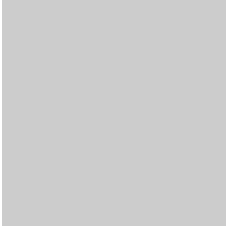
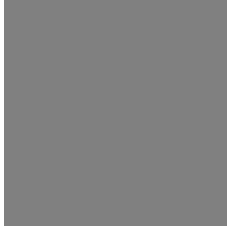
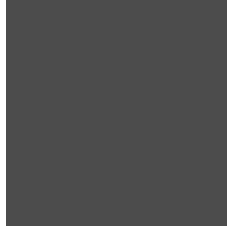
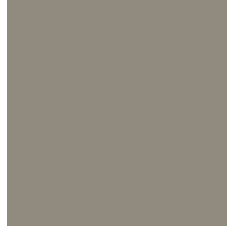
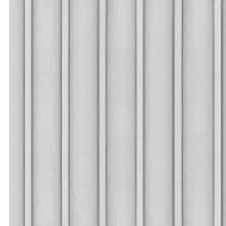



LEGEND		
AWN	-	AWNING
BG	-	BOX GUTTER
BLK	-	CONCRETE BLOCK RETAINING WALL TO ENG. DETAILS
BRK	-	BRICKWORK WALL TO ENG. DETAILS
CL	-	CEILING LEVEL
COL1	-	STEEL COLUMN TO ENGINEERS DETAILS
CONC1	-	CONCRETE SLAB TO ENG. DETAILS
CONC2	-	CONCRETE SLAB TO ENG. DETAILS (GARAGE/ EXTERNAL)
COS	-	CHECK ON SITE
CPT1	-	CARPET ON UNDERLAY
CSD	-	CAVITY SLIDING DOOR
CT1	-	CERAMIC FLOOR TILE1
CT2	-	CERAMIC FLOOR TILE2
DP	-	COLORBOND FINISH RAINWATER CIRCULAR
EP1-3	-	EXTERNAL PAINT FINISH. REFER SCHEDULE OF COLOURS AND FINISHES
EX	-	EXISTING
FC1	-	COMPRESSED FIBROUS CEMENT WALL CLADDING
FEN1	-	PAINT FINISH GALV. M.S. FENCE AND GATES
FFL	-	FINISHED FLOOR LEVEL
FL	-	FLASHING
FW	-	FLOOR WASTE
G	-	COLORBOND FINISH EAVES GUTTER
GD	-	GRATED DRAIN
GL1	-	POWDERCOAT ALUMINIUM FRAMED GLAZED DOORS AND WINDOWS
GLB	-	STEEL FRAMED GLAZED BALUSTRADE
HWU	-	GAS STORAGE HOT WATER UNIT
MR1	-	COLORBOND METAL ROOF SHEET ON SARKING AND NSULATION
NTS	-	NOT TO SCALE
O	-	OBSCURE GLAZING
OF	-	OVERFLOW OUTLET
PAV1	-	CERAMIC FLOOR TILES ON WATERPROOF MEMBRANE
PAR	-	PARAPET
PL	-	PLANTER
RL	-	STRUCTURAL LEVEL
RWH	-	RAINWATER HEAD
SKL	-	NEW ROOF SKYLIGHT
SL	-	SOFFIT LINING
SP	-	SPITTER OUTLET
TB1	-	INTERNAL POLISHED TIMBER FLOOR BOARDS
TD1	-	EXTERNAL TIMBER DECKING
TC1	-	TIMBER BATTENS ON FC

BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)					
Assessor # ABSA 20901			BASIX Certificate # 1179023S		
Assessor's name: Ved Baheti		m: 0421 530 876		e: ved@outsourceideas.com.au	
WATER	No hot water reticulation required				
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps	
Rating	3 Star(>4.5 But<=6L/Min)	4 star	4 star	4 star	
Alternate water source					
	Type	Size	Roof area connected	Connections	
	RWT	4000L	130 m2	Toilet & Landscape	
Swimming pool					
Outdoor Pool with Pump Timer	Volume	Heated	Cover	Shaded	
	50 KL	No	Yes	No	
Spa					
Outdoor Spa with Pump Timer	Volume	Heated	Cover	Shaded	
	4KL	No	Yes	No	
ENERGY					
Hot water	Type		Rating		
	Individual, gas instantaneous		6 star		
Mech. Ventilation	System		Operation Control		
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off		
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off		
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off		
Cooling System	Type		Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned		EER 2.5 - 3.0	EER 2.5 - 3.0	
Heating System	Type		Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned		EER 2.5 - 3.0	EER 2.5 - 3.0	
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)				
	Toilets, L'dry & Hallway	Living	Kitchen	Bed rooms	
Dedicated	Yes	Yes	Yes	All	
Others	Indoor private Cloth Line		No		
	Outdoor or sheltered Cloth Line		Yes		
	Well ventilated Fridge space		No		
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven		
Alternate Energy	Min. 2.5 KW Solar panel				
THERMAL	As per thermal simulation carried out by assessor				
	External Wall Insulation: R2.0				
	Ceiling Insulation: R4.0				
	Roof type : Metal roof, Medium colour (SA 0.475 - 0.7) + 55mm Foil blanket (R1.3)				
	Glazing: ALM-002-01 A: Aluminium B SG Clear U=6.7 SHGC =0.70				
	All External doors & windows to be weather sealed				
	Eaves / shading as per drawings				

DRAWING LIST		
A000	-	COVER SHEET
A001	-	SITE PLAN AND SITE ANALYSIS PLAN
A002	-	DEMOLITION AND EXCAVATION PLAN
A003	-	LANDSCAPE CONCEPT PLAN
A004	-	DRIVE PROFILE AND SECTION
A101	-	LOWER GROUND FLOOR PLAN
A102	-	GROUND FLOOR PLAN
A103	-	FIRST FLOOR PLAN
A104	-	ROOF PLAN
A201	-	EAST ELEVATION
A202	-	WEST ELEVATION
A203	-	SOUTH AND NORTH ELEVATION
A301	-	SECTION A-A
SK11	-	SHADOW DIAGRAMS - WINTER 0900
SK12	-	SHADOW DIAGRAMS - WINTER 1200
SK13	-	SHADOW DIAGRAMS - WINTER 1500
SK14	-	SHADOW ELEVATIONS - 37 ATTUNGA ROAD SHEET 01
SK16	-	SHADOW ELEVATIONS - 41 ATTUNGA ROAD SHEET 01
SK17	-	EROSION AND SEDIMENT CONTROL PLAN
SK18	-	PERSPECTIVE - VIEW FROM NORTHERN ATTUNGA ROAD
SK19	-	PERSPECTIVE - VIEW FROM SOUTHERN ATTUNGA ROAD
N01	-	NOTIFICATION PLAN



EXTERNAL FINISHES SCHEDULE					
					
RENDERED MASONRY COLOUR: LIGHT GREY EP1	RENDERED MASONRY COLOUR: MID GREY EP2	RENDERED MASONRY COLOUR: DARK GREY EP3	RENDERED MASONRY COLOUR: WARM GREY EP4	METAL ROOF COLOUR: TBC MR1	ALUMINIUM FRAMED WINDOWS/DOORS GL1

	Energy Rating	Certificate Number 20901386
<input checked="" type="checkbox"/> single-dwelling rating		5.5 stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	39.0 MJ/m²
If selected, data specified is the average across the entire development	cooling	26.0 MJ/m²
Recessed downlights confirmation:	<input type="checkbox"/> Rated with	<input checked="" type="checkbox"/> Rated without
Assessor Name/Number	Ved B. 20901	
Assessor Signature		Date 18/03/2021

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AMENDMENT

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

COVER SHEET
NOT TO SCALE

2003
MARCH 2021

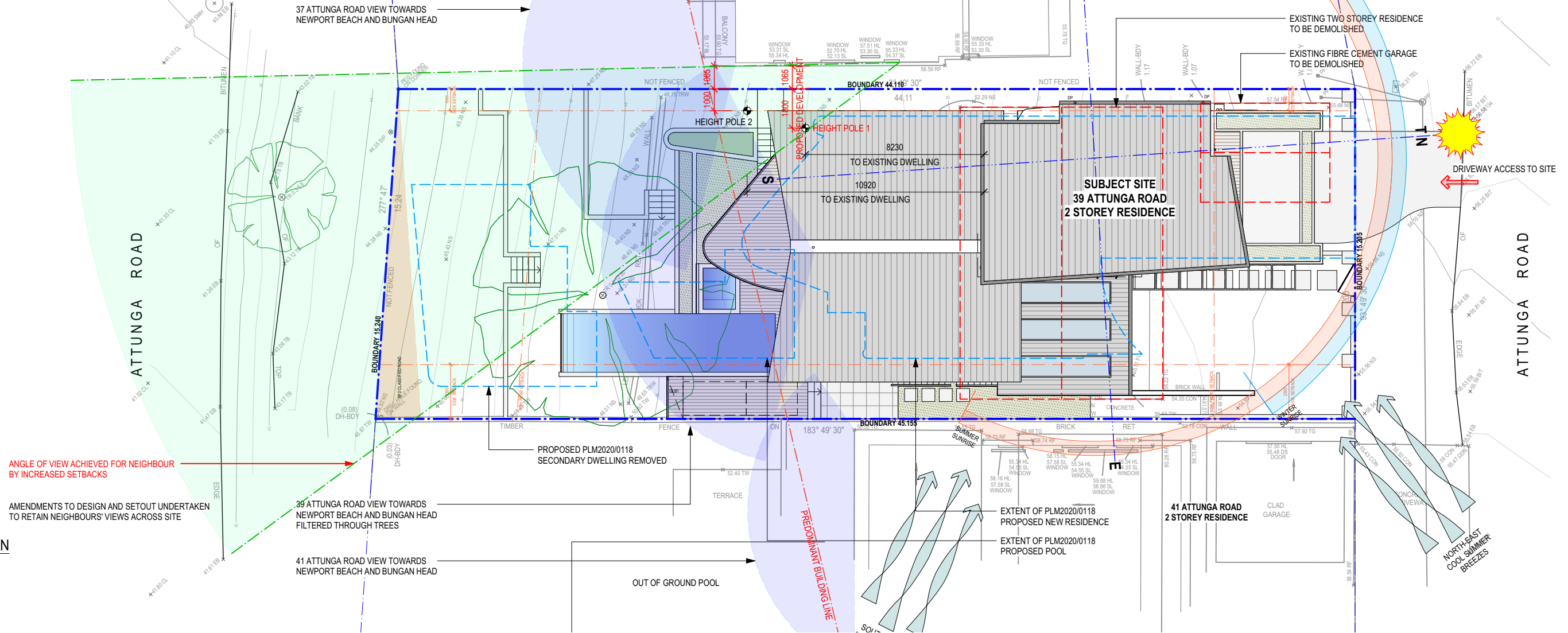
A000 A

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1 SITE PLAN
NOT TO SCALE

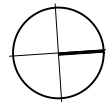
2 SITE ANALYSIS PLAN
SCALE 1:200



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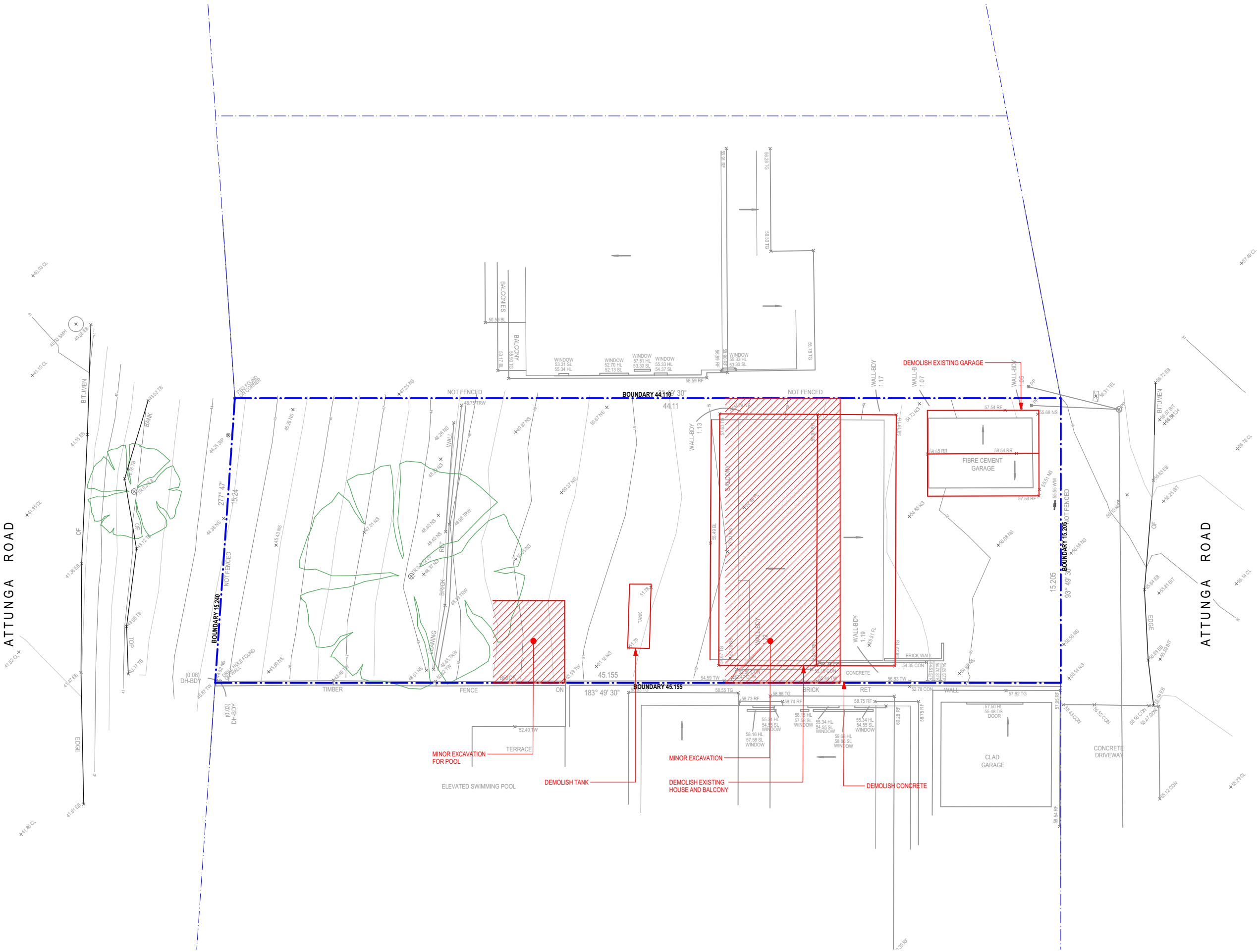
SITE PLAN AND SITE ANALYSIS PLAN
AS NOTED @ A3

2003
FEB 2021

A001 A

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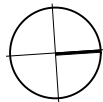




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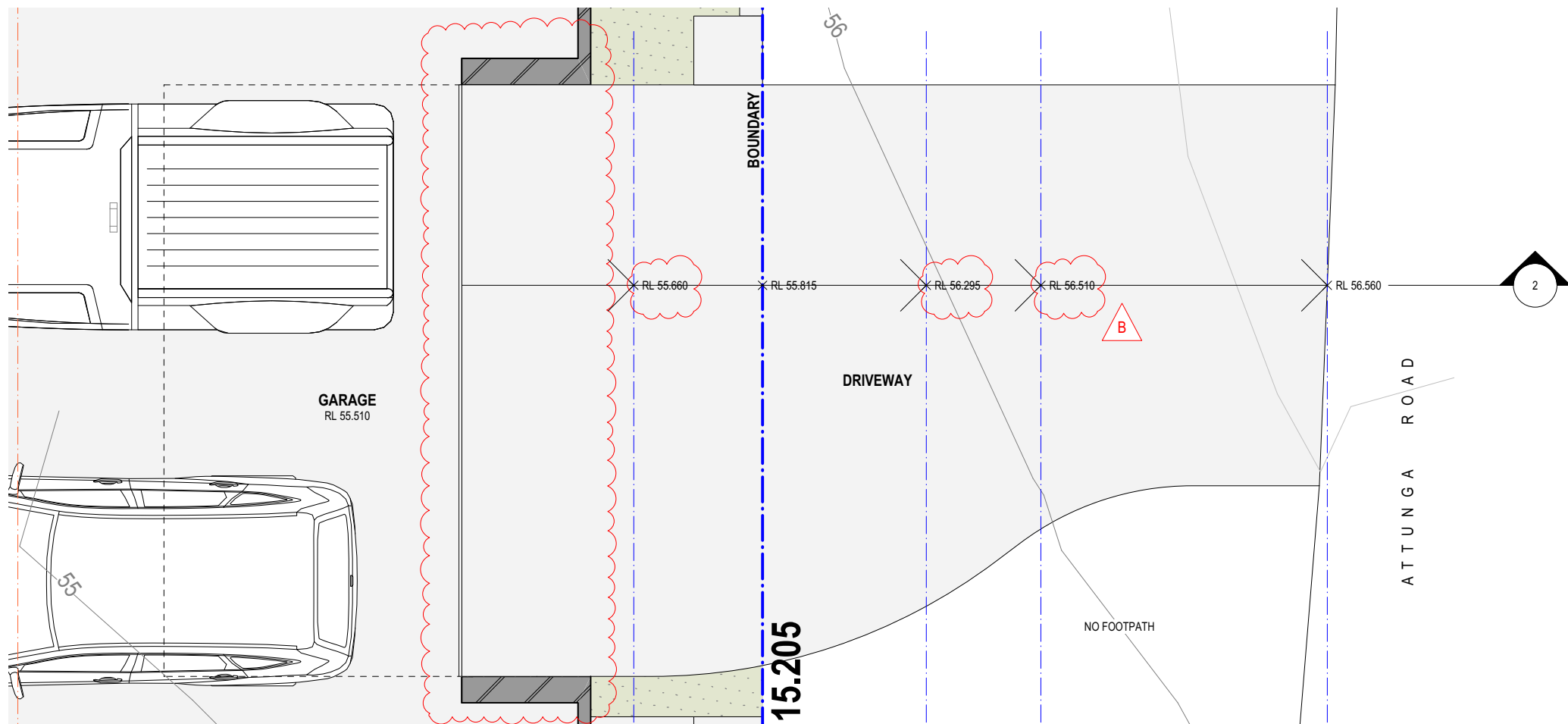


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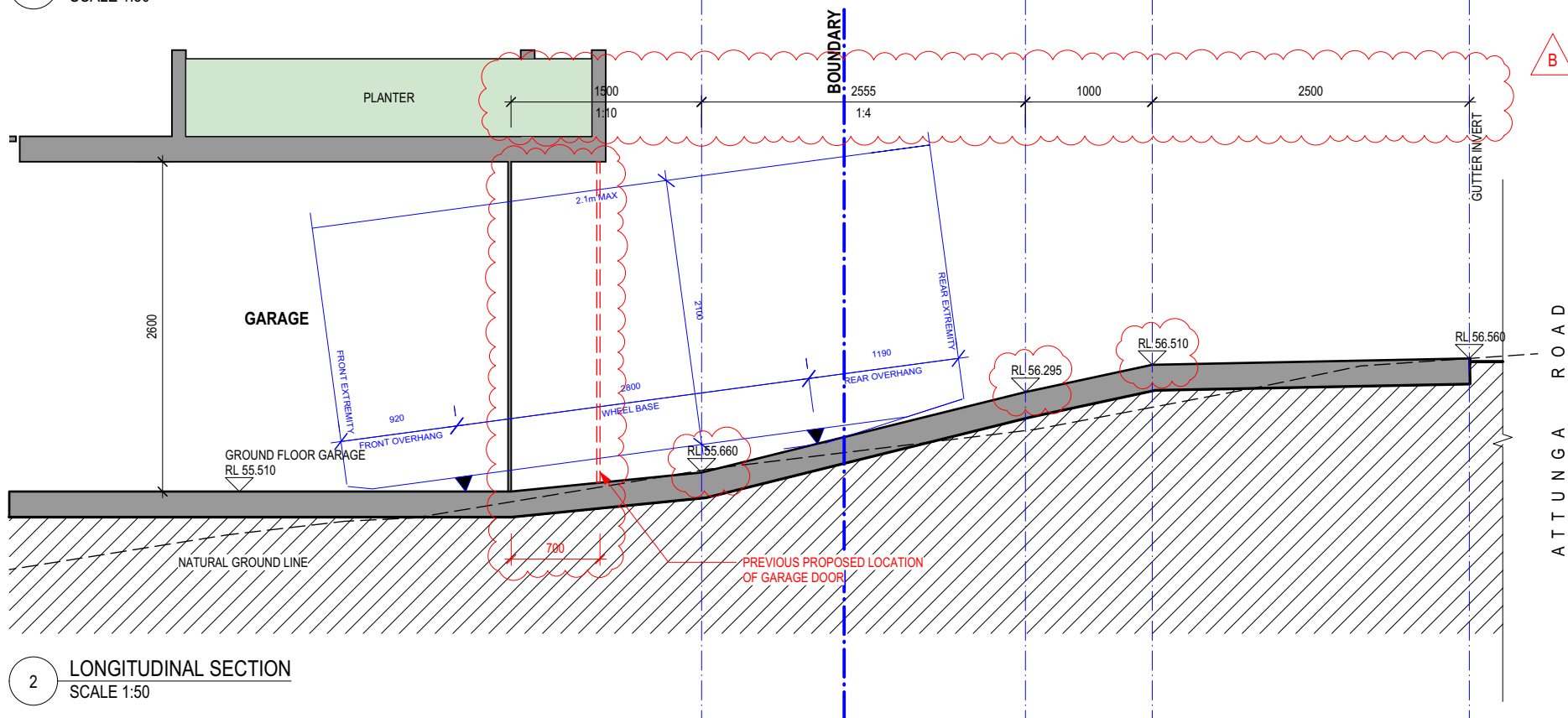
DEMOLITION AND EXCAVATION PLAN 2003 A002 A
1:200 @ A3
FEB 2021

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1 PLAN
SCALE 1:50



2 LONGITUDINAL SECTION
SCALE 1:50

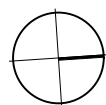


3 EXISTING FRONT STREETScape
NOT TO SCALE

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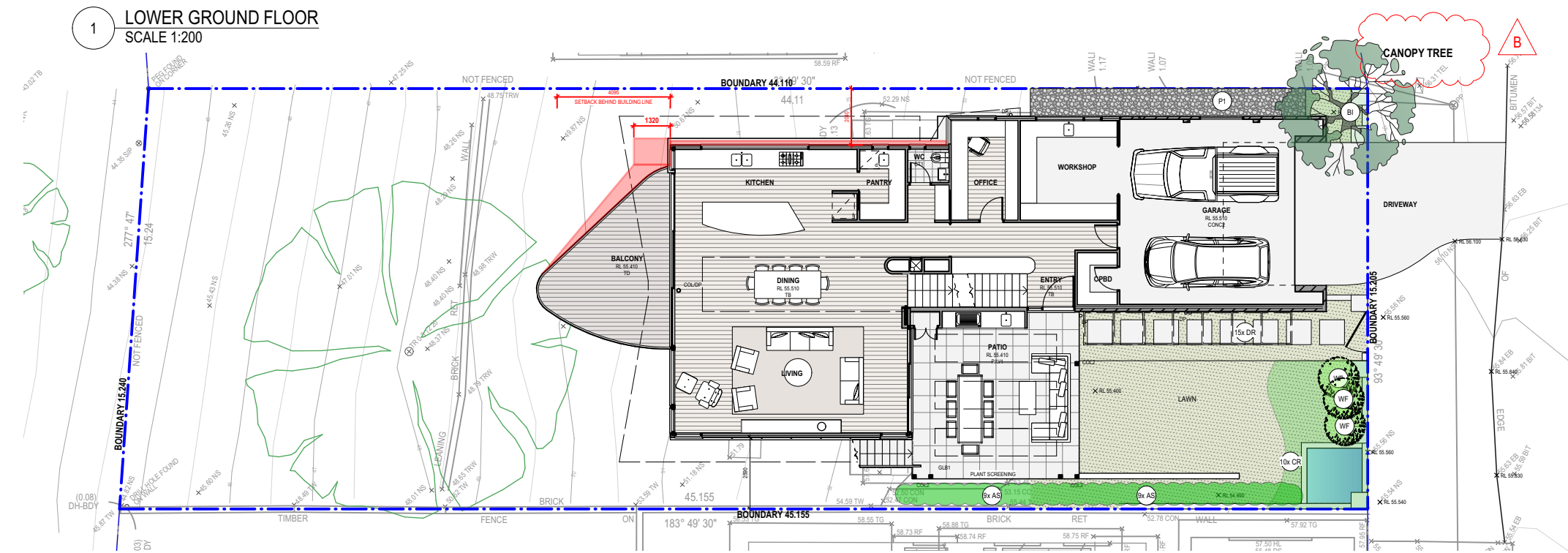
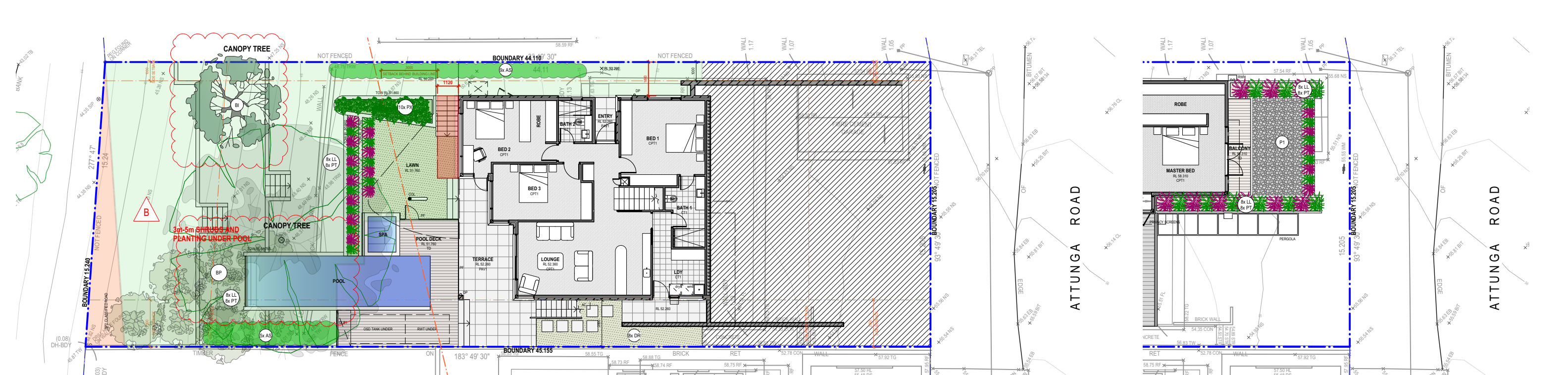
DRIVEWAY PROFILE AND SECTION
1:50 @ A3

2003
FEB 2021

A003 B

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AS MIN 25L POT
SMALL-LEAF LILLY PILLI
Acmena smithii 'Hot Flush'

Fast growing Lilly Pilli that will grow to 10 metres, but can be pruned to desired height. Will grow up to 2 metres annually in perfect conditions. Will tolerate shade, full sun, part shade. This variety of Lilly Pilli is not susceptible to psyllids.



BI MIN 25L POT
COASTAL BANKSIA
Banksia integrifolia

A species of tree that grows along the east coast of Australia. One of the most widely distributed Banksia species, it occurs between Victoria and Central Queensland in a broad range of habitats, from coastal dunes to mountains. It is highly variable in form, but is most often encountered as a tree up to 25 metres (82 ft) in height.



PX PHILODENDRON
philodendron xanadu

Philodendron xanadu is a plant that belongs to the family Araceae and subgenus Meconostigma, one of three subgenera within the genus Philodendron. This plant is native to Brazil, but is widely cultivated as a landscape plant in tropical, subtropical and warm temperate climates. Philodendron xanadu eventually forms dense clumps up to 1.5 metres tall by 2 metres wide.



WF COASTAL ROSEMARY
Westringia fruticosa

A shrub that grows near the coast in eastern Australia. The flowers are white, hairy and have the upper petal divided into two lobes. They also have orange-to-purple spots on their bottom half. This shrub is very tough and grows on cliffs right next to the ocean. It reaches at least 2 m high and 5 m across



PT NEW ZEALAND FLAX
Phormium Bronze Warrior

The plant grows as a clump of long, straplike leaves, up to two metres long, from which arises a much taller flowering shoot, with dramatic yellow or red flowers



LL SPINY MAT RUSH
Lomandra longifolia

A perennial, rhizomatous herb found throughout eastern Australia. The leaves are 40 cm to 80 cm in long, and generally have a leaf of about 8 mm to 12 mm wide. It grows in a variety of soil types and is frost, heat and drought tolerant.



DE GYMEA LILLY
Doryanthes excelsa

A flowering plant indigenous to the coastal areas of New South Wales near Sydney. The plant has sword-like leaves more than a meter long. It flowers in spring and summer, sending up a flower spike up to 6 m high, which at its apex bears a large cluster of bright red flowers, each 10 cm across.



CR NATIVE PIGFACE
Carpobrotus rossii

A hardy Australian native ground cover, bright pink daisy flowers throughout most of the year with the main flush in spring and summer. Is drought hardy and suitable for sandy soils. Prefers a full sun position and is suitable for pots.



DR KIDNEY WEED
Dichondra Repens

- Ground Cover
- Attractive between pavers and is useful for shaded areas steep banks and other inaccessible positions
- Preferred aspect is full sun to 80% shade



LAWN (L) NARA NATIVE TURF
Nara Zoysia

Nara has excellent salt tolerance, so in this respect, it is an excellent choice for coastal regions where other grasses simply cannot cope with excessive amounts of salt in the environment.



P1 WASHED RIVER PEBBLES

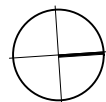


BP BURRAWANG PALM
Macrozamia Communis

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NEW HORTON RESIDENCE 39 ATTUNGA ROAD NEWPORT

LANDSCAPE CONCEPT PLAN

1:200 @ A3

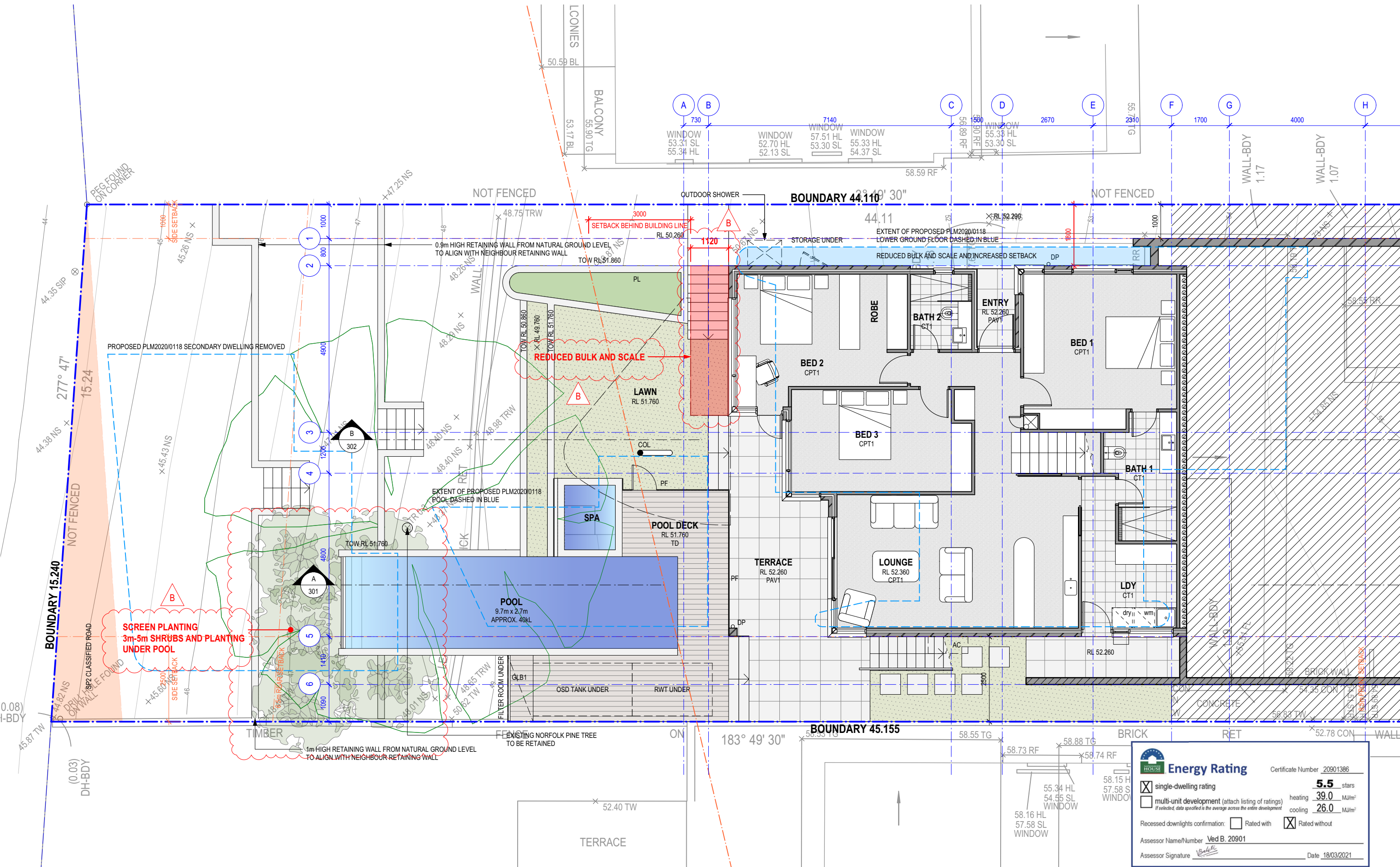
2003

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A003 B

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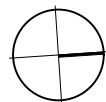




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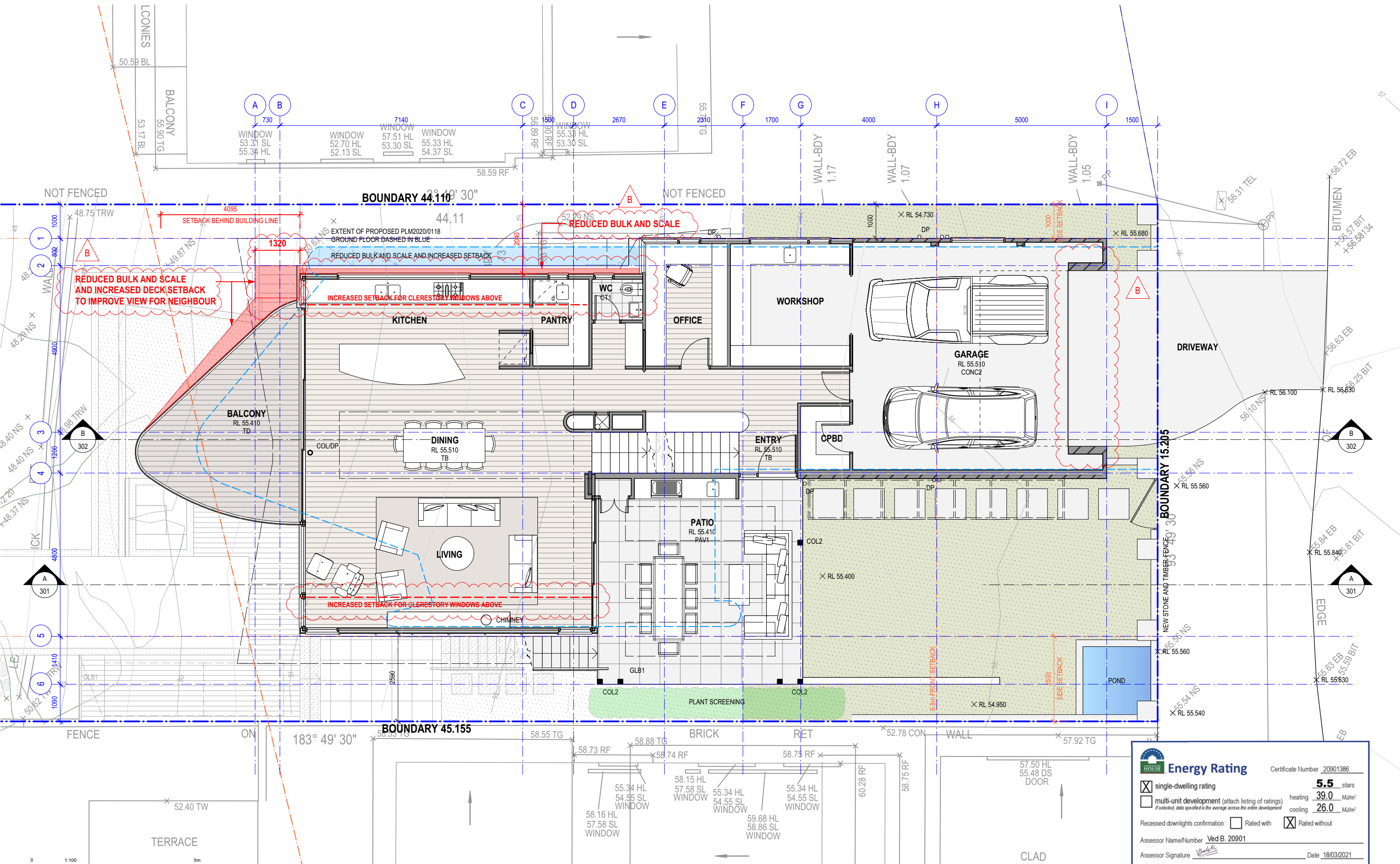



NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

LOWER GROUND FLOOR PLAN
1:100 @ A3

2003
FEB 2021
A101 B





**Energy Rating**

Certificate Number 20901386

☒ single-dwelling rating

☐ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating **39.0** MJ/m²

cooling **26.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

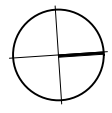
Assessor Name/Number **Ved B. 20901**

Assessor Signature *Ved B. 20901* Date **18/03/2021**

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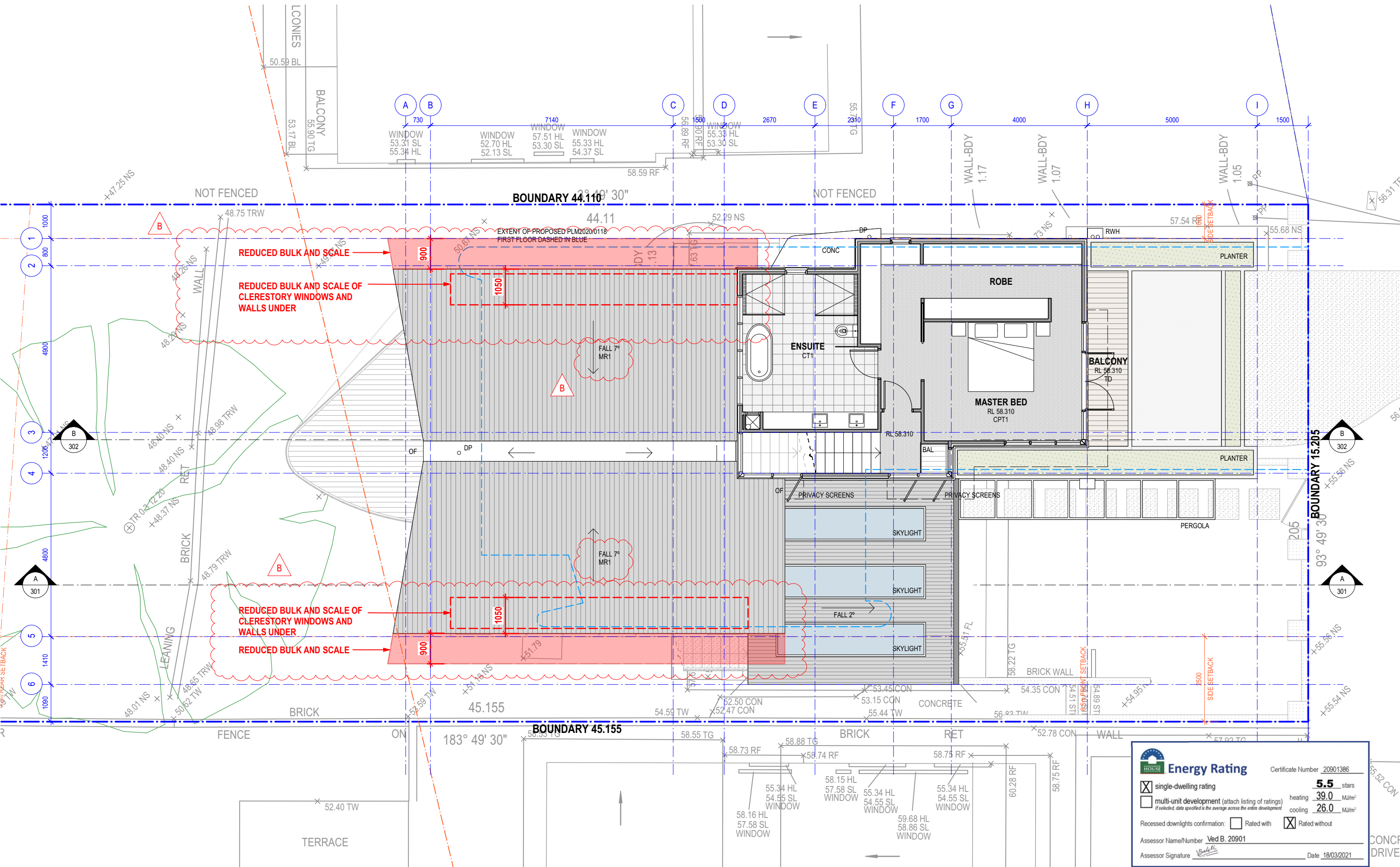



NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

GROUND FLOOR PLAN
1:100 @ A3

2003
FEB 2021
A102 B





**Energy Rating**

Certificate Number 20901386

☒ single-dwelling rating

☐ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating **39.0** MJ/m²

cooling **26.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **Ved B. 20901**

Assessor Signature *Ved B. 20901* Date **18/03/2021**

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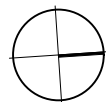
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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

FIRST FLOOR PLAN
1:100 @ A3

2003
FEB 2021

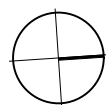
A103 B





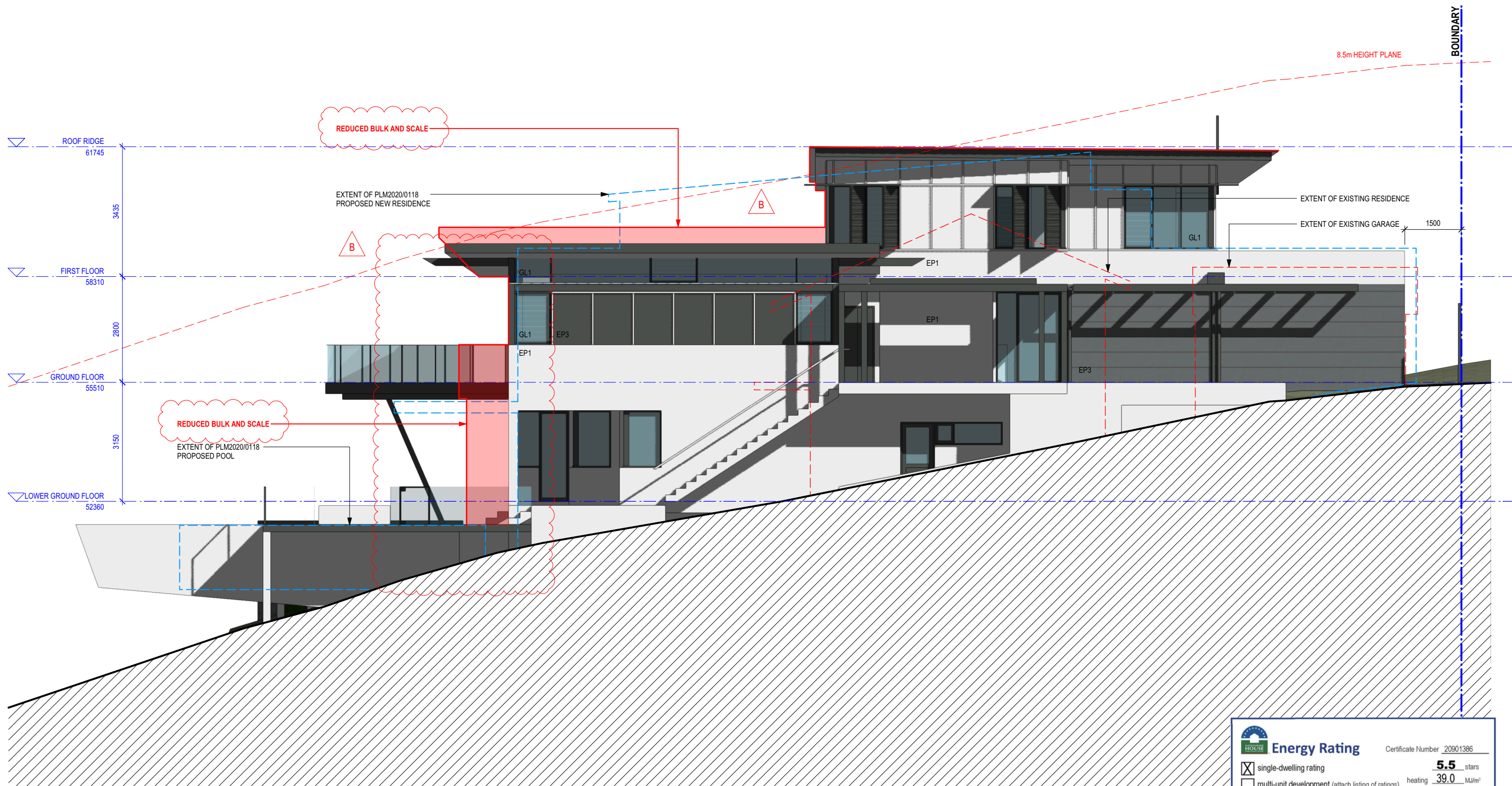
JULY 2021 A
DATE REVISION



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 Energy Rating		Certificate Number 20901386
<input checked="" type="checkbox"/> single-dwelling rating	5.5 stars	
<input type="checkbox"/> multi-unit development (attach listing of ratings) <small>If selected, data specified is the average across the entire development</small>	heating	39.0 MJ/m²
	cooling	26.0 MJ/m²
Recessed downlights confirmation: <input type="checkbox"/> Rated with <input checked="" type="checkbox"/> Rated without		
Assessor Name/Number Ved B. 20901		
Assessor Signature 		Date 18/03/2021

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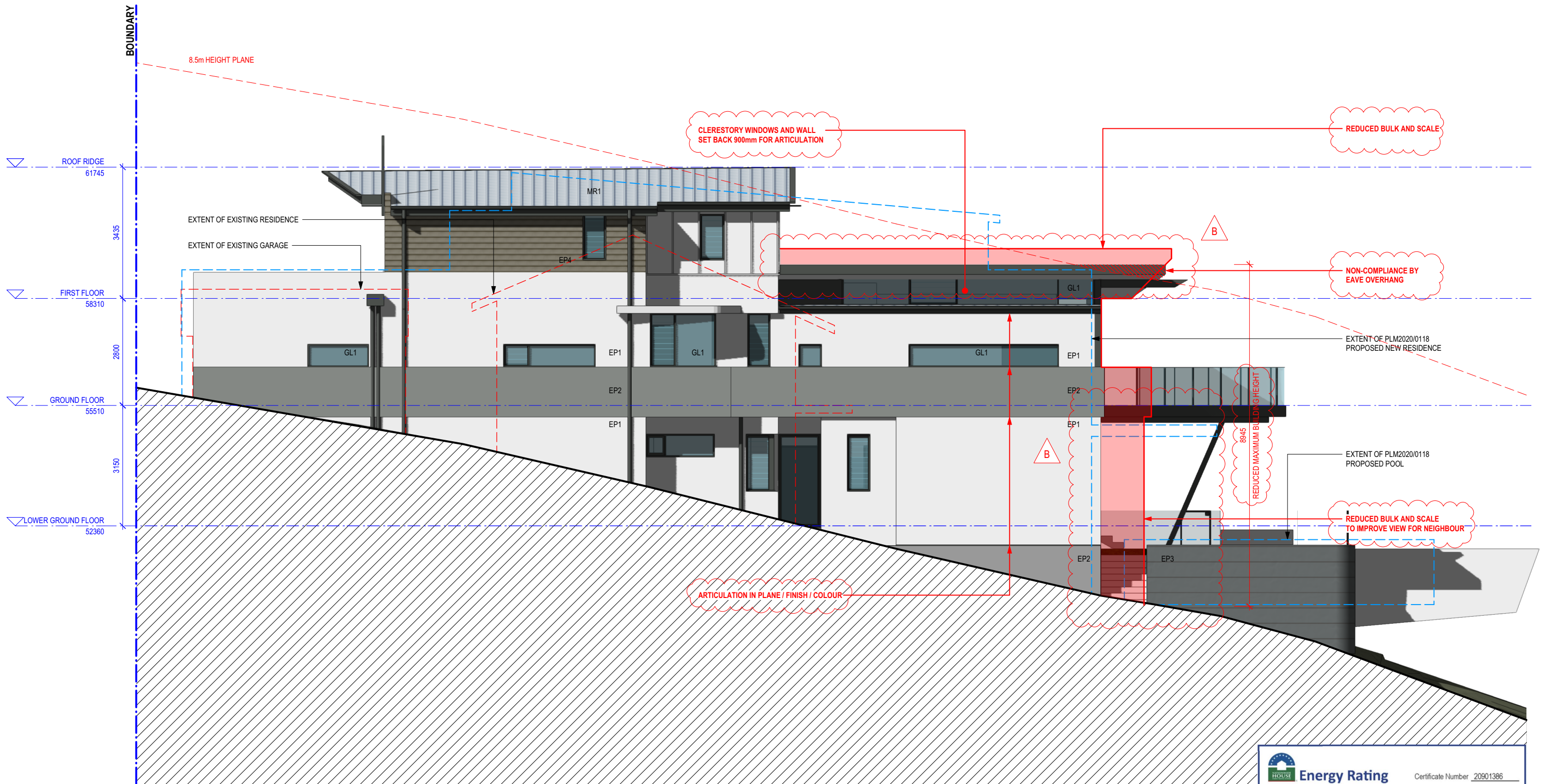
NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

EAST ELEVATION
1:100 @ A3

2003
FEB 2021
A201 B

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	Energy Rating	Certificate Number 20901386
<input checked="" type="checkbox"/> single-dwelling rating		5.5 stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating 39.0 MJ/m²	
<small>If selected, data specified is the average across the entire development</small>	cooling 26.0 MJ/m²	
Recessed downlights confirmation:	<input type="checkbox"/> Rated with	<input checked="" type="checkbox"/> Rated without
Assessor Name/Number	Ved B. 20901	
Assessor Signature		Date 18/03/2021

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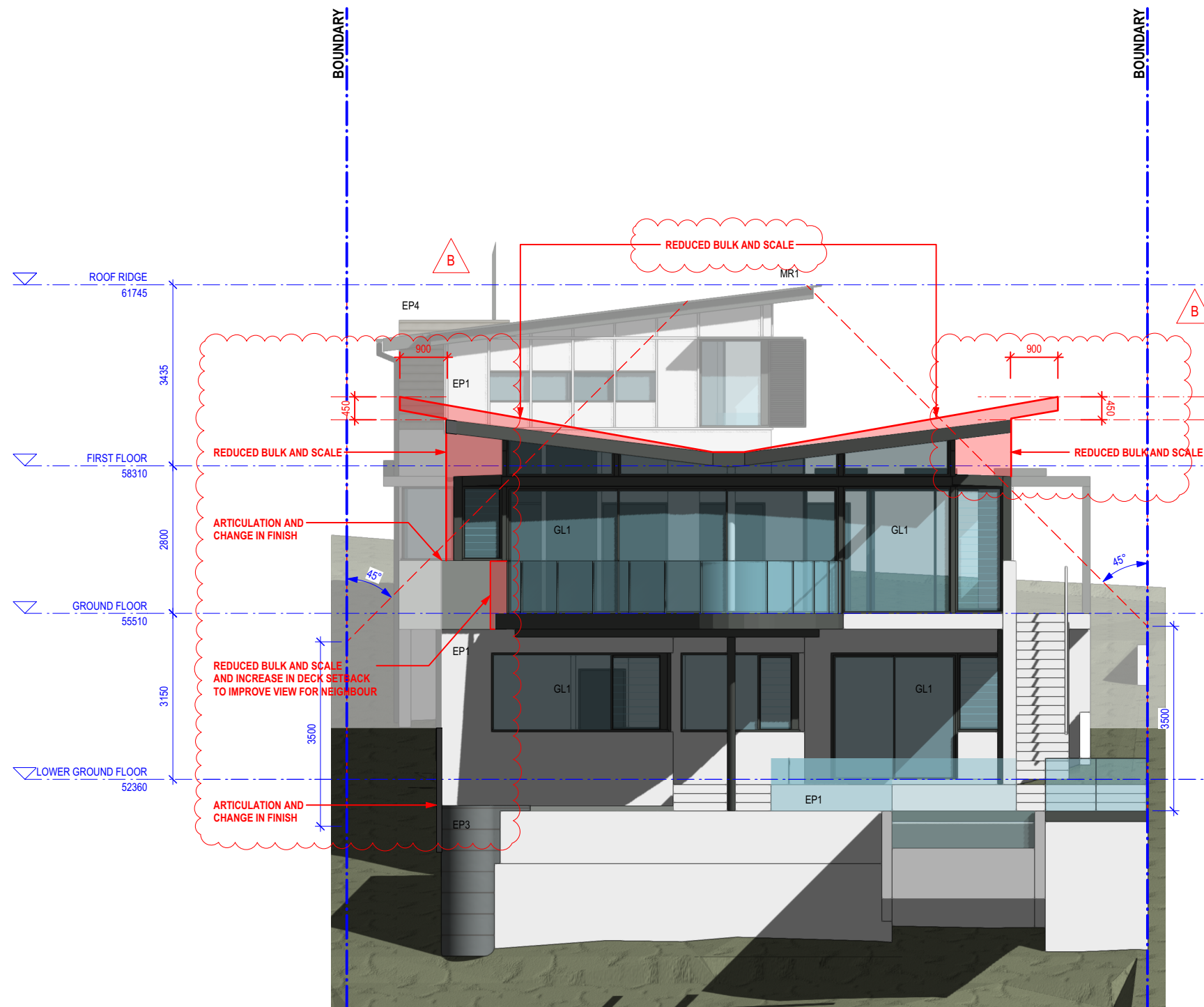
NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

WEST ELEVATION
1:100 @ A3

2003
FEB 2021

A202 B

MHDP
ARCHITECTS



1 SOUTH ELEVATION
SCALE 1:100



2 NORTH ELEVATION
SCALE 1:100

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

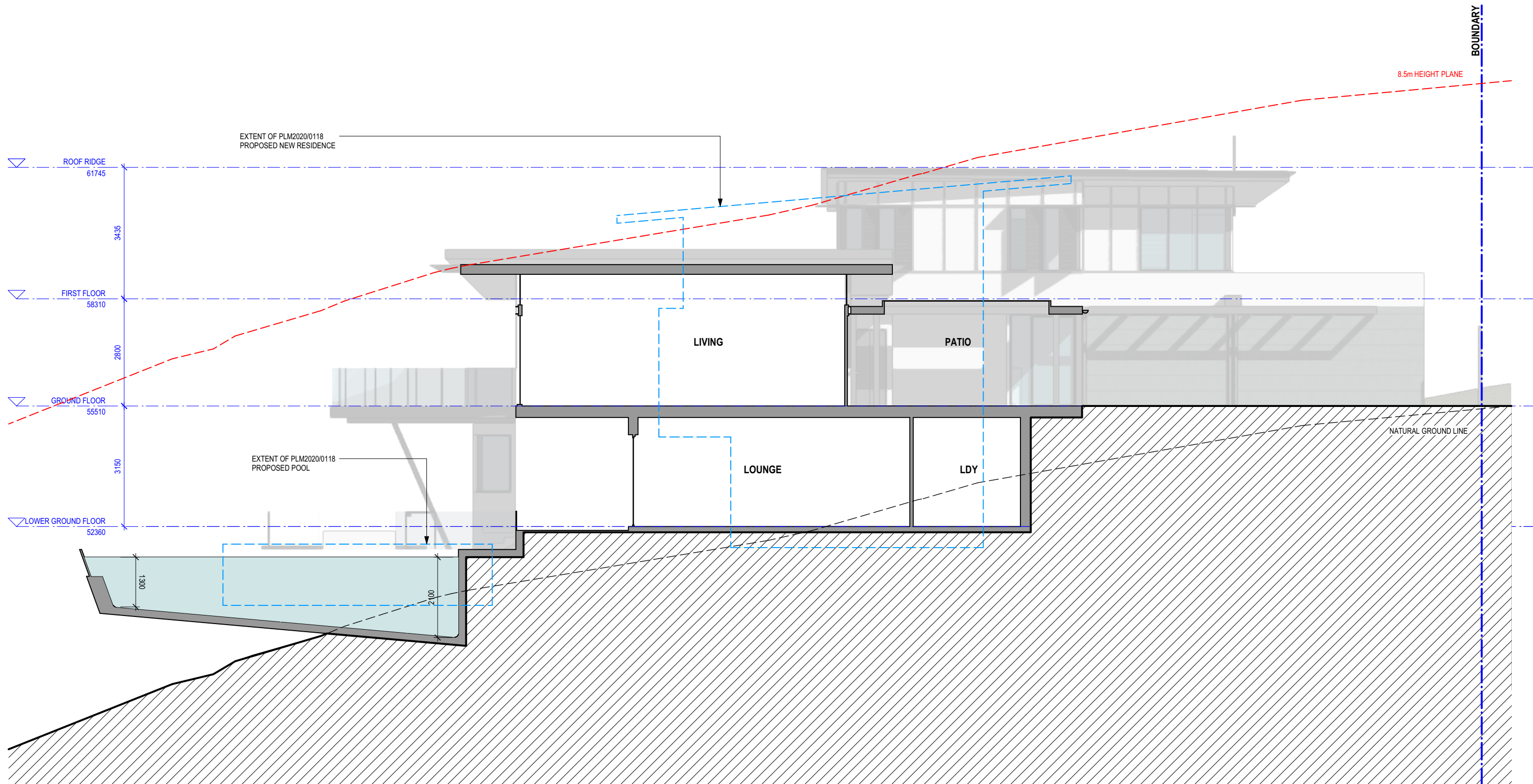
SOUTH & NORTH ELEVATION
1:100 @ A3

2003 A203 B
FEB 2021

Energy Rating		Certificate Number 20901386	
<input checked="" type="checkbox"/> single-dwelling rating			5.5 stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)			heating 39.0 MJ/m ²
		cooling 26.0 MJ/m ²	
Recessed downlights confirmation: <input type="checkbox"/> Rated with <input checked="" type="checkbox"/> Rated without			
Assessor Name/Number Ved B. 20901			
Assessor Signature		Date 18/03/2021	

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0 1:100 5m

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

SECTION A-A

1:100 @ A3

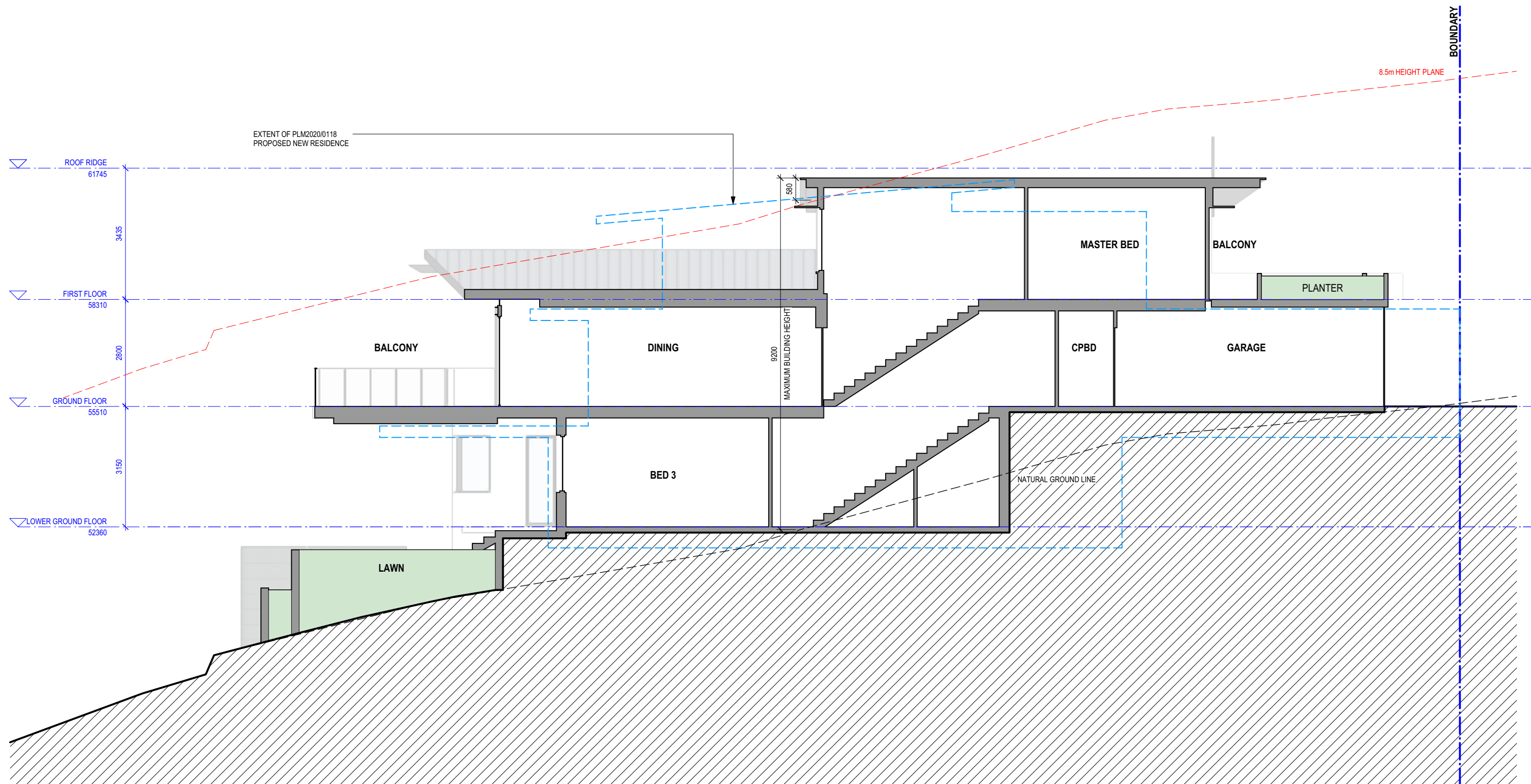
2003

FEB 2021

A301 A

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0 1:100 5m

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

SECTION B-B

1:100 @ A3

2003

FEB 2021

A302 A

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1 EXISTING - WINTER 0900

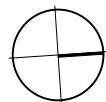


2 PROPOSED - WINTER 0900

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NEW HORTON RESIDENCE 39 ATTUNGA ROAD NEWPORT

SHADOW DIAGRAMS - WINTER 0900

1:250 @ A3

2003

FEB 2021

SK11 A

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ARCHITECTS





1 EXISTING - WINTER 1200

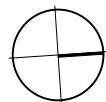


2 PROPOSED - WINTER 1200

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NEW HORTON RESIDENCE 39 ATTUNGA ROAD NEWPORT

SHADOW DIAGRAMS - WINTER 1200

1:250 @ A3

2003

FEB 2021

SK12 A

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1 EXISTING - WINTER 1500

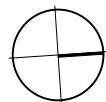


2 PROPOSED - WINTER 1500

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NEW HORTON RESIDENCE 39 ATTUNGA ROAD NEWPORT

SHADOW DIAGRAMS - WINTER 1500

1:250 @ A3

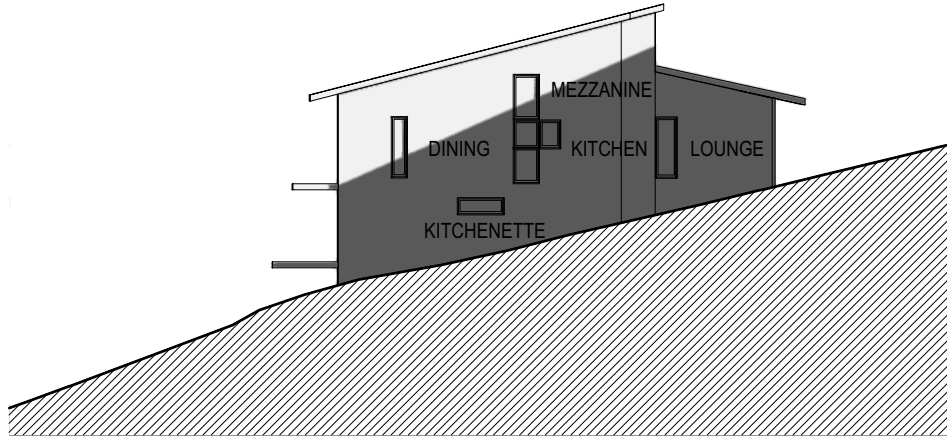
2003

FEB 2021

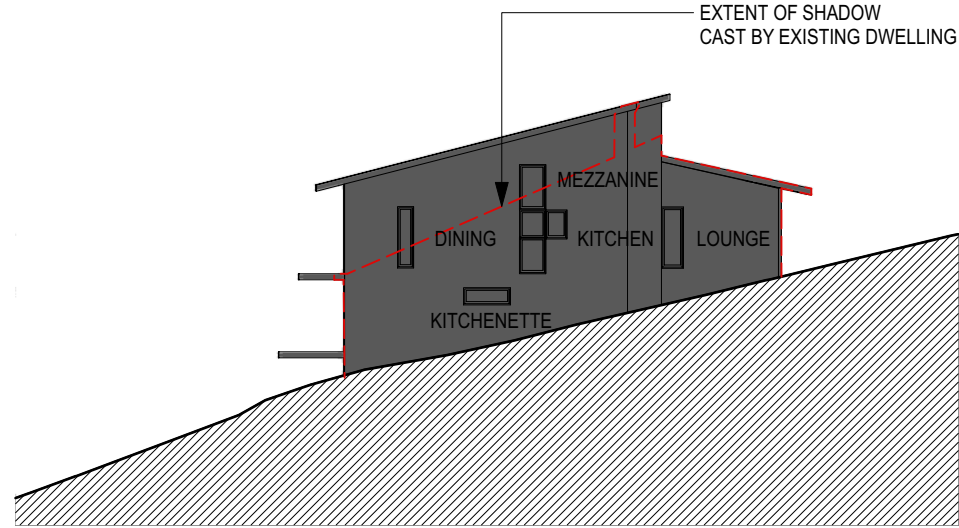
SK13 A

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ARCHITECTS

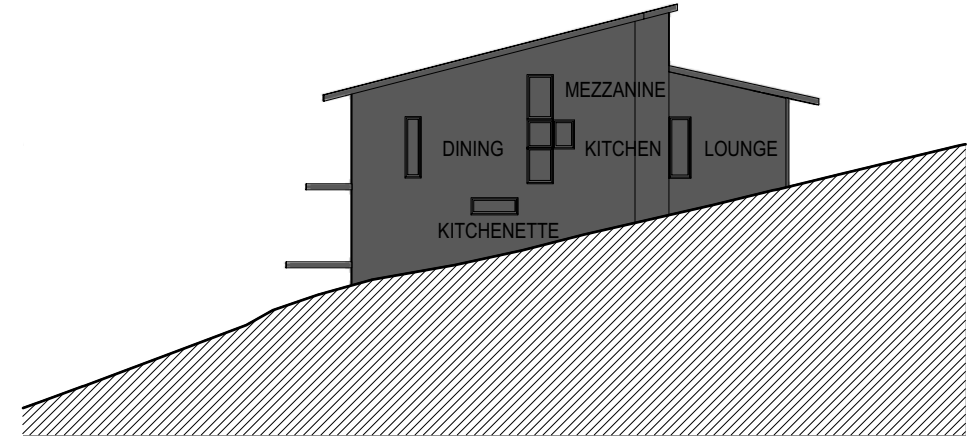




1 NO. 37 ATTUNGA ROAD
EXISTING - WINTER 0900

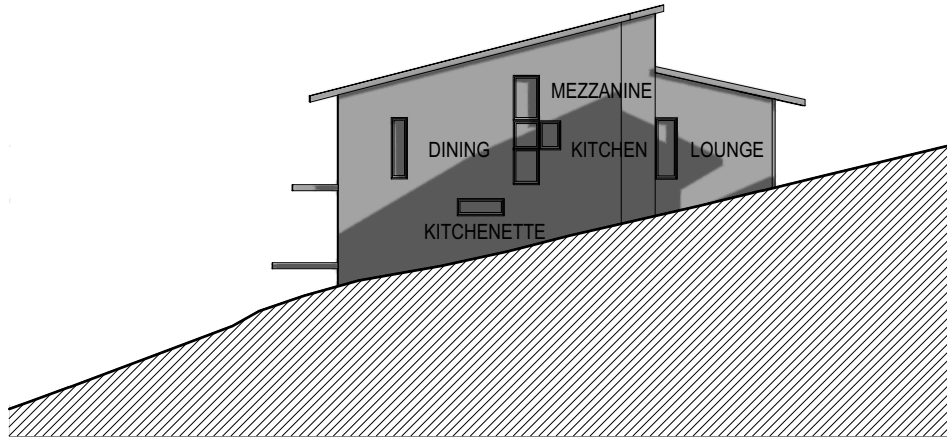


2 NO. 37 ATTUNGA ROAD
PROPOSED - WINTER 0900

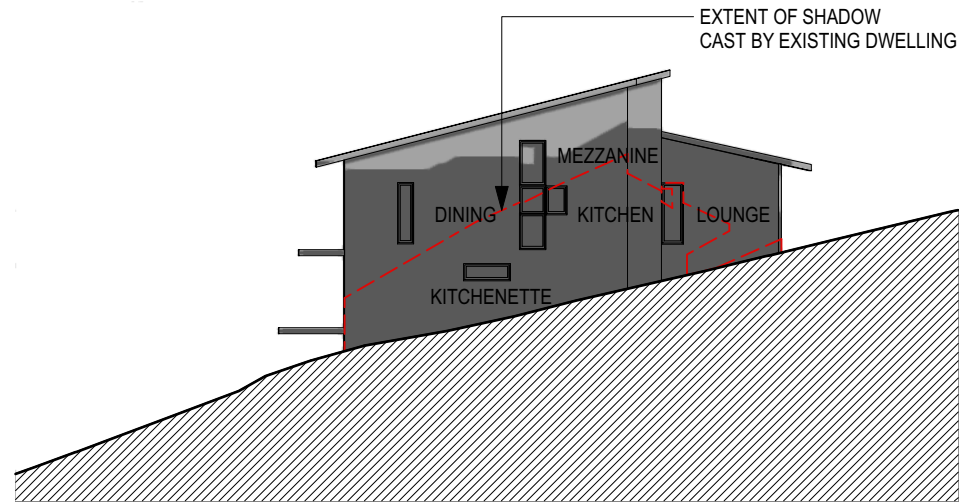


7 NO. 37 ATTUNGA ROAD
PROPOSED - WINTER 1200

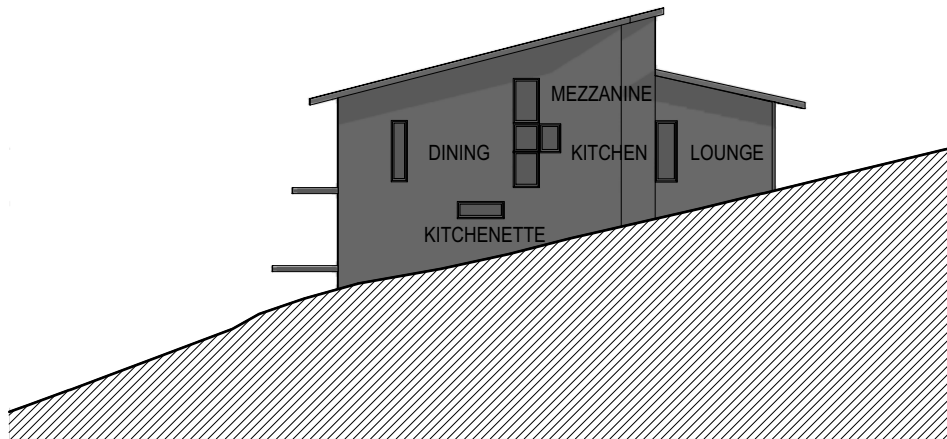
NOTE: NO OVERSHADOWING FROM SUBJECT SITE.
EASTERN FACADE SELF-SHADING
FROM 11:45AM.



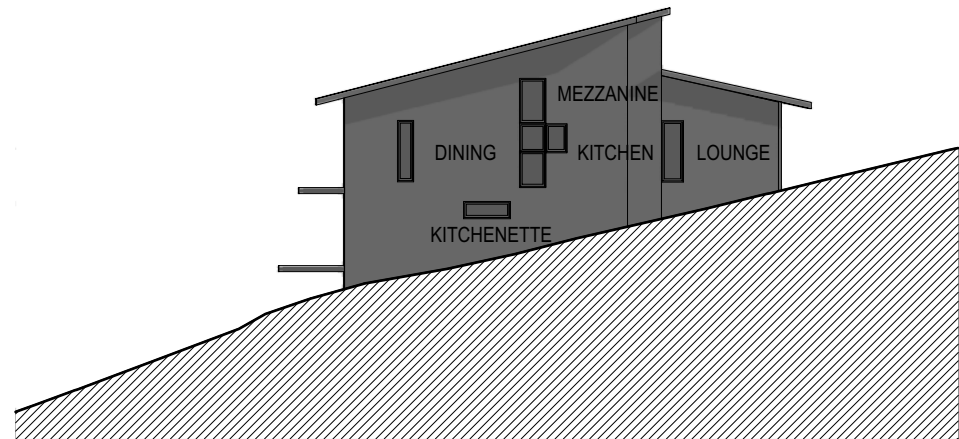
3 NO. 37 ATTUNGA ROAD
EXISTING - WINTER 1030



4 NO. 37 ATTUNGA ROAD
PROPOSED - WINTER 1030



5 NO. 37 ATTUNGA ROAD
EXISTING - WINTER 1130



6 NO. 37 ATTUNGA ROAD
PROPOSED - WINTER 1130

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

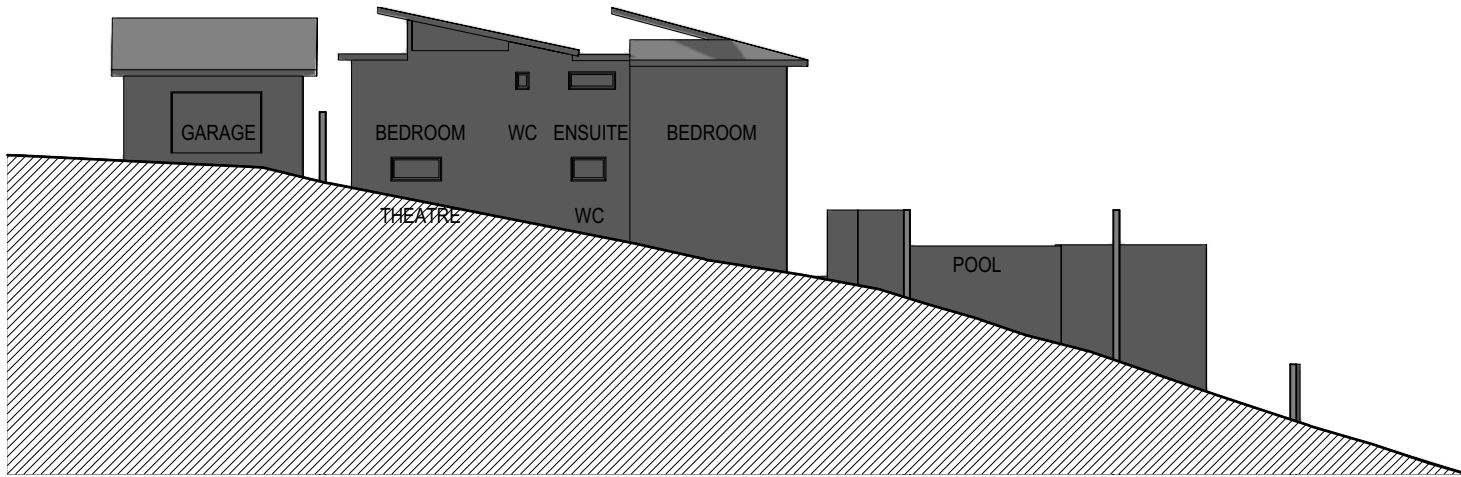
SHADOW ELEVATIONS -
37 ATTUNGA ROAD
1:250 @ A3

2003
FEB 2021

SK14 A

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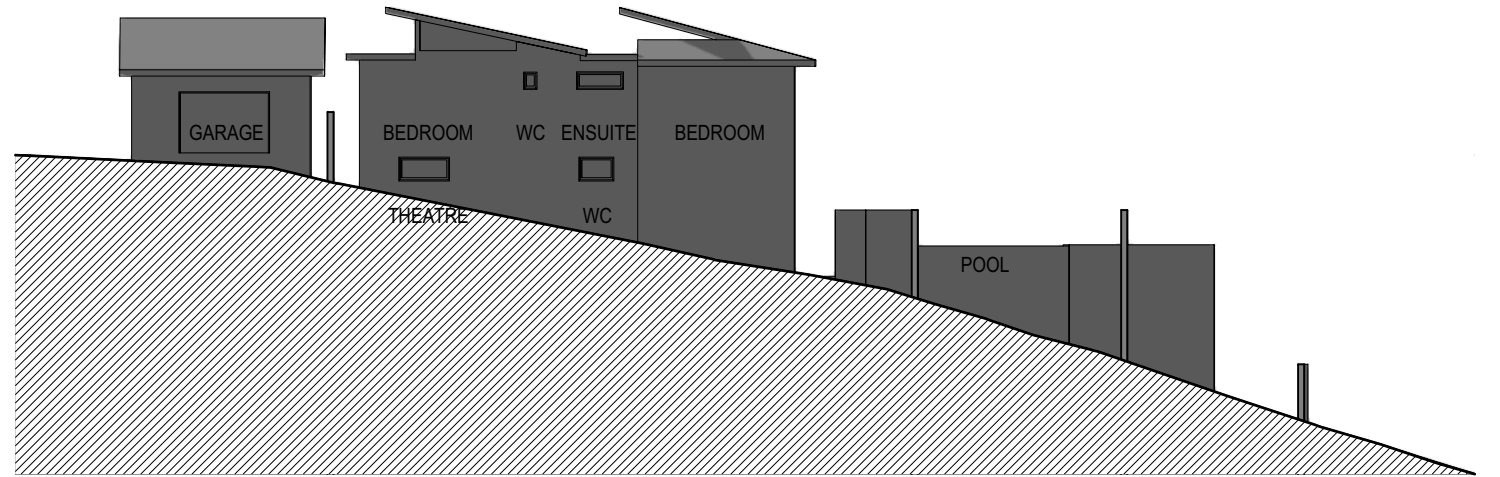




1

NO. 41 ATTUNGA ROAD
EXISTING - WINTER 0900

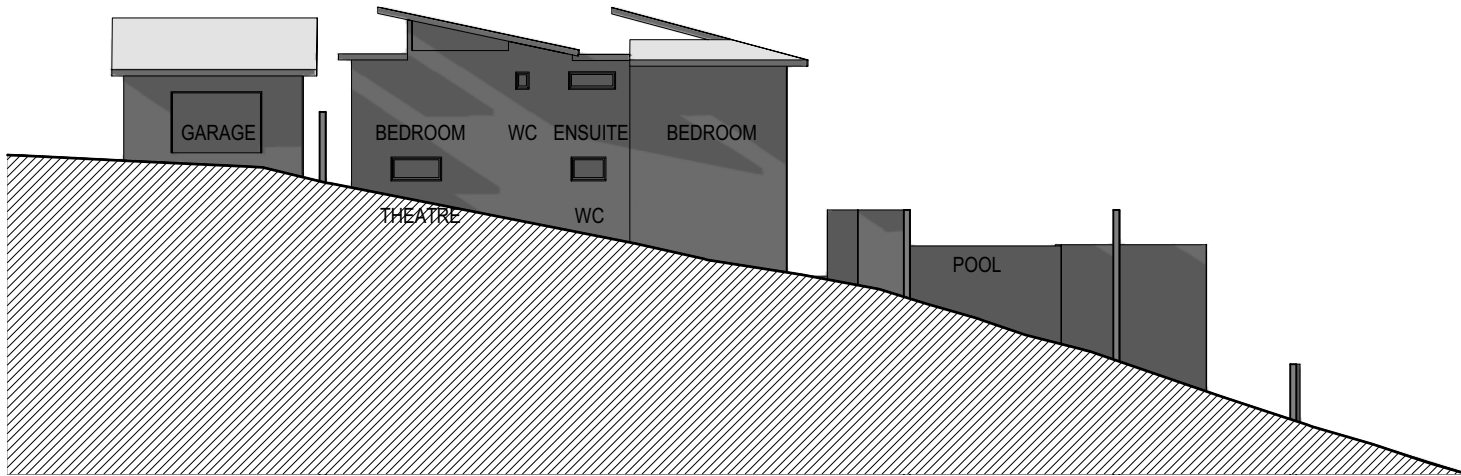
NOTE: NO OVERSHADOWING FROM
SUBJECT SITE



2

NO. 41 ATTUNGA ROAD
PROPOSED - WINTER 0900

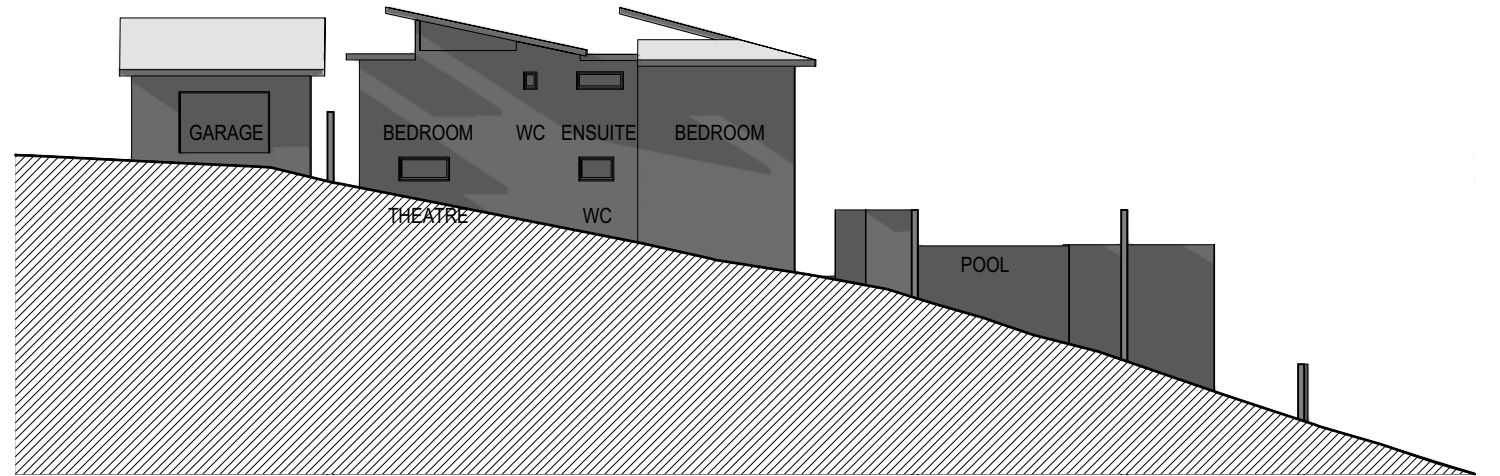
NOTE: NO OVERSHADOWING FROM
SUBJECT SITE



3

NO. 41 ATTUNGA ROAD
EXISTING - WINTER 1200

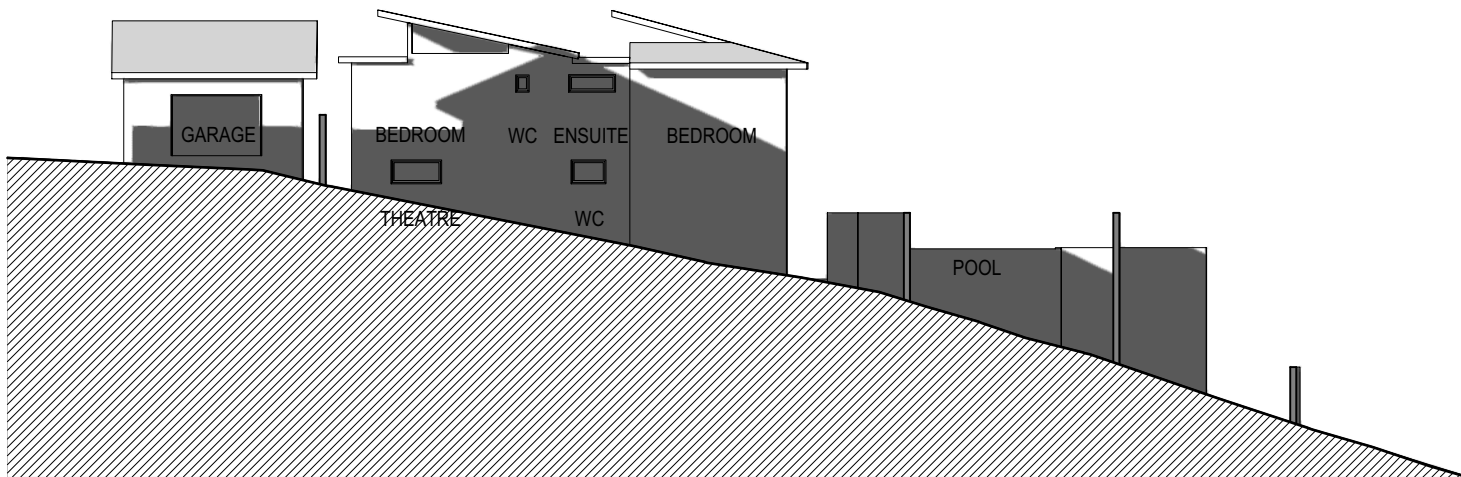
NOTE: NO OVERSHADOWING FROM
SUBJECT SITE



4

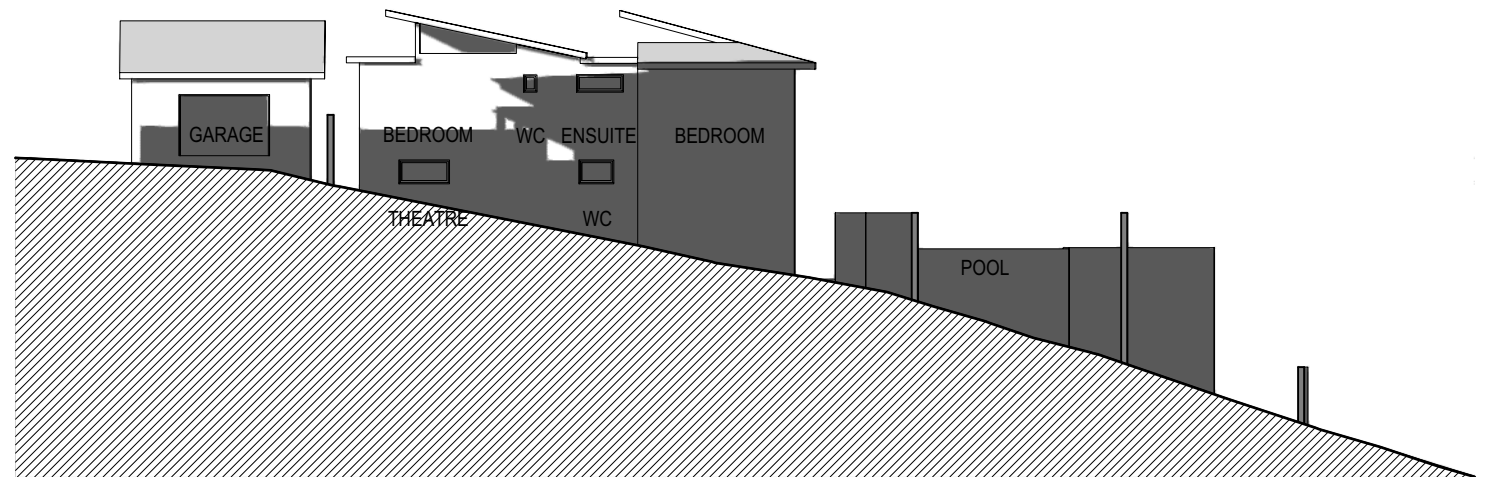
NO. 41 ATTUNGA ROAD
EXISTING - WINTER 1200

NOTE: NO OVERSHADOWING FROM
SUBJECT SITE



5

NO. 41 ATTUNGA ROAD
EXISTING - WINTER 1500



6

NO. 41 ATTUNGA ROAD
PROPOSED - WINTER 1500

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39 ATTUNGA ROAD NEWPORT

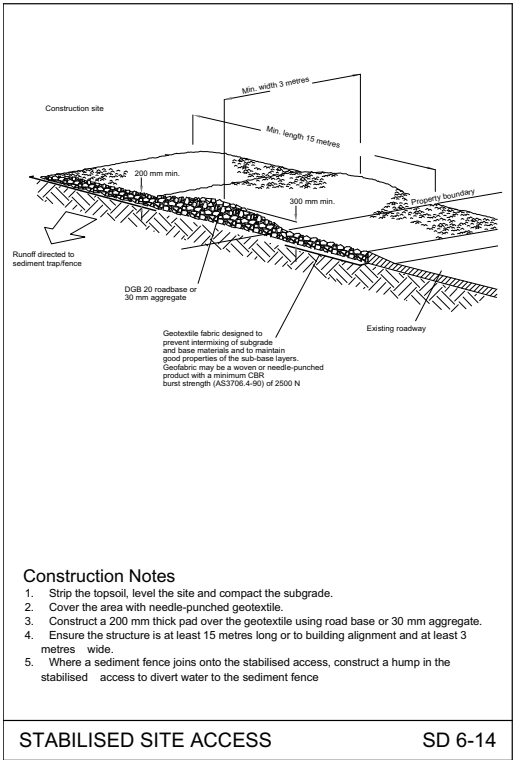
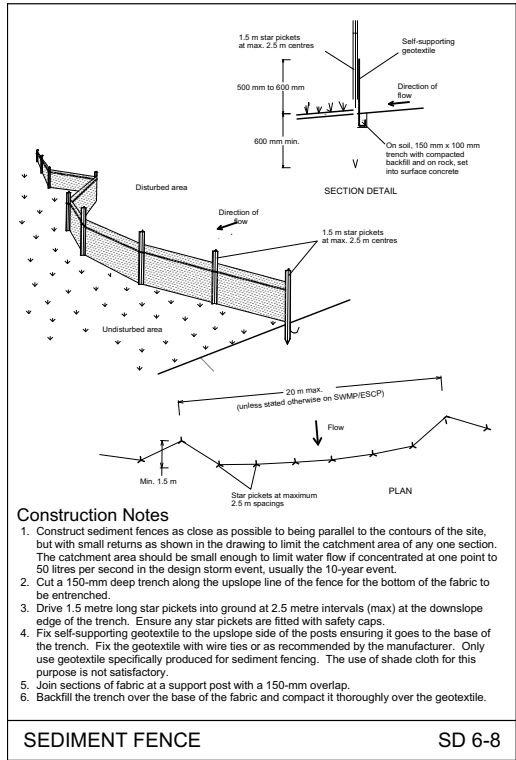
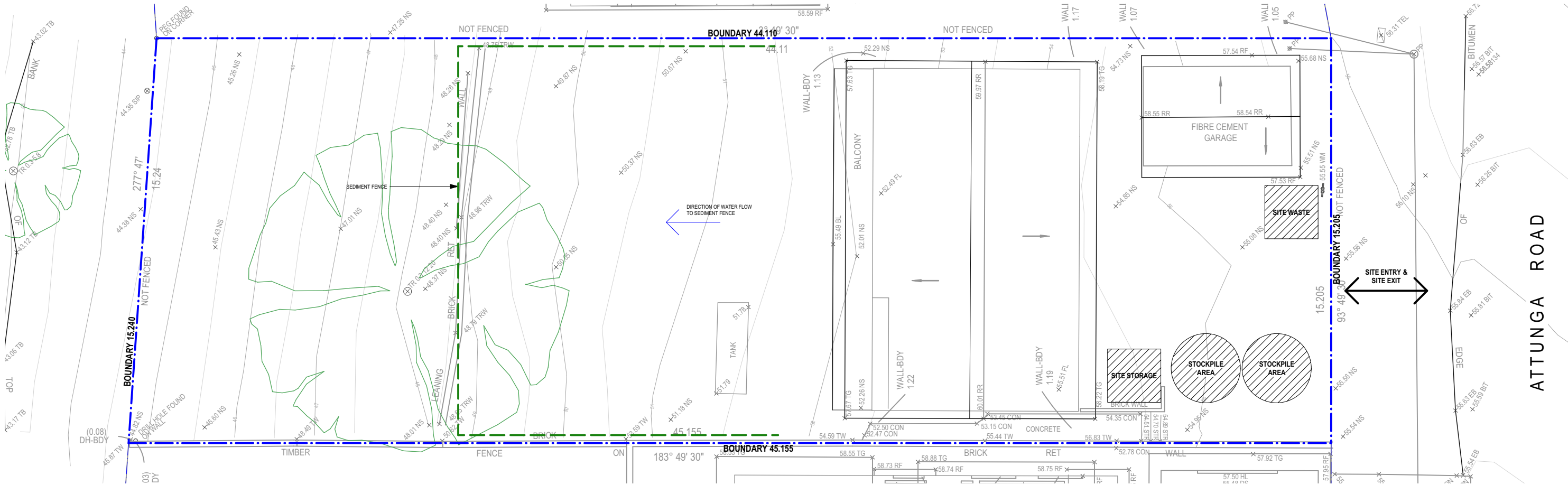
SHADOW ELEVATIONS -
41 ATTUNGA ROAD
1:250 @ A3

2003
FEB 2021

SK16 A

MHDP
ARCHITECTS

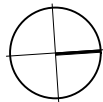




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39 ATTUNGA ROAD NEWPORT

EROSION AND
SEDIMENT CONTROL PLAN
1:200 @ A3

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SK17 A

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

41 ATTUNGA ROAD
BULK AND SCALE
NOT TO SCALE

2003
JUL 2021

SK22 A





29 ATTUNGA ROAD
 3 LEVEL DWELLING WITH BASEMENT GARAGE AND DRIVEWAY ACCESS FROM SOUTHERN BOUNDARY WITH ATTUNGA ROAD
 NOTE: BUILDING CLEARLY EXCEEDS SIDE ENVELOPE



33 ATTUNGA ROAD
 3 LEVEL DWELLING WITH BASEMENT GARAGE AND DRIVEWAY ACCESS FROM SOUTHERN BOUNDARY WITH ATTUNGA ROAD
 NOTE: BUILDING CLEARLY EXCEEDS SIDE ENVELOPE

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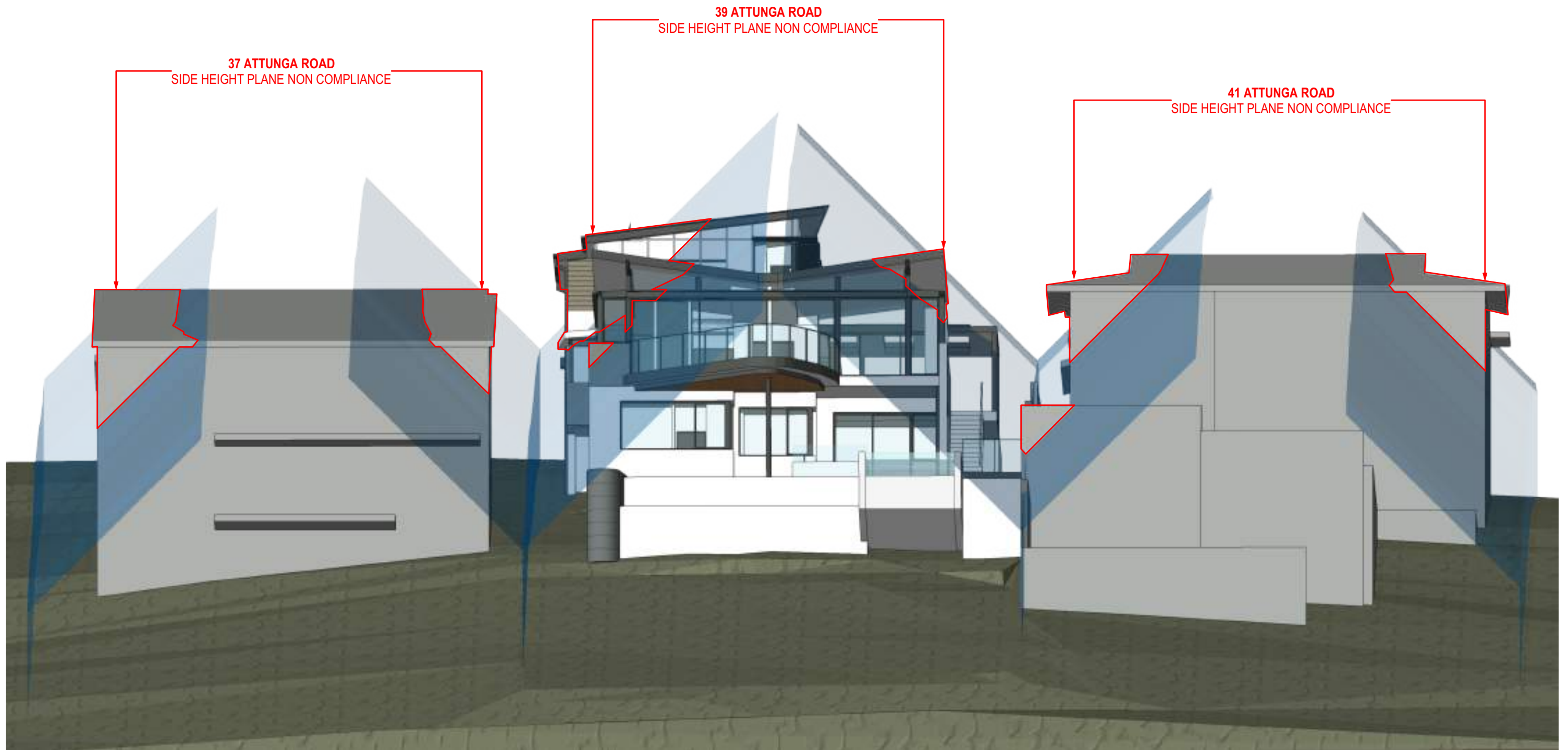
NEW HORTON RESIDENCE
 39 ATTUNGA ROAD NEWPORT

NEIGHBOURING SITES SHOWING
 SCALE OF SURROUNDING BUILDINGS
 NOT TO SCALE

2003
 JUL 2021

SK23 A

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TYPICAL VIEW FROM BELOW PROPOSED DEVELOPMENT

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

37, 39 & 41 ATTUNGA ROAD
SIDE HEIGHT PLANE COMPLIANCE
NOT TO SCALE

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SK24 A

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NEW HORTON RESIDENCE
39 ATTUNGA ROAD NEWPORT

PERSPECTIVE
PROPOSED ARTICULATION
NOT TO SCALE

2003
JUL 2021
SK25 A

