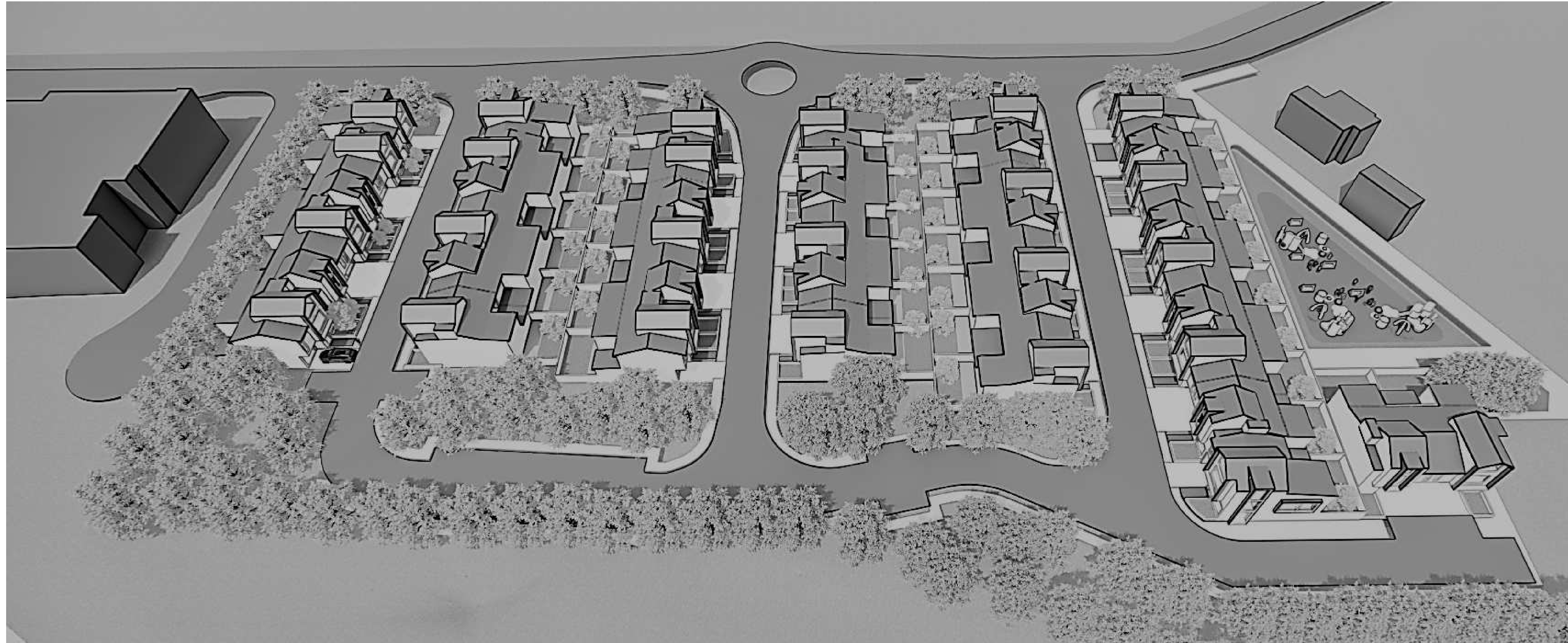


# 10-12 BOONDAH ROAD AND 6 JACKSON ROAD AND BOONDAH PLAYING FIELDS - PLANNING PROPOSAL



SHEET NUMBER	SHEET NAME	Current Revision
AMP-0001	COVER SHEET	2
AMP-0002	EXISTING ENVIRONMENT	1
AMP-0003	EXISTING AERIAL	1
AMP-0102	SITE PLAN	2
AMP-2001	LEVEL G	2
AMP-2002	LEVEL 1	
AMP-2003	LEVEL 2	
AMP-2005	ROOF PLAN	
AMP-2300	LAYOUT - STANDARD HOUSINGS TYPE 1	2
AMP-2301	LAYOUT - CORNER HOUSINGS TYPE 2	2
AMP-2303	LAYOUT - STANDARD HOUSING TYPE 2	2
AMP-4000	ELEVATIONS & SECTIONS	2
AMP-9901	3D VIEWS-SHEET -01	2
AMP-10001	PRELIMINARY CONCEPT PLAN (L)	1

Project  
**WARRIWOOD**  
10 Boondah Rd, Warriewood, New South Wales 2102

Project Number  
10

Status

Rev.	Date	Description	Iss.	Appr.
1	27/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-0001**

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Scale  
@A1



Revision  
**2**

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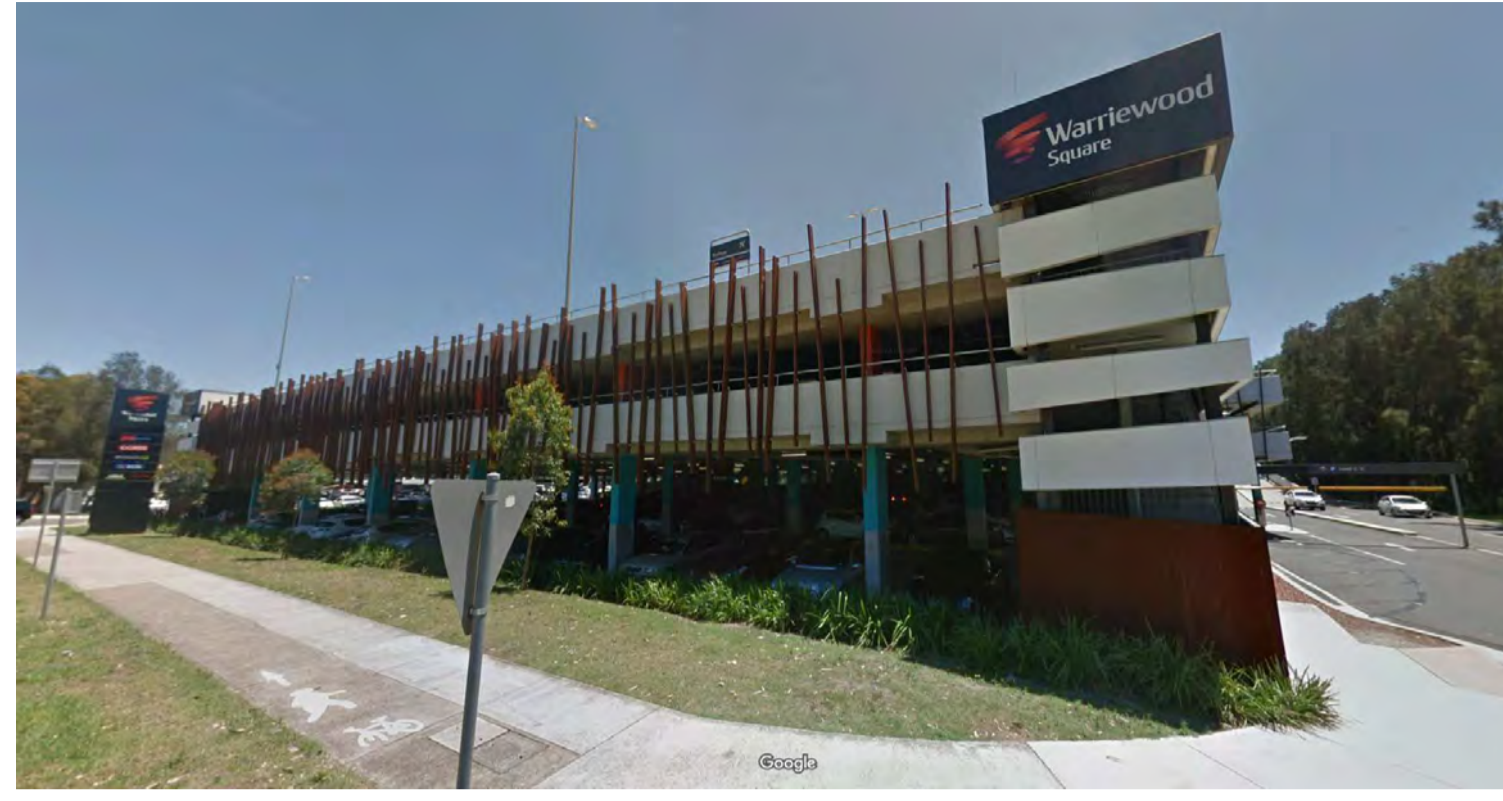
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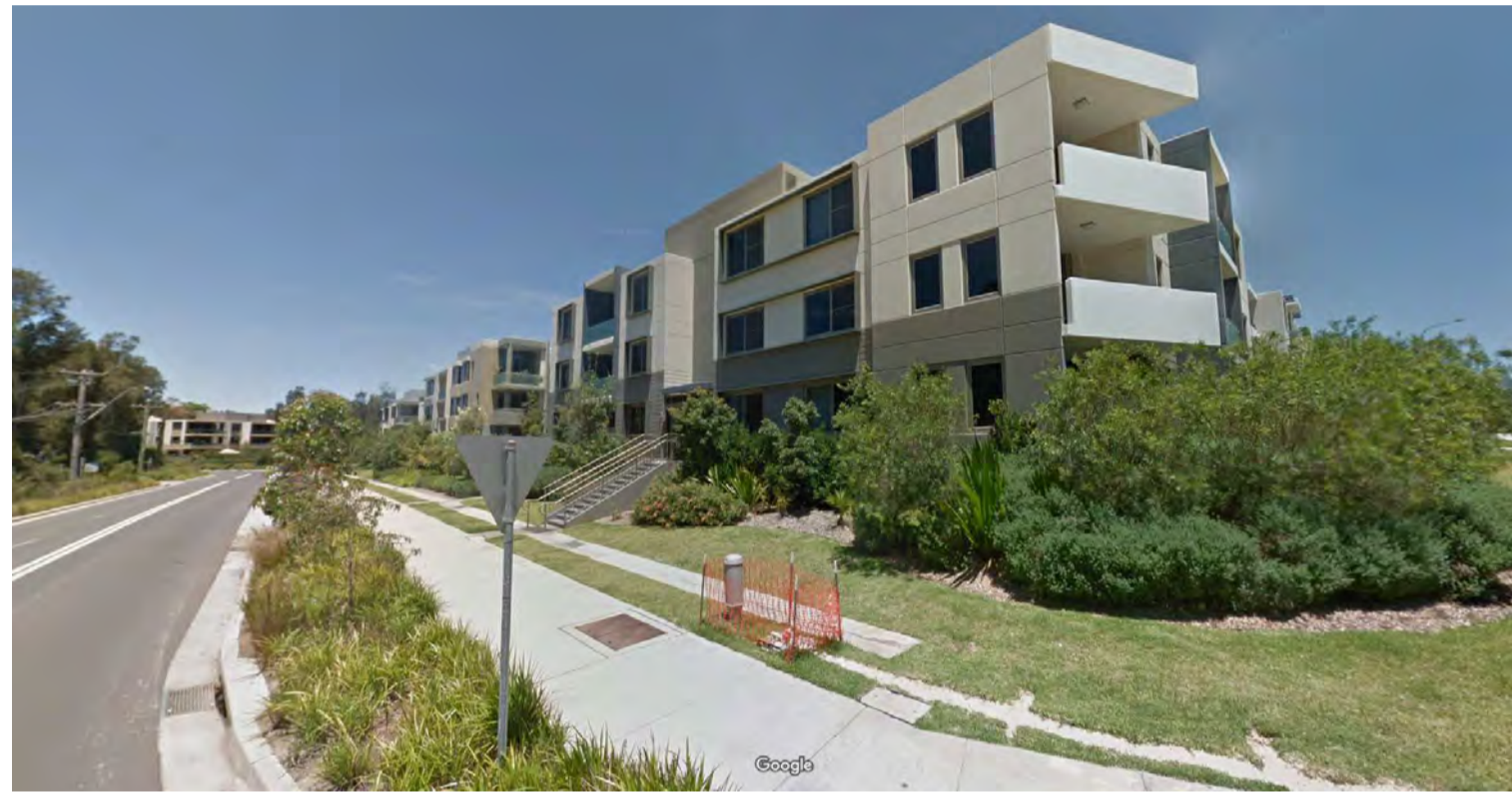
1. SITE



5. ADJOINING SHOPPING CENTRE (WARRIEWOOD SQUARE)



7. NEAR-BY BUS STOPS (JACKSONS ROAD)



2. ADJOINING RESIDENTIAL DEVELOPMENT



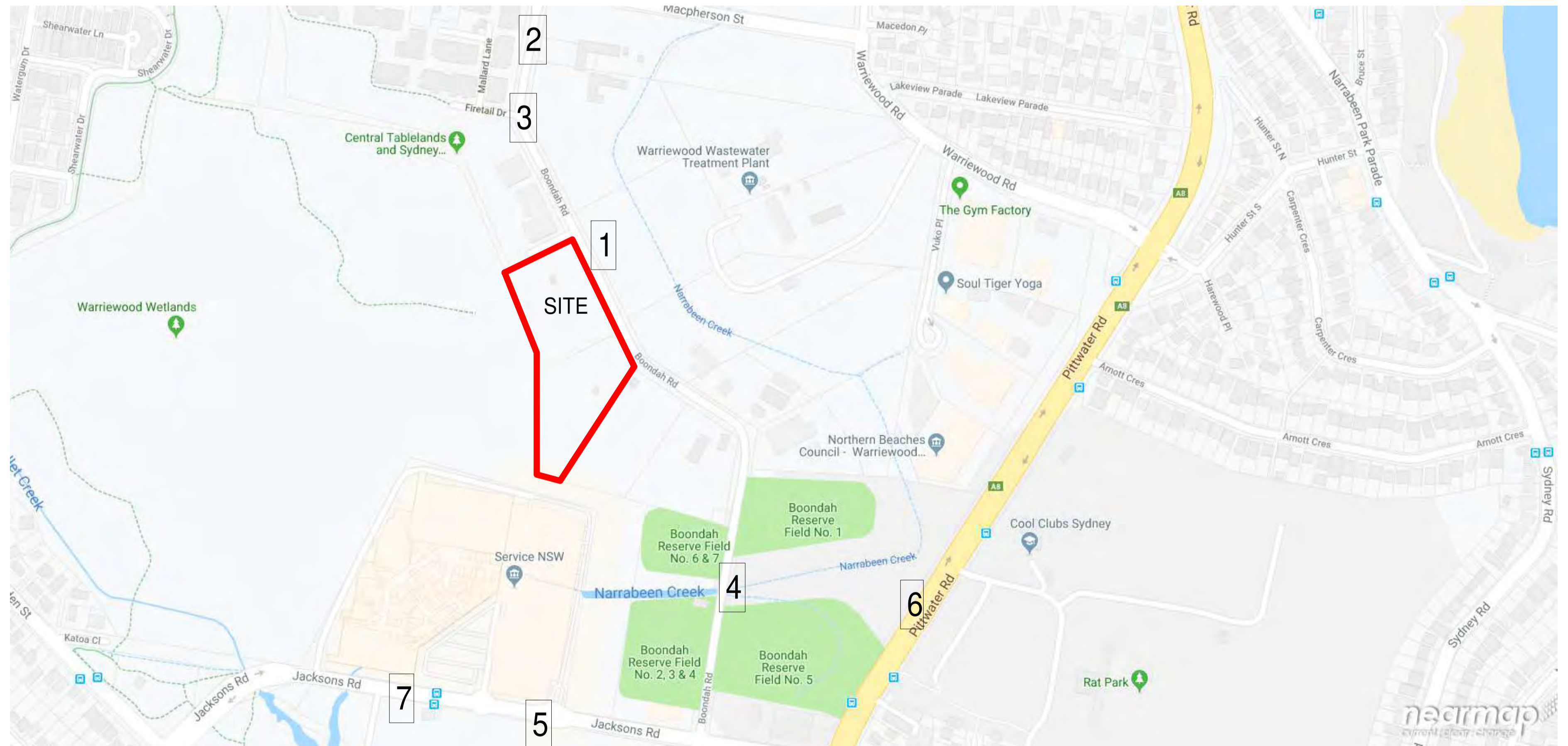
6. NEAR-BY B-LINE BUS STOP (PITTWATER ROAD)



3. ADJOINING RESIDENTIAL DEVELOPMENT



4. NEAR-BY PLAYING FIELDS







Project  
**WARRIWOOD**  
 10 Boondah Rd, Warriewood, New South Wales 2102

Project Number  
 10

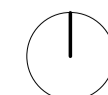
Status

Rev.	Date	Description	Iss.	Appr.
1	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-0003**

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Scale



Revision  
**1**

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Site Plan

SCALE 1 : 500

Project  
**WARRIEWOOD**  
 10 Boondah Rd, Warriewood, New South Wales 2102

Project Number 10 Status

Rev.	Date	Description	Iss.	Appr.
1	27/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-0102**

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Scale As indicated @A1



Revision  
**2**

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BOONDAH ROAD

16 BOONDAH ROAD

SPINE BILL DR

RL 4.4

RL 4.4

RL 4.4

RL 4.4

RL 4.4

RL 4.4

9000

9000

9000

RL 2.5

RL 3.9

TOTAL ON GRADE PARKING 20 CAR SPACE

NOTES : LANDSCAPE IN THE ROAD RESERVE AND ON SITE IS INDICATIVE ONLY

WARRIEWOOD WETLANDS

EEL RIPARIAN CORRIDOR C2 ZONE

40 TOWNHOUSES @ 8.4X22 SQM + 4 AFFORDABLE HOUSING UNITS

8 BOONDAH ROAD

6A BOONDAH ROAD

WARRIEWOOD SQUARE

- · — DEVELOPMENT AREA
- · — SETBACK LINE
- · — BOUNDARY LINE

LEVEL G  
SCALE 1 : 500

Project  
**WARRIEWOOD**  
10 Boondah Rd, Warriewood, New South Wales 2102

Project Number 10 Status

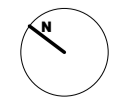
Rev.	Date	Description	Iss.	Appr.
1	27/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-2001**

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Revision  
**2**

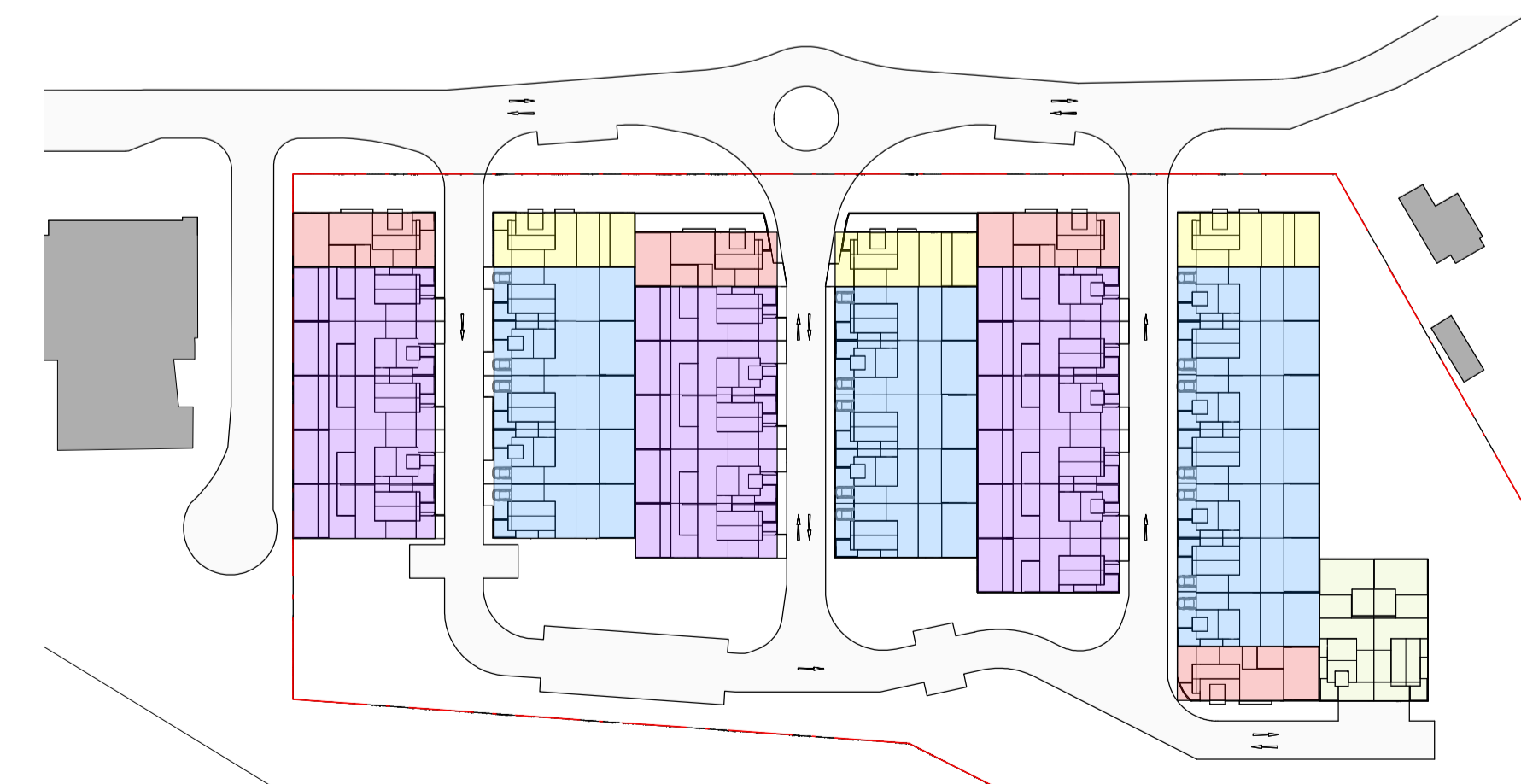
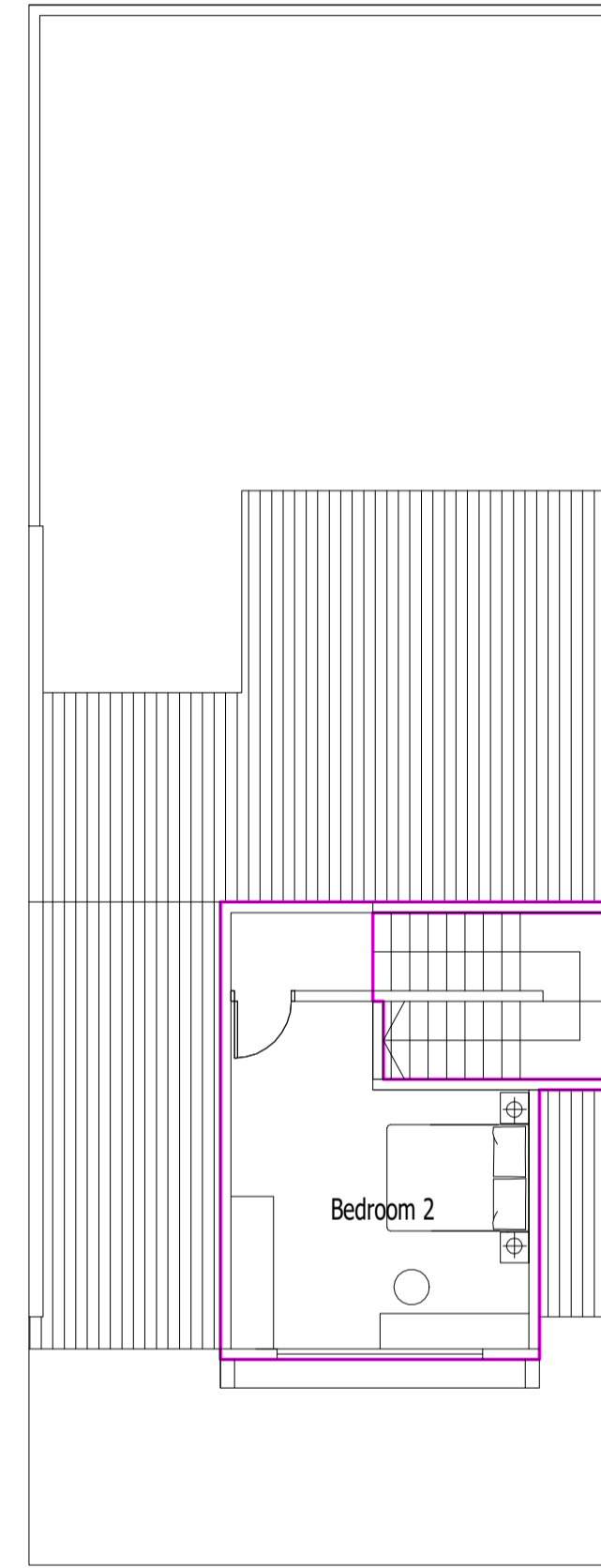
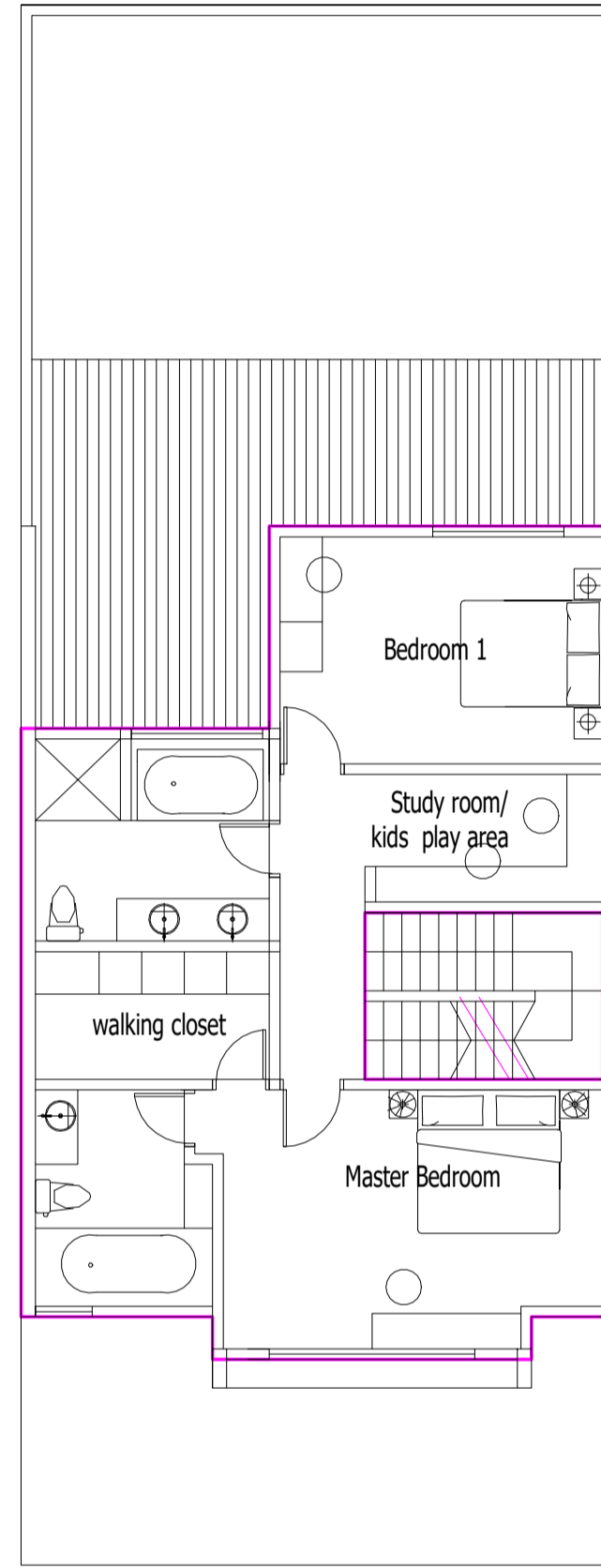
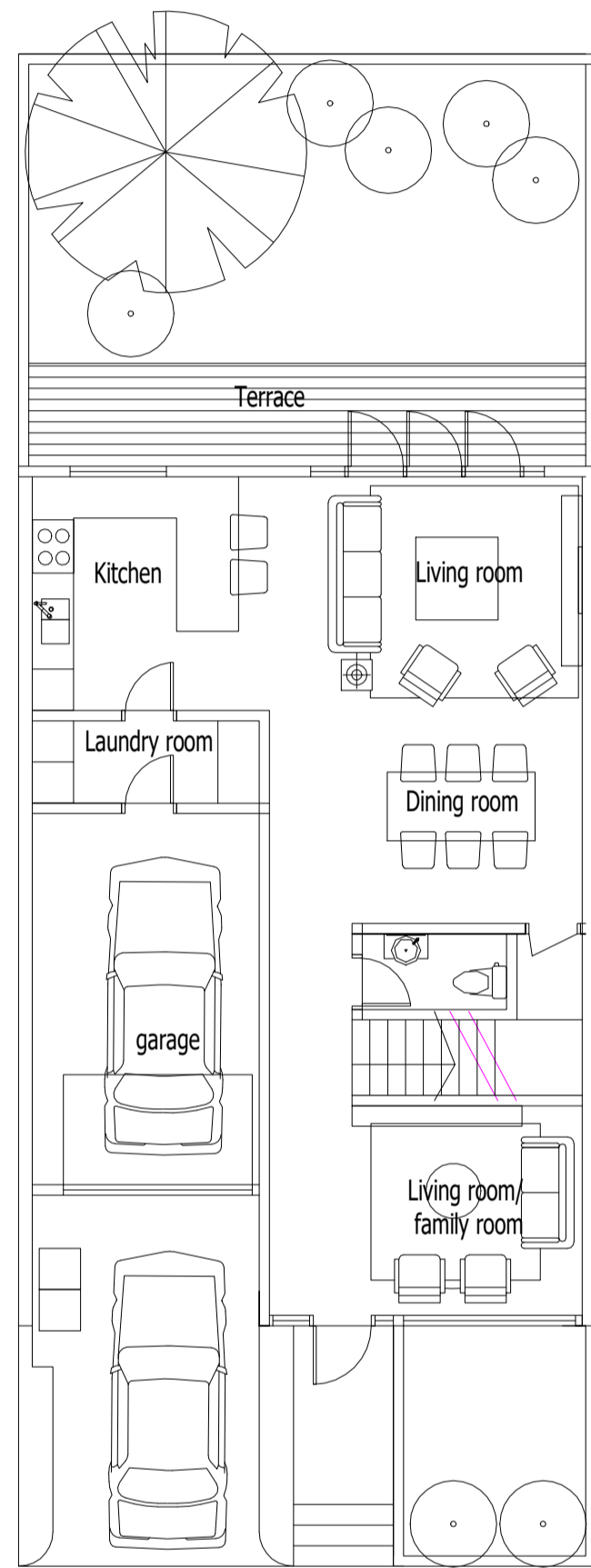
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PLANNING PROPOSAL



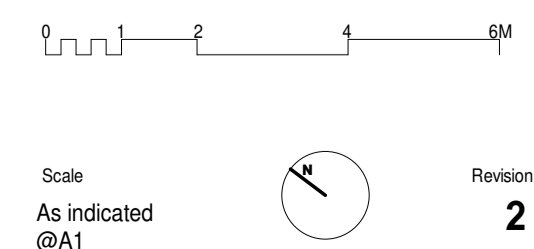
# STANDARD HOUSINGS TYPE 1



Rev.	Date	Description	Iss.	Appr.
1	27/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

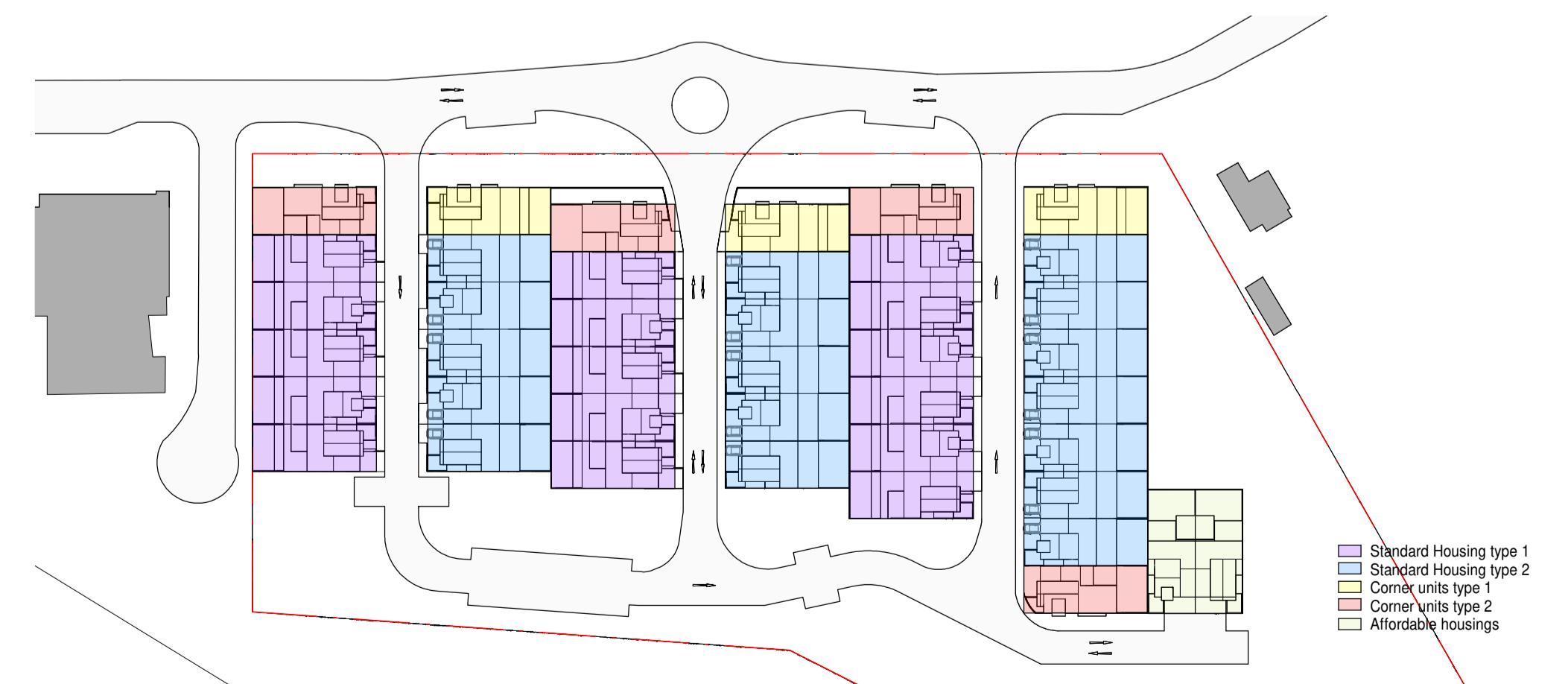
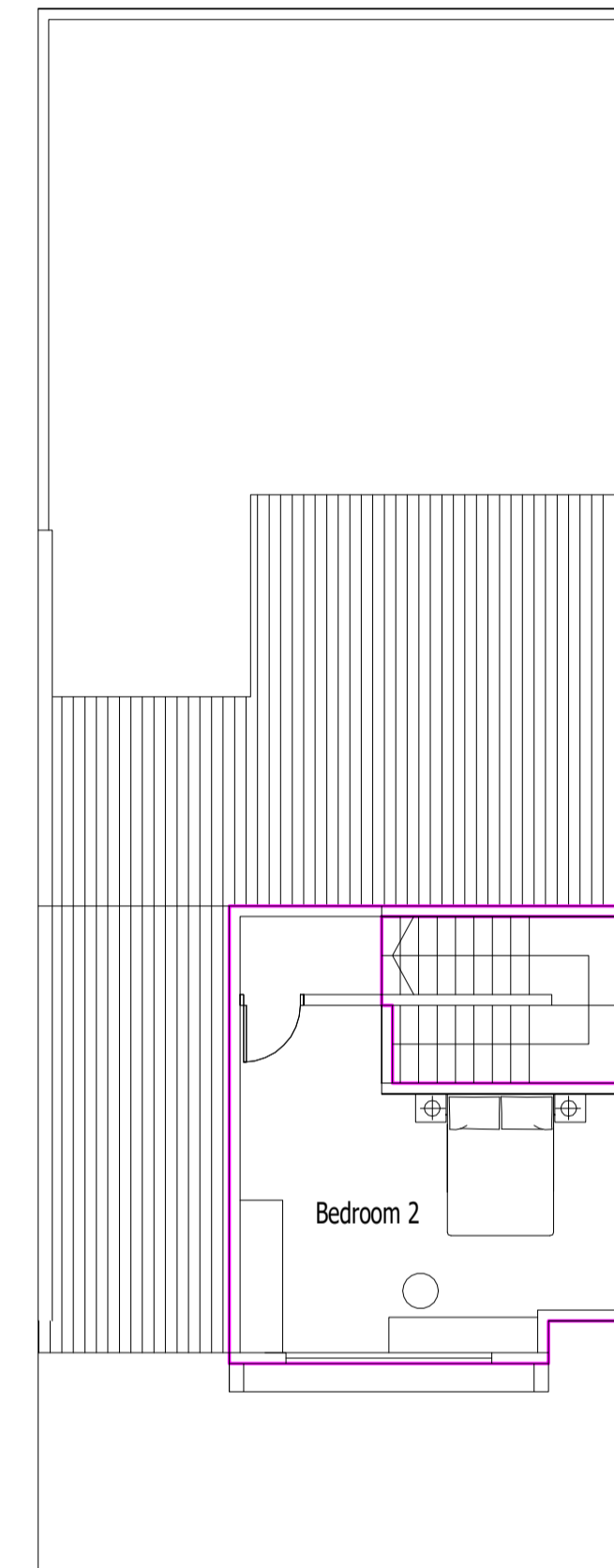
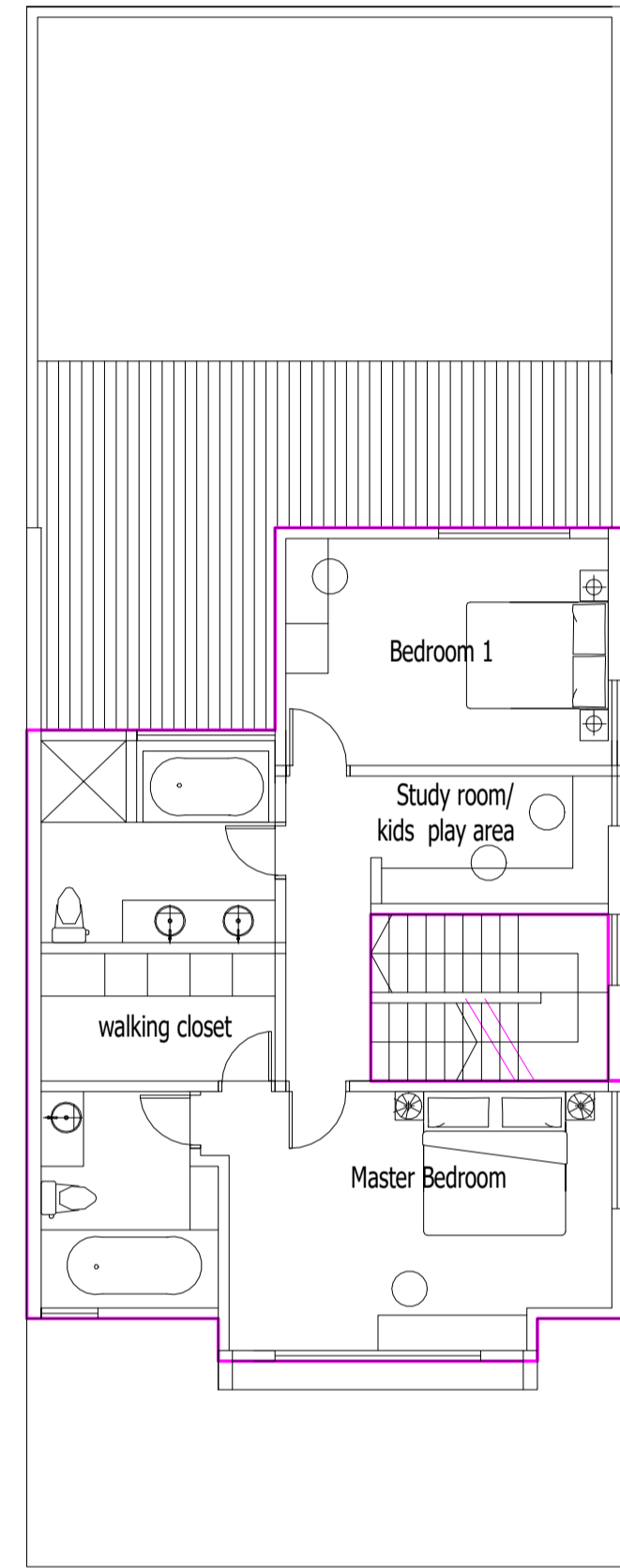
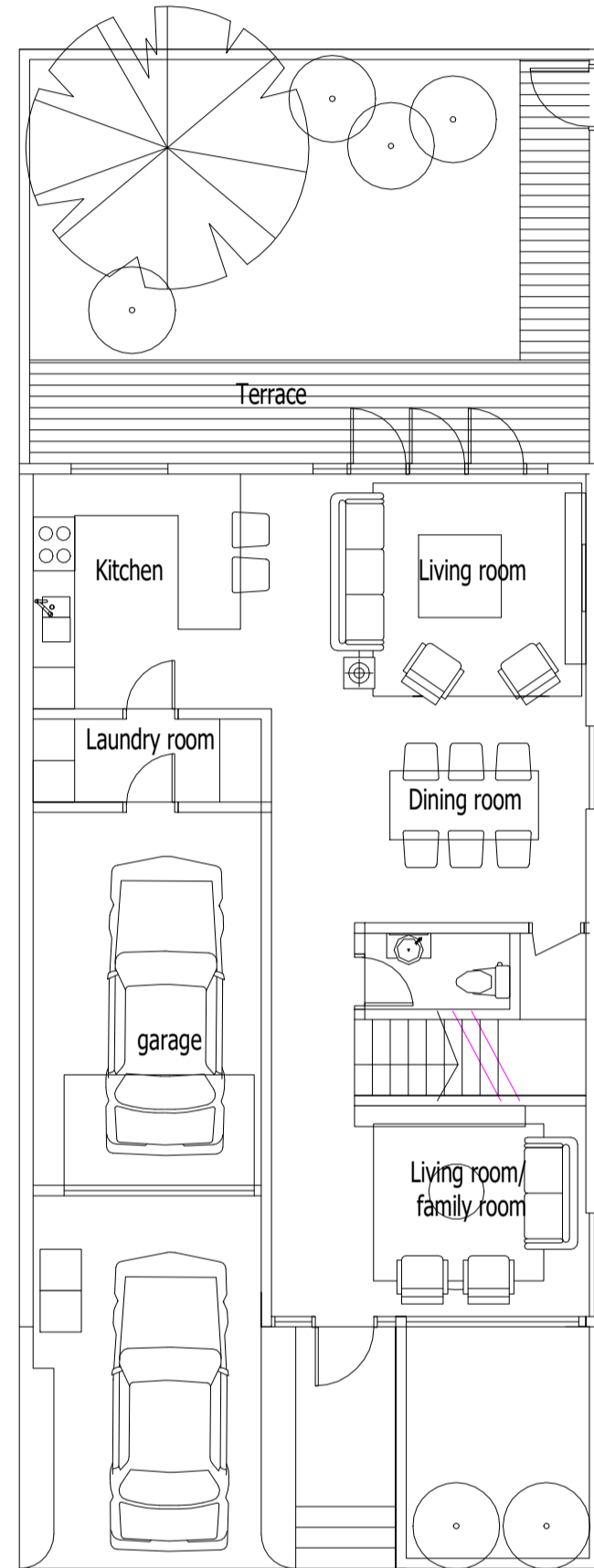
Drawing Number  
**AMP-2300**

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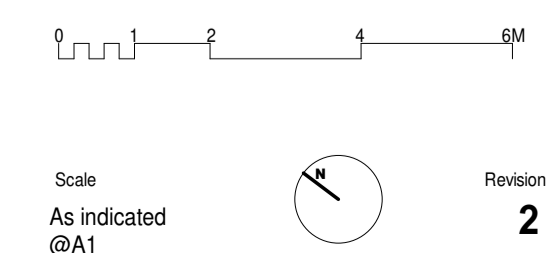
# CORNER HOUSINGS TYPE 2



Rev.	Date	Description	Iss.	Appr.
1	27/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

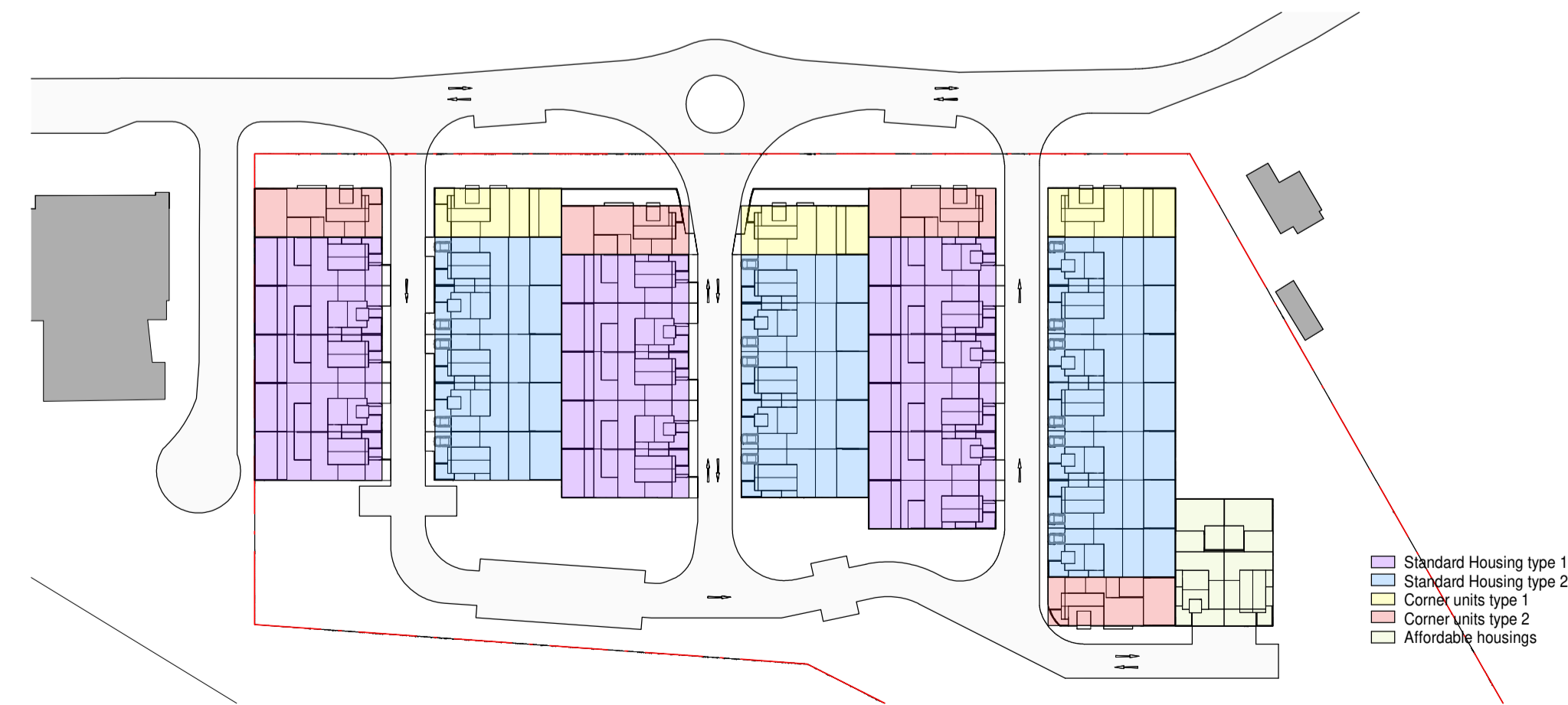
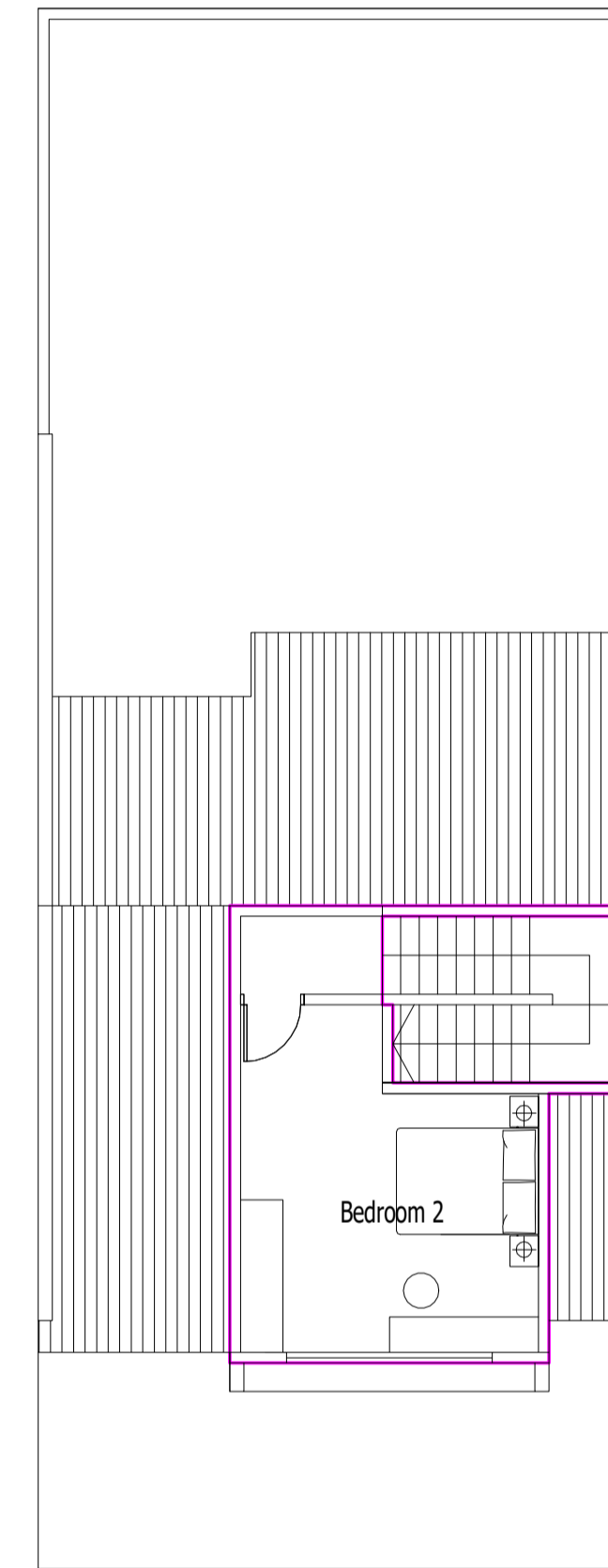
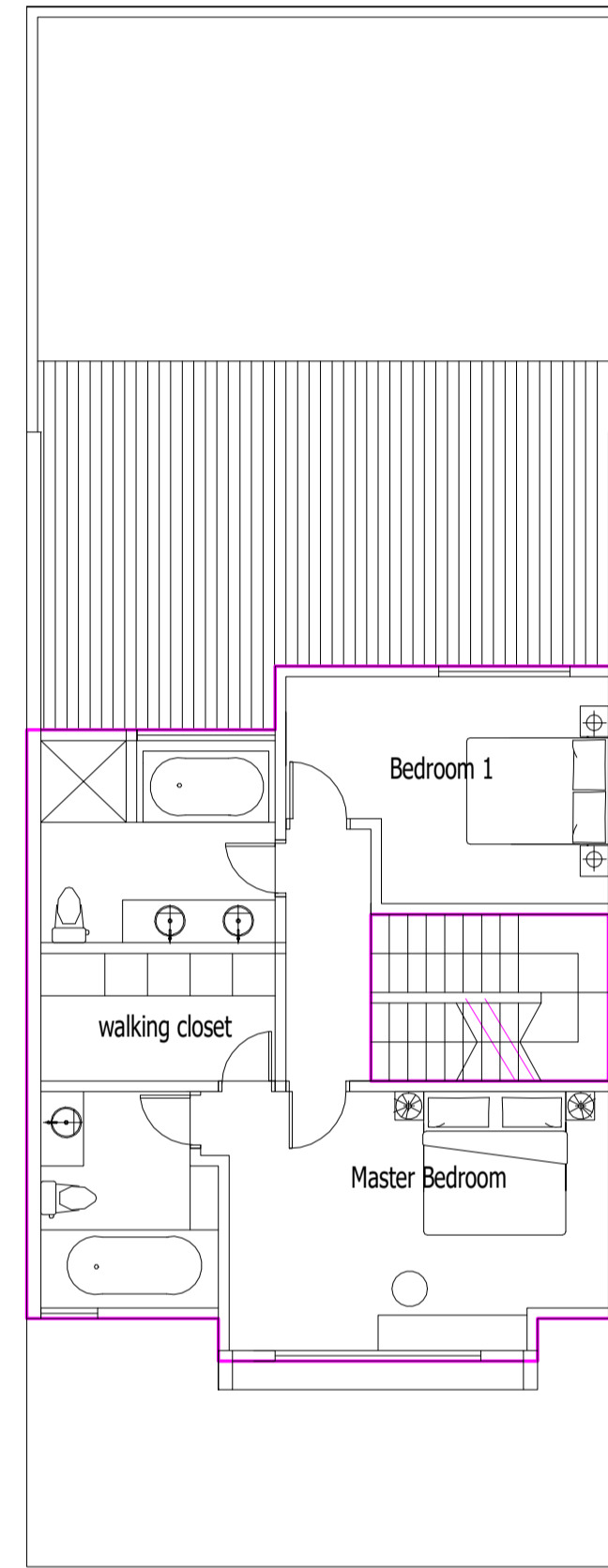
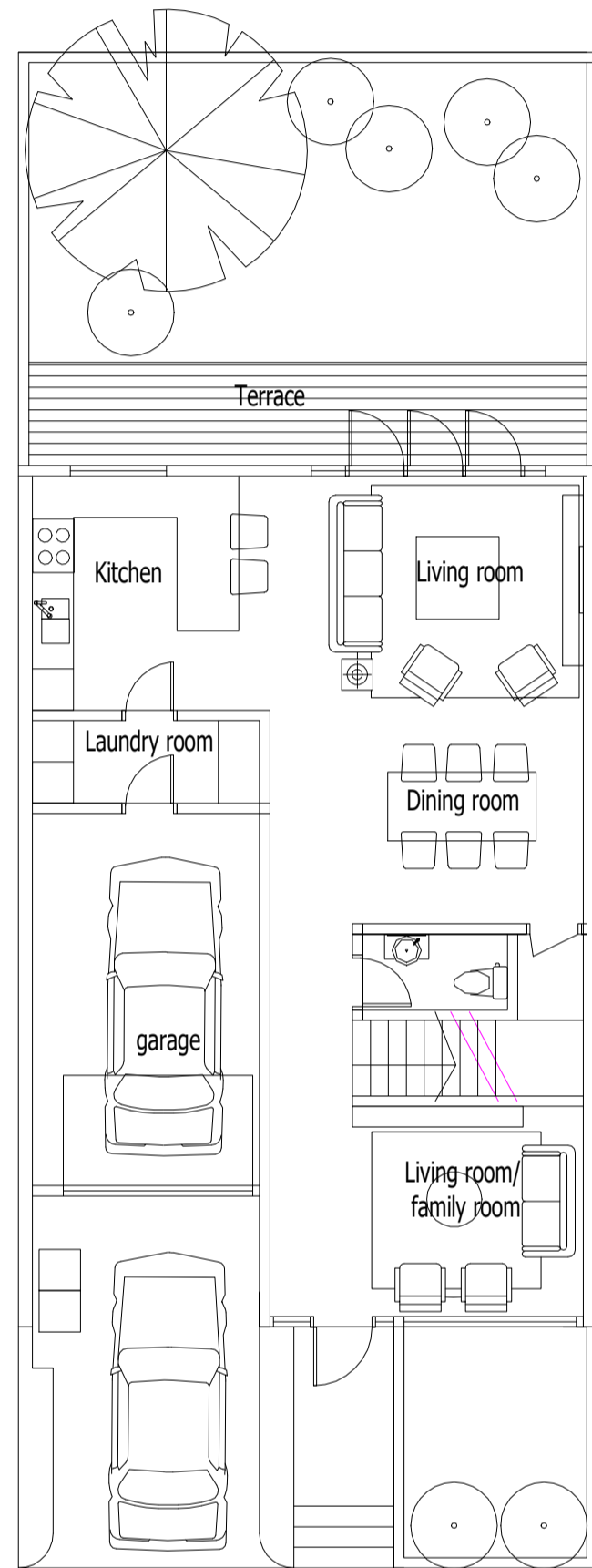
Drawing Number  
**AMP-2301**

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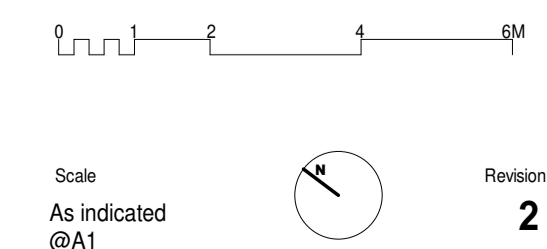
# STANDARD HOUSINGS TYPE 2



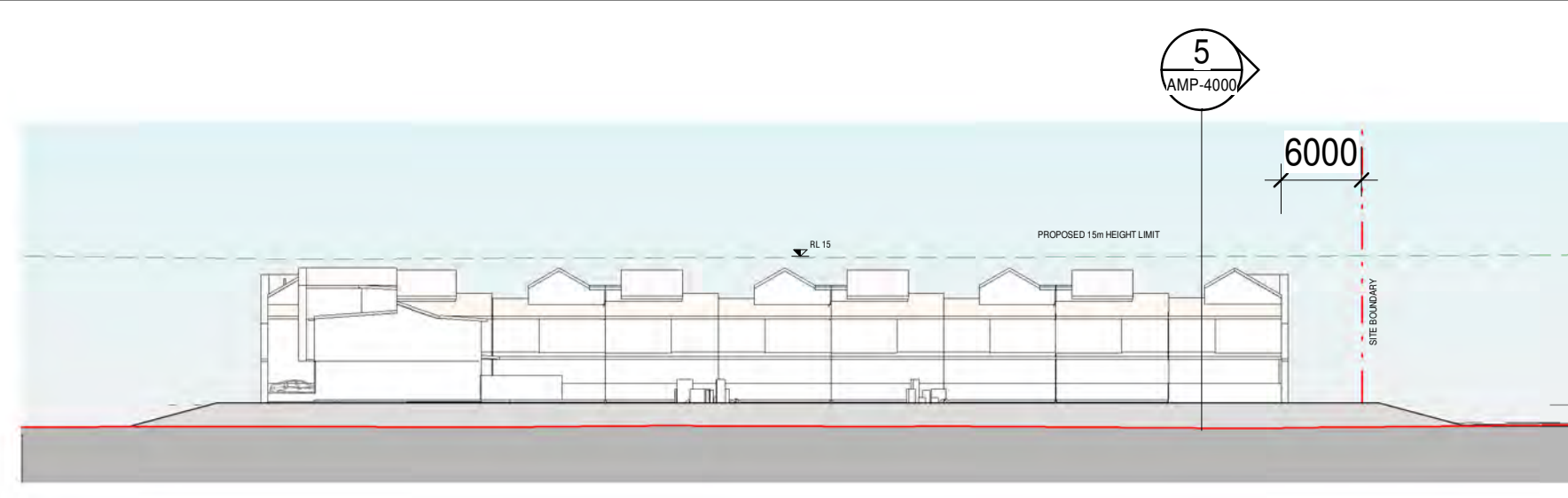
Rev.	Date	Description	Iss.	Appr.
1	27/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-2303**

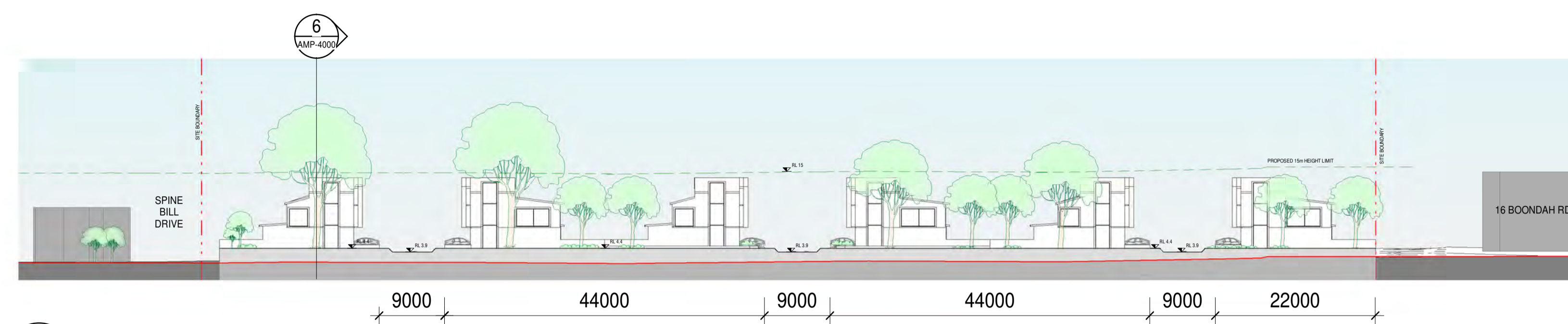
Nominated Architect: Anthony Palamara NSW ARN 7274  
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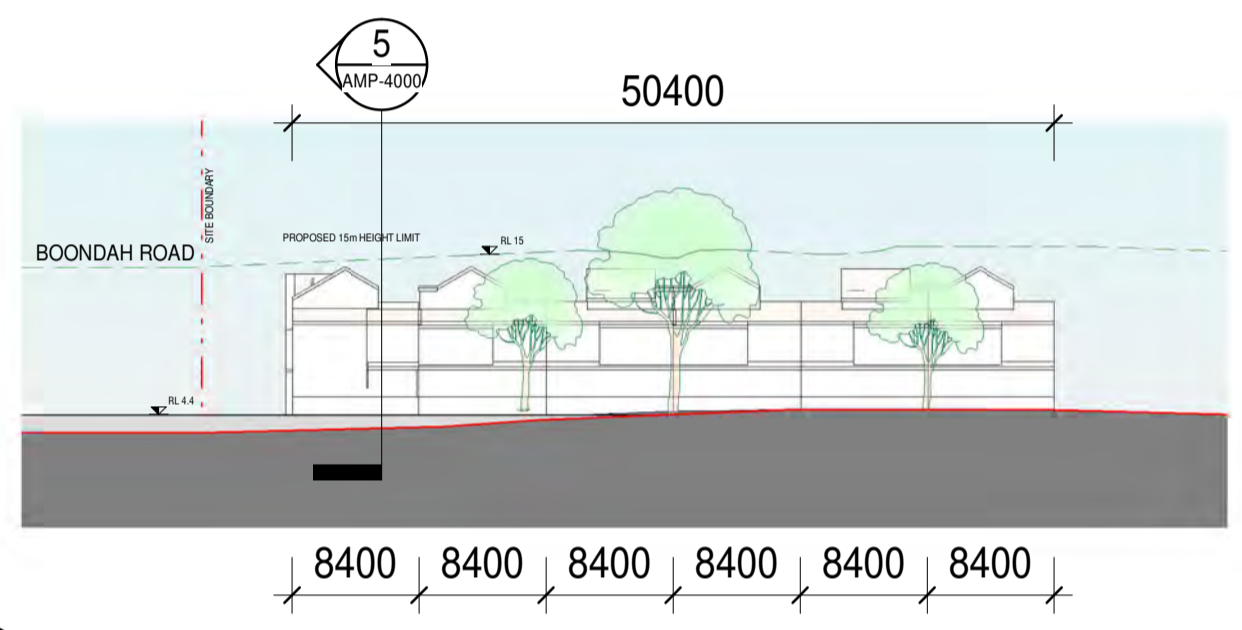




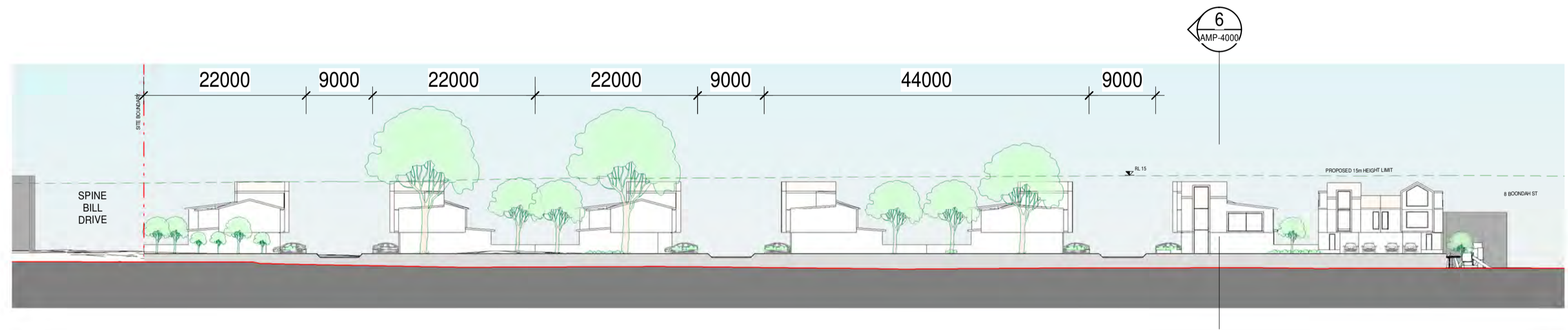
**1** 8 BOONDAH ROAD STREET VIEW  
SCALE 1 : 500



**2** 10-12 BOONDAH ROAD STREET VIEW  
SCALE 1 : 500



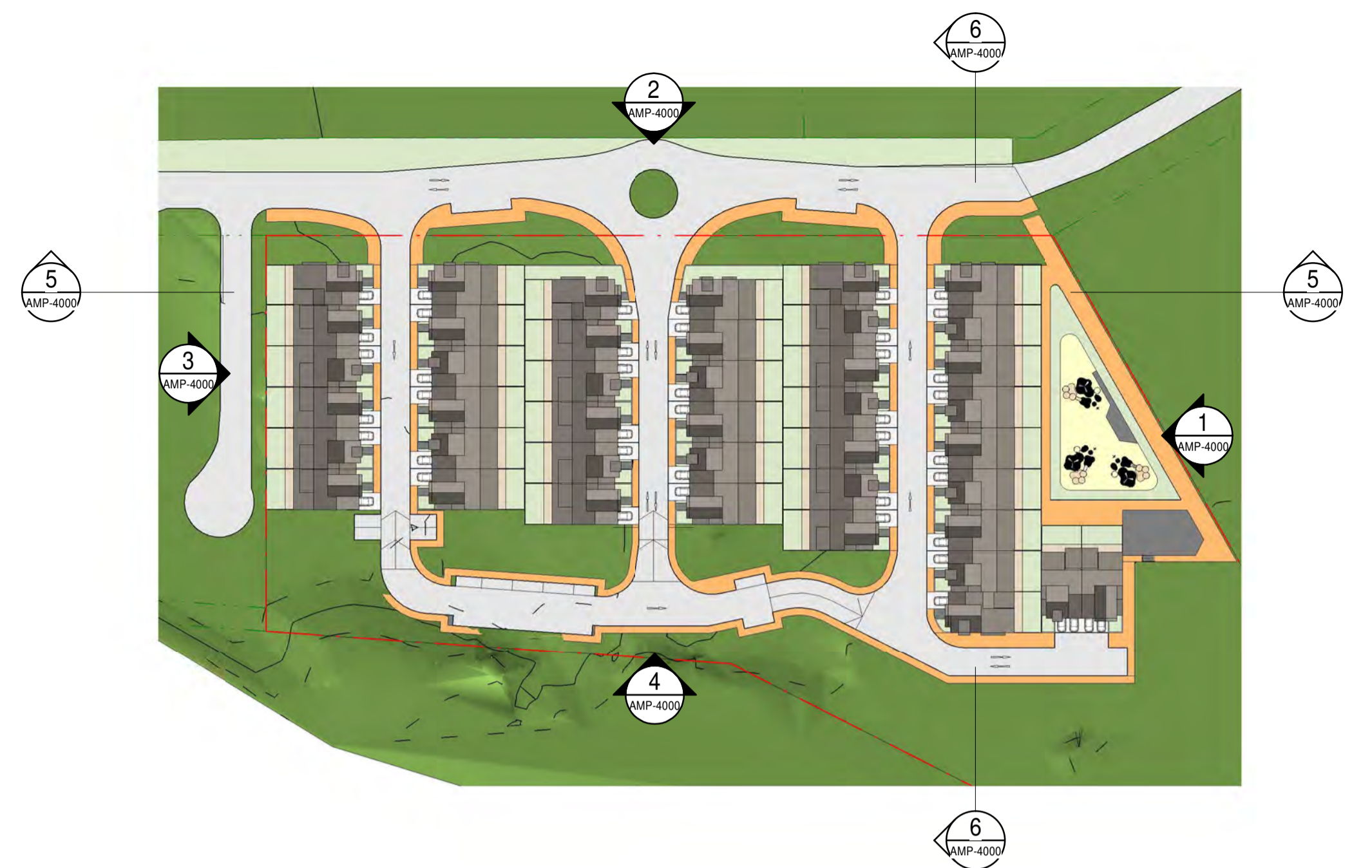
**3** NORTH ELEVATION SPINE BILL DRIVE  
SCALE 1 : 500



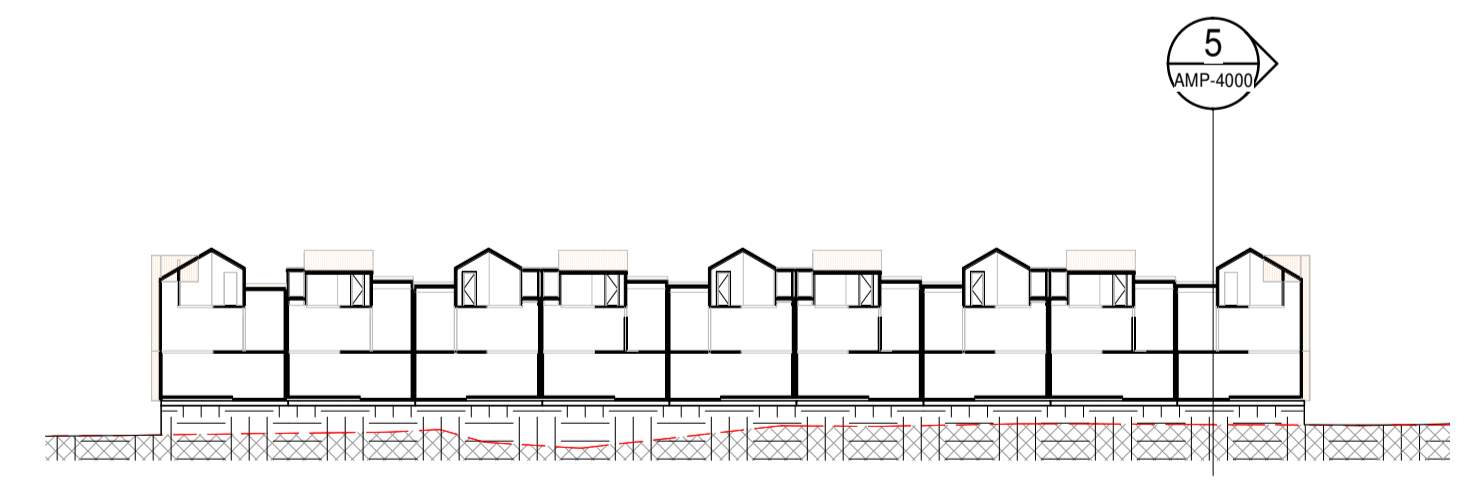
**4** WEST ELEVATION  
SCALE 1 : 500



**5** SECTION 01  
SCALE 1 : 500



KEY PLAN



**6** SECTION 02  
AMP-2001 SCALE 1 : 500

Project  
**WARRIWOOD**  
10 Boondah Rd, Warriewood, New South Wales 2102

Project Number  
**10**

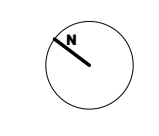
Rev.	Date	Description	Iss.	Appr.
1	18/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-4000**

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Scale  
As indicated  
@A1



Revision  
**2**

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Project  
**WARRIWOOD**  
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Project Number 10 Status

Rev.	Date	Description	Iss.	Appr.
1	18/05/2022	DRAFT	RW	AP
2	01/06/2022	PP	RW	AP

Drawing Number  
**AMP-9901**

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Scale  
 1 : 1000 @A1



Revision  
**2**

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- [---] Development Area
- [---] Setback line
- [---] Boundary line
- [---] Zoning boundary

TOTAL ON GRADE  
PARKING: 15 CAR  
PARK



Rev.	Date	Description	Iss.	Appr.
1	01/06/2022	PP	FW	AP

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File:  
Autodesk Docs://220158-R22-Warriewood/220158-  
WARRIEWOOD\_ARCHITECTURE\_R22.rvt

Project  
**WARRIEWOOD**  
10 Boondah Rd, Warriewood, New South Wales 2102

Project Number  
10

Status  
Date Plotted 6/1/2022 3:00:04 PM  
Date Issued  
Scale 1 : 500 @A1

Drawing Title  
**PRELIMINARY CONCEPT PLAN (L)**

Drawing Number  
**AMP-10001**

Revision  
**1**

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