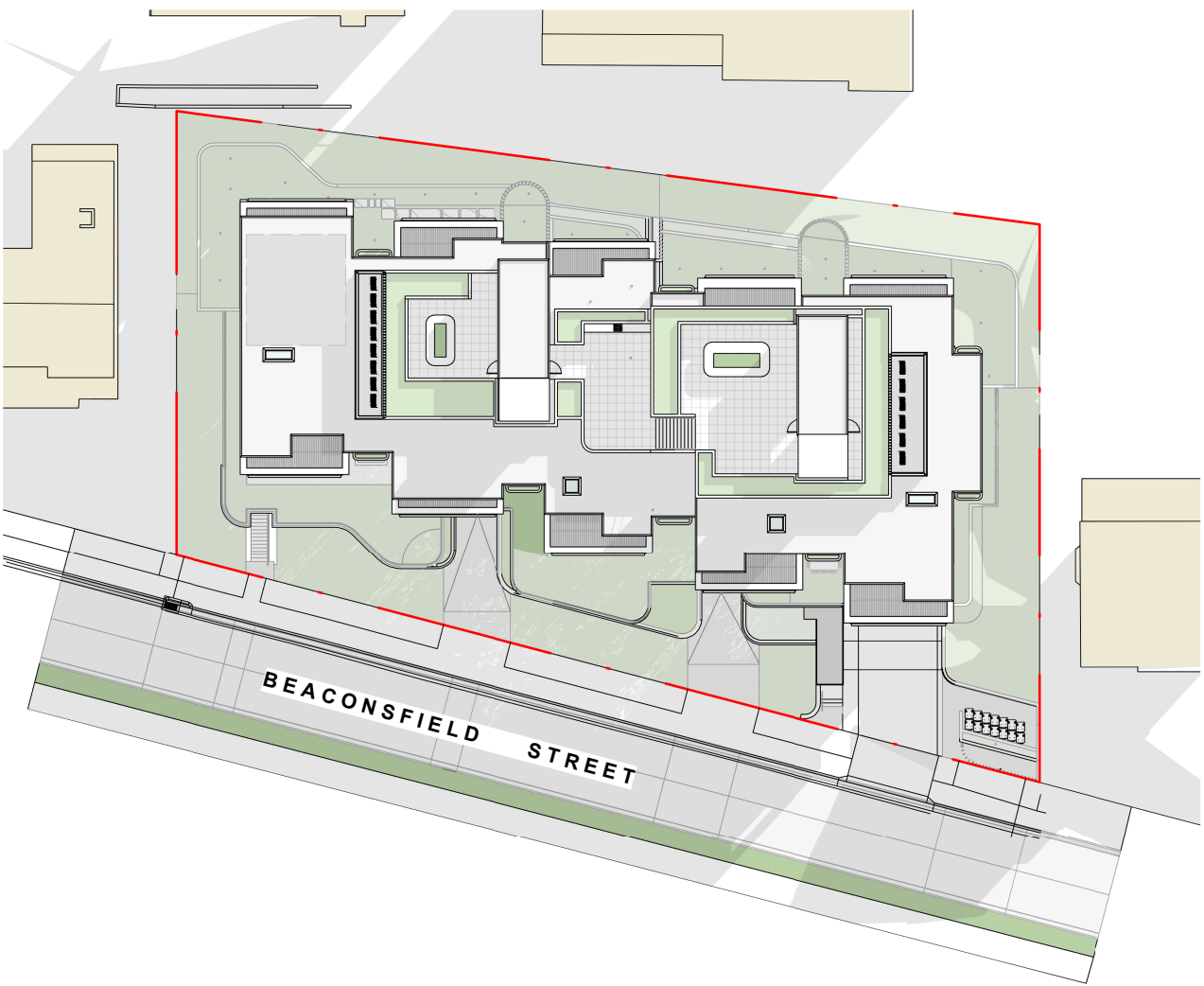
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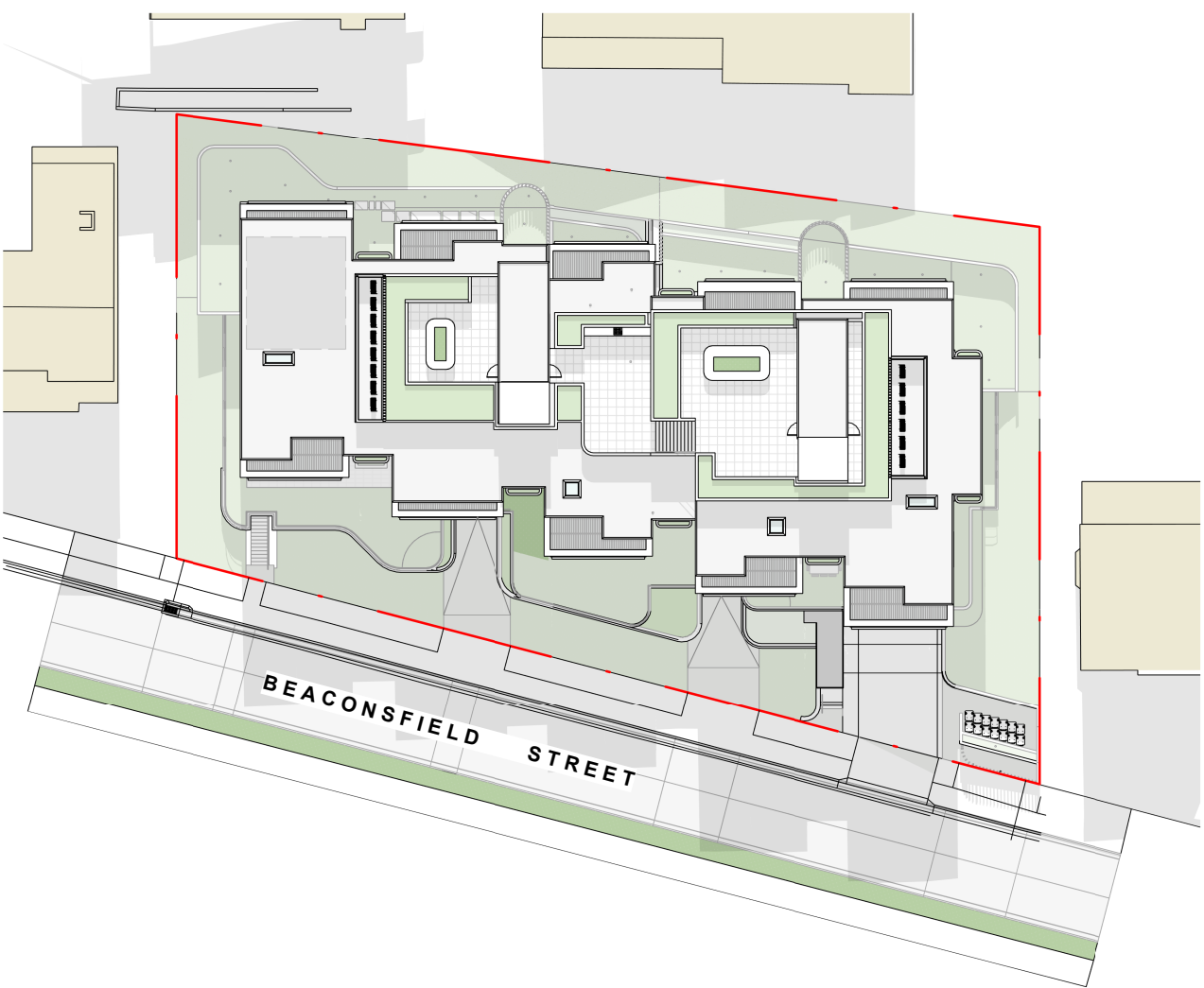
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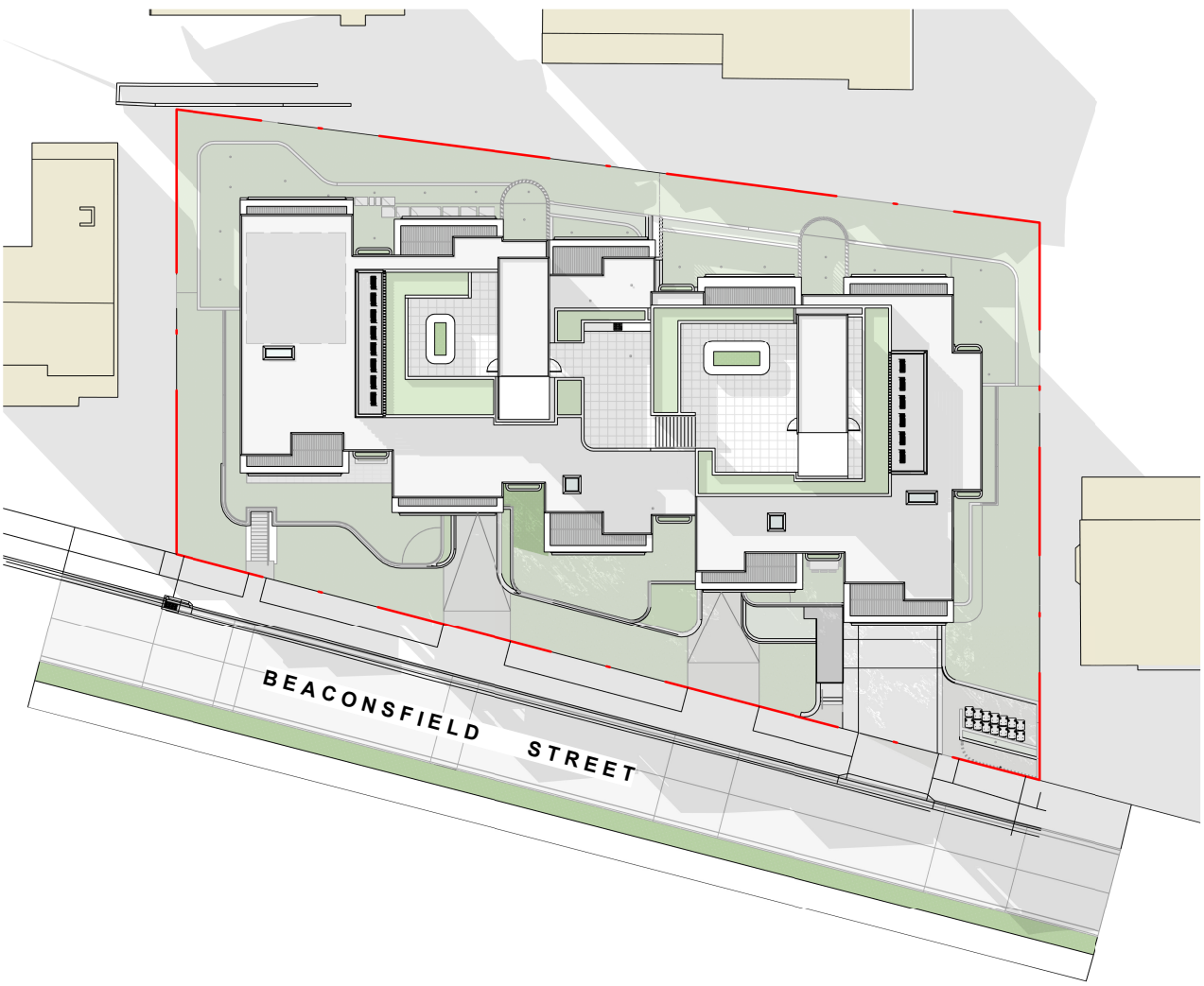
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1 : 500



S4.55_SHADOW DIAGRAMS_JUNE 21 9AM_PROPOSED
1 : 500



S4.55_SHADOW DIAGRAMS_JUNE 21 12PM_PROPOSED
1 : 500



S4.55_SHADOW DIAGRAMS_JUNE 21 3PM_PROPOSED
1 : 500