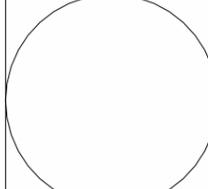


65 MARINE PARADE, AVALON

MODIFICATION TO APPROVED DA APPLICATION
 NUMBER DA2020/0278 - 30/06/2020

LIST OF DOCUMENTS

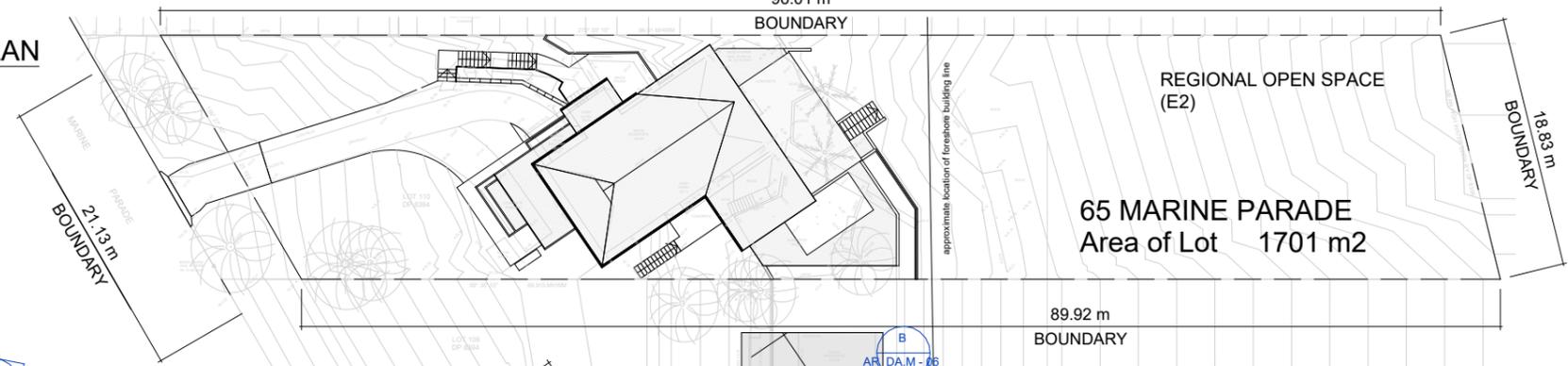
Sheet Number	Current Revision	Sheet Name
AR DA.M - 01	B	COVER PAGE
AR DA.M - 02	B	SITE ANALYSIS PLAN
AR DA.M - 03	B	UPPER FLOOR & ROOF PLAN - APPROVED
AR DA.M - 04	B	FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED
AR DA.M - 05	B	NORTH & SOUTH ELEVATION - APPROVED
AR DA.M - 06	B	EAST & WEST ELEVATION-APPROVED SECTIONS A&B MODIFIED
AR DA.M - 07	B	SHADOW DIAGRAM - APPROVED
AR DA.M - 08	B	NOTIFICATION PLAN

 ARCLAB PTY LTD A.C.N. 143472762 PO Box 1239 Newport Beach NSW 2106 Australia Telephone +61 416 886 537 email: arc@arclab.com.au www.arclab.com.au	Client HALL RESIDENCE	Sheet Number AR DA.M - 01	© COPYRIGHT All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction. The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.	ISSUE/REVISION			Job N°. 0167 HALL Scale	DOC. MOD. S4.55(1A) Sheet A 3	REV. B		
	Project Address 65 MARINE PARADE, AVALON	Sheet Title COVER PAGE		<table border="1"> <thead> <tr> <th>N.º</th> <th>Date</th> <th>Note</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>02.08.24</td> <td>COUNCIL SUBMISSION</td> </tr> <tr> <td>B</td> <td>26.09.24</td> <td>DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS</td> </tr> </tbody> </table>	N.º	Date					Note
N.º	Date	Note									
A	02.08.24	COUNCIL SUBMISSION									
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS									

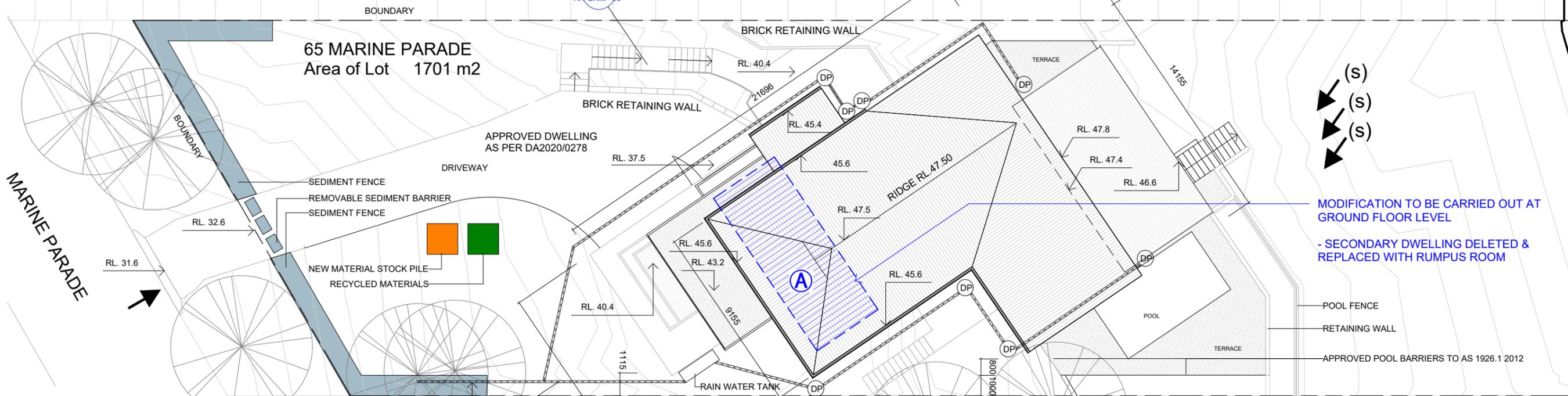
SITE NOTES

- NO KNOWN WATERCOURSES OR WATERWAYS ON SITE
- PROVIDE SILTRATION BARRIER AS REQUIRED BY COUNCIL
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORIZED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020
- ALL PROPOSED WORKS TO BE CARRIED OUT INSIDE APPROVED DWELLING

1 PROPERTY PLAN
1 : 500



65 MARINE PARADE
Area of Lot 1701 m2



2 SITE ANALYSIS PLAN
1 : 200

- KEY**
- EXISTING VEGETATION TO REMAIN
 - CAR ENTRY POINT
 - BOUNDARY
 - PREVAILING WINDS (summer)
 - PREVAILING WINDS (winter)
 - WINDOW TO LIVING SPACE IN ADJACENT DWELLING
 - EXISTING CONTOURS SLOPE OF LAND 500mm INCREMENT
 - SEDIMENT FENCE
 - RECYCLED MATERIALS
 - NEW MATERIAL STOCK PILE
 - ADJACENT DWELLINGS
 - APPROVED DWELLING SHOWN IN BLACK LINEWORK

A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

1.1. Requirements

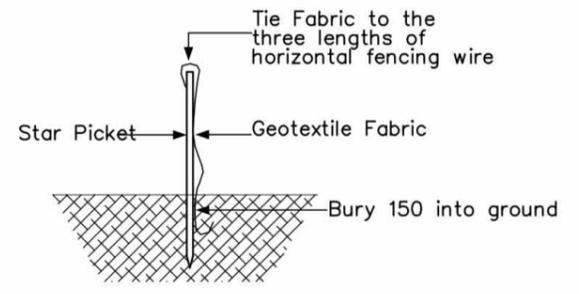
- Applicants must demonstrate project management that seeks to:
- Incorporate the waste hierarchy principle of avoidance, resource recovery and disposal.
 - Minimise the waste sent for disposal.
 - Minimise the impact and disturbance on surrounding amenity, public safety, roadways and natural and built environment.
 - Adhere to any relevant legislation not limited to hazardous waste, storage and transportation regulations.
 - Send waste materials to a suitably licensed facility.
 - Identify suitable locations on the site for sorting and storing of materials for re-use, recycling and disposal. Factors to consider include slopes, drainage and personnel and vehicular access.
 - Maintain valid tipping dockets and receipts on site for inspection.



1.2. Re-use and recycling opportunities

The table below provides guidance on re-use and recycling opportunities:

Material	Re-use and recycling opportunities
Excavated materials	Re-use for filling or levelling
Concrete	Re-use for filling, levelling or road base
Bricks / Pavers	Re-use or crush for landscaping and driveways
Roof Tiles	Re-use or crush for landscaping and driveways
Untreated Timber	Re-use as floorboards, fencing, furniture, mulch or send to second-hand timber suppliers
Treated Timber	Re-use as formwork, bridging, blocking and propping and send to second-hand timber suppliers
Doors / Windows / Fittings	Send to second-hand suppliers, or recycle
Metals	Re-use or recycle
Green Waste	Mulch or compost
Plasterboard	Re-use for landscaping, recycle or return to supplier
Carpet	Recycle or re-use in landscaping
Plastics / Rubber	Re-use or recycle



SEDIMENTATION CONTROL FENCE
Scale 1: 10



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport Beach
NSW 2106 Australia
Telephone +61 416 886 537
email: arclab@arclab.com.au
www.arclab.com.au

Client
HALL RESIDENCE

Project Address
65 MARINE PARADE, AVALON

Sheet Number
AR DA.M - 02

Sheet Title
SITE ANALYSIS PLAN

© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.
Verify all dimensions on site prior to construction.
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

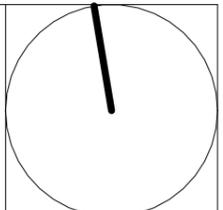
ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

Job N.º
0167 HALL

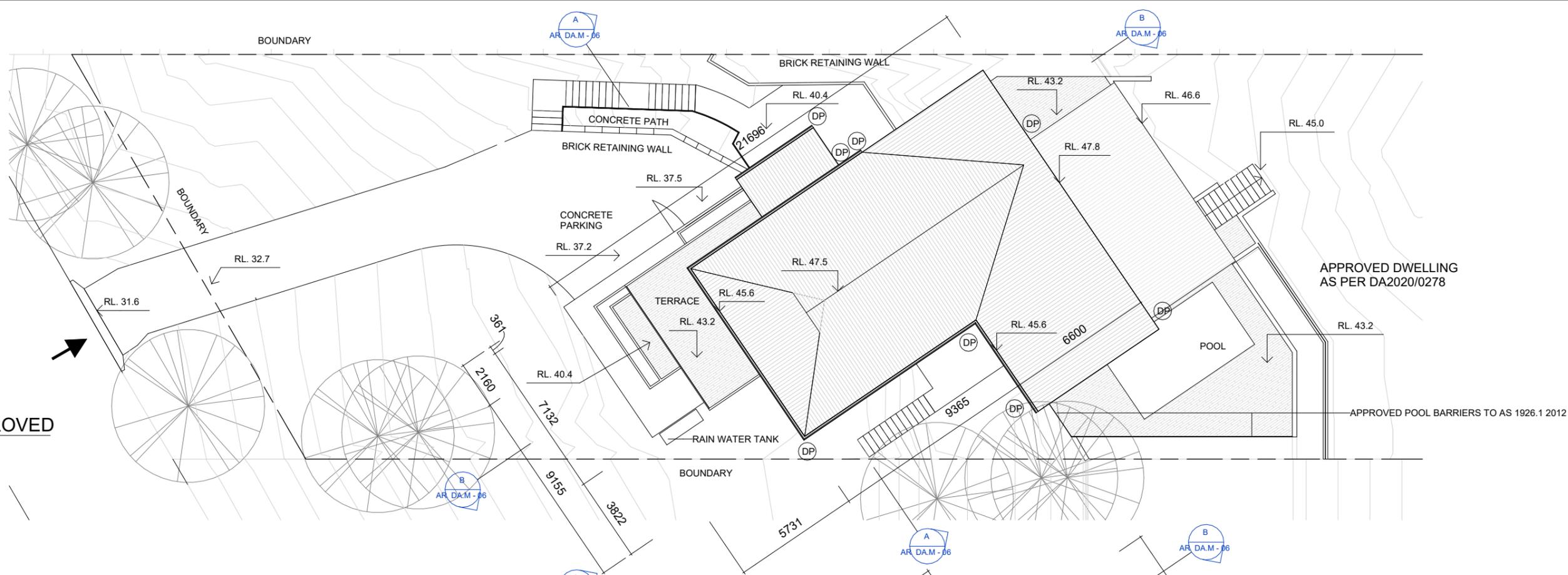
Scale
As indicated

DOC. MOD.
S4.55(1A)

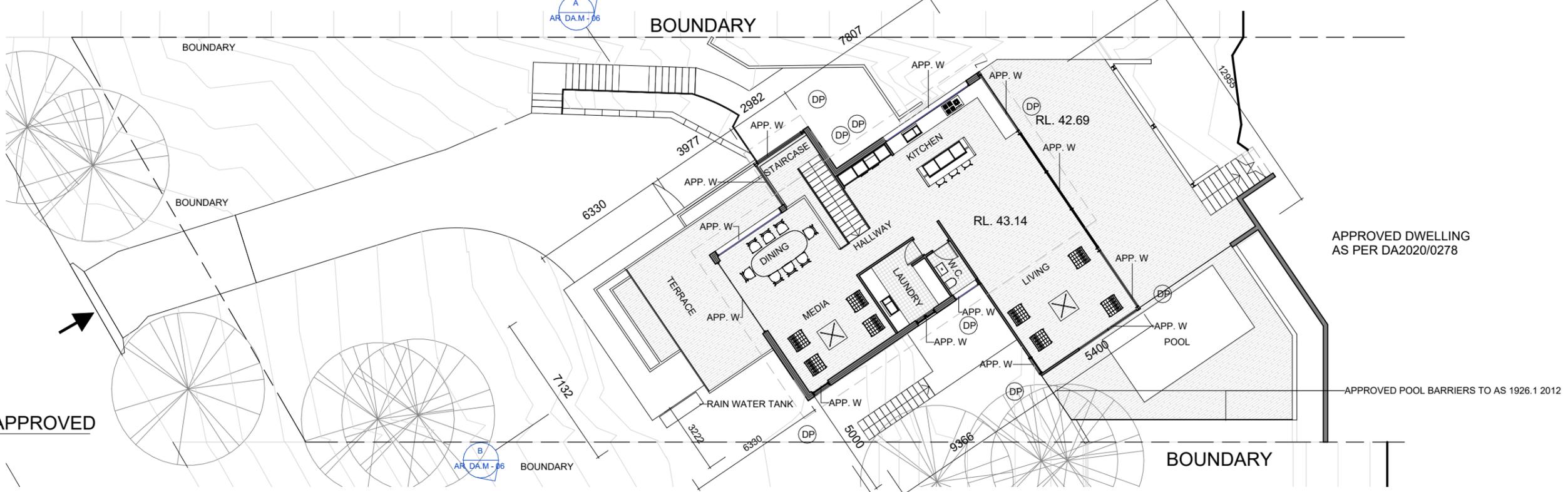
Sheet
A 3



1 ROOF PLAN - APPROVED
1 : 200



2 SECOND FLOOR - APPROVED
1 : 200



A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport Beach
NSW 2106 Australia
Telephone +61 416 886 537
email: arclab@arclab.com.au
www.arclab.com.au

Client
HALL RESIDENCE

Project Address
65 MARINE PARADE, AVALON

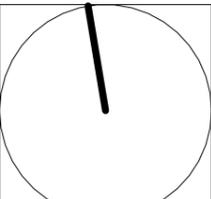
Sheet Number
AR DA.M - 03

Sheet Title
UPPER FLOOR & ROOF PLAN - APPROVED

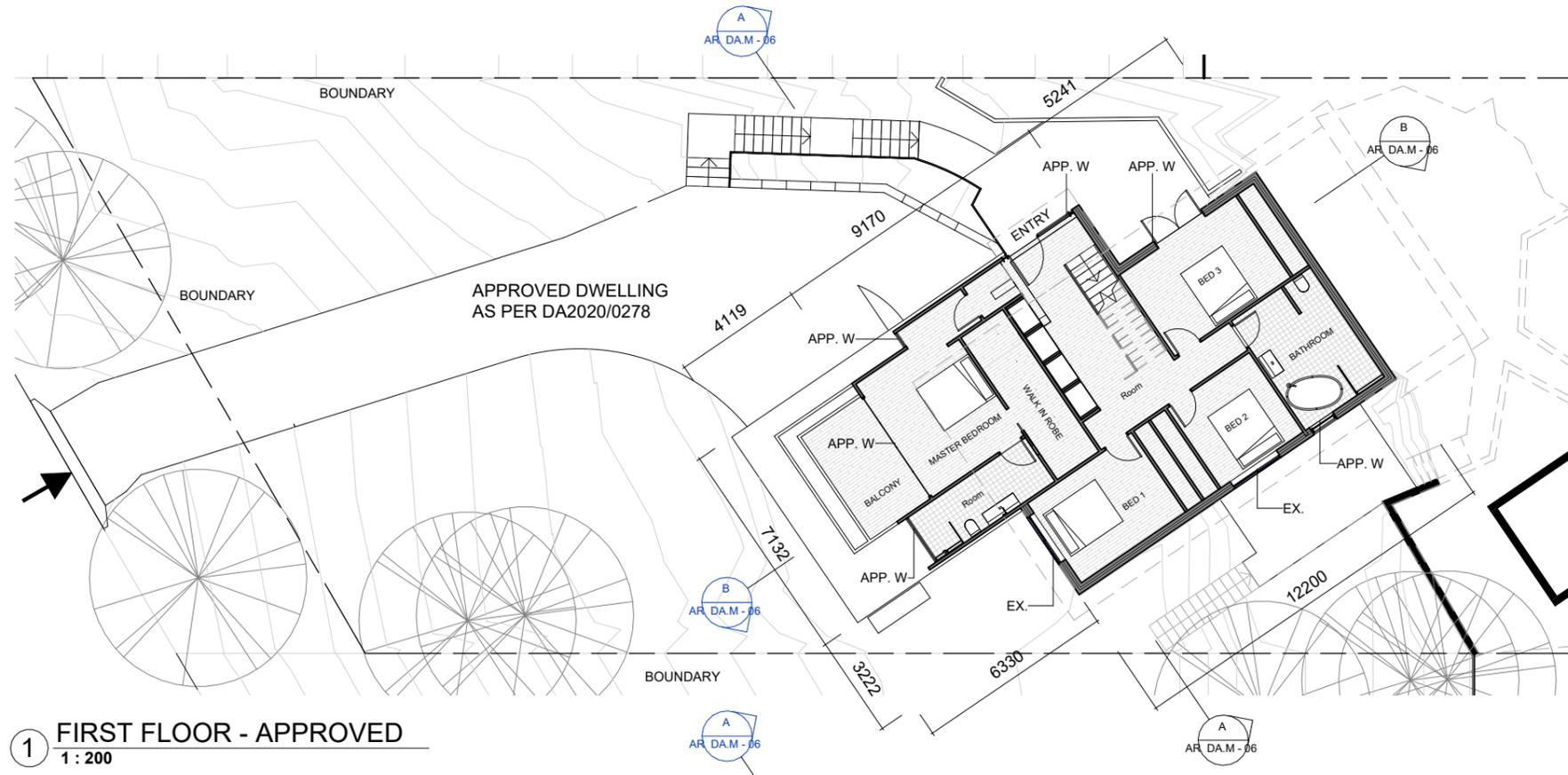
© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.
Verify all dimensions on site prior to construction.
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

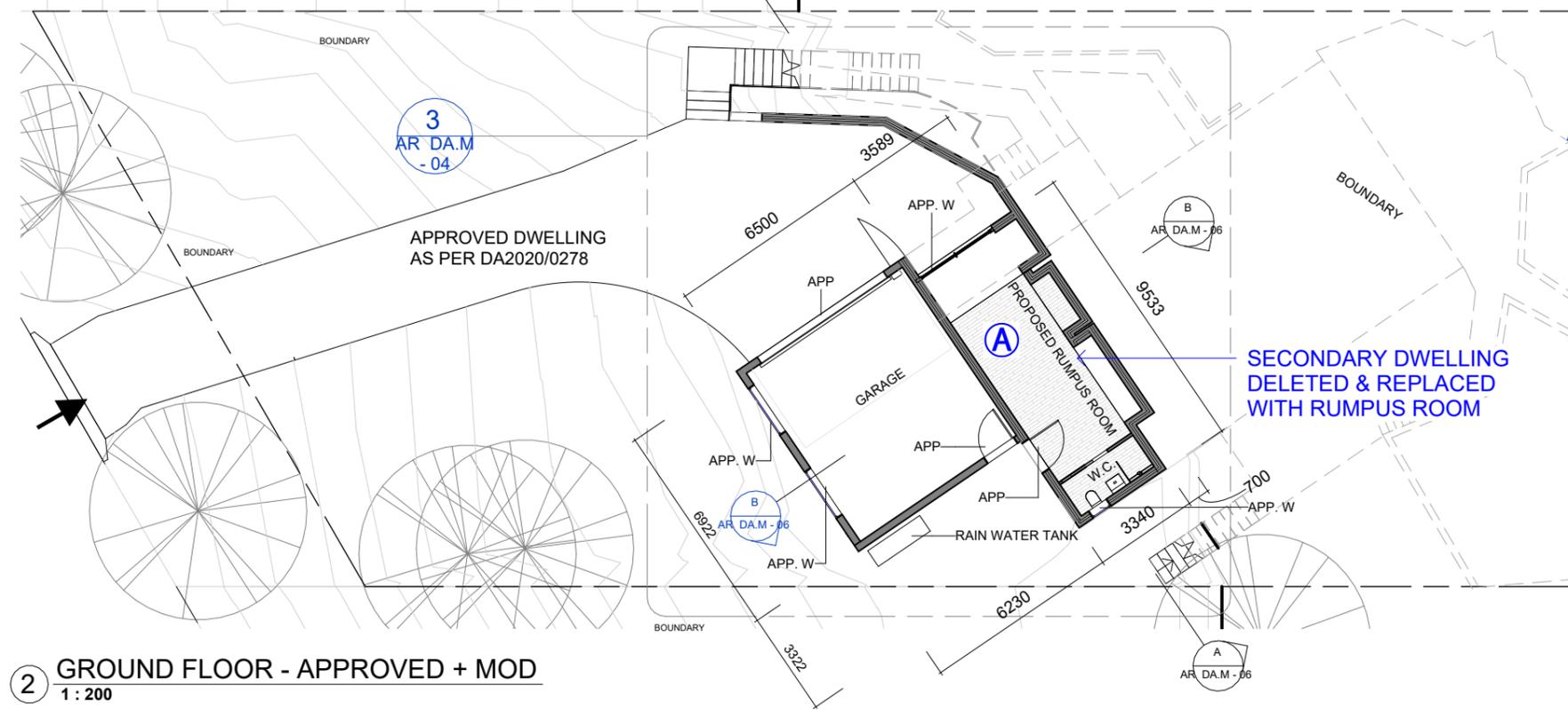
Job N.º 0167 HALL	DOC. MOD. S4.55(1A)	REV. B
Scale As indicated	Sheet A 3	



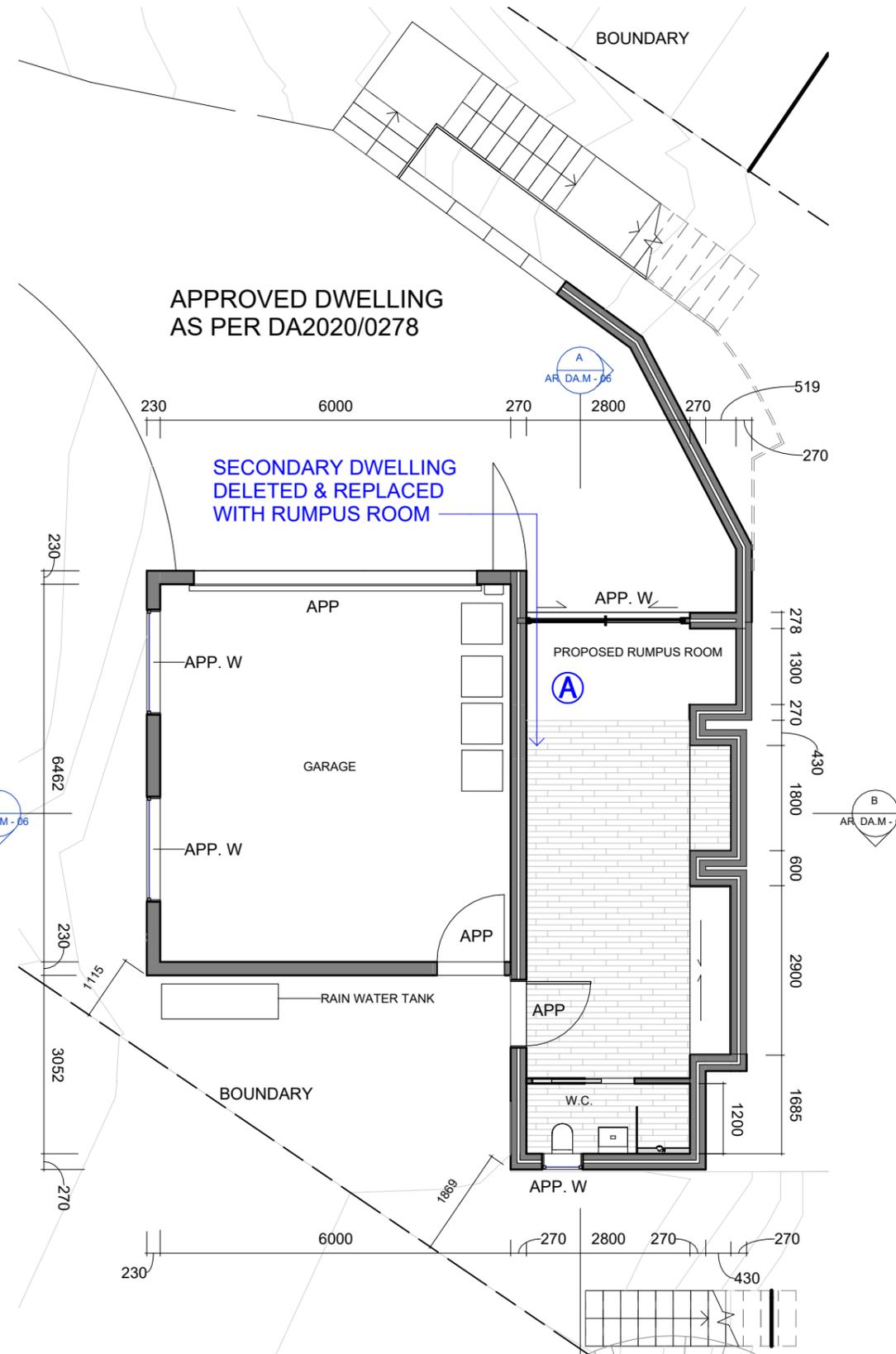
RAGM



1 FIRST FLOOR - APPROVED
1 : 200



2 GROUND FLOOR - APPROVED + MOD
1 : 200



3 GROUND FLOOR - PROPOSED
1 : 100

A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport
Beach
NSW 2106 Australia
Telephone +61 416 886 537
email:arc@arclab.com.au
www.arclab.com.au

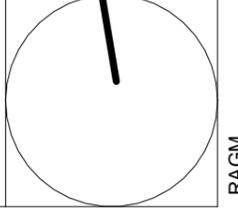
Client
HALL RESIDENCE
Project Address
65 MARINE PARADE, AVALON

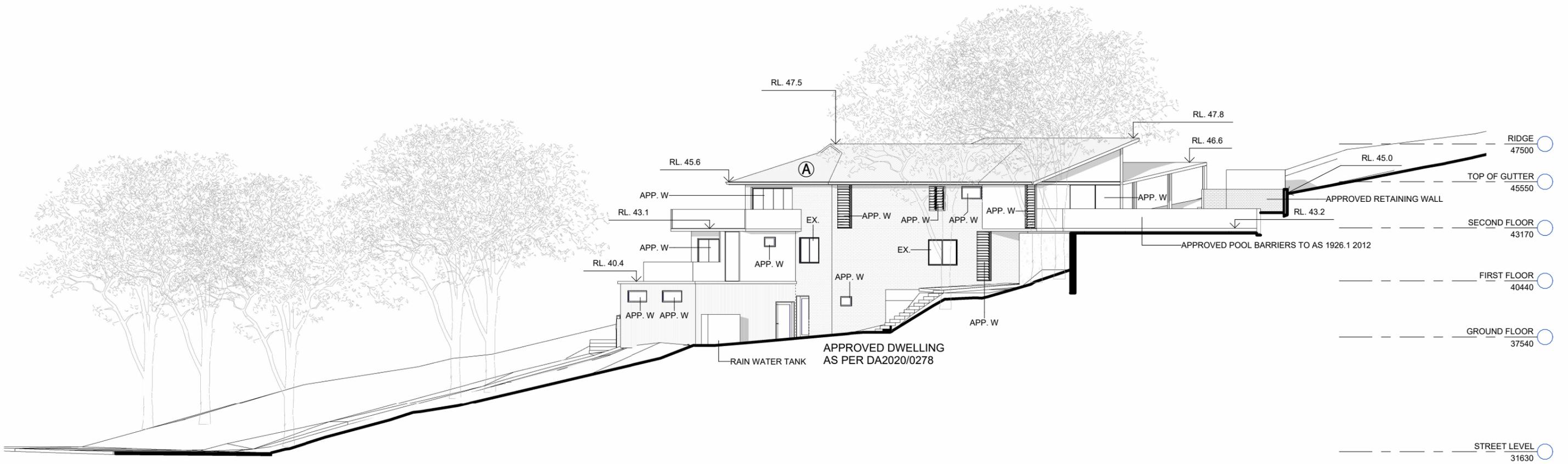
Sheet Number
AR DA.M - 04
Sheet Title
FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED

© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.
Verify all dimensions on site prior to construction.
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

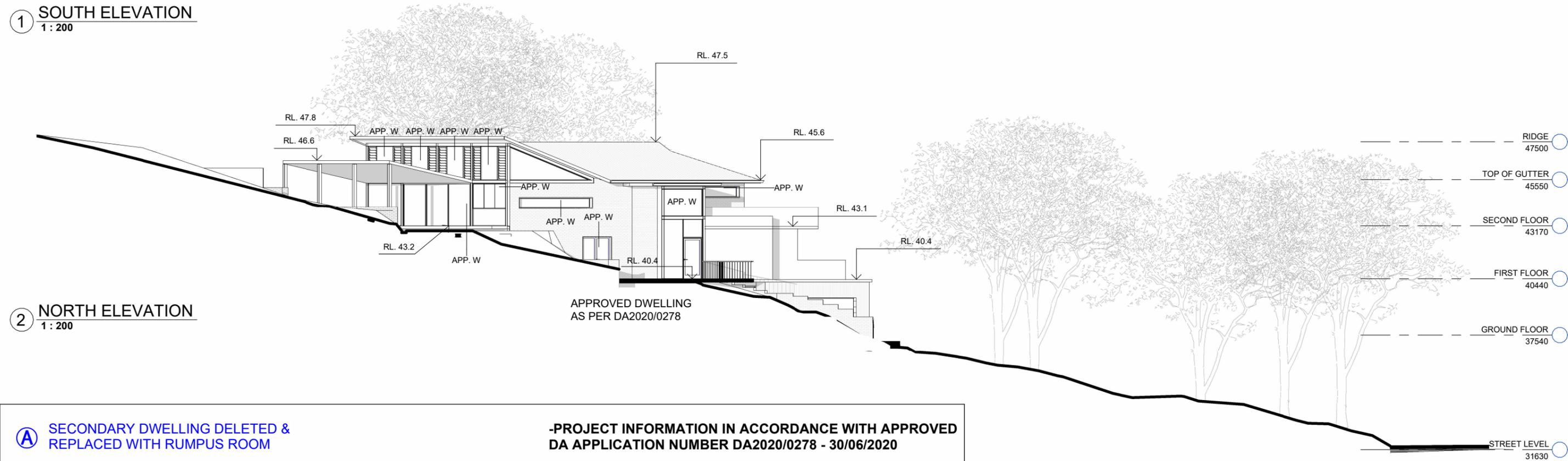
ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

Job N.º
0167 HALL
Scale
As indicated
DOC. MOD. S4.55(1A)
Sheet
A 3
REV.
B





1 SOUTH ELEVATION
1 : 200



2 NORTH ELEVATION
1 : 200

A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport
Beach
NSW 2106 Australia
Telephone +61 416 886 537
email:arc@arclab.com.au
www.arclab.com.au

Client
HALL RESIDENCE

Project Address
65 MARINE PARADE, AVALON

Sheet Number
AR DA.M - 05

Sheet Title
NORTH & SOUTH ELEVATION - APPROVED

© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.
Verify all dimensions on site prior to construction.
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

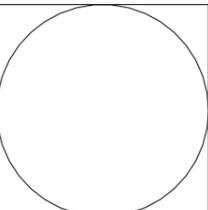
Job N.º
0167 HALL

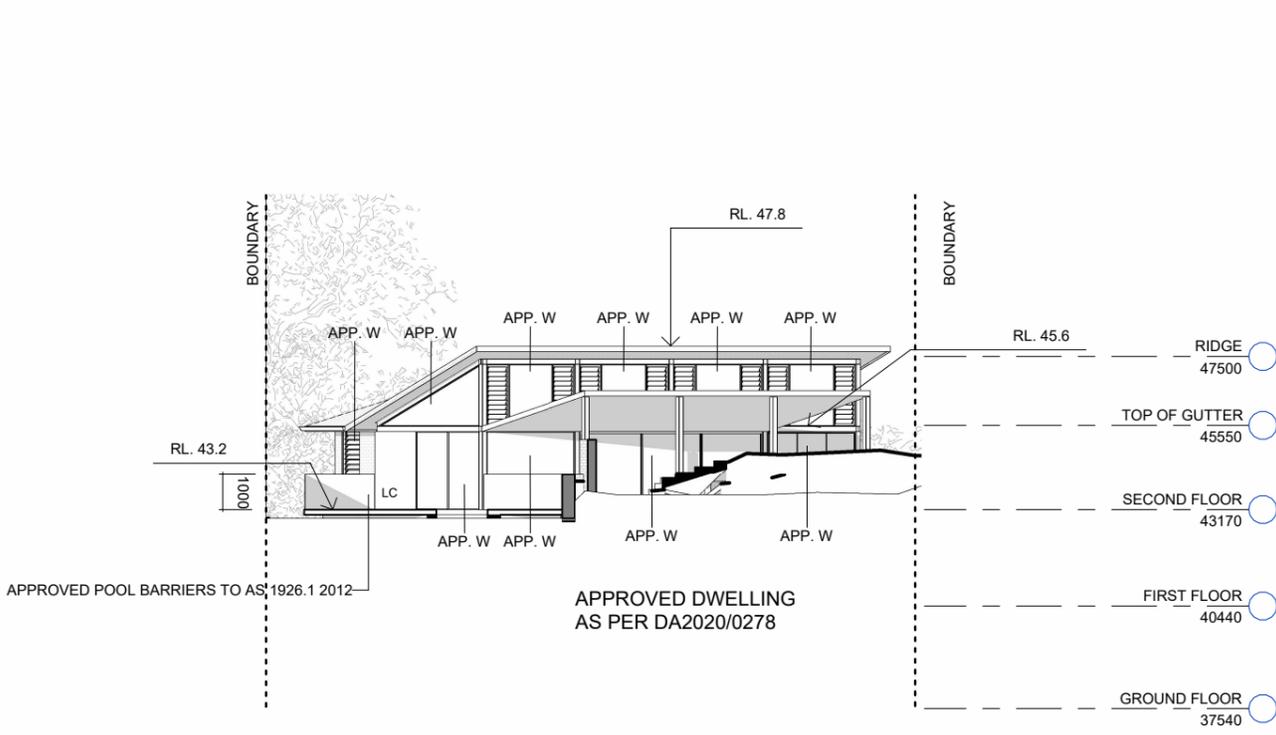
Scale
As indicated

DOC. MOD.
S4.55(1A)

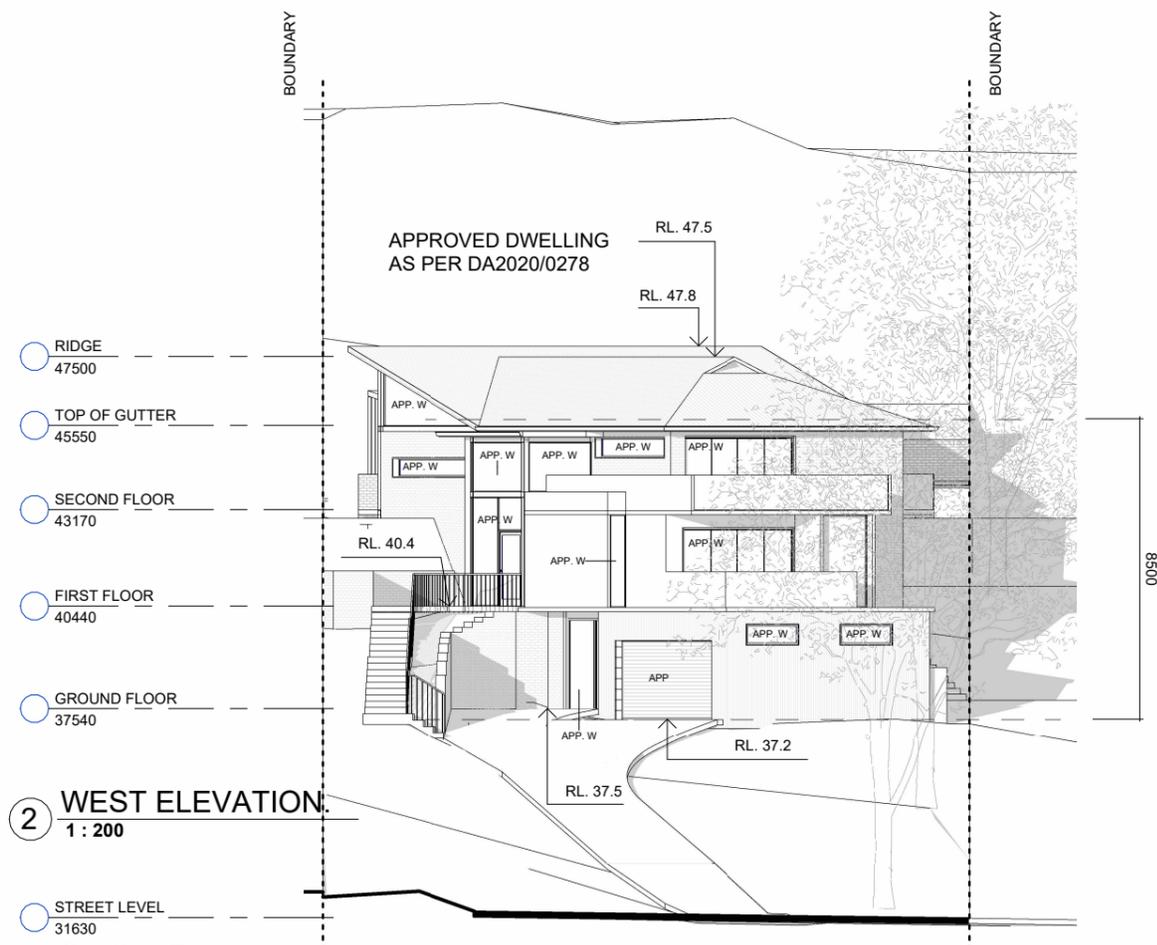
Sheet
A 3

REV.
B

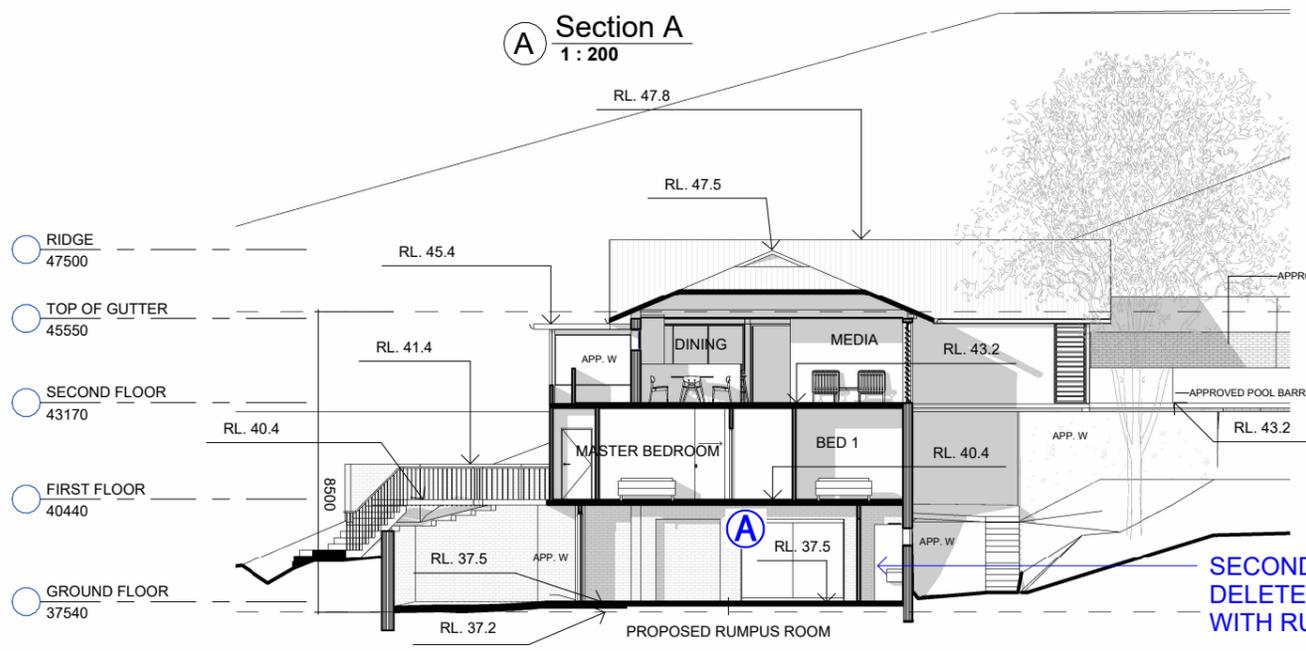




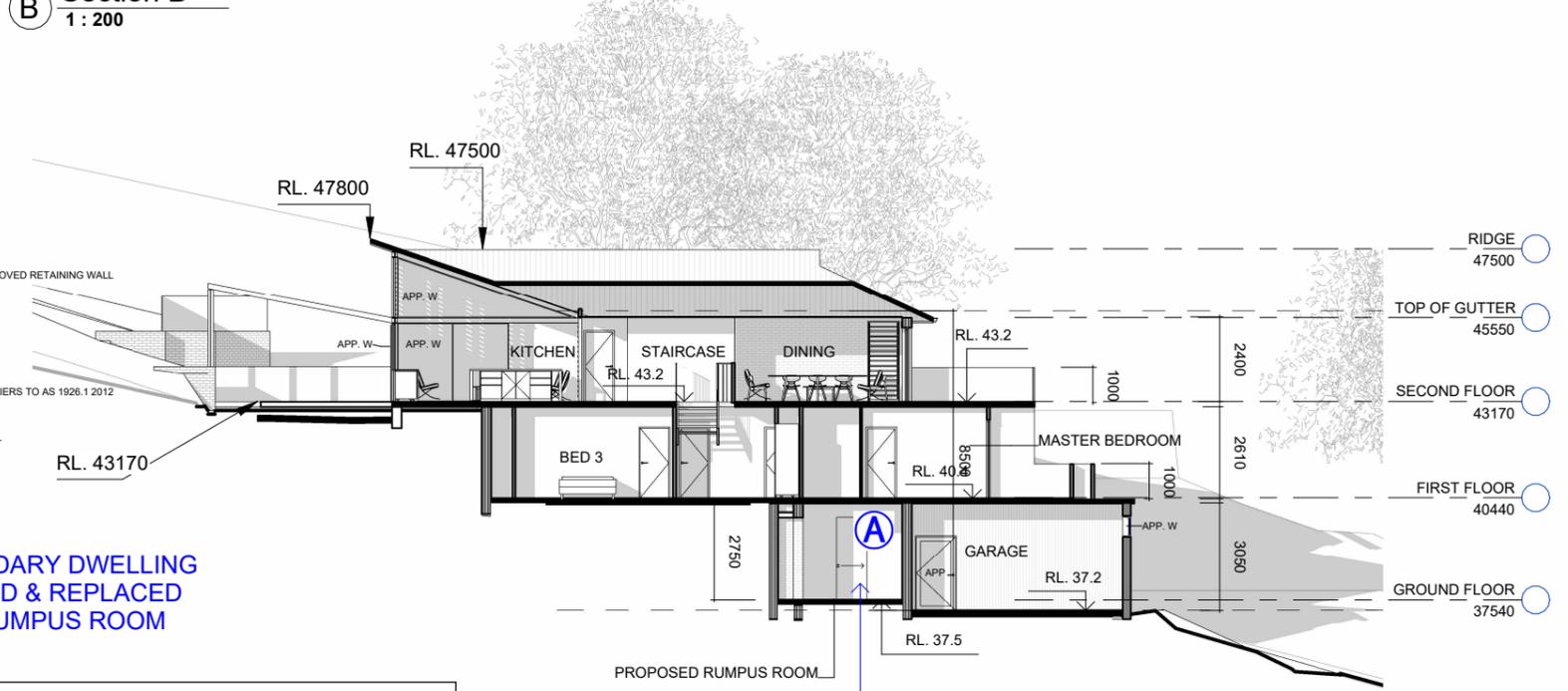
1 EAST ELEVATION.
1 : 200



2 WEST ELEVATION.
1 : 200



A Section A
1 : 200



B Section B
1 : 200

SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport
Beach
NSW 2106 Australia
Telephone +61 416 886 537
email: arc@arclab.com.au
www.arclab.com.au

Client
HALL RESIDENCE
Project Address
65 MARINE PARADE, AVALON

Sheet Number
AR DA.M - 06
Sheet Title
EAST & WEST ELEVATION-APPROVED SECTIONS A&B MODIFIED

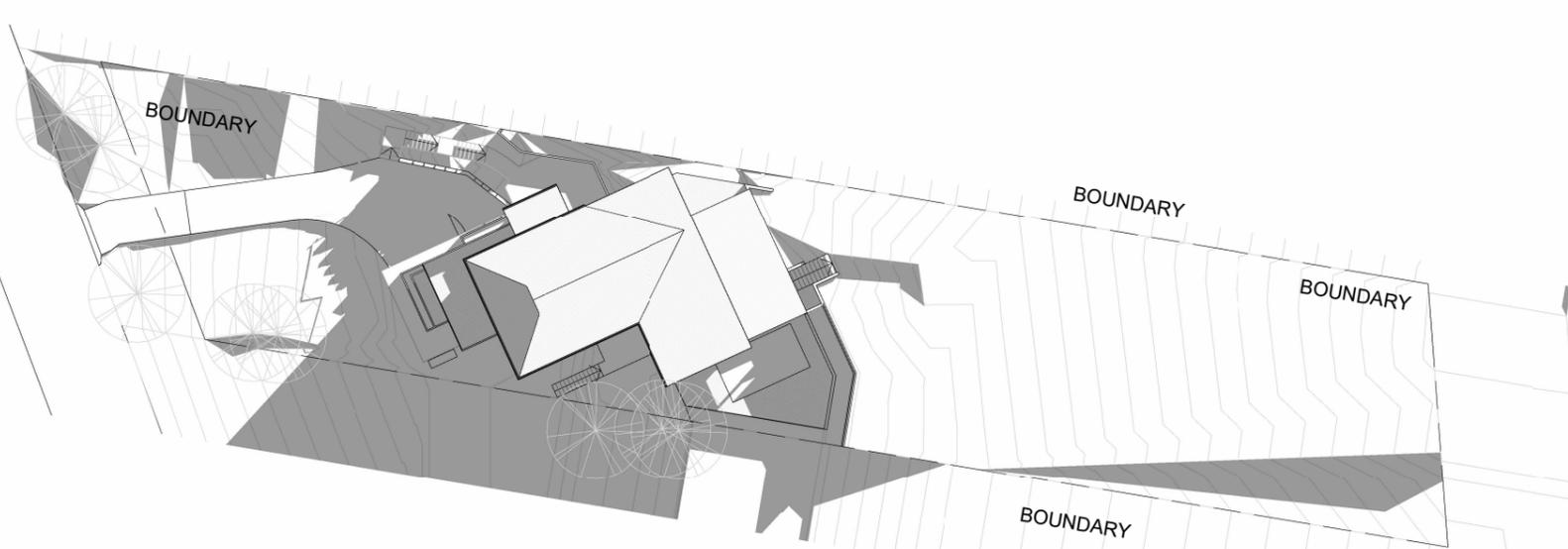
© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction. The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

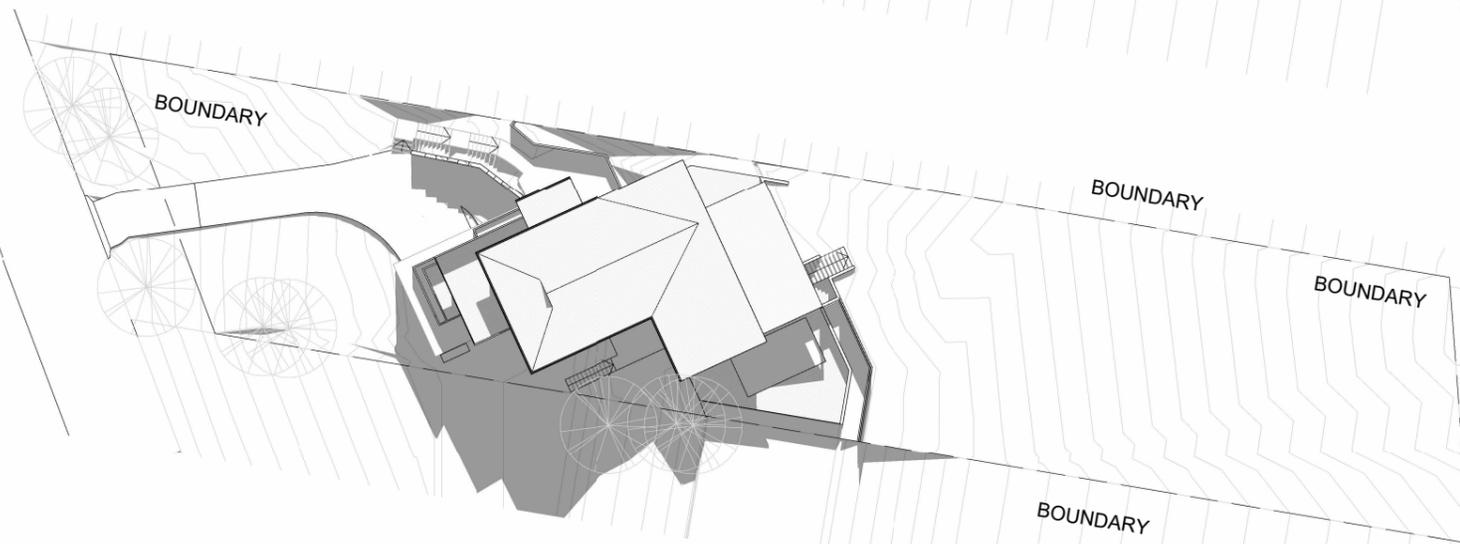
Job N°. 0167 HALL
DOC. MOD. S4.55(1A)
Scale: As indicated
Sheet: A 3

REV. B

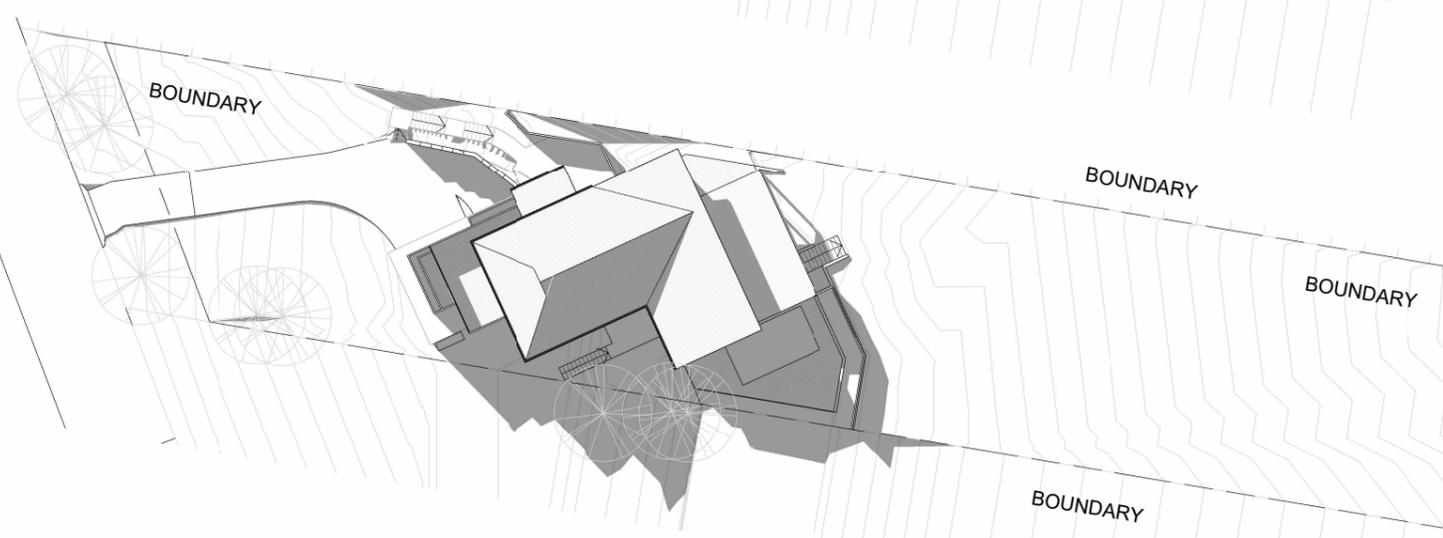
① APPROVED DWELLING - 22 JUNE 09 AM
1 : 500



② APPROVED DWELLING - 22 JUNE 12 PM
1 : 500



③ APPROVED DWELLING - 22 JUNE 03 PM
1 : 500



A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport Beach
NSW 2106 Australia
Telephone +61 416 886 537
email:arc@arclab.com.au
www.arclab.com.au

Client
HALL RESIDENCE

Project Address
65 MARINE PARADE, AVALON

Sheet Number
AR DA.M - 07

Sheet Title
SHADOW DIAGRAM - APPROVED

© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings.
Verify all dimensions on site prior to construction.
The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

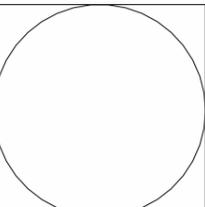
Job N.º
0167 HALL

Scale
As indicated

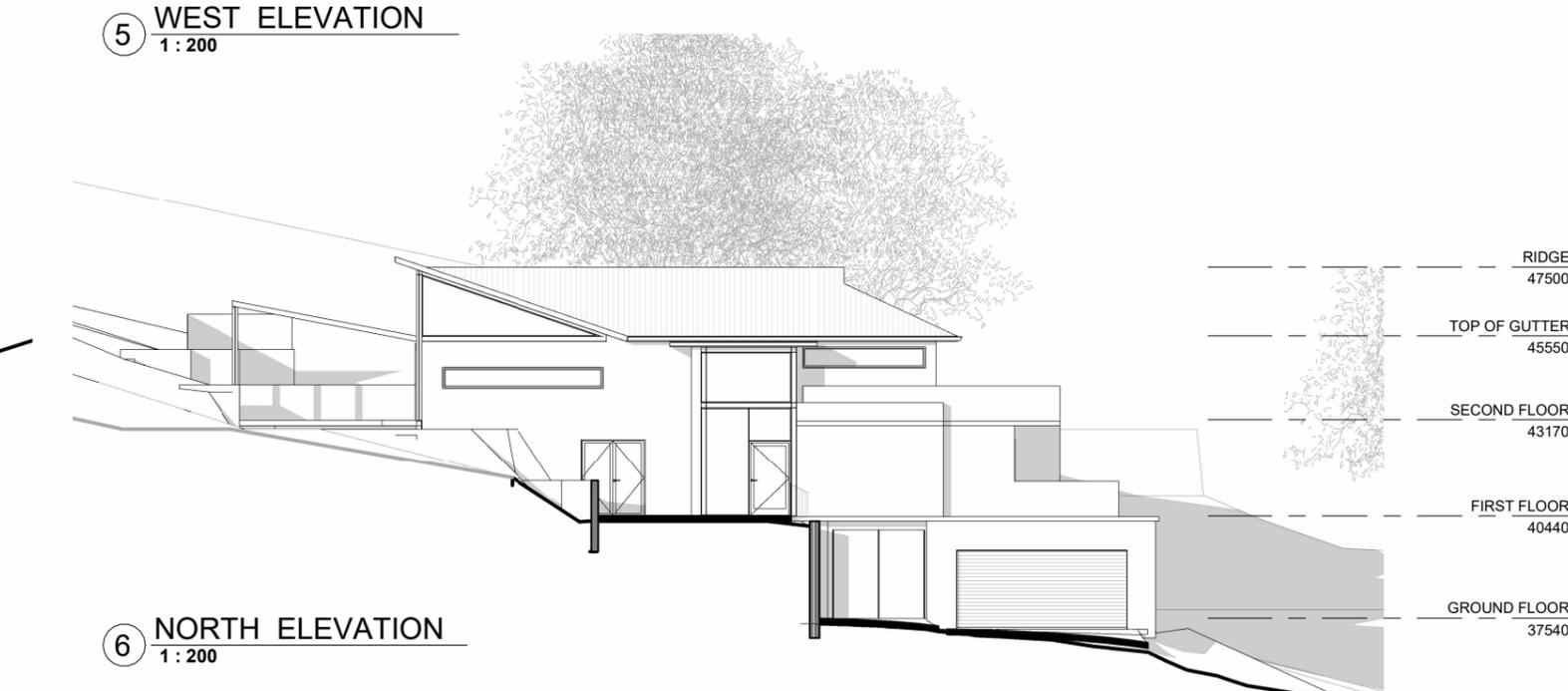
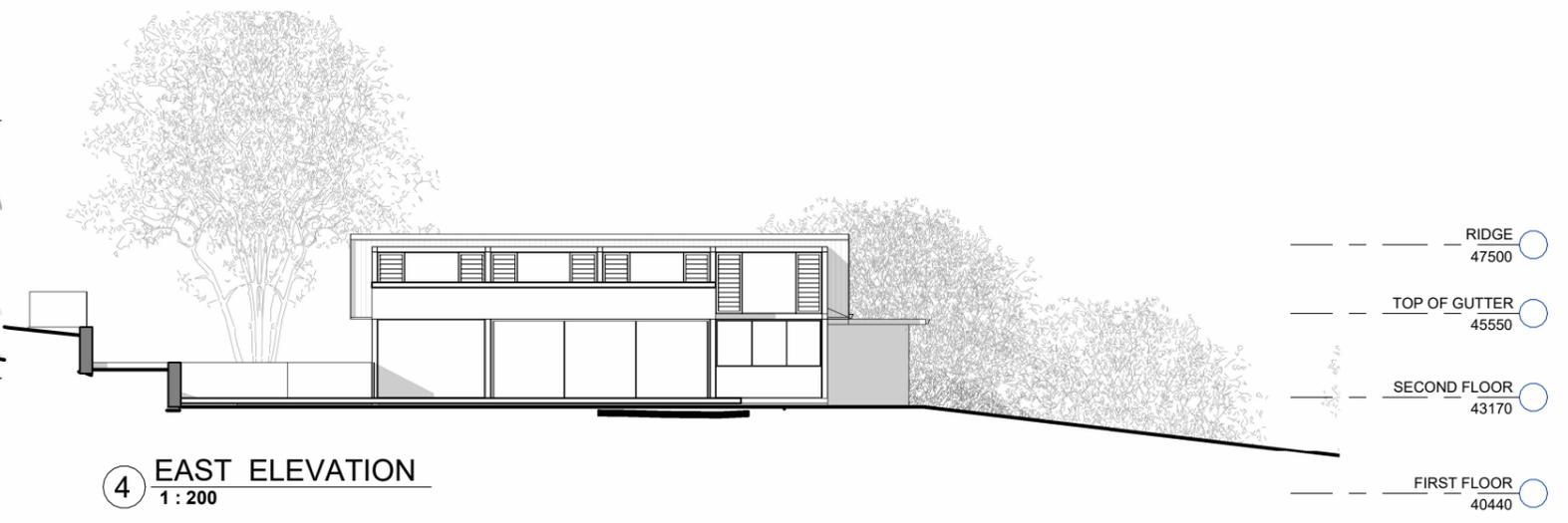
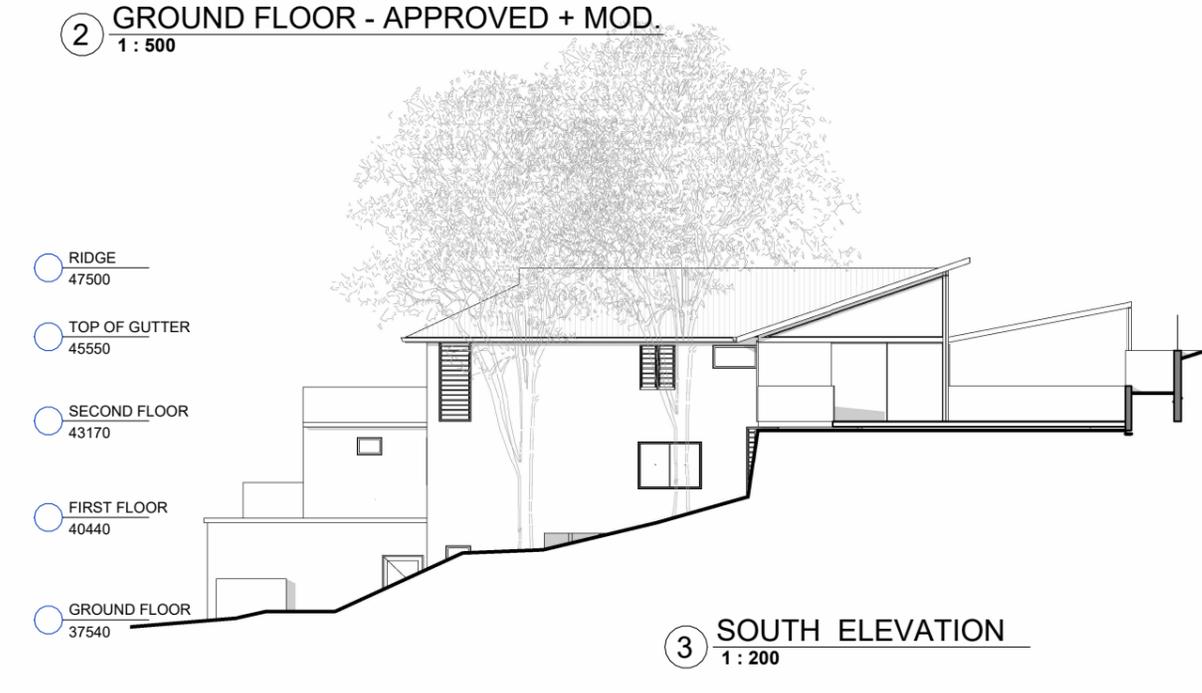
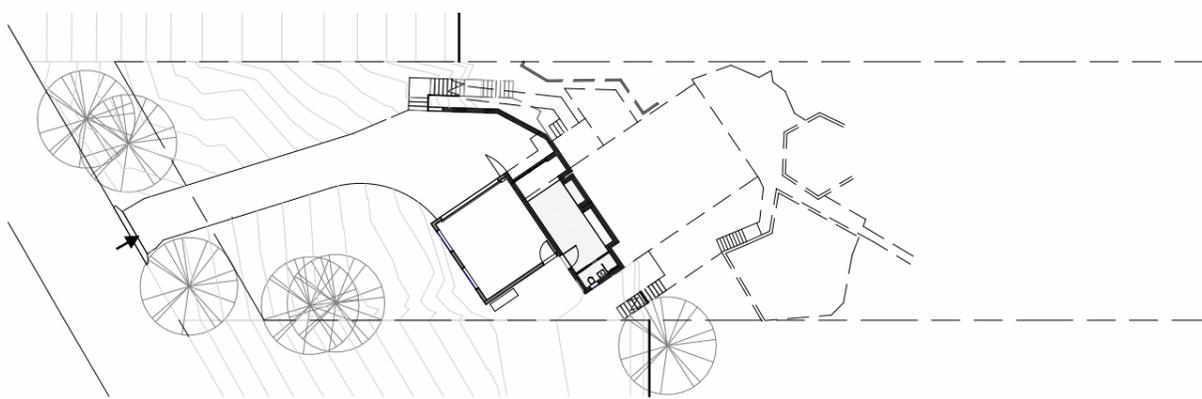
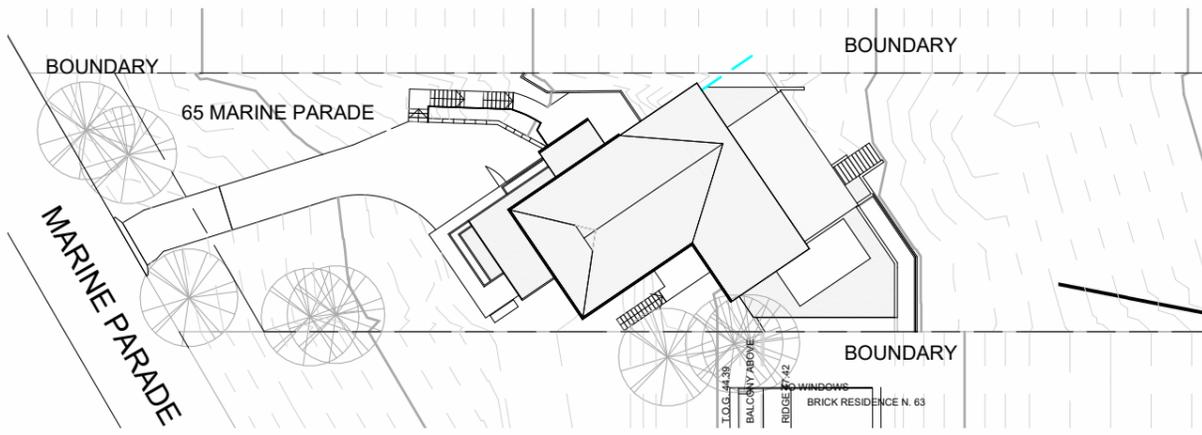
DOC. MOD.
S4.55(1A)

Sheet
A 3

REV.
B



Author



ARCLAB PTY LTD
A.C.N. 143472762
PO Box 1239 Newport
Beach
NSW 2106 Australia
Telephone +61 416 886 537
email:arc@arclab.com.au
www.arclab.com.au

Client
HALL RESIDENCE
Project Address
65 MARINE PARADE, AVALON

Sheet Number
AR DA.M - 08
Sheet Title
NOTIFICATION PLAN

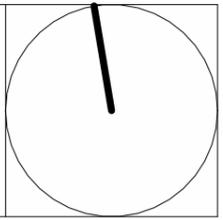
© COPYRIGHT
All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction. The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.

ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

Job N.º
0167
HALL
Scale
As indicated

DOC.
MOD.
S4.55(1A)
Sheet
A 3

REV.
B



RAGM