



ARCHITECTURE
INSIGHT

SOE



1. Introduction:

The site is located at 49 Forest Way, Frenchs Forest. The site is legally described as, Lot 1A in Deposited Plan 382200. The site has an area of 923.5 m².

The land is a corner allotment that faces Forest Way and Adams Street, Frenchs Forest. As such, the site is adjoined by roadways to its northern and western sides. These increase the property's building separation to adjoining dwellings to the north and west. The allotment is widest at its western / Forest Way frontage (23.775m) and narrowest at its eastern boundary (10.74m).

Key details of the property are noted from the survey as follows:

- The land is irregular in shape having the following dimensions:
 - Frontage to Adams Street of 48.205m
 - Frontage to Forest Way of 23.775m
 - A corner splay to Adams Street and Forest Way of 6.335m
 - A southern boundary of 46.95m
 - An eastern boundary of 10.74m
- The land is developed with a two storey, brick residence with tile roof within a landscaped setting.

There is a concrete driveway and garage adjacent to the property's northern, Adams Street boundary.

- The site and the adjoining properties have a west-to-east orientation to Forest Way.

2. Features of the location

The property is set within an established suburban location within convenient proximity to a range of employment, shops, health services, transport and recreation opportunities notably:

- A pedestrian footpath is located on the eastern and western sides of Forest Way facilitating pedestrian access to the nearby bus stops and local facilities.
- A bus stop providing access to south bound bus services is adjacent to the southwest corner of the site.
- These bus routes connect the site to locations where the necessary range of shops and services needed to support the proposed development are available.

3. Zoning and key environmental considerations

The property is zoned R2 Low Density under the Warringah Local Environmental Plan 2011 (LEP) as is most of the surrounding land.

The site is not affected by key environmental considerations like, for example, flooding heritage, biodiversity, bushfire, geotechnical risk.

The property is affected by acid sulfate soils and sloping land. These issues are addressed within Section 5 of this report.

There are no zoning or environmental characteristics that present impediments to the improvements proposed to the land.

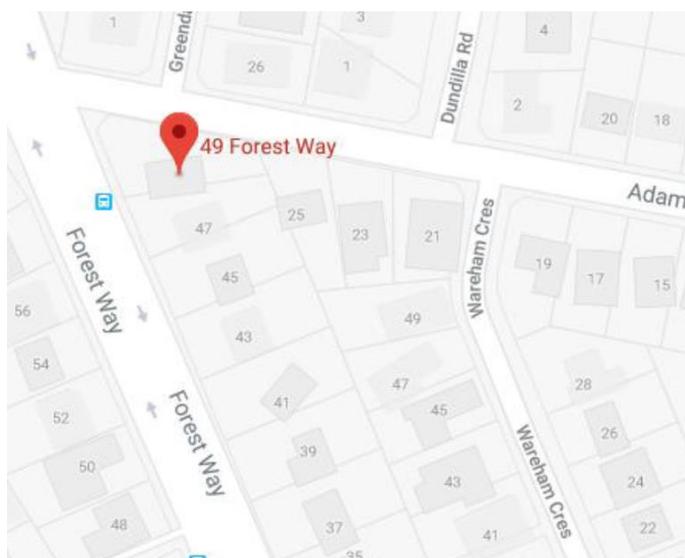


Figure 1 – Location of the site within its wider context (courtesy Google Maps)



Figure 2 - existing dwelling as viewed from the rear



Figure3 - existing vehicle access point and secondary street frontage character (Adams Street)



Figure4 – existing rear yard character of the subject site

4. Services

Being within an established urban area the proposed development is able to be serviced by key service utilities such as water, sewer, energy, and telecommunications.

5. PROPOSAL

This Statement of Environmental Effects accompanies a Development Application to propose a Secondary dwelling at the rear of the property.

This report is a Statement of Environmental Effects, pursuant to Section 4.15 of the Environmental Planning and Assessment Act 1979.

In preparation of this document, consideration has been given to the following:

- Environmental Planning and Assessment Act, 1979
- Local Environmental Plan
- Warringah Local Environmental Plan 2011
- Warringah DCP Plan 2011

6. Warringah Local Environmental Plan 2011

As previously noted, the site is zoned R2 Low Density Residential pursuant to the provisions of the Warringah Local Environmental Plan 2011. Secondary Dwelling are a permissible use with development consent in the zone.



WARRINGAH LAND ZONING MAP

Neighbourhood Centre	National Parks and Nature Reserves	Low Density Residential
Local Centre	Environmental Conservation	Medium Density Residential
Commercial Core	Environmental Management	Public Recreation
Mixed Use	Environmental Living	Private Recreation
Business Development	General Industrial	Primary Production
Business Park	Light Industrial	Special Activities

3 Permitted with consent

Bed and breakfast accommodation; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; **Secondary dwellings**; Tank-based aquaculture; Veterinary hospitals

4 Prohibited

7. Development Control Plan

The proposal:

- is compatible with the architectural form and style of the established and likely future development character and will complement the site's appearance when viewed from the street and public spaces.
- will be located within a landscaped setting and will be appropriately treated in terms of its materials and finishes to blend with the character of the property and the locality.

Setback:

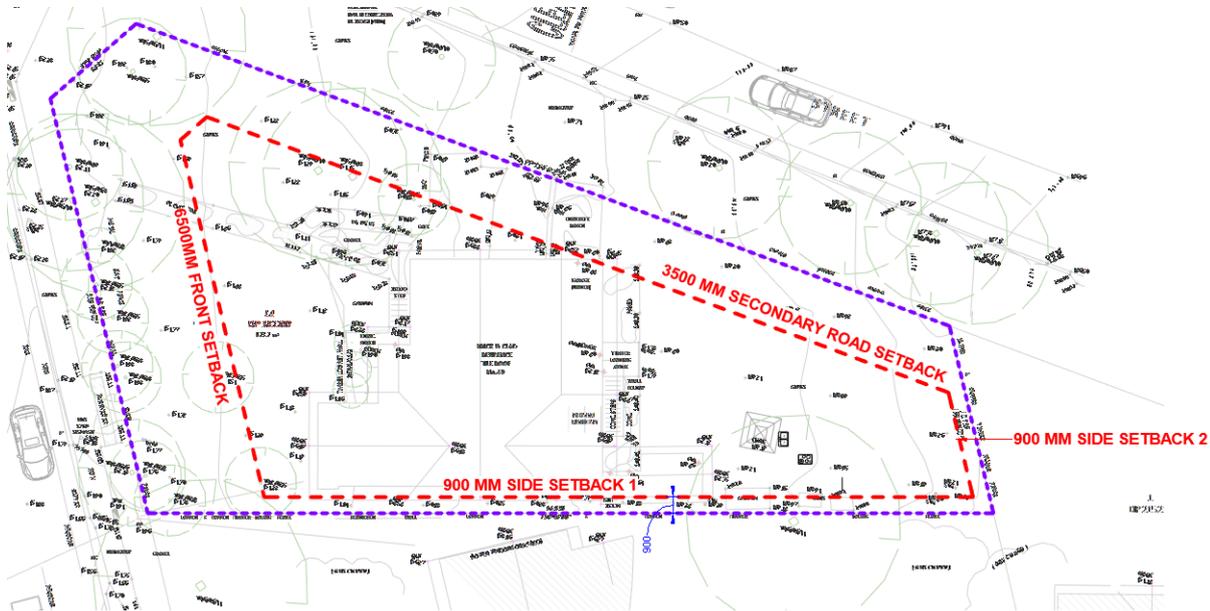


Figure: Above Figure showing setback lines

	DCP SETBACK	PROPOSED
FRONT SETBACK	6.5M	EXISTING
SECONDARY RD	3.5M	3.5M
SIDE SETBACK1	0.9M	0.92M
SIDE SETBACK2	0.9M	1.095M

Floor Area & Landscape

SITE CALCULATIONS	
<i>FLOOR AREA CALCULATIONS</i>	
SITE AREA:	923.2m ²
AREA OF THE EXISTING HOUSE FLOOR:	130m ²
AREA OF THE PROPOSED GRANNY FLAT:	52m ²
PROPOSED TOTAL FLOOR AREA:	182m²
<i>SITE COVERAGE CALCULATION</i>	
PROPOSED AREA:	285m²
<i>LANDSCAPING CALCULATIONS</i>	
PROPOSED TOTAL LANDSCAPED AREA:	638.2m²

Proposed landscape is 638.2m² which is 69.1% of total site area.

Wall height:

The proposal is less than 7.2m wall height.

Maximum Height:

The proposal is less than 8.5m height.

8. Conclusion

The proposed secondary dwelling at 49 Forest Way, Frenchs Forest represents an appropriate development of the land.

The application has considered and satisfies the various relevant planning controls applicable to the site and the proposed development.

The proposal will result in various environmental benefits, on both the natural and built environments.

- The site is suitable for the proposed development, having regard to access to services

- The proposal will result in various positive social and economic impacts in the locality.
- The proposal includes various public benefits, and on this basis, it is assessed that the proposal is consistent with the broader public interest.
- The development is in the public interest.

Yours faithfully,

Architecture Insight Pty Ltd

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