

# NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096  
DEVELOPMENT APPLICATION SET  
OCTOBER 2025

Sheet Number	Sheet Name
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002	DEMOLITION PLAN
003	EXCAVATION PLAN
010	DRIVEWAY APPLICATION
050	DRAFT SUBDIVISION PLAN
100	BASEMENT PLAN
101	GROUND FLOOR PLAN
102	FIRST FLOOR PLAN
103	ROOF PLAN
200	NORTH ELEVATION
201	EAST ELEVATION
202	WEST ELEVATION
203	SOUTH ELEVATION
210	NORTH STREET ELEVATION
211	EAST STREET ELEVATION
300	LONG SECTION 1
301	LONG SECTION 2
302	LONG SECTION 3
303	CROSS SECTIONS 1
304	CROSS SECTIONS 2
400	SHADOW DIAGRAMS
500	LANDSCAPE OPEN SPACE
700	EXTERNAL FINISHES SCHEDULE



ALEX BRYDEN  
ARCHITECTURE

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WINTER

NO. 58 GARDERE AVENUE

NO. 56 GARDERE AVENUE

WINTER SUN

SUMMER SUN

GARDERE

GARDERE AVE

NO. 20 COOKSEY AVENUE

DETACHED GARAGE

NEW CONCRETE DRIVEWAY

EXISTING CONCRETE DRIVEWAY

COOKSEY AVE

SUMMER BREEZE

Legend  
NEW WALLS  
INTERNAL AREA  
LANDSCAPE AREA

Notes  
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BASIX  
Showerheads, toilets and taps to be min. 4" water rating. Min. 2500L water tank connected to landscape, toilet, pool. Hot water: Gas instantaneous 5" rating.  
Ducted fans to kitchens, bathrooms, laundries. Manual switch.  
1-phase AC, 2.5" rating. Natural light to bathrooms + kitchens.  
Gas cooktop, electric oven. Outdoor clothes line. 1.4kW photovoltaic panels.  
Lighting: Min. 40% fluoro or LED lights.  
R2.7 insulation to all external walls.

R2.7 ins. to internal framed walls in basement.  
R4.0 ins. to conc. floor over basement.  
R4.0 ins. to timber floor where open below.  
R6.0 ins. to ceiling & 60mm anticon R13 ins. to roof.  
Metal roof to be medium colour.  
Windows  
Group A-Double clear, alum. framed Uw 3.02/3, SHGC 0.40  
Group B-Double clear, alum. framed Uw 1.79, SHGC 0.31/4  
Group A-Double clear, alum. framed Uw 3.1, SHGC 0.39  
Group B-Double clear, alum. framed Uw 3.1, SHGC 0.49  
Group B-Single low-E, alum. framed Uw 5.4 SHGC 0.58  
Group A/B-Single clear, alum. framed Uw 6.7, SHGC 0.57/0.7  
Skylights-Double fixed, Uw 2.6, SHGC 0.53

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PROJECT  
NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT  
MR & MRS BRYDEN

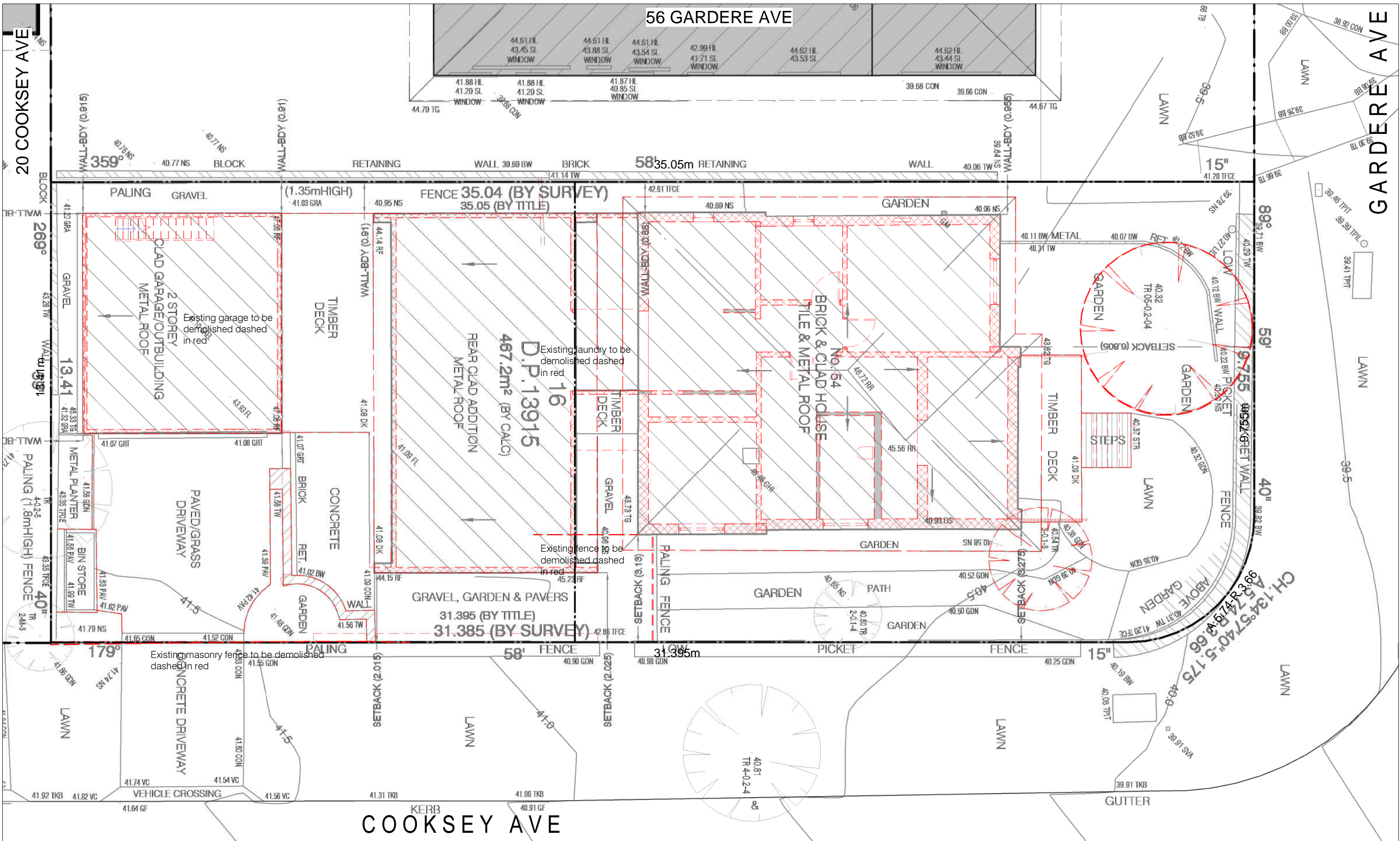
DRAWN  
SITE PLAN

project 24011  
scale As@ A3  
draw indicated  
date 09.10.25

drawing no.  
DA001 / D  
issue

issue	date	revision
D	09.10.25	REVISED FOR COUNCIL
C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.





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C 11.04.25 FOR DEVELOPMENT APPLICATION

B 02.04.25 FINAL COORDINATION

A 19.02.25 FOR CONSULTANT COORD.

issue date revision

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**PROJECT**

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**CLIENT**

MR & MRS BRYDEN

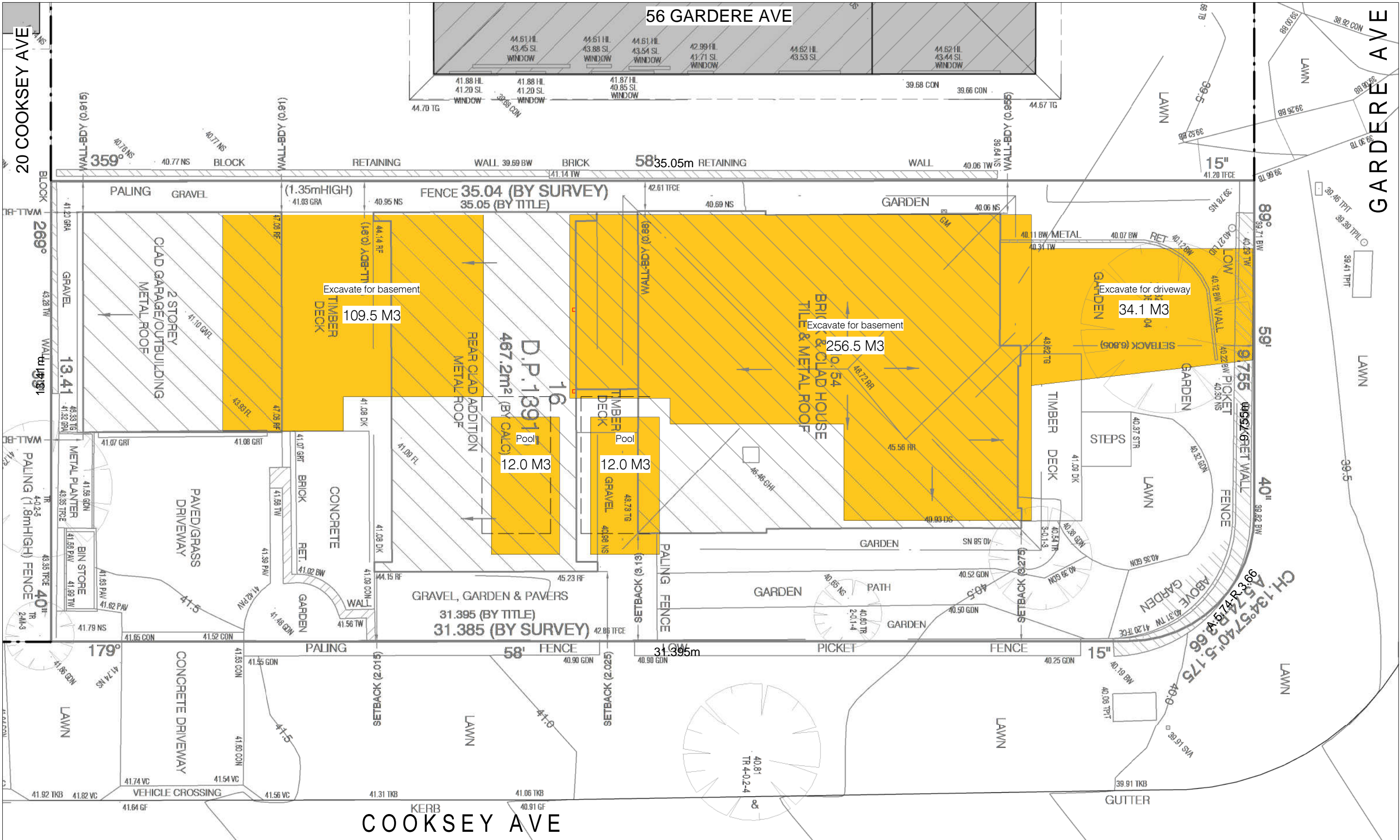
**DRAWING**

DEMOLITION PLAN

project 24011  
scale 1 : 100@ A3  
draw AB  
date 09.10.25

drawing no. DA002 / D  
issue





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D	09.10.25	REVISED FOR COUNCIL
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issue	date	revision



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PROJECT

NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWING

EXCAVATION PLAN

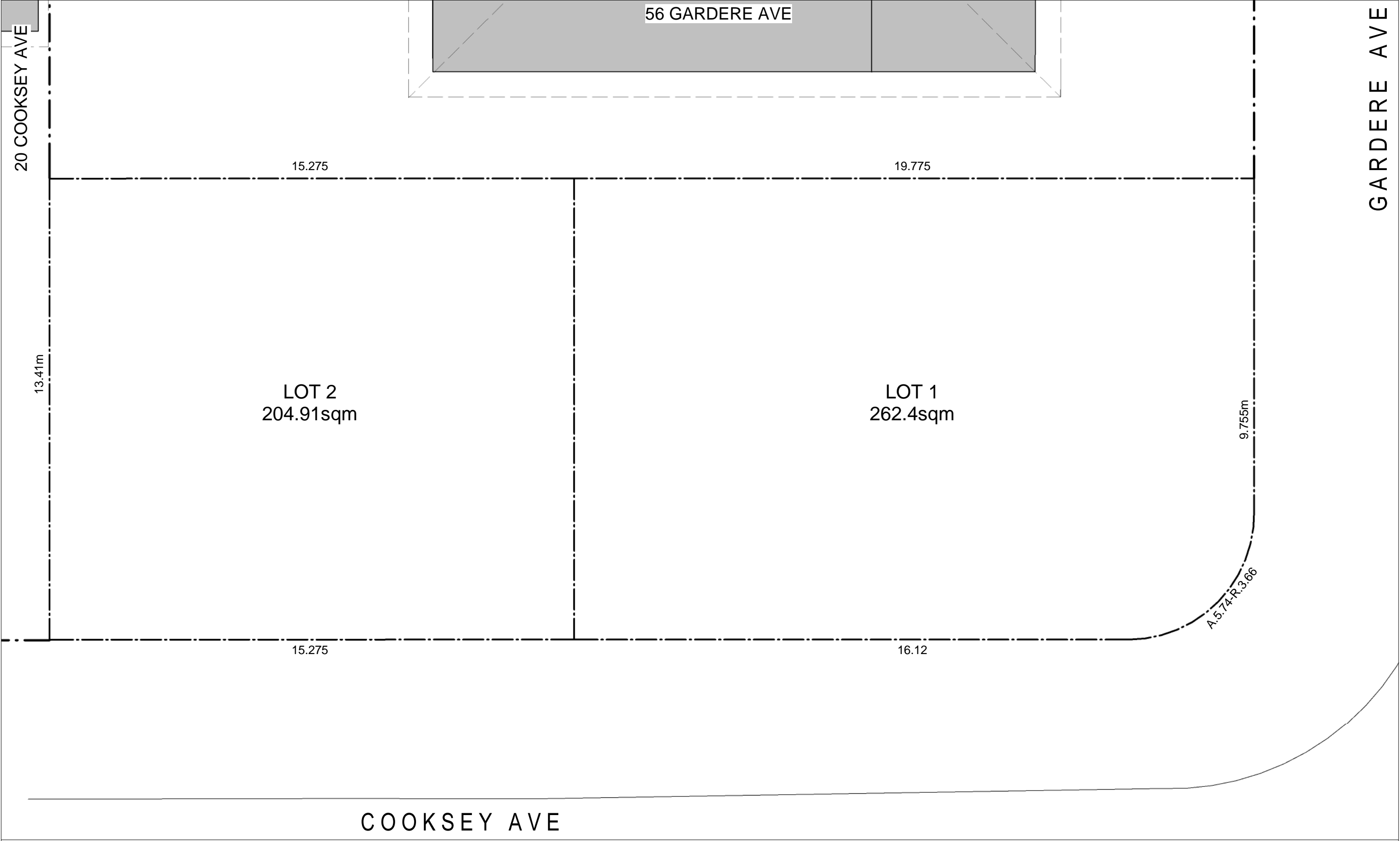
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scale 1 : 100@ A3  
draw AB  
date 09.10.25

drawing no.

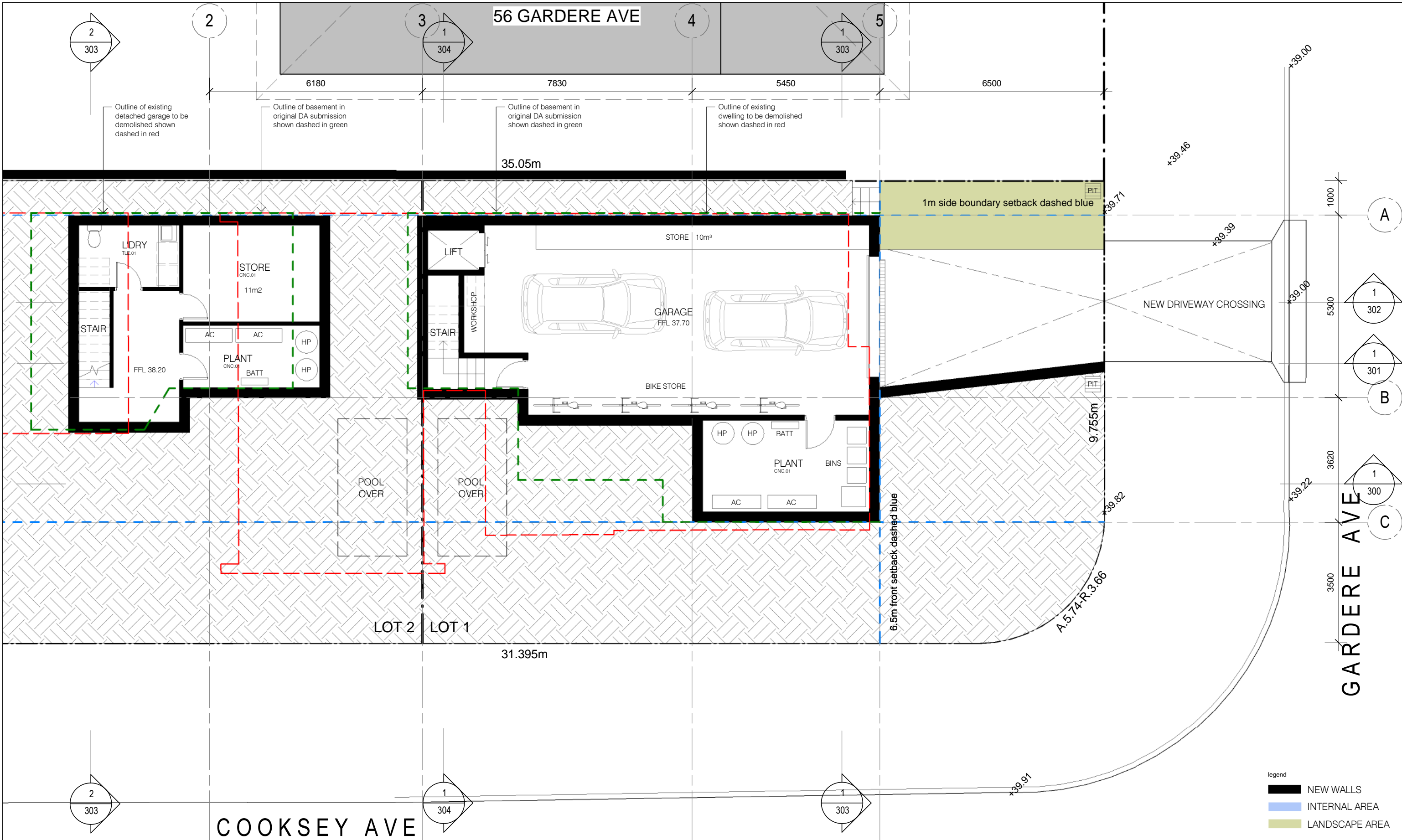
DA003  
/D



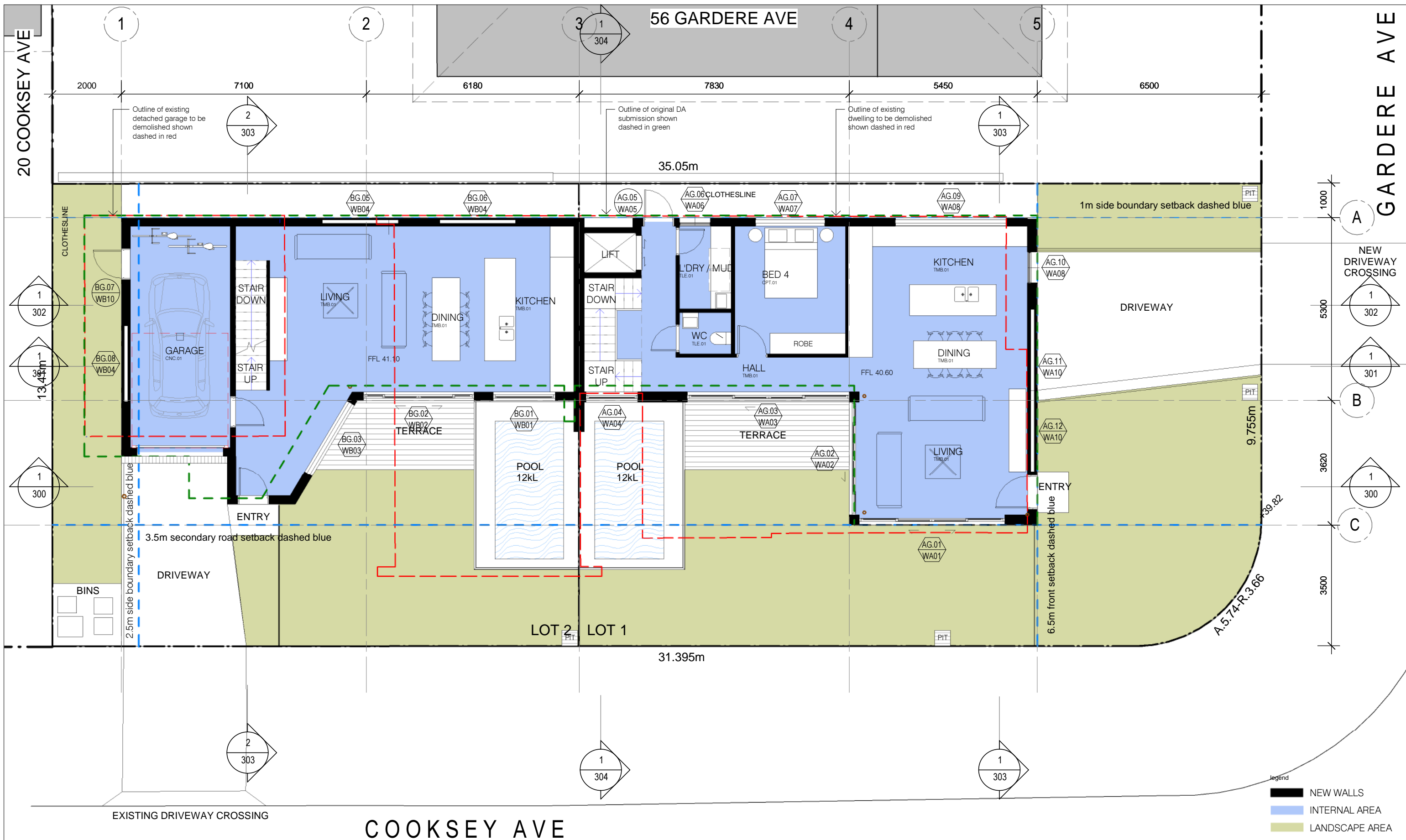




			Notes					
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issue	date	revision						



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E	09.10.25	REVISED FOR COUNCIL
D	08.10.25	FOR COUNCIL RFI
C	11.04.25	FOR DEVELOPMENT APPLICATION
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PROJECT  
NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

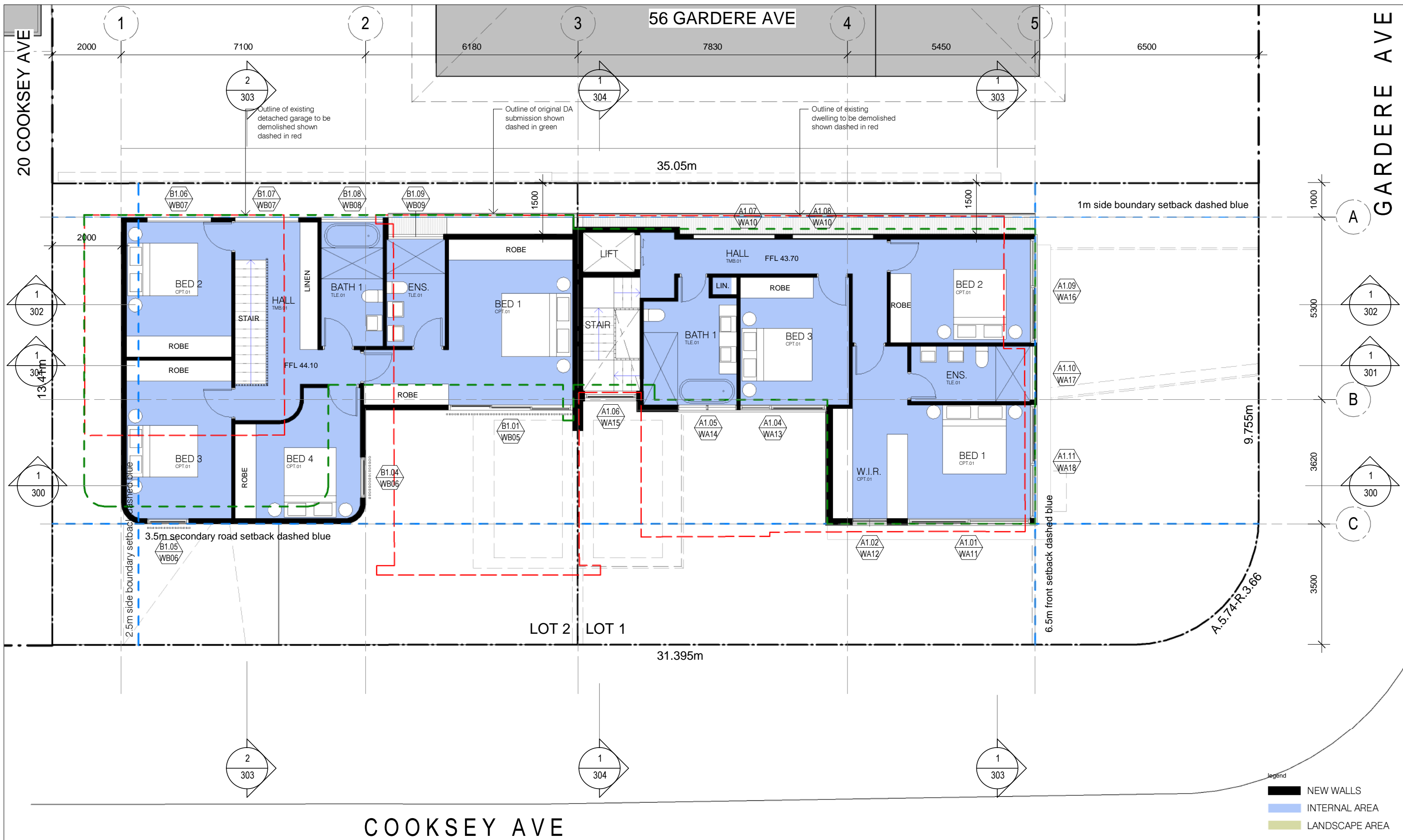
CLIENT  
MR & MRS BRYDEN

DRAWN  
GROUND FLOOR PLAN

project 24011  
scale 1 : 100@ A3  
draw AB  
date 09.10.25

drawing no.  
DA 101  
issue  
/ E





COOKSEY AVE

GARDERE AVE

E	09.10.25	REVISED FOR COUNCIL
D	08.10.25	FOR COUNCIL RFI
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 **ALEX BRYDEN ARCHITECTURE**

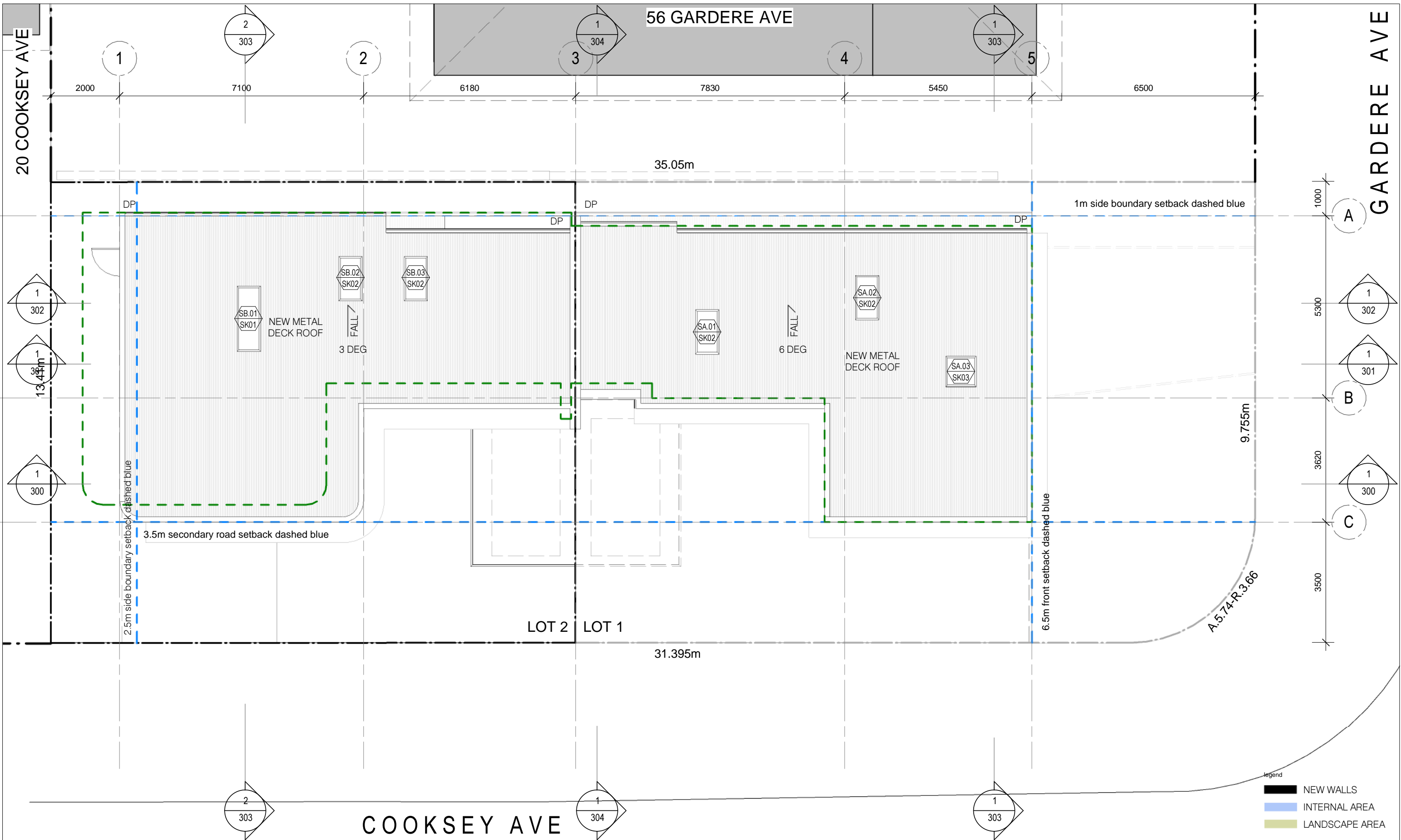
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PROJECT  
**NEW DUAL OCCUPANCY**  
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT  
**MR & MRS BRYDEN**

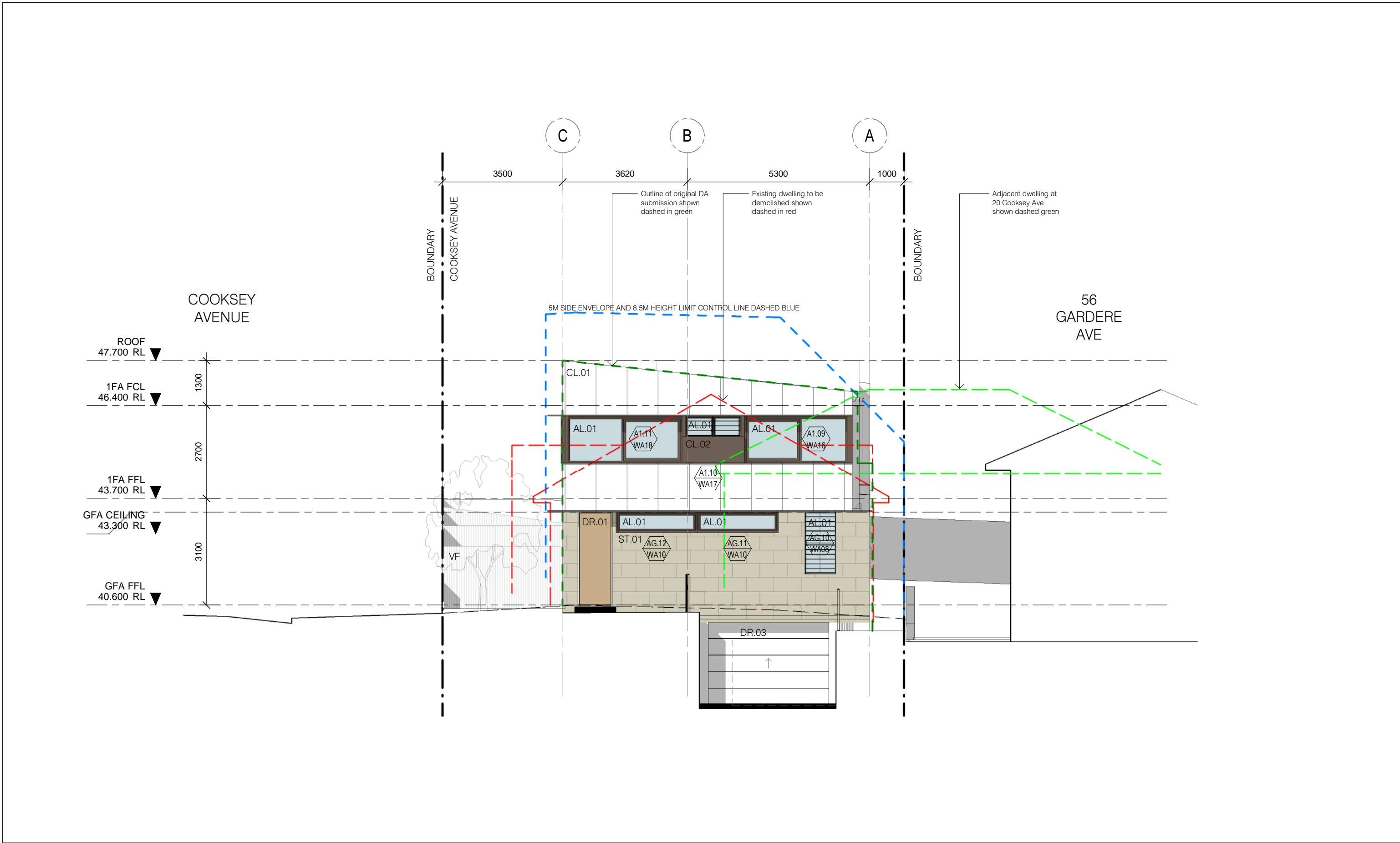
DRAWN  
**FIRST FLOOR PLAN**

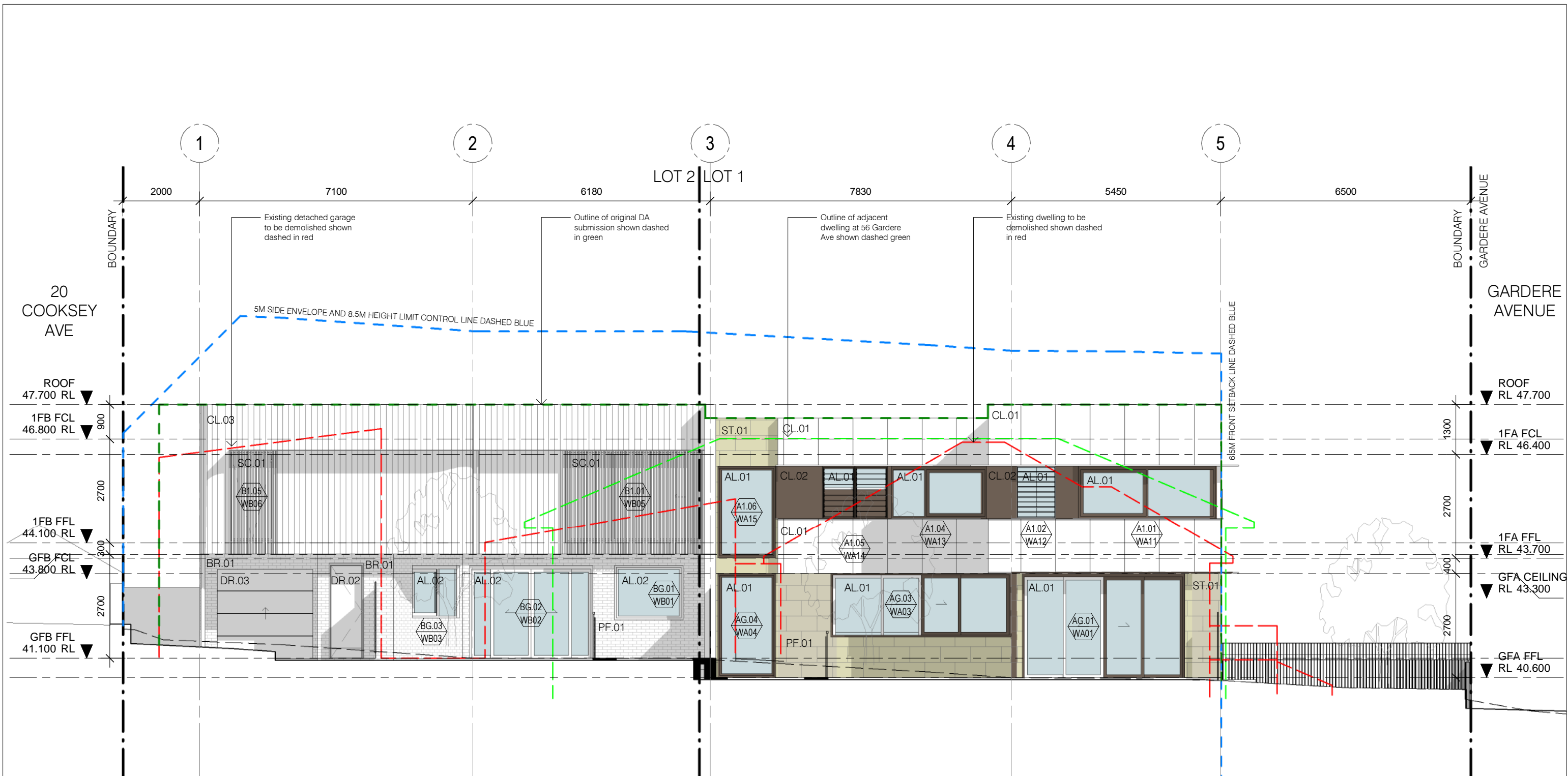
project 24011 drawing no. **DA 102 / E**  
scale 1 : 100@ A3  
draw AB  
date 09.10.25 issue



<p>D 09.10.25 REVISED FOR COUNCIL</p> <p>C 11.04.25 FOR DEVELOPMENT APPLICATION</p> <p>B 02.04.25 FINAL COORDINATION</p> <p>A 19.02.25 FOR CONSULTANT COORD.</p> <p>issue date revision</p>			<p>Notes</p> <p>This drawing is copyright and is not to be replicated or used for any purpose without the written consent of Alex Bryden Architecture.</p> <p>Use figured dimensions only - do not scale from this drawing. All dimensions to structure - confirm all dimensions on site.</p> <p>This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.</p>			<p>BASIX</p> <p>Showerheads, toilets and taps to be min. 4* water rating. Min. 2500L water tank connected to landscape, toilet, pool. Hot water: Gas instantaneous 5* rating. Ducted fans to kitchens, bathrooms, laundries. Manual switch.</p> <p>1-phase AC, 2.5* rating. Natural light to bathrooms + kitchens.</p> <p>Gas heating to pool, pool pump min. 6* rating. Gas cooktop, electric oven. Outdoor clothes line. 1.4kW photovoltaic panels. Lighting: Min. 40% fluoro or LED lights. R2.7 insulation to all external walls.</p>			<p>R2.7 ins. to internal framed walls in basement. R4.0 ins. to conc. floor over basement. R4.0 ins. to timber floor where open below. R6.0 ins. to ceiling &amp; 60mm anticon R1.3 ins. to roof. Metal roof to be medium colour.</p> <p>Windows</p> <p>Group A-Double clear, alum. framed Uw 3.02/3, SHGC 0.40</p> <p>Group B-Double clear, alum. framed Uw 1.79, SHGC 0.31/4</p> <p>Group A-Double clear, alum. framed Uw 3.1, SHGC 0.39</p> <p>Group B-Double clear, alum. framed Uw 5.4 SHGC 0.49</p> <p>Group B-Single low-E, alum. framed Uw 6.7, SHGC 0.57/0.7</p> <p>Skylights-Double fixed, Uw 2.6, SHGC 0.53</p>			<p>PROJECT</p> <p>NEW DUAL OCCUPANCY</p> <p>54 GARDERE AVENUE, CURL CURL NSW 2096</p> <p>CLIENT</p> <p>MR &amp; MRS BRYDEN</p> <p>DRAWN</p> <p>ROOF PLAN</p> <p>project 24011</p> <p>scale 1 : 100@ A3</p> <p>draw AB</p> <p>date 09.10.25</p> <p>drawing no. DA 103 / D</p> <p>issue</p>		
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issue	date	revision

KEY (SEE SCHEDULES FOR DETAILS)	
AL.01	ALUM. FRAMED GLAZING
AL.02	ALUM. FRAMED GLAZING
BR.01	PAINTED BRICKWORK
CL.01	VERTICAL CLADDING 1
CL.02	PANEL CLADDING
CL.03	VERTICAL CLADDING 2
DR.0x	VARIOUS DOORS
PF.01	POOL FENCE
ST.01	STONE CLADDING
VF.01	VERTICAL FENCE 1
VF.02	VERTICAL FENCE 2



PROJECT  
NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

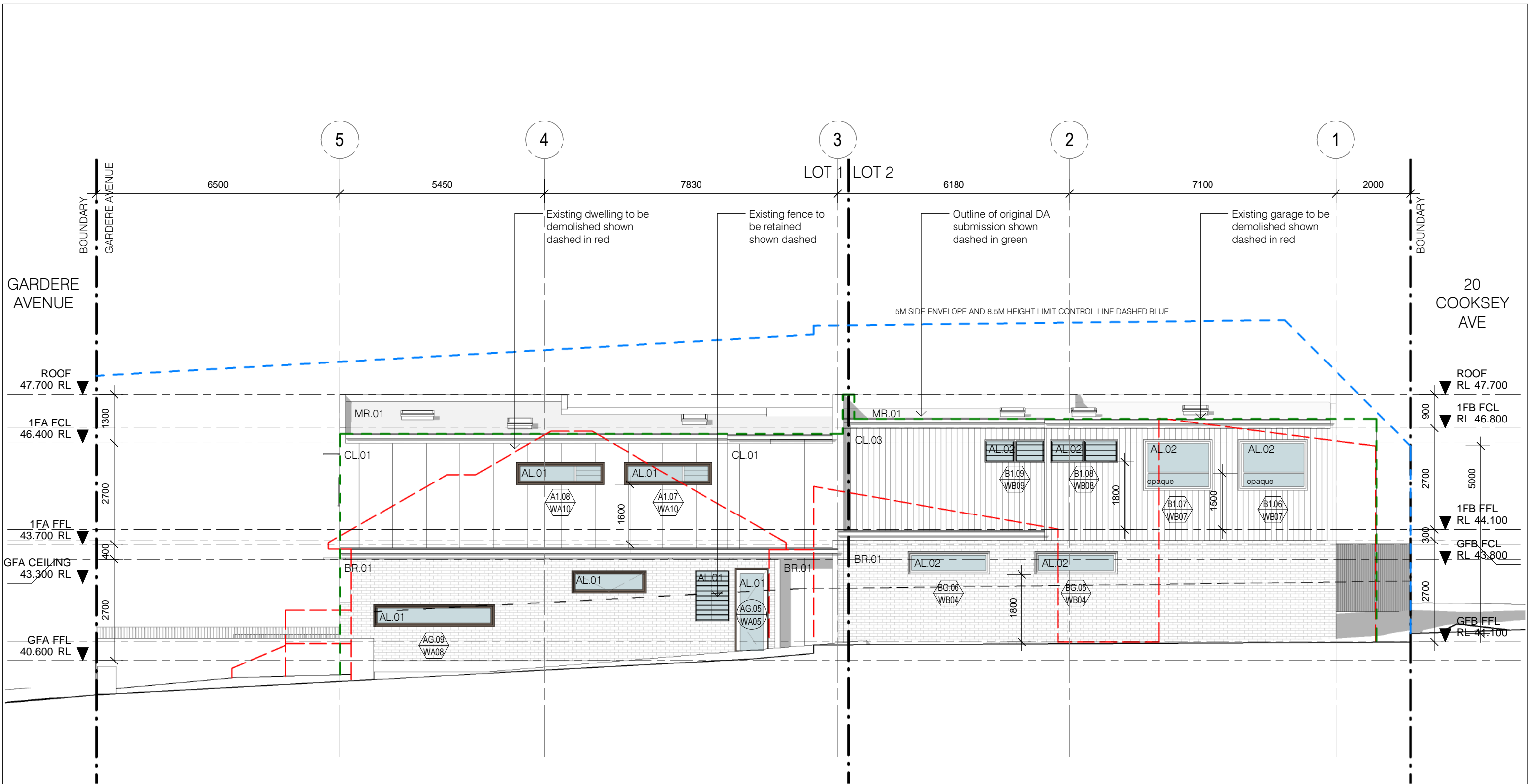
CLIENT  
MR & MRS BRYDEN

DRAWN  
EAST ELEVATION

project 24011  
scale 1 : 100@ A3  
draw AB  
date 09.10.25

drawing no.  
DA201  
issue  
/D





issue

date

revision

D

09.10.25

REVISED FOR COUNCIL

C

11.04.25

FOR DEVELOPMENT APPLICATION

B

02.04.25

FINAL COORDINATION

A

19.02.25

FOR CONSULTANT COORD.

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KEY (SEE SCHEDULES FOR DETAILS)

AL.01 - ALUM. FRAMED GLAZING

AL.02 - ALUM. FRAMED GLAZING

BR.01 - PAINTED BRICKWORK

CL.01 - VERTICAL CLADDING 1

CL.02 - PANEL CLADDING

CL.03 - VERTICAL CLADDING 2

DR.0x - VARIOUS DOORS

PF.01 - POOL FENCE

ST.01 - STONE CLADDING

VF.01 - VERTICAL FENCE 1

VF.02 - VERTICAL FENCE 2

A

B

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ALEX BRYDEN  
ARCHITECTURE

PROJECT

NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

WEST ELEVATION

project

24011

scale

1 : 100@ A3

draw

AB

date

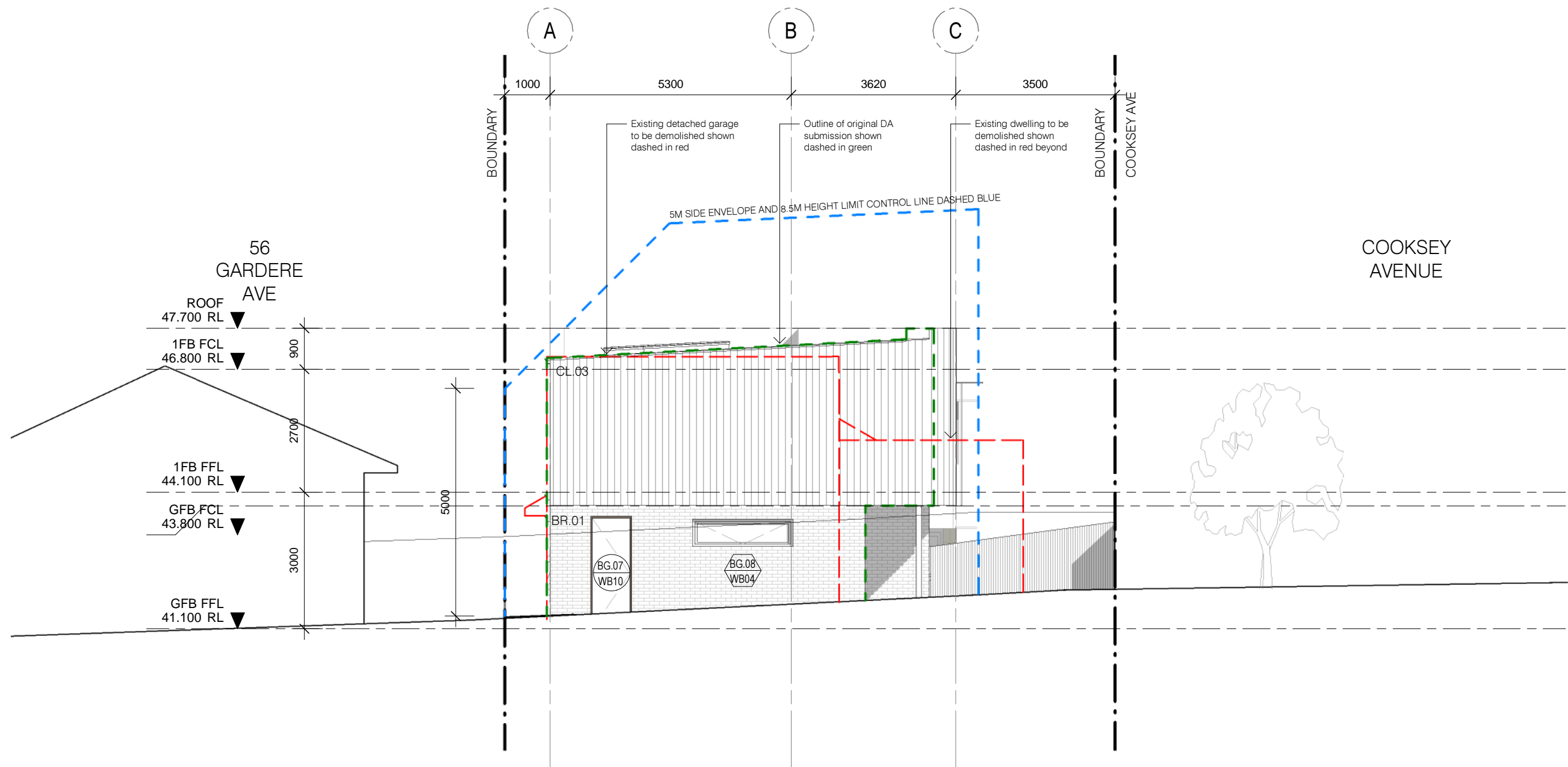
09.10.25

drawing no.

DA202

issue

/ D



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#### KEY (SEE SCHEDULES FOR DETAILS)

AL.01 - ALUM. FRAMED GLAZING  
AL.02 - ALUM. FRAMED GLAZING  
BR.01 - PAINTED BRICKWORK  
CL.01 - VERTICAL CLADDING 1  
CL.02 - PANEL CLADDING  
CL.03 - VERTICAL CLADDING 2  
DR.0x - VARIOUS DOORS  
PF.01 - POOL FENCE  
ST.01 - STONE CLADDING  
VF.01 - VERTICAL FENCE 1  
VF.02 - VERTICAL FENCE 2



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#### PROJECT

NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

#### CLIENT

MR & MRS BRYDEN

#### DRAWING

SOUTH ELEVATION

project 24011

scale 1 : 100@ A3

draw AB

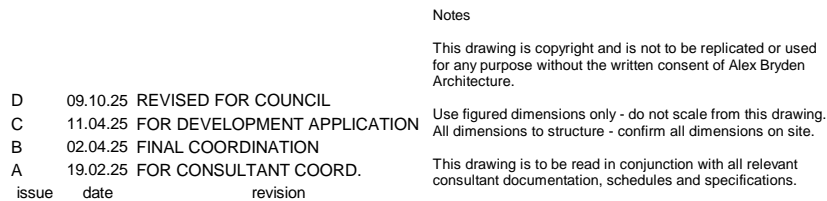
date 09.10.25

drawing no.

DA203  
/ D

D	09.10.25	REVISED FOR COUNCIL
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DRAWING

NORTH STREET ELEVATION

project 24011 drawing no.

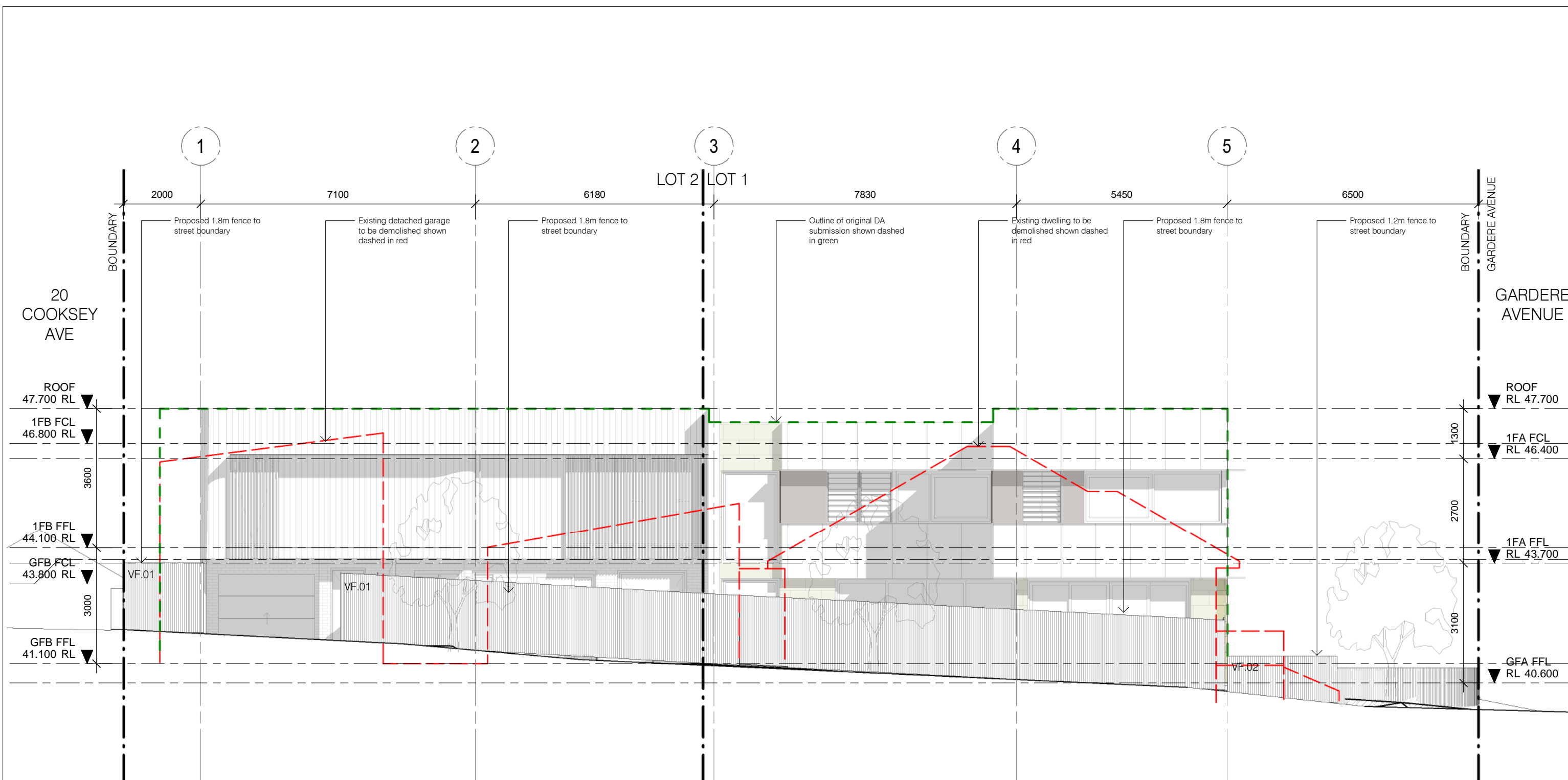
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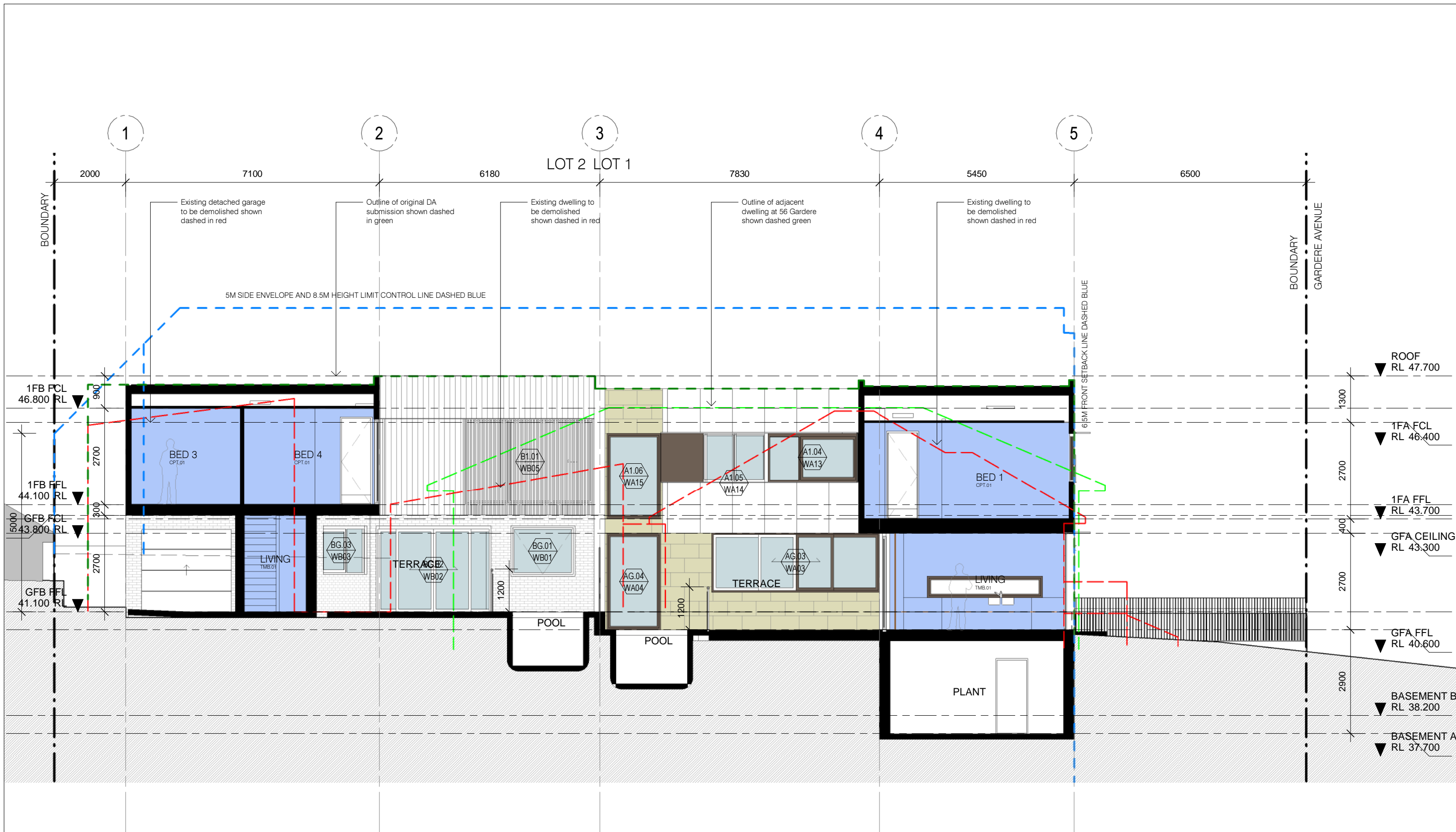
date 09.10.25

issue

DA210 / D







09.10.25 REVISED FOR COUNCIL

11.04.25 FOR DEVELOPMENT APPLICATION

02.04.25 FINAL COORDINATION

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AL.02 - ALUM. FRAMED GLAZING

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CL.01 - VERTICAL CLADDING 1

CL.02 - PANEL CLADDING

CL.03 - VERTICAL CLADDING 2

DR.0x - VARIOUS DOORS

PF.01 - POOL FENCE

ST.01 - STONE CLADDING

VF.01 - VERTICAL FENCE 1

VF.02 - VERTICAL FENCE 2

ALEXANDER BRYDEN

ARCHITECTURE

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ABN: 76 631 848 345

PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

LONG SECTION 1

project 24011

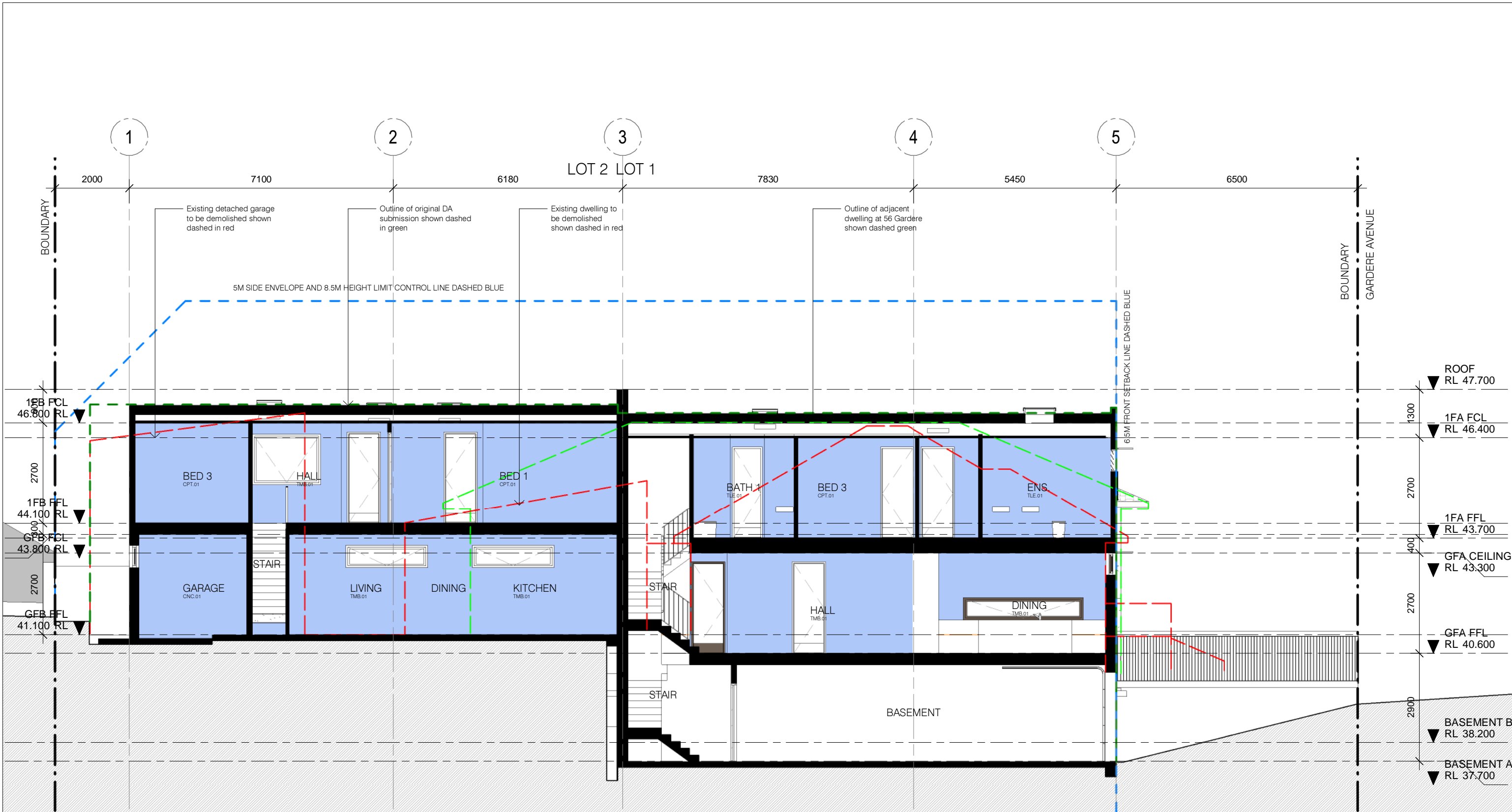
scale 1 : 100@ A3

draw AB

date 09.10.25

drawing no. DA300

issue / D



issue

date

revision

D

09.10.25

REVISED FOR COUNCIL

C

11.04.25

FOR DEVELOPMENT APPLICATION

B

02.04.25

FINAL COORDINATION

A

19.02.25

FOR CONSULTANT COORD.

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KEY (SEE SCHEDULES FOR DETAILS)

AL.01 - ALUM. FRAMED GLAZING

AL.02 - ALUM. FRAMED GLAZING

BR.01 - PAINTED BRICKWORK

CL.01 - VERTICAL CLADDING 1

CL.02 - PANEL CLADDING

CL.03 - VERTICAL CLADDING 2

DR.0x - VARIOUS DOORS

PF.01 - POOL FENCE

ST.01 - STONE CLADDING

VF.01 - VERTICAL FENCE 1

VF.02 - VERTICAL FENCE 2

ALEXANDER BRYDEN

ARCHITECTURE

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ABN: 76 631 848 345

PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

LONG SECTION 2

project

24011

drawing no.

DA301

scale

1 : 100@ A3

issue

/D

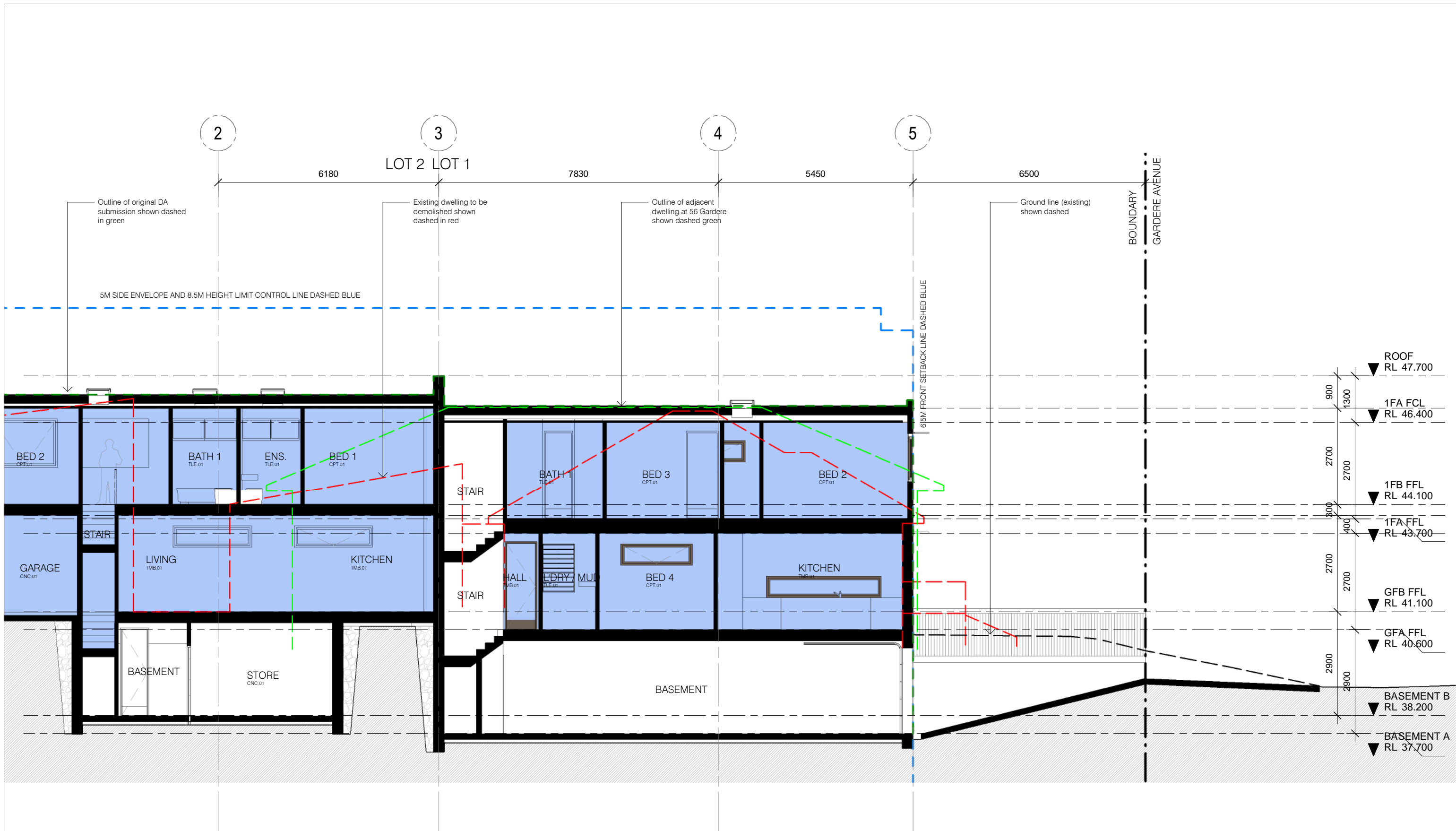
draw

AB

date

09.10.25





D09.10.25REVISED FOR COUNCIL

C11.04.25FOR DEVELOPMENT APPLICATION

B02.04.25FINAL COORDINATION

A19.02.25FOR CONSULTANT COORD.

issue

date

revision

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CL.03 - VERTICAL CLADDING 2

DR.0x - VARIOUS DOORS

PF.01 - POOL FENCE

ST.01 - STONE CLADDING

VF.01 - VERTICAL FENCE 1

VF.02 - VERTICAL FENCE 2

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ALEX BRYDEN  
ARCHITECTURE

PROJECT

NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWING

LONG SECTION 3

project24011

scale1 : 100@ A3

drawAB

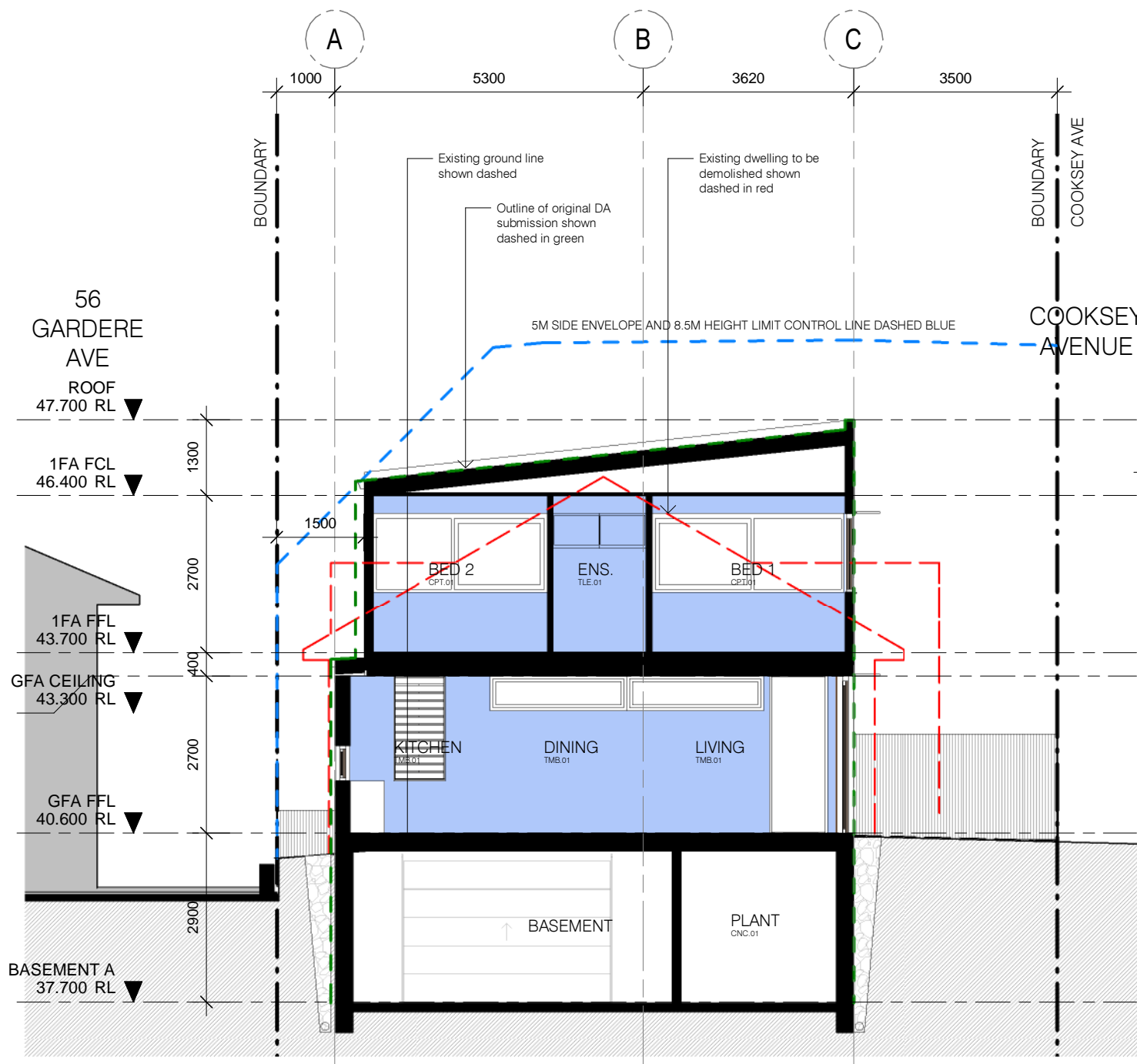
date09.10.25

drawing no.

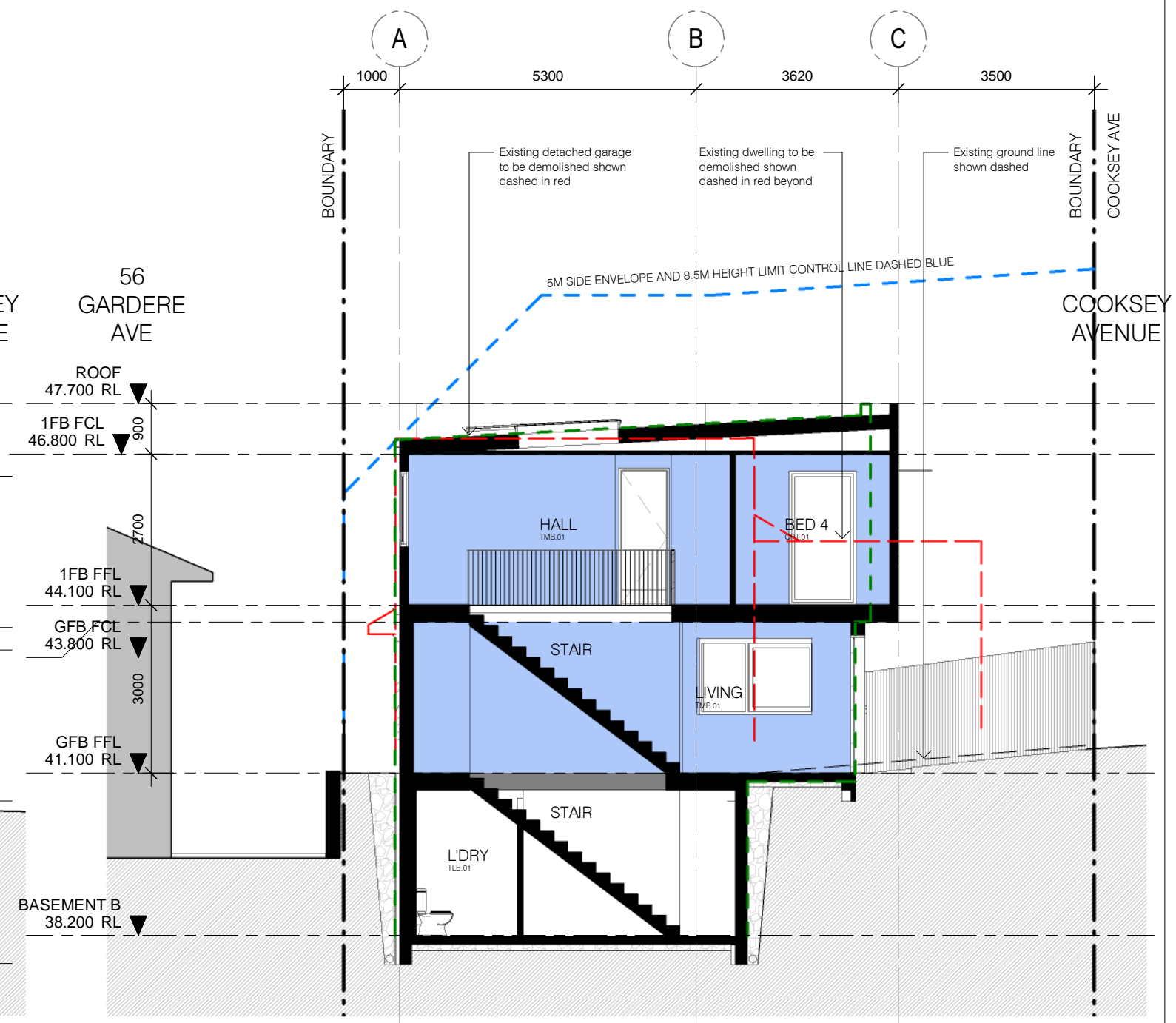
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issue

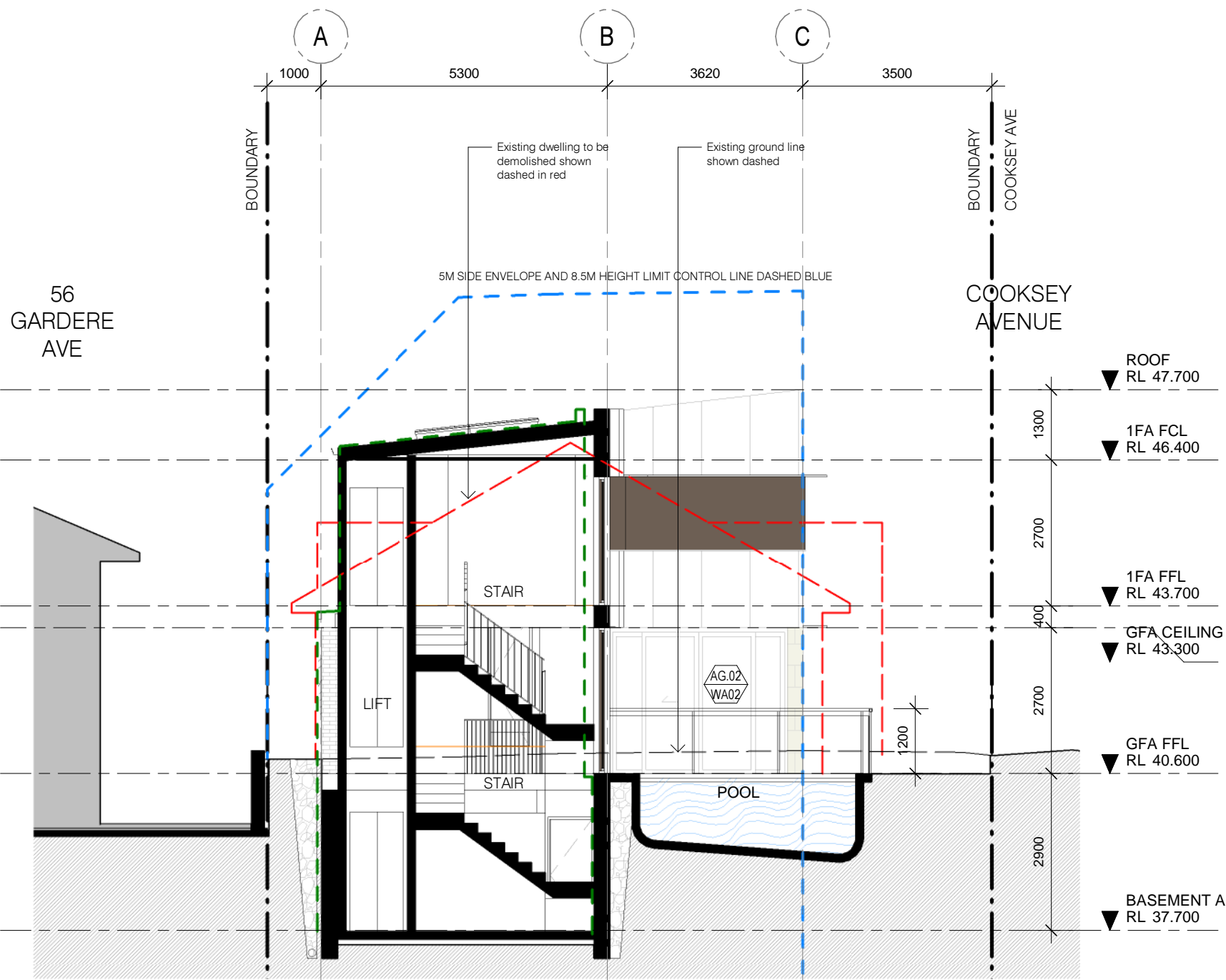
/ D



1 CROSS SECTION A



2 CROSS SECTION B



1 CROSS SECTION A2

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- CL.02 - PANEL CLADDING
- CL.03 - VERTICAL CLADDING 2
- DR.0x - VARIOUS DOORS
- PF.01 - POOL FENCE
- ST.01 - STONE CLADDING
- VF.01 - VERTICAL FENCE 1
- VF.02 - VERTICAL FENCE 2

D	09.10.25	REVISED FOR COUNCIL
C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision

 **ALEX BRYDEN ARCHITECTURE**  
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PROJECT	NEW DUAL OCCUPANCY	54 GARDERE AVENUE, CURL CURL NSW 2096
CLIENT	MR & MRS BRYDEN	

DRAWIN		
CROSS SECTIONS 2		
project	24011	drawing no.
scale	1 : 100@ A3	DA304
draw	AB	issue
date	09.10.25	/ D





GARDERE AVE

1 JUNE 21 9AM



GARDERE AVE

2 JUNE 21 12PM



GARDERE AVE

3 JUNE 21 3PM

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#### legend

- SHADOWS CAST BY EXISTING BUILDING AND FENCE
- ADDITIONAL SHADOWS CAST BY AMENDED PROPOSAL
- OUTLINE OF SHADOWS CAST BY SUBMITTED DA



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ABN: 76 631 848 345

#### PROJECT

NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096

#### CLIENT

MR & MRS BRYDEN

#### DRAWING

SHADOW DIAGRAMS

project 24011

scale As@ A3

draw indicated

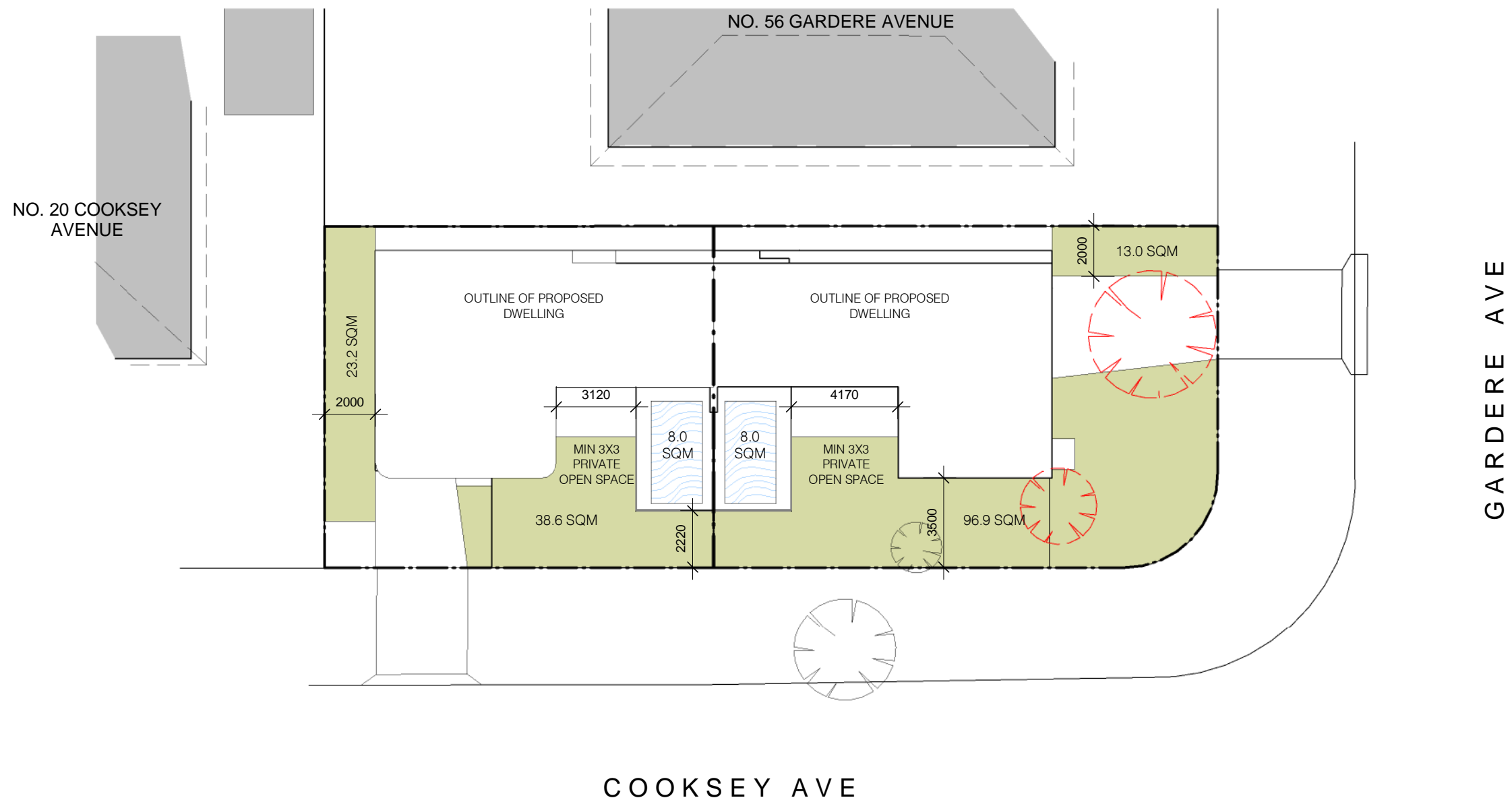
date 09.10.25

drawing no.

DA 400  
/ D



D	09.10.25	REVISED FOR COUNCIL
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## LANDSCAPE OPEN SPACE

SITE AREA  
MINIMUM OF 40% LANDSCAPE AREA TO BE PROVIDED  
EXISTING LANDSCAPE OPEN SPACE (INC. PERMEABLE DRIVEWAY)  
PROPOSED LANDSCAPE OPEN SPACE  
COMPLIES

= 467.2 sqm  
= 186.9 sqm / 40%  
= 172.1 sqm / 36.8%  
= 187.7 sqm / 40.2%  
YES

--- EXISTING TREES TO BE REMOVED  
--- EXISTING TREES TO BE RETAINED  
--- GRASS OR VEGETATION  
--- PERMEABLE GROUND COVER EG. GRASS PAVERS

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E	09.10.25	REVISED FOR COUNCIL
D	08.10.25	FOR COUNCIL RFI
C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision



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PROJECT  
NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096  
CLIENT  
MR & MRS BRYDEN

DRAWING  
LANDSCAPE OPEN SPACE

project 24011  
scale As@ A3  
draw indicated  
date 09.10.25

drawing no.

DA500  
/ E

LOT A



AG.01 - ALUM. GLAZING  
Powdercoated aluminium with clear glazing



CL.01 - VERTICAL CLADDING  
White painted cladding



CL.02 - CLADDING  
Bronze painted



ST.01 - STONE CLADDING  
White sandstone cladding

LOT B



MR.01 - METAL ROOFING  
Colorbond Shale Grey



PF.01 - POOL FENCE  
Frameless glazed pool fence



SC.01 / VF.01 - SCREEN / FENCE  
Vertical timber battens



CL.03 - VERTICAL CLADDING  
White painted cladding



BR.01 - PAINTED FINISH  
White painted face brick



AG.02 - ALUM. GLAZING  
Powdercoated aluminium with clear glazing

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ST.01 - STONE CLADDING  
VF.01 - VERTICAL FENCE 1  
VF.02 - VERTICAL FENCE 2

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PROJECT  
NEW DUAL OCCUPANCY  
54 GARDERE AVENUE, CURL CURL NSW 2096  
CLIENT  
MR & MRS BRYDEN

DRAWING  
EXTERNAL FINISHES SCHEDULE  
project 24011  
scale @ A3  
draw AB  
date 09.10.25  
drawing no. DA 700  
issue / D