

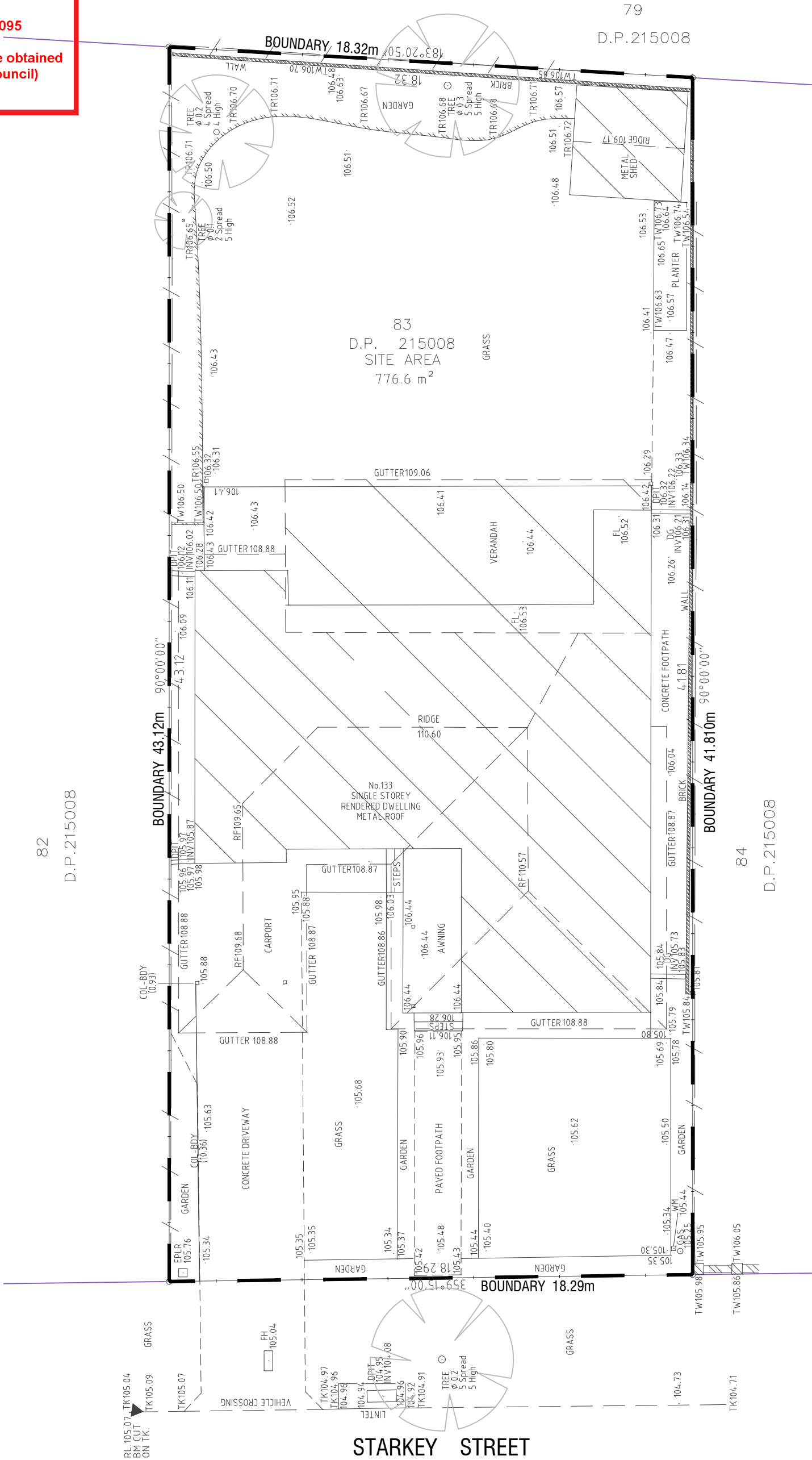


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2025/0095

(Activation of consent must be obtained
from Northern Beaches Council)



SITE INFORMATION

LOT : 83
DP : 215008
SITE AREA : 776.6m2

all dimensions				Drawing Title	
Project Title				Site Survey Plan	
Client				Documentation Stage	
Northpoint				Change of Use	
A & J Papallo				Revision	
01				01	
Issue.				Scale	
Date.				1:150	
Amendment.				Date	
ISSUE				Jan 2025	
Project Title				Drawing Number	
CHANGE OF USE - CARPORT				AB-01	
133 Starkey St - Killarney Heights					
Client					
Northpoint					
A & J Papallo					

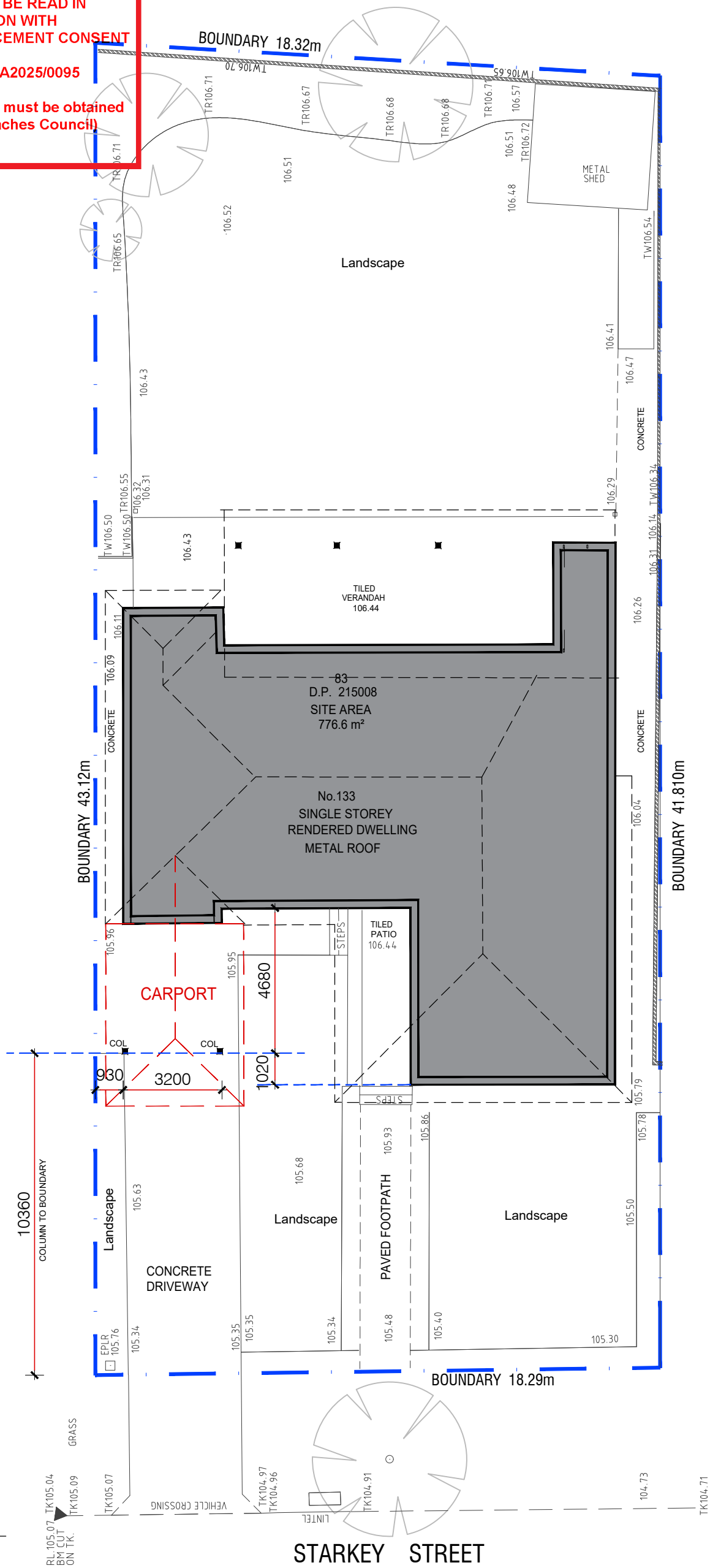


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all dimensions					Drawing Title	
Carport Plan					Scale	
					1:150	
					Date	
					Jan 2025	
					Drawing Number	
					AB-02	
					Documentation Stage	
					Change of Use	
					Revision	
					01	



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Existing ground line
Existing Retaining wall

Fence Section

AS-BUILT BOUNDARY TIMBER FENCE
1.8M HIGH MEASURED FROM EXISTING
GROUND LINE

SHADED AREA INDICATES
EXISTING GARAGE / STORAGE
THAT HAS BEEN ALTERED
TO HABITABLE AREA .

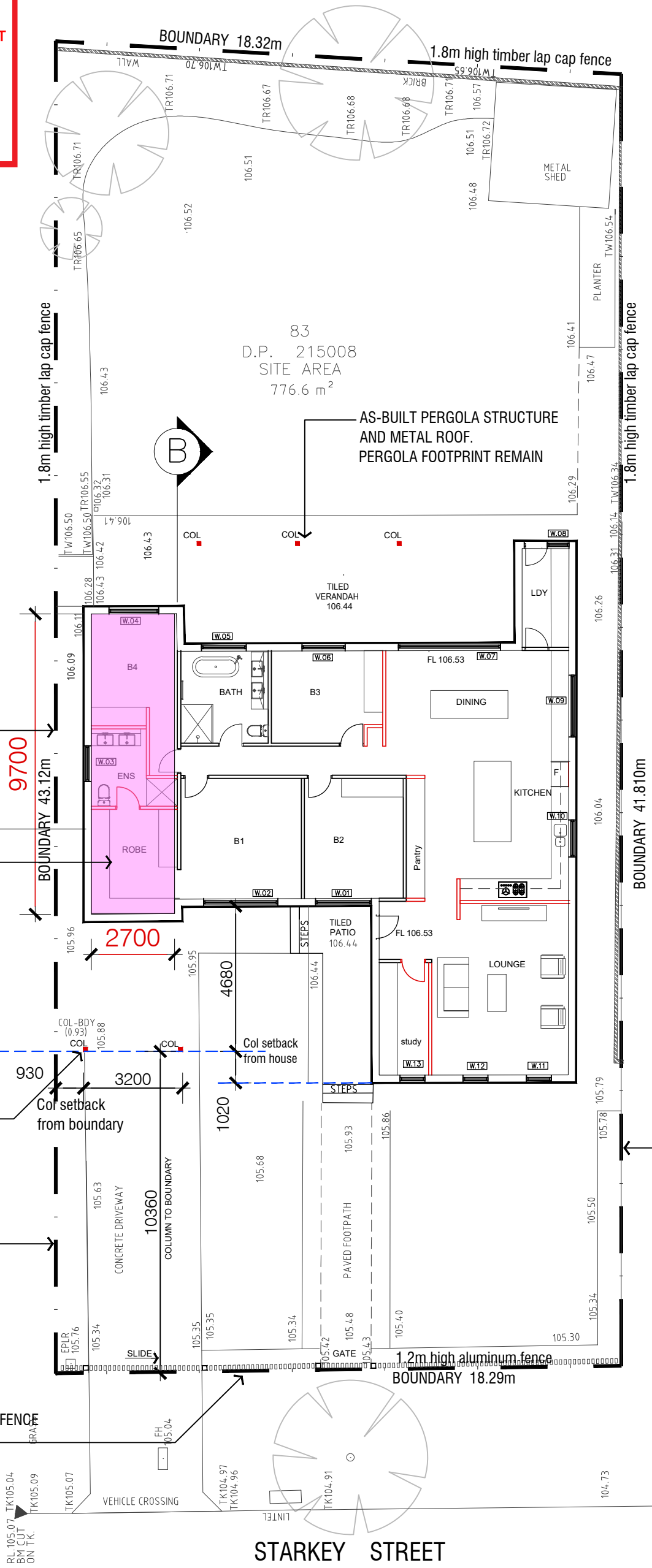
AS-BUILT CARPORT COLUMN
STRUCTURE SETBACK 930MM FROM
SIDE BOUNDARY AND
1.02M FROM HOUSE FRONT

AS-BUILT BOUNDARY TIMBER FENCE
TAMPERING FROM 1.2M HIGH AT
FRONT BOUNDARY
TO 1.8M HIGH BEHIND BUILDING LINE

ALUMINUM POWDERCOATED SCREEN FENCE
1200MM HIGH IN TOTAL.

SITE INFORMATION

LOT : 83
DP : 215008
SITE AREA : 776.6m2



SITE INFORMATION

LOT : 83
DP : 215008
Site Area 776.6sqm

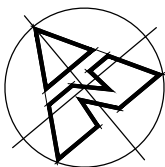
Ground Floor Building Area	141.5 sqm.
Added habitable floor area (existing garage / storage)	27 sqm
Total Habitable Ground Floor Building	168.5 sqm.
Total FSR	21.7%

all dimensions

Issue.	Date.	Amendment.
01	07.03.25	As Built

Project Title
AS BUILT CARPORT / PERGOLA 133 Starkey St - Killarney Heights

Client
A & J Papallo



Drawing Title
Floor Plan

Scale
1:150
Date
Jan 2025
Drawing Number
AB-01

Documentation Stage
As Built
Revision
01



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA20250095

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SPECIFICATIONS

ALL WORKS TO COMPLY WITH AUSTRALIAN STANDARDS
AND THE NATIONAL CONSTRUCTION CODE

CONCRETE:
AS 2870 - 2011 - Residential slabs and footings
AS 3600 - 2018 - Concrete structures (incorporating amendment 1)

TERMS:
AS 3660 Part 1 - 2014 - Termite management — New building work
(incorporating amendment 1)

BRICKLAYER:
AS/NZS 2699 Part 1 - 2000 - Built-in components for masonry
construction — Wall ties
AS/NZS 2699 Part 3 - 2002 - Built-in components for masonry
construction — Angles (durability requirements)
AS 4773 Part 1 - 2015 - Masonry in small buildings — Design
(incorporating amendment 1)
AS 4773 Part 2 - 2015 - Masonry in small buildings — Construction

CARPENTER:
AS 1684 Part 2 - 2010 - Residential timber-framed construction — Non-
cyclonic areas (incorporating amendments 1 and 2)
AS 1720 Part 4 - 2006 - Timber structures — Fire resistance for
structural adequacy of timber members
AS 1720 Part 5 - 2015 - Timber structures — Nailplated timber roof
trusses

STAIRS :
To comply with BCA D2.13, D2.178 & D3.3
AS 1657 - 2018 - Fixed platforms, walkways, stairways and ladders —
Design, construction and installation

ROOFER:

AS 2049 - 2002 - Roof tiles (incorporating amendment 1)
AS 2050 - 2018 - Installation of roof tiles
AS 1562 Part 1 - 2018 - Design and installation of sheet roof and wall
cladding — Metal
AS/NZS 1562 Part 2 - 1999 - Design and installation of sheet roof and
wall cladding — Corrugated fibre-reinforced cement
AS/NZS 1562 Part 3 - 1996 - Design and installation of sheet roof and
wall cladding — Plastic

RAINWATER GOODS
AS 1273 - 1991 - Unplasticized PVC (UPVC) downpipe and fittings for
rainwater

WINDOWS & DOORS
AS 2047 - 2014 - Windows and external glazed doors in buildings
(incorporating amendments 1 and 2)
AS 1288 - 2006 - Glass in buildings — Selection and installation
(incorporating amendments 1, 2 and 3)

ELECTRICIAN:
AS/NZS 3013 - 2005 - Electrical installations — Classification of the fire
and mechanical performance of wiring system elements
AS/NZS 3823 Part 1.2 - 2012 - Performance of electrical appliances —
Airconditioners and heat pumps — Ducted airconditioners and air-to-air
heat pumps — Testing and rating for performance

SMOKE ALARM POSITION
IN ACCORDANCE
WITH 3.7.5. OF NCC VOL 2, 2019
AS 3786 - 2014 - Smoke alarms using scattered light, transmitted light
or ionization (incorporating amendment 1 and 2)
Smoke alarm position in accordance
with NCC Vol 2 - 3.7.5.2 & 3.7.5.3 & 3.7.5.6

SPECIFICATIONS.

SITE:
THE BUILDING AREA TO IS TO BE CLEARED OF ALL STUMPS, TREE ROOTS AND ETC.
BY THE BUILDER.

TRENCHES:
ALL FOOTINGS FOR WALLS TO BE EXCAVATED TO A DEPTH NECESSARY TO SECURE
SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
BOTTOMS TO BE LEVEL AND STEPPED AS NECESSARY.

CONCRETE:
RESIDENTIAL CONCRETE SLABS & FOOTINGS CONSTRUCTION TO COMPLY WITH AS 2870.
PROVIDE APPROPRIATE TERMITE PROTECTION IN ACCORDANCE WITH RELEVANT PROVISIONS
OF SAA CODE AS 3600.
REINFORCED CONCRETE SLAB TO BE AS PER STRUCTURAL ENGINEERS DETAIL ON MIN. 200UM
PVC MEMBRANE WITH MIN. 50mm DEEP COMPACTED FINE GRAVEL LAYER.
PROVIDE RECESS IN EDGE OF SLAB TO REDUCE WATER ENTRY AT GARAGE DOORWAY.

BRICKLAYER:
SELECTED BRICKWORK TO BE FIRST QUALITY. ENGAGED PIERS TO BE MIN. 230x110mm
SPACED AT NOT MORE THAN 1800mm CENTRES. UNLESS NOTED OTHERWISE.
PROVIDE DAMP PROOF COURSE TO BRICK WALL (1) ONE FULL BRICK COURSE ABOVE FLOOR
AND THE FULL WIDTH OF BRICKWORK
BRICKWORK OVER OPENINGS TO BE SUPPORTED ON MILD STEEL GALVANISED BARS OR ANGLES,
SIZED TO SUIT OPENING.
ON COMPLETION WASH DOWN BRICKS AND LEAVE FREE OF CEMENT AND MOTAR STAINS.

FIRE RATING:
CONSTRUCTION OF FIRE RATED WALL & ROOFING MATERIAL TO BE IN ACCORDANCE WITH S.C.A.
VOLUME 2 HOUSING PROVISIONS. PART 3 FIRE SEPERATION.

CARPENTER:
GENERALLY ALL STRUCTURAL ROOF FRAMING SHALL BE SIZED AND INSTALLED IN
ACCORDANCE WITH RESIDENTIAL TIMBER - FRAMED CONSTRUCTION AS 1684
AND ACCORDANCE WITH TIMBER STRUCTURES AS 1720
HARDWOOD TO BE OF A STRESS GRADE OF NOT LESS THAN F8.
WALL PLATES - 75x50mm OREGON, BED ON MOTAR.
RAFTERS - 250x50mm F8 HARDWOOD SPACED AT 600mm CTS.
ROOF BATTENS - 75x38mm AT 900mm CTS.
FASCIA BOARD - Ex. 250x25mm

ROOFER:
SELECTED COLORBOND FINISH TO METAL ROOF SHEETING TO BE FIXED IN STRICT ACCORDANCE
WITH MANUFACTURERS INSTRUCTIONS. (MIN. PITCH 3°)
SELECTED COLORBOND FINISH TO METAL EAVES GUTTER, SET INTO POSITION WITH
SUFFICIENT FALL AND SECURE WITH COLORBOND STEEL BRACKETS MAX. 900mm APART.
SELECTED COLORBOND DOWNPIPES 100x50mm. CONNECT TO STORMWATER DRAIN.
FLASHINGS - WEDGE STEP FLASHINGS INTO BRICKWORK AND POINT UP WITH CEMENT MOTAR.

RAINWATER
GOODS
ALL NEW GUTTERING AND DOWNPIPES TO BE SELECTED COLORBOND
FINISH ENDING AT GROUND LEVEL AND TO BE CONNECTED TO EXISTING
SURFACE WATER DRAINAGE
ALL PIPE WORK (IF REQUIRED) PASSING UNDER CONCRETE SLABS
TO BE ENCASED IN CONCRETE - MIN 100mm COVER.

WINDOWS
DOORS
SELECTED TREATED SW TIMBER SASH WINDOWS AND DOORS
OWNER TO CONFIRM STYLE AND FINISH REQUIRED TO DOORS
AND WINDOWS.
ALL GLAZING TO COMPLY WITH AS 1238.

ELECTRICIAN:
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE APPROPRIATE S.A.A. RULES
AND REQUIREMENTS OF LOCAL SUPPLY AUTHORITY.
PROVIDE POINT OUTLETS TO LOCATIONS AS NOMINATED BY OWNER.

GENERALLY:
USE FIGURED DIMENSIONS ON DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS
ON SITE PRIOR COMMENCEMENT OF WORK AND COMMUNICATE ANY DISCREPANCIES TO THE OWNER
FOR VERIFICATION AND/OR APPROVAL.

SELECTED COLORBOND ROOF ON EXISTING TREATED
TIMBER TRUSSES FOIL BAKED INSULATION
SISALATION BLANKETS BETWEEN ROOF AND
RAFTER / TRUSSES.

AS BUILT PERGOLA STRUCTURE
AND METAL ROOF.

NEW AS-BUILT CARPORT COLUMN
STRUCTURE SETBACK 930MM FROM
SIDE BOUNDARY AND
1.02M FROM HOUSE FRONT

RL 110.57
RL 109.06
RL 109.68
GUTTER
RL 108.88
106.43
106.31
106.42
106.28
106.09
105.96
105.34
BOUNDARY
STARKEY
2400
G.F.
FL 106.53
TIMBER BEARERS AND JOISTS
NEW FLOORING BUILT TO
AS STANDARDS & ENGINEERS
DETAIL.

AS BUILT SECTION - B

SELECTED COLORBOND ROOF ON EXISTING TREATED
TIMBER TRUSSES FOIL BAKED INSULATION
SISALATION BLANKETS BETWEEN ROOF AND
RAFTER / TRUSSES.

PLASTERBOARD LINED
CEILING ON TIMBER FRAMED
CONSTRUCTION. SET & PAINT FINISH.

TIMBER BEARERS AND JOISTS
NEW FLOORING BUILT TO
AS STANDARDS & ENGINEERS
DETAIL.

SHADED AREA INDICATES
EXISTING GARAGE / STORAGE
THAT HAS BEEN ALTERED
TO HABITABLE AREA .

BOUNDARY
105.88
105.93
105.79
BOUNDARY
GUTTER
RL 108.88
G.F.
FL 106.53
KITCHEN
B2
B1
WIR
2400
RL 110.57
EXISTING GROUND LINE
EXISTING TIMBER FLOOR CONSTRUCTION

PROPOSED
AS-BUILT
PROPOSED
HABITABLE AREA

SELECTED COLORBOND
GUTTER/DOWNPipes
TO CONNECT TO
STORMWATER TO
ENGINEERS DETAIL

AS BUILT SECTION - A

SITE INFORMATION

LOT : 83
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all dimensions

Drawing Title

As Built Sections

Scale

1:100 / 150

Date

Jan 2025

Drawing Number

AB-02

Documentation Stage

As Built

Revision

01

Issue.	Date.	Amendment.	Project Title	Client	Northpoint
01	07.03.25	As Built	AS BUILT CARPORT / PERGOLA 133 Starkey St - Killarney Heights	A & J Papallo	

Ground Floor Building Area

141.5 sqm.

Added habitable floor area (existing garage / storage)

27 sqm

Total Habitable Ground Floor Building

168.5 sqm.

Total FSR

21.7%