

STATEMENT OF WORKS

1) Works included

The works listed below and as described in the submitted drawings represent the works that are subject to the Building Information Certificate Application;

a. **LAUNDRY REFURBISHMENT**

Refurbishment of existing internal laundry to Basement Level

b. **INTERNAL WALL/DOOR CONFIGURATION.**

Works were undertaken to better utilise existing space and address ground water ingress into existing Basement level.

c. **INTERNAL STAIR**

Provision of internal stair to access laundry (note internal stair was originally approved under DA 0163/2017)

d. **EAST WINDOW**

Replacement of existing window with fixed glass window into pool area (note window replacement with sliding glass door approved under DA 0163/2017)

2) Further detail and Supporting Documentation

a. **LAUNDRY REFURBISHMENT**

When the owners first purchased the house the basement laundry was in poor condition and in need of refurbishment and this was included in the DA 0163/2017. The plumbing work to Ground level impacted the room layout and the refurbishment was not undertaken due to change of circumstances and priorities. The refurbishment was undertaken in 2024 on the understanding that it would be considered as Exempt Development. The refurbishment includes new compliant waterproofing, fixtures, fittings and finishes and retains the original room size.



Photo 01 - Laundry (2017)



Photo 02 – Laundry (2020)
(when Mod 2020/0441 was issued)



Photo 03 Laundry (2024)

b. INTERNAL WALL CONFIGURATION

When the owners first purchased the property moved into the property, the Basement Level was configured as a Garage with "Office" and Laundry adjacent.

Although not indicated on the drawings, the remainder of the subfloor space (west of the garage) was accessible for use as storage and included wall mounted shelving.



At the time the initial DA was prepared, access to the subfloor area was obstructed by items being stored in the garage area so the plans submitted to Council did not show the full extent of the subfloor footprint (which extended to the west wall of the existing ground floor over). The below photos (taken in 2017) show restricted access.



Photo 04 – North wall of basement (Garage) at Grid Line C – (2017). Note access to subfloor restricted by stored goods.



Photo 05 – North wall of at Grid Line D- (2017)

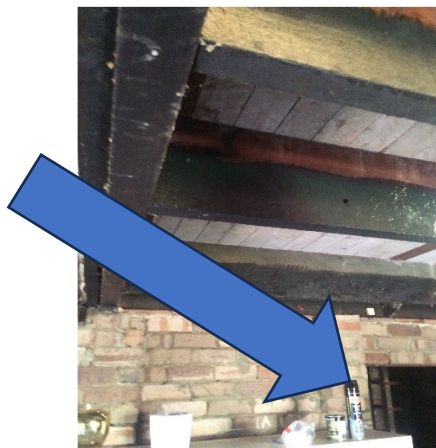
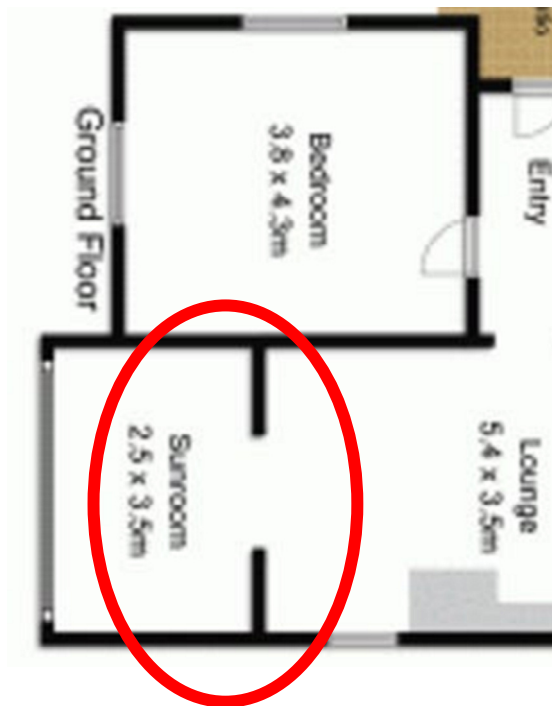


Photo 06- Photo of western end of south wall of Garage wall showing corner of access to other subfloor area (arrow)

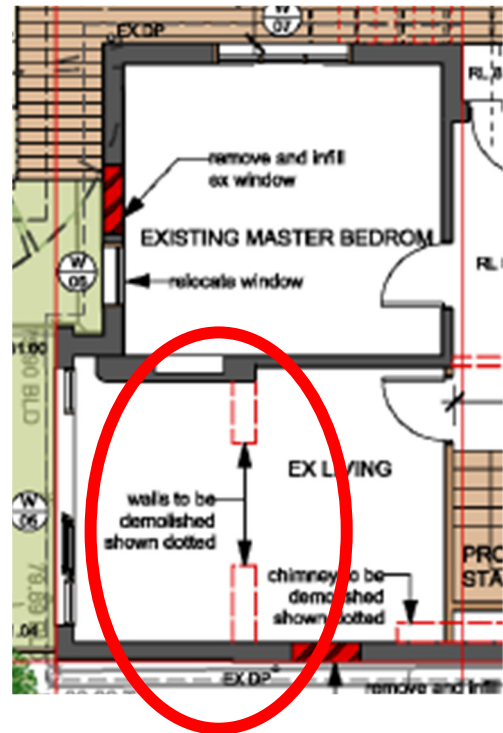


Photo 7 – North wall of basement (garage) area.

DA 0163/2017 included the removal of the walls separating the Lounge and Sunroom (refer below).



Real Estate Plan showing original Sunroom



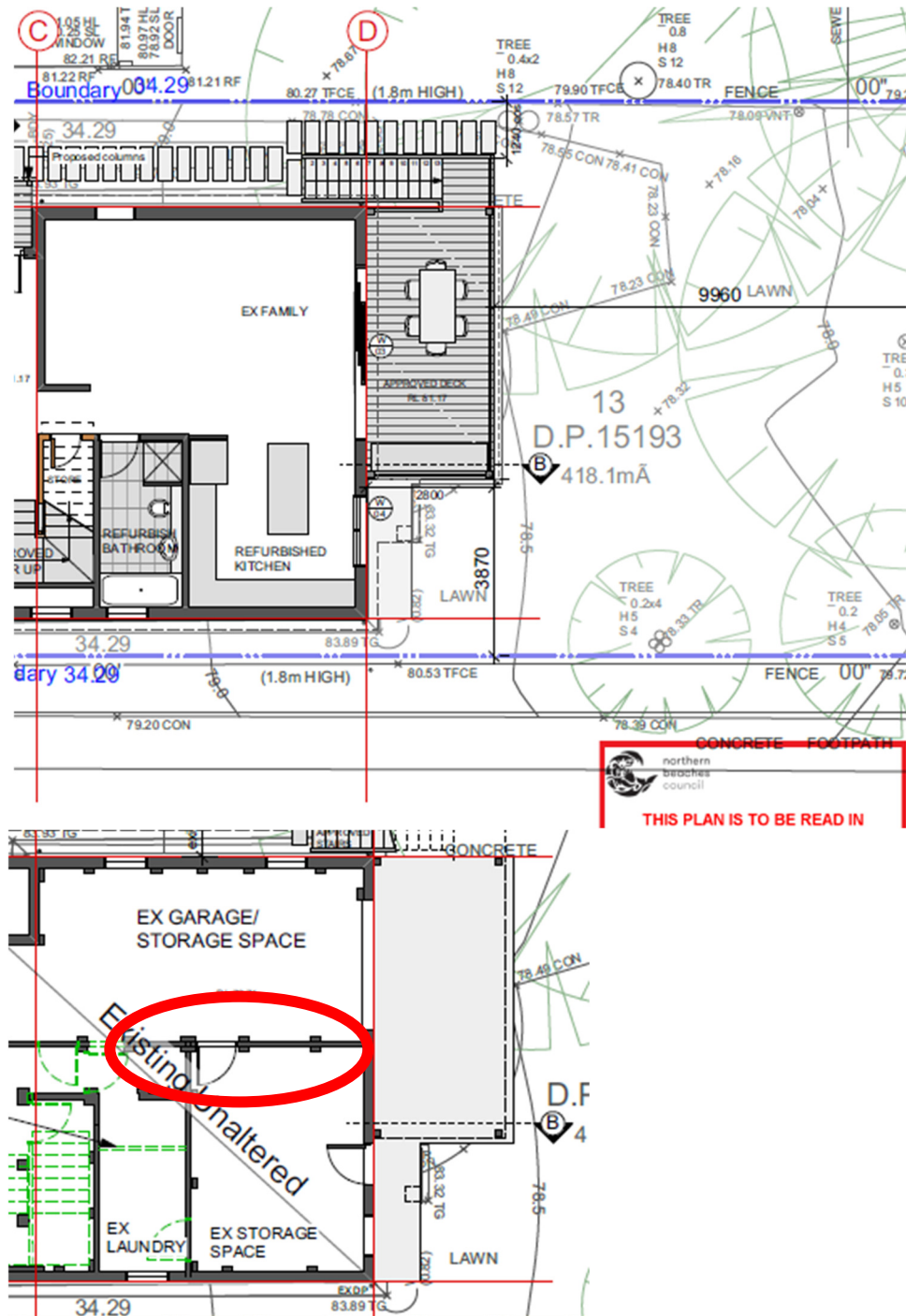
Plan as approved in DA 0163/2017 showing removal of sunroom walls.

Although not indicated on the plans, these walls existed at Basement Level as shown in below photo. The walls were demolished at Ground Floor Level but left intact at Basement Level



Photo 08 - subfloor area directly under original Sunroom.

Works approved in DA 0163 also included the removal of the wall separating the Kitchen and Family room. Therefore the Basement level wall under (between Garage and “office” (circled) was no longer structurally required.

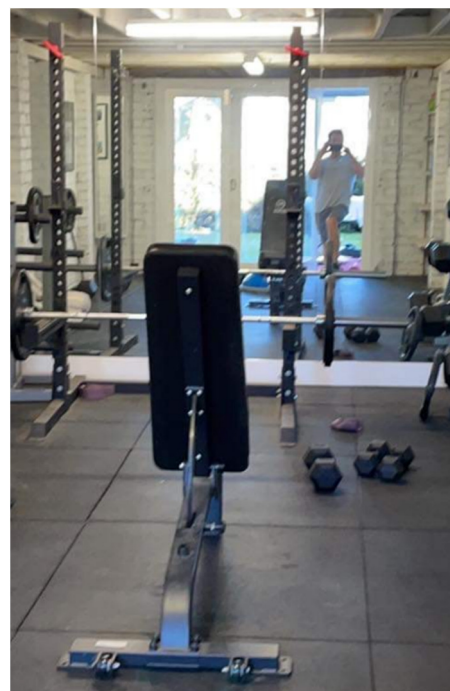


Plans from MOD 2020/0441 Ground level wall configuration and corresponding layout to Basement Level.

The owners proceeded to use the “Office” and “Garage” as a home Gym and the remaining subfloor space for Storage.



Photo 09 – “Office” space set up as Gym equipment room



Photos 10 and 11– “Garage” space set up as Gym weight room. Note the owners installed a full width mirror to the west wall to close off remainder of subfloor used for storage and attempt to contain dampness. The remainder of the subfloor area was used for Storage.



Photos 12, 13 and 14 showing subfloor storage area extending south and west to match footprint of house over

Over time it became apparent that the entire Basement area was damp and prone to flooding at times of significant rainfall due to ground water soaking from the west. In addition, it was noted that the air in the Basement was always musty and humid due to a lack of ventilation. There was concern about damp air from Basement level infiltrating the main house and potentially affecting young children, so a decision was taken **not** to proceed with approved internal stair when works were under way. This was reflected in Modification DA0163 approved in 2020.



Photo 15 – Basement “Study” wall showing signs of rising damp at base of wall. (2017)

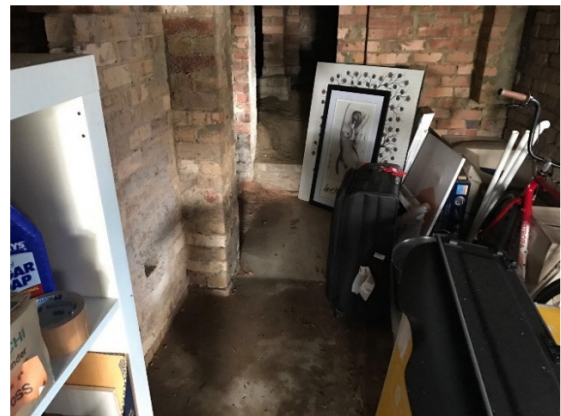


Photo 16 - Subfloor storage area showing evidence of water ingress on floor (2017)

In 2024, the Owners opted to construct a swimming pool to the south east of the site, and a decision was taken to address the water ingress issues while access was available. Specialist waterproofing contractors were engaged to provide chemical injection and subsoil drainage, new concrete floor on vapour barriers and new linings for walls and ceilings.



Photo 17 – View toward Grid Line C approx. (2020).- i.e. when Mod 2020/0441 was issued. Note water ingress at floor level and framed mirror removed to provide access.



Photo 18 – Similar view to Photo 17 – with walls lined, ceiling installed and slab on moisture barrier installed. (2024)



Photo 19 view north east corner of garage – Grid D1 (Feb 2017)



Photo 20– view of north east corner of garage- Grid D1 - with window infilled. (2024)

c. INTERNAL STAIR

Once the damp issues to the Basement were addressed, the Owners sought improved access to the Laundry, Storage and Gym areas. The decision was taken to proceed with the internal stair as per the original DA which, due to a miscommunication, was understood to be still part of the approval.



Photo 21– view east to stair



Photo 22 – view south to stair.

d. EAST WINDOW

The owners undertook a Complying Development for a Swimming Pool (CDC C240004-01) in 2024. In order to meet pool fence requirements, the window to the east wall of the existing Gym was replaced with a fixed glass opening consistent with the opening shown on DA 0163/2017

Again, due to a miscommunication, this was understood to be part of the approval.



Photo 23 – fixed window to east face of house