

31 May 2019

Corben Architects
PO Box 1021
NEUTRAL BAY NSW 2089

Dear Sir/Madam

Application Number: Mod2019/0173
Address: Lot 1 DP 900658 , 7 Pavilion Street, QUEENSCLIFF NSW 2096
Proposed Development: Modification of Development Consent DA2018/0612 granted for alterations and additions to a dwelling house

Please find attached the Notice of Determination for the above mentioned Application.

Please be advised that a copy of the Assessment Report associated with the application is available on Council's website at www.northernbeaches.nsw.gov.au

Please read your Notice of Determination carefully and the assessment report in the first instance.

If you have any further questions regarding this matter please contact the undersigned on 1300 434 434 or via email quoting the application number, address and description of works to council@northernbeaches.nsw.gov.au

Regards,



Phil Lane
Principal Planner

NOTICE OF DETERMINATION

Application Number:	Mod2019/0173
Determination Type:	Modification of Development Consent

APPLICATION DETAILS

Applicant:	Corben Architects
Land to be developed (Address):	Lot 1 DP 900658 , 7 Pavilion Street QUEENSCLIFF NSW 2096
Proposed Development:	Modification of Development Consent DA2018/0612 granted for alterations and additions to a dwelling house

DETERMINATION - APPROVED

Made on (Date)	31/05/2019
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The request to modify the above-mentioned Development Consent has been approved as follows:

A. Add Condition No.1A - Modification of Consent - Approved Plans and supporting Documentation to read as follows:

The development must be carried out in compliance (except as amended by any other condition of consent) with the following:

a) Modification Approved Plans

Architectural Plans - Endorsed with Council's stamp		
Drawing No.	Dated	Prepared By
DA03 (Rev D)	31 May 2019	Corben Architects
DA04 (Rev C)	30 May 2019	Corben Architects
DA05 (Rev C)	30 May 2019	Corben Architects
DA06 (Rev A)	15 April 2019	Corben Architects
DA07 (Rev A)	15 April 2019	Corben Architects
DA08 (Rev C)	30 May 2019	Corben Architects
DA09 (Rev C)	30 May 2019	Corben Architects
DA10 (Rev A)	15 April 2019	Corben Architects
DA11 (Rev C)	30 May 2019	Corben Architects
DA12 (Rev C)	30 May 2019	Corben Architects
DA13 (Rev C)	30 May 2019	Corben Architects
DA14 (Rev A)	15 April 2019	Corben Architects
DA20 (Rev A)	15 April 2019	Corben Architects

Reports / Documentation – All recommendations and requirements contained within:		
Report No. / Page No. / Section No.	Dated	Prepared By
Geotechnical Assessment	17 April 2019	JK Geotechnics

b) Any plans and / or documentation submitted to satisfy the Conditions of this consent.

c) The development is to be undertaken generally in accordance with the following:

Landscape Plans		
Drawing No.	Dated	Prepared By
DA21 (Rev A)	15 April 2019	Corben Architects

Waste Management Plan		
Drawing No.	Dated	Prepared By
DA22 (Rev A)	15 April 2019	Corben Architects

d) The proposed fireplace(s) are to be gas powered and not solid fuel heater.s)

Reason: To ensure the work is carried out in accordance with the determination of Council and approved plans.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF THE CONSTRUCTION CERTIFICATE

B. Add Condition 7A - External Finishes to Roof to read as follows:

The external finish to the roof shall have a medium to dark range in order to minimise solar reflections to neighbouring properties. Any roof with a metallic steel finish is not permitted.

Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

Reason: To ensure that excessive glare or reflectivity nuisance does not occur as a result of the development.

ON-GOING CONDITIONS THAT MUST BE COMPLIED WITH AT ALL TIMES

C. Add Condition 16 - Height of vegetation to read as follows:

Any planting on the eastern side of the site is to be maintained at a height not exceeding 1.8 metres, as measured from the ground level adjacent to the trunk of the tree/shrub.

Reason: Protection of local amenity and views.

D. Add Condition 17 - Landscape maintenance to read as follows:

i) Trees, shrubs and ground cover plants required to be planted under this consent are to be mulched,

watered and fertilised as required at the time of planting.

ii) Landscape plantings are to be maintained at the height as specified in these conditions of consent for the life of the development.

Reason: To maintain local environmental amenity.

Important Information

This letter should therefore be read in conjunction with DA2018/0612 dated 23 August 2018.

Please note that on site works cannot proceed unless a Construction Certificate application for the modified proposal has been lodged with and approved by Council or an accredited certifier, and relevant conditions of the Development Application have been carried out.

Right to Review by the Council

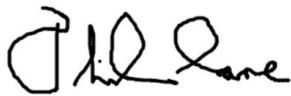
You may request Council to review this determination of the application under Division 8.2 of the Environmental Planning & Assessment Act 1979. Any Division 8.2 Review of Determination application should be submitted to Council within 3 months of this determination, to enable the assessment and determination of the application within the 6 month timeframe.

Right of Appeal

Section 8.10 of the Environmental Planning and Assessment Act confers on an applicant who is not satisfied with the determination of the Consent Authority a right of appeal to the Land and Environment Court within 6 months of determination.

NOTE: A fee will apply for any request to review the determination.

Signed On behalf of the Consent Authority



Name Phil Lane, Principal Planner

Date 31/05/2019