

LOT NUMBER : 3	
SITE AREA :	658.9m ²
DRIVEWAY AREA :	76.21m ²
LANDSCAPED OPEN SPACE (MIN 40% OF SITE AREA) SITE AREA EXCL. DRIVEWAY, PAVEMENT PATHS, HOUSE & OPEN AREA <2m WIDE):	347.17m ² - 52.60%
PRIVATE OPEN SPACE (MIN 60m ² (MIN DIM. 5m) :	107.33m ²
SITE COVERAGE	(41.90%) - 276.09 m ²
GF Total : (incl. driveway & path):	(19.46%) - 128.23 m ²
FF Total :	

BASIX INFORMATION		The items shown here are the minimums required to pass BASIX. Should the Specification nominate a better performing item then use that item instead.	
Soft Landscaping area		Roof area total	
347.17 sqm		238.56 sqm	
Glazing	Wideline Aluminium framed windows		
Doors/windows/	Window performance values as per NatHERS certificate		
clerestory	Default/Proxy values used for windows not available in HERO library		
Window restrictors		Given values are AFRC, total window system values (glass and frame)	
Roof		Window restrictors are modelled in accordance with NCC 2022	
Ceiling		Metal roof & builders blanket, R value as per NatHERS Certificate	
Wall & roof frames		Ceiling insulation value and locations as per NatHERS certificate.	
External Walls		Ceiling insulation must extend to the external wall.	
Internal walls		120mm untreated softwood timber frames	
Floors		External wall insulation values and locations as per NatHERS certificate	
Ventilation		Plasterboard on studs, insulation values and locations as per NatHERS certificate	
Ceiling fans		Concrete slab on ground with 225mm waffle pods	
General notes		LVL timber floor between levels	
BASIX Water		All external doors have draft protection and weather seals	
Commitments		All exhaust fans to have dampers	
Alternative Water		All downlights IC rated, maximum 1 per 5m2	
BASIX Energy		Size and location as per NatHERS certificate	
Commitments		Insulation Note: All insulations listed are product only values. All insulation and vapour membranes must be installed in accordance with ABCB Housing provisions Part 10.8 and Part 13.	
Hot water System		Tank size and connections as per BASIX certificate	
Heating system		Electric Heat Pump - 5.2 c.o.p. rating	
Cooling system		1 phase air conditioning to living areas and bedrooms: EER 3.5-4.0	
Ventilation		1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5	
Other		Kitchen - Individual fan, externally ducted, manual on/off switch	
Alternative Energy		Bathrooms - with window = Naturally vented, - without window = Fan externally ducted with switch interlocked with light & run-on timer.	
		Laundry - With wind or door = Naturally Ventilated, otherwise ext ducted ex/fan	
		Induction cooktop & electric oven	
		Outdoor clothes drying line	
		PV system size as per BASIX certificate	
		PV connected to the developments electrical system	

LEGEND		Trees to be removed prior to commencement of building operations.	
Existing Trees		New Trees	
Stormwater Main		A.G. Drain	
Stormwater Disposal		Sewer Pipe	
Existing Fencing		Fencing by Contractor	
Underground Power		Grated Drain	
Overhead Power			
Stormwater to tank			
Stormwater disposal			

NOTE: MIN 200mm FREEBOARD
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

DETAILS

DATUM: RL Levels to AHD

CONTOUR INTERVALS: 0.20 Metres

WATER CONNECTION: (BY THE BUILDER)
20mm line from water meter to entry point.

WASTE DISPOSAL: (BY THE BUILDER)
Connection to mains sewer in accordance with local authority requirements.

ROOFWATER DISPOSAL: (BY THE BUILDER)
Connection of downpipes to water tank and underground drain. Position of roofwater lines are indicative only and may vary depending on site.

POWER CONNECTION:
Installation to underground line by the builder. Connection of power to main line by Electricity Authority.

EARTHWORKS: (BY THE BUILDER) AG Drains: 0 Metres
Site scrape to remove vegetation / fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.

GAS CONNECTION:
Installation of underground line to mains by the builder. connection to mains by gas authority upon application by the owner.

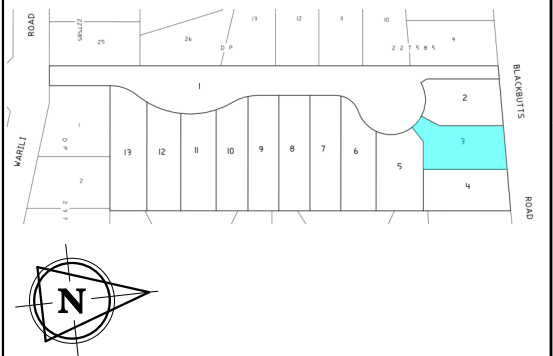
LOCAL AUTHORITY: Northern Beaches Council

TITLE PARTICULARS:

LOT: 3 DIA/PLAN: -
VOL: - PARISH: -
FOL: - COUNTY: -

LOCATION:

MAP REFERENCE:



SITE PLAN			
FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No: NM105562			23 DESIGN ISSUE
MASTER DESIGN			NA
MSS			SCALE: 1:200

LOT 2

LOT 3
658.9m²

LOT 4

REV	AMENDMENT	BY	DATE
01	DA PLANS	MSS	06.12.2024
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025
05	DA RFIs + PCV #3: COUNCIL REQUIREMENTS	BM	01.05.2025
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025

ADDRESS:
**LOT 3 BLACKBUTTS RD
FRENCHS FOREST NSW**

SHAWOOD

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	TREE CANOPY
	SRZ
	TPZ

**B.O.S
(BUILDING OVER SEWER)**

DRIVEWAY PLAN SCALE 1:200

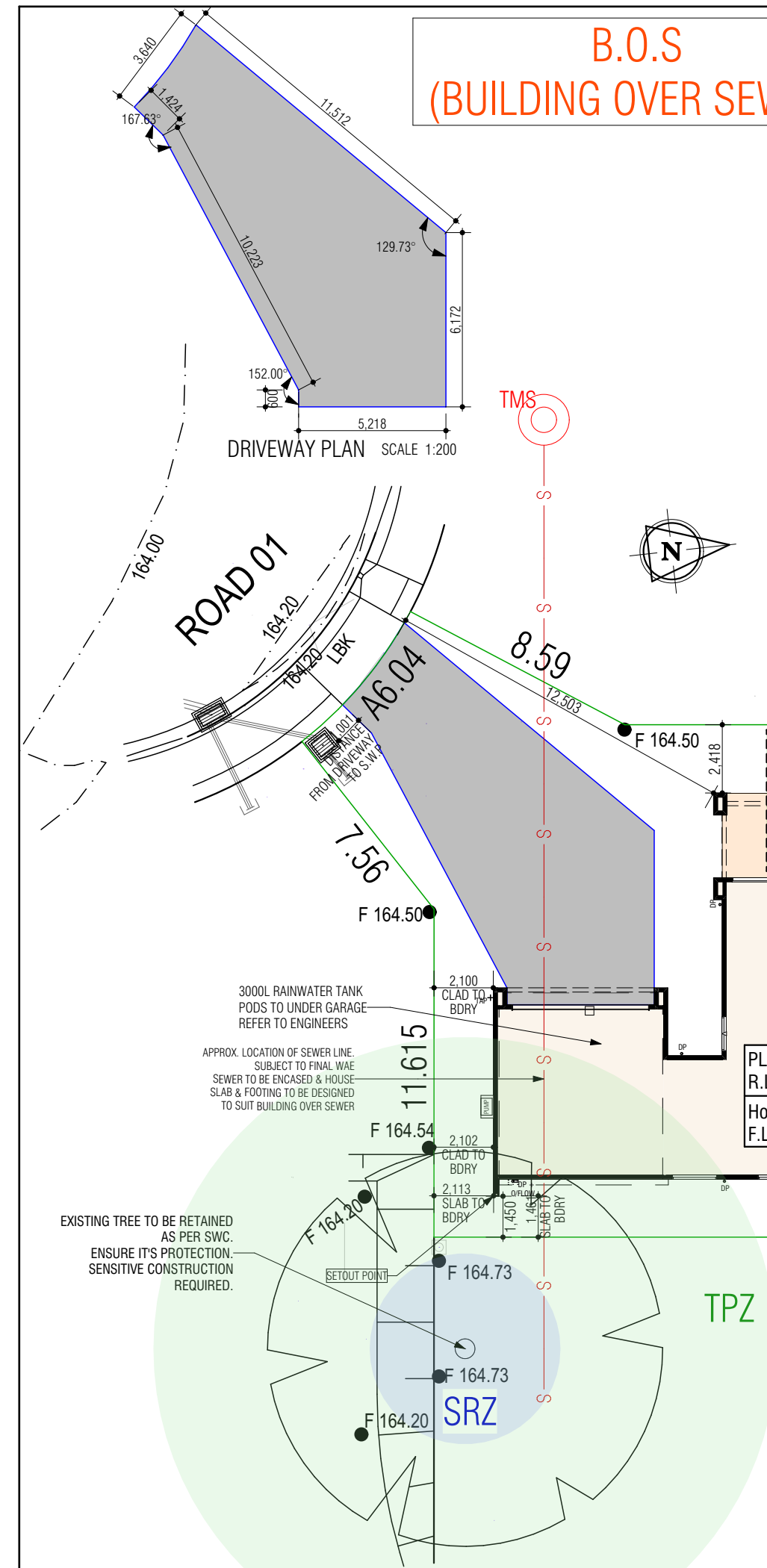
DRIVEWAY PROFILE SCALE 1:200
COMPLIES WITH AS 2890.1:2004

PROPOSED SURFACE LEVELS
ALONG SITE FRONTAGE TO
MATCH EXISTING BOUNDARY
LEVELS.

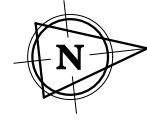
ELECTRICAL OVERHEAD
POWERLINES

TPZ

SRZ

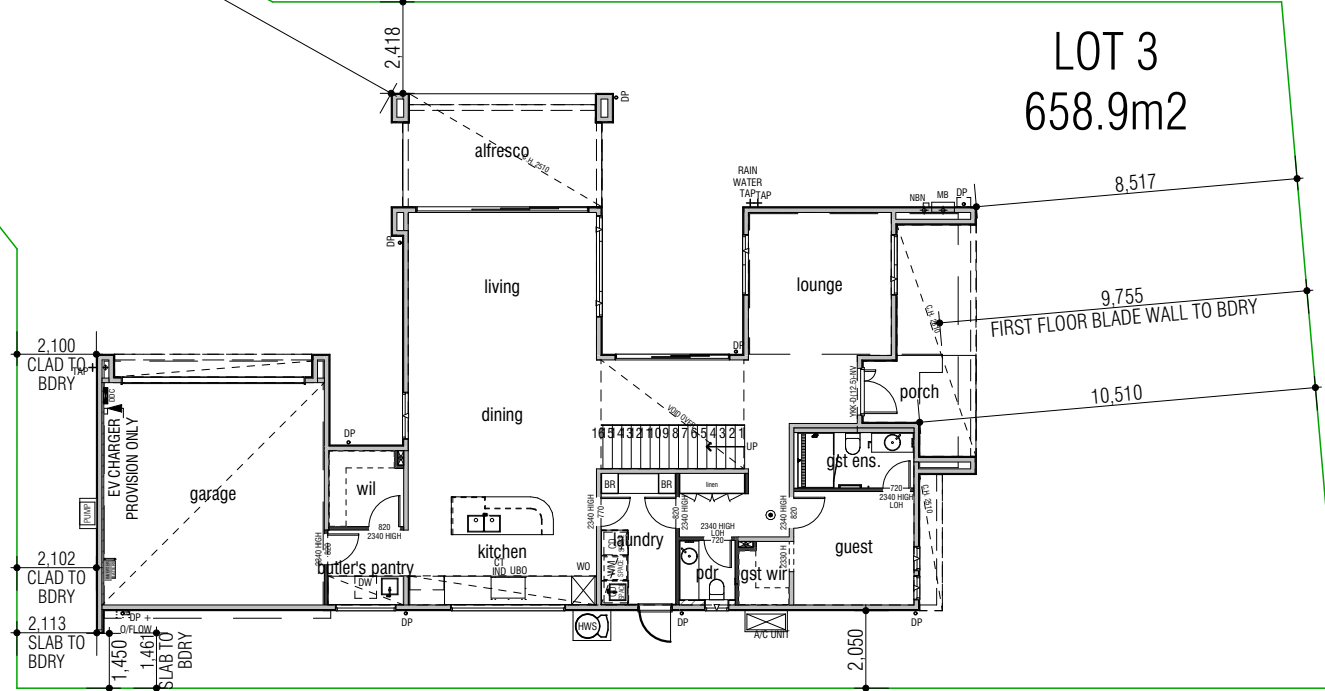


ROAD 01



LOT 3
658.9m2

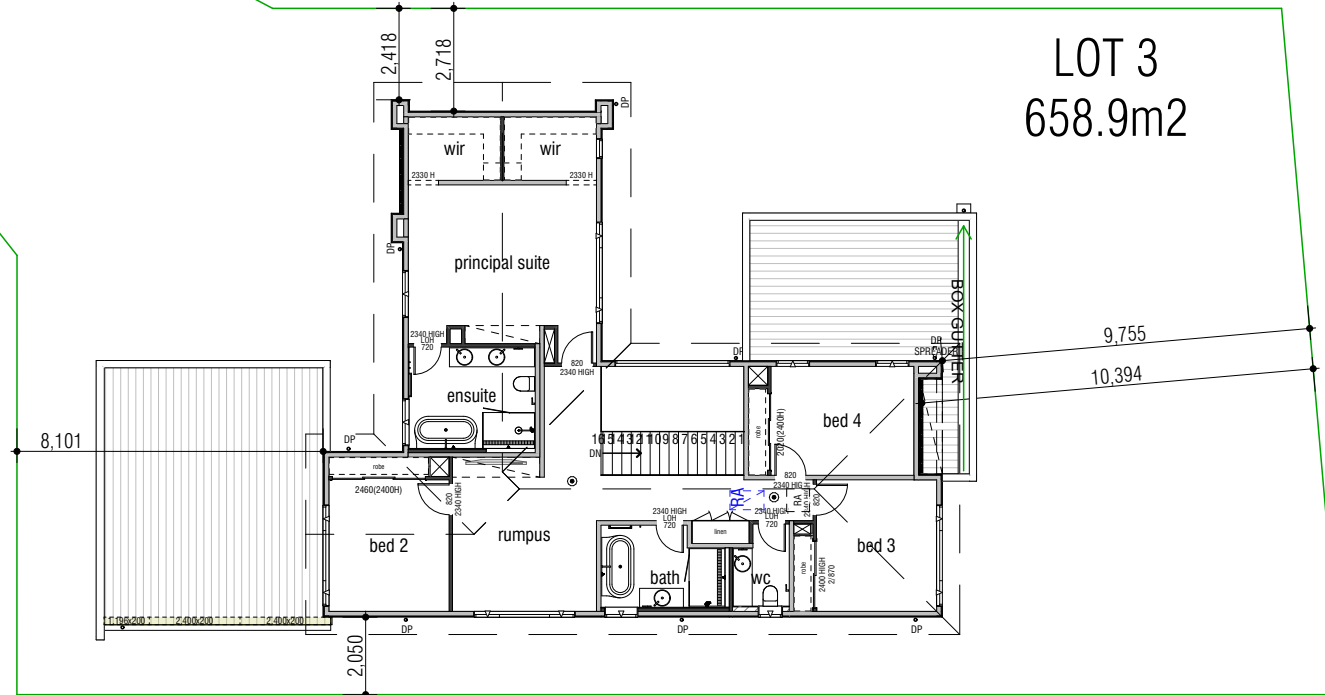
BLACKBUTTS
ROAD



ROAD 01

LOT 3
658.9m2

BLACKBUTTS
ROAD



REFER TO SITE PLAN FOR ALL SITE
INFORMATION, EASEMENTS, RETAINING
WALLS & ANNOTATIONS.
REFER TO INDIVIDUAL FLOOR PLANS FOR ALL
FLOOR PLAN INFO & ANNOTATIONS.

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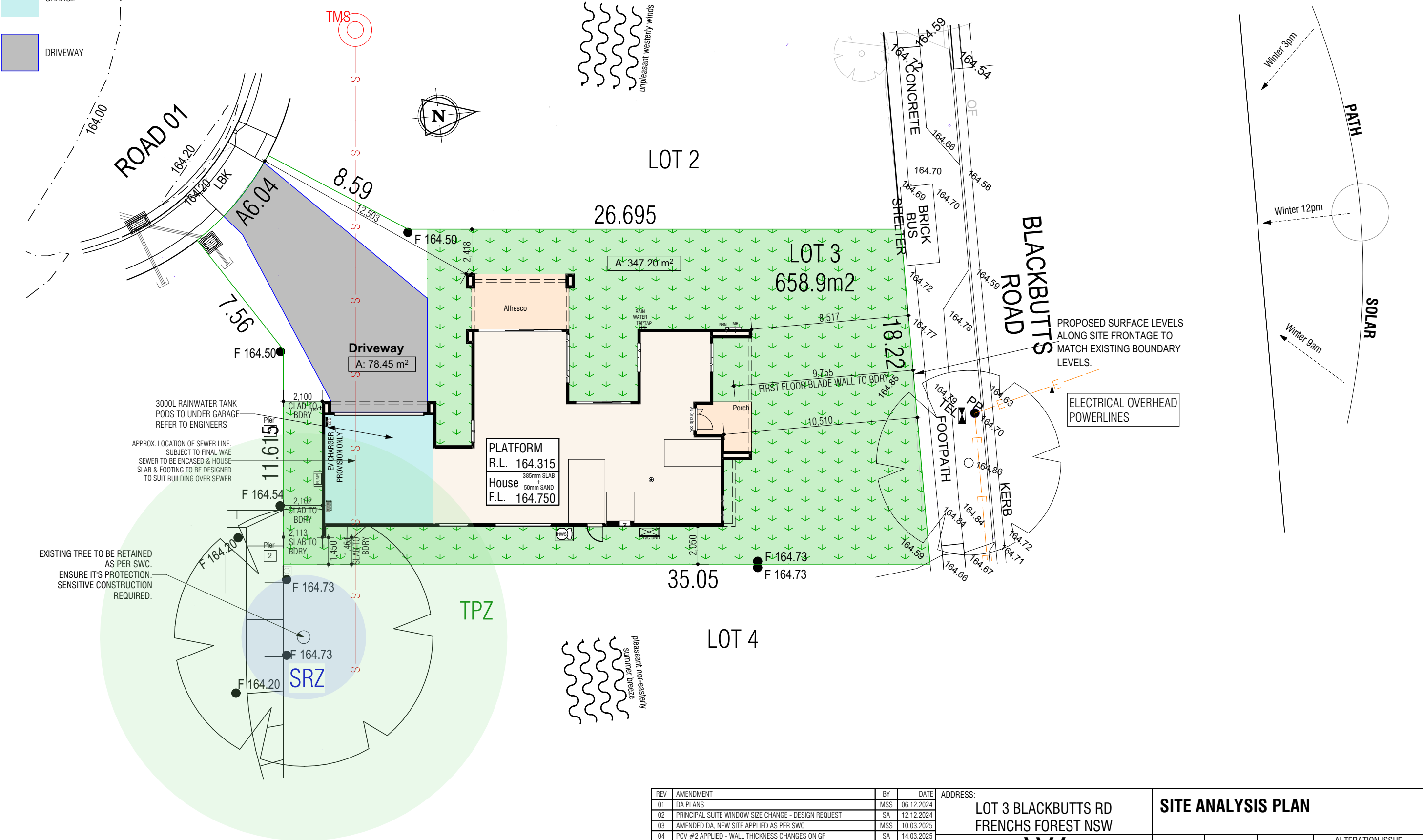
ADDRESS:		LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW		GF & FF SETBACK PLAN			
 68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400 Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.		FR07		F01	ALTERATION ISSUE		
		TYPE	ACCOM	FACADE	GENERAL ISSUE 23	DESIGN ISSUE NA	
		CONTRACT No: NM105562				SHEET DA-2	
		MASTER DESIGN		MASTER CHECKED		PAGE:	
		MSS		-	SCALE: 1:200		

LEGEND

LANDSCAPE OPEN SPACE AS PER WARRINGAH DCP -
D1 LANDSCAPED OPEN SPACE & BUSHLAND SETTING.
AREAS > 2m WIDE

GARAGE

DRIVEWAY



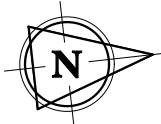
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SITE ANALYSIS PLAN				
FR07		F01	ALTERATION ISSUE	
TYPE	ACCOM	FACADE	GENERAL ISSUE	DESIGN ISSUE
CONTRACT No: NM105562			23	NA
MASTER DESIGN			PAGE:	
MSS			SCALE:	



BLACKBUTTS ROAD



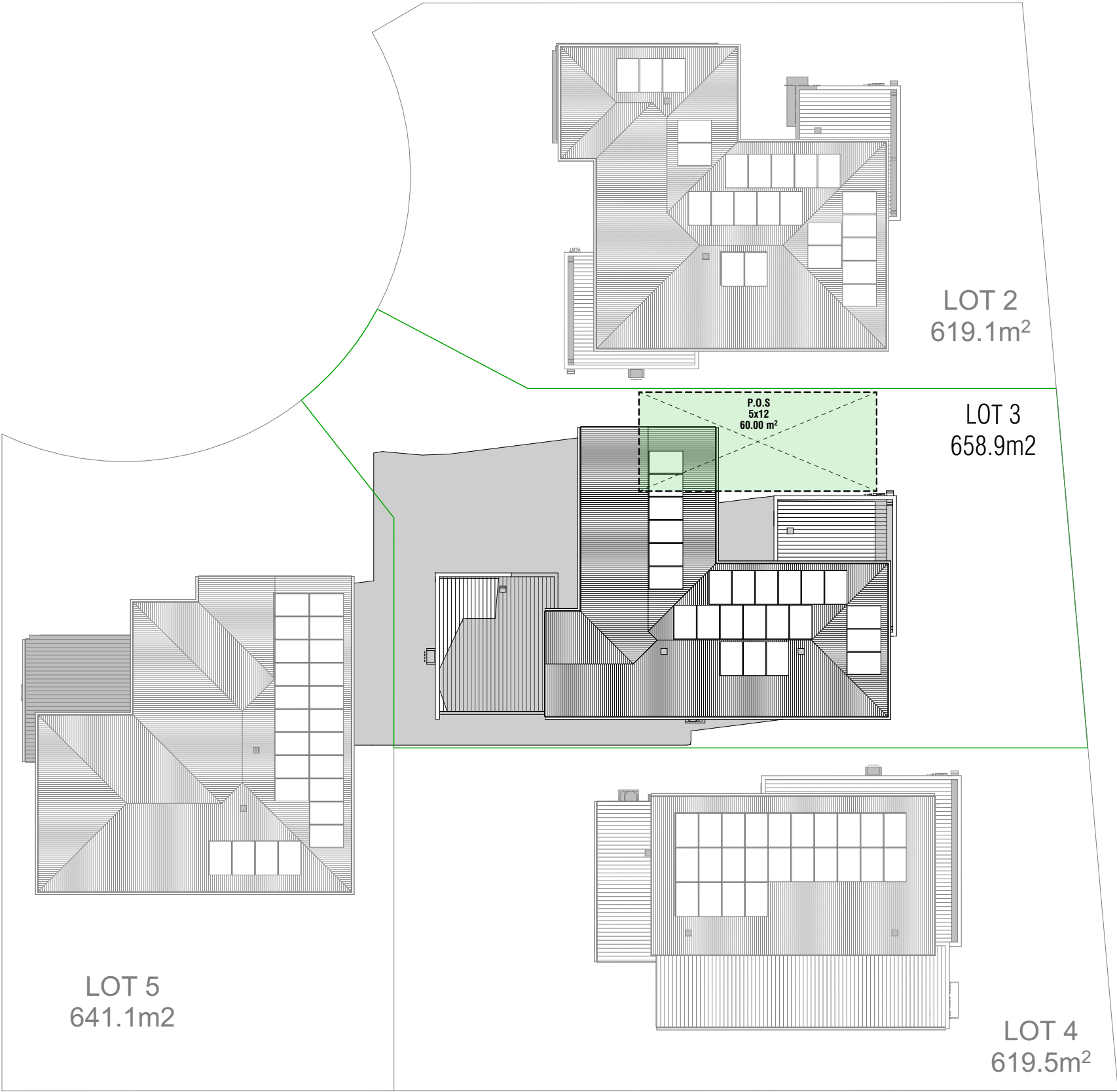
June 21st 9am

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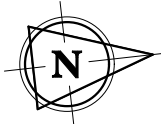
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SHADOWS DIAGRAMS					
FR07		F01	ALTERATION ISSUE		
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA
CONTRACT No: NM105562				SHEET	DA-5
MASTER DESIGN		MASTER CHECKED		PAGE:	
MSS		-		SCALE: 1:250	



BLACKBUTTS ROAD



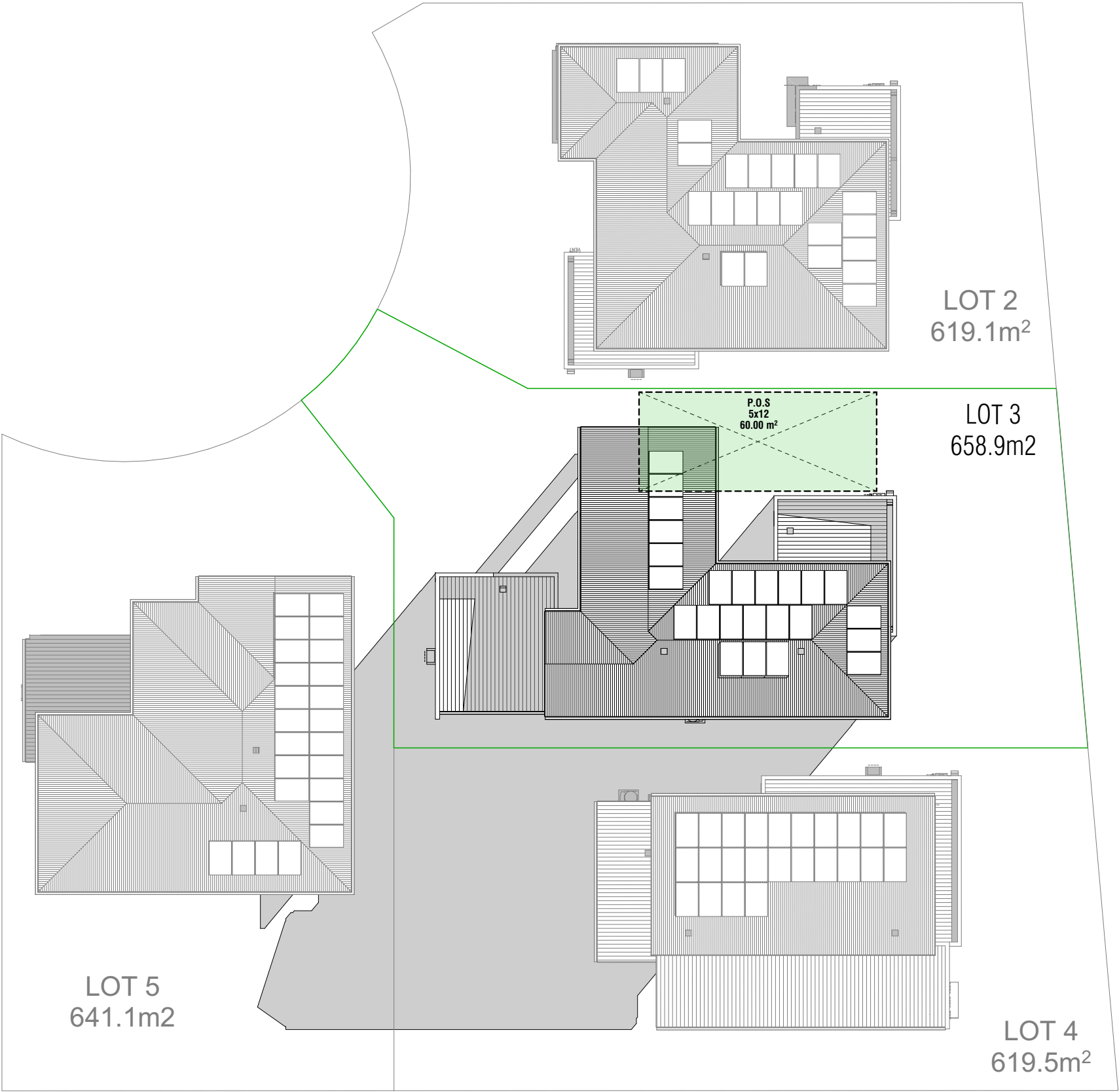
June 21st 12pm

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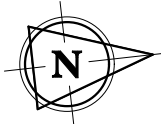
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FR07		F01	ALTERATION ISSUE		
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CONTRACT No: NM105562				SHEET	DA-6
MASTER DESIGN		MASTER CHECKED		PAGE:	
MSS		-		SCALE: 1:250	



BLACKBUTTS ROAD



June 21st 3pm

REV	AMENDMENT	BY	DATE
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SHADOW DIAGRAMS					
FR07		F01	ALTERATION ISSUE		
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA
CONTRACT No: NM105562				SHEET DA-7	
MASTER DESIGN		MASTER CHECKED		PAGE:	
MSS		-		SCALE:	

GENERAL NOTES

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- *GRID* = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
 - GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
 - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
 - INTERNAL = 90mm STUD AND 120mm STUD
 - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

- N1 - STANDARD FUGE
- N2 - FEATURE FUGE
- R1 - RENDERED

LEGEND

- DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK
- RA - ROOF ACCESS
- RA - RETURN AIR CEILING GRILL
- CV - CEILING VENTS
- SA - DENOTES SHAWOOD POST
- SA - SMOKE ALARM (DIRECT WIRED)
- 120mm WALL
- 90mm WALL

- WINDOW GLAZING CODES (OBS) : OBSCURED, (SP10) : SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowE) : DOUBLE GLAZED WITH LowE (DG-LowE+) : DOUBLE GLAZED WITH LowE PLUS
- WINDOW AND DOOR CODES ASW : ALUM SLIDING WINDOW, ABW : ALUM BI-FOLD WINDOW AAW : ALUM AWNING WINDOW, AFW : ALUM FIXED WINDOW ASD : ALUM SLIDING DOOR, AST : ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER
REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

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08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025

Floor Areas	
Ground flr.	135.84
Garage	37.56
First flr.	128.23
Total	301.63 m ²
Alfresco	15.46
Pier	4.53
Porch	6.49
S. Void	10.89
Total	339.00 m ²

ADDRESS:
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FRENCHS FOREST NSW

SHAWOOD

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GROUND FLOOR PLAN

FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No:	NM105562		SHEET 23
MASTER DESIGN	MASTER CHECKED		DESIGN ISSUE NA
MSS	-		SCALE: 1:100, 1:2

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LEGEND

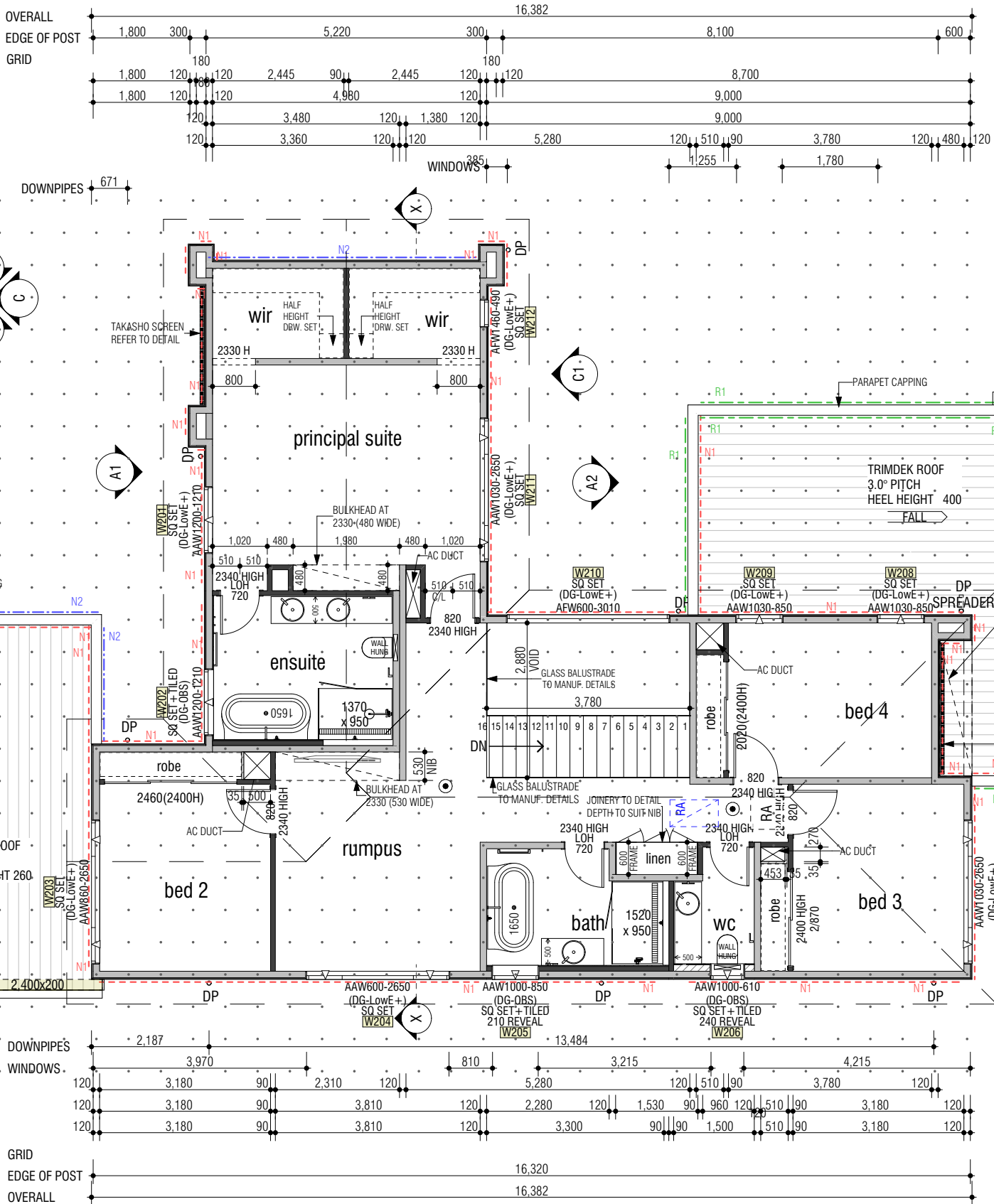
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Porch	6.49
S. Void	10.89
Total	339.00 m²

ADDRESS: LOT 3 BLACKBUTTS RD
FRENCHS FOREST NSW

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FIRST FLOOR PLAN

FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No:	NM105562		SHEET 23
MASTER DESIGN	MASTER CHECKED		PAGE: NA
MSS	-		SCALE: 1:100, 1:2

Window Schedule														
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW2050-1210	☐	2,050	1,210	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W102	AFW600-1570	☐	600	1,570	117	☒	☐			DG-LowE+:- Double Glass with LowE PLUS	--	WID-106-028	2.10	0.54
W103	AFW600-3010	☐	600	3,010	117	☒	☐			DG-LowE+:- Double Glass with LowE PLUS	--	WID-106-028	2.10	0.54
W104	AAW1030-610	☐	1,030	610	240	☒	☒			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W105	AAW2050-610	☐	2,050	610	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W106	AAW2050-610	☐	2,050	610	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W107	AAW2050-1570	☐	2,050	1,570	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W108	AAW2050-1570	☐	2,050	1,570	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W109	AAW2050-2650	☐	2,050	2,650	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W201	AAW1200-1210	☐	1,200	1,210	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W202	AAW1200-1210	☐	1,200	1,210	117	☒	☒			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W203	AAW860-2650	☐	860	2,650	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W204	AAW600-2650	☐	600	2,650	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W205	AAW1000-850	☐	1,000	850	210	☒	☒			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W206	AAW1000-610	☐	1,000	610	240	☒	☒			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W207	AAW1030-2650	☐	1,030	2,650	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W208	AAW1030-850	☐	1,030	850	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W209	AAW1030-850	☐	1,030	850	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W210	AFW600-3010	☐	600	3,010	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-106-028	2.10	0.54
W211	AAW1030-2650	☐	1,030	2,650	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-101-012	3.20	0.45
W212	AFW1460-490	☐	1,460	490	117	☒	☐			DG-SP10+:- Double Glass with SP10 PLUS	--	WID-106-028	2.10	0.54
21														

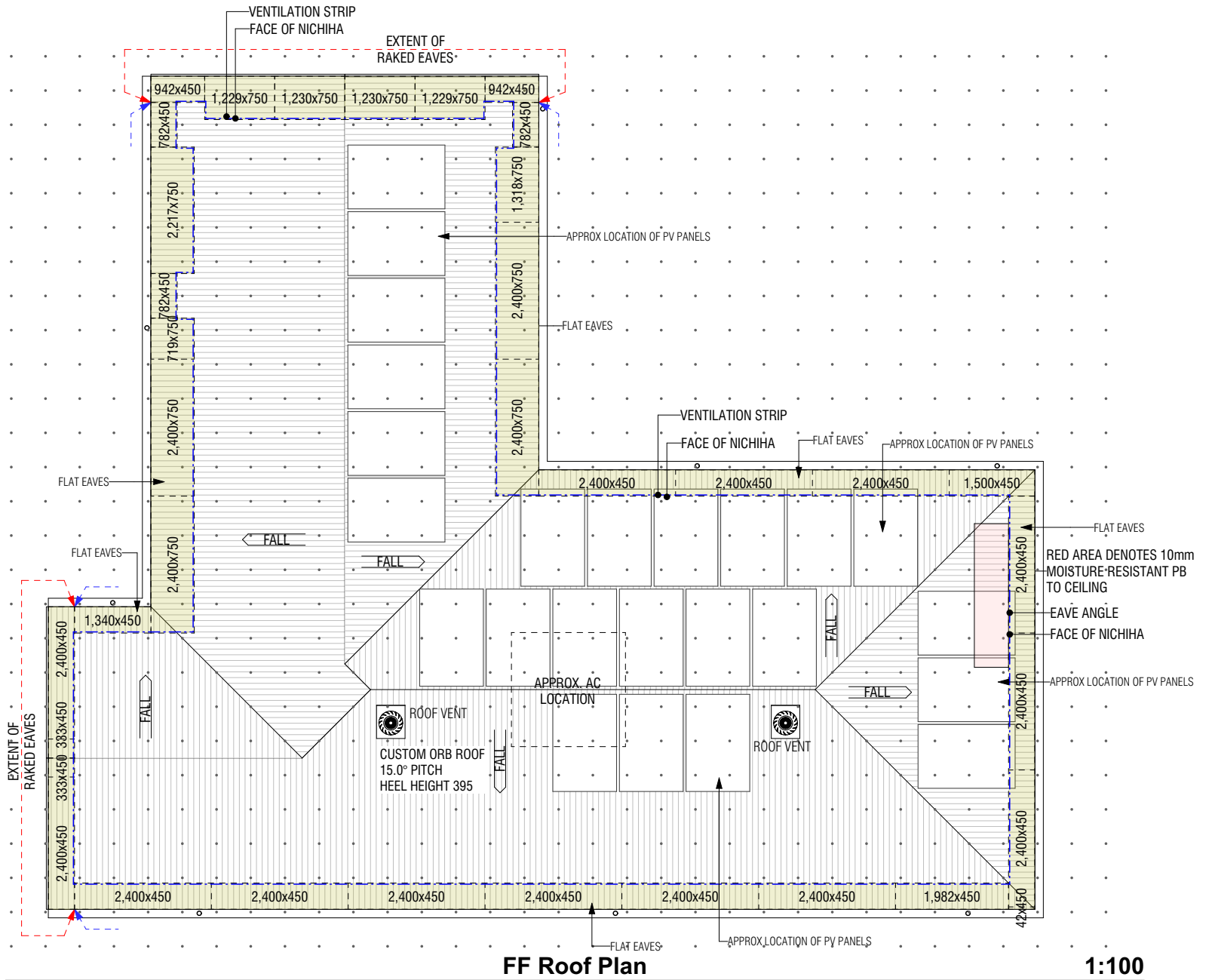
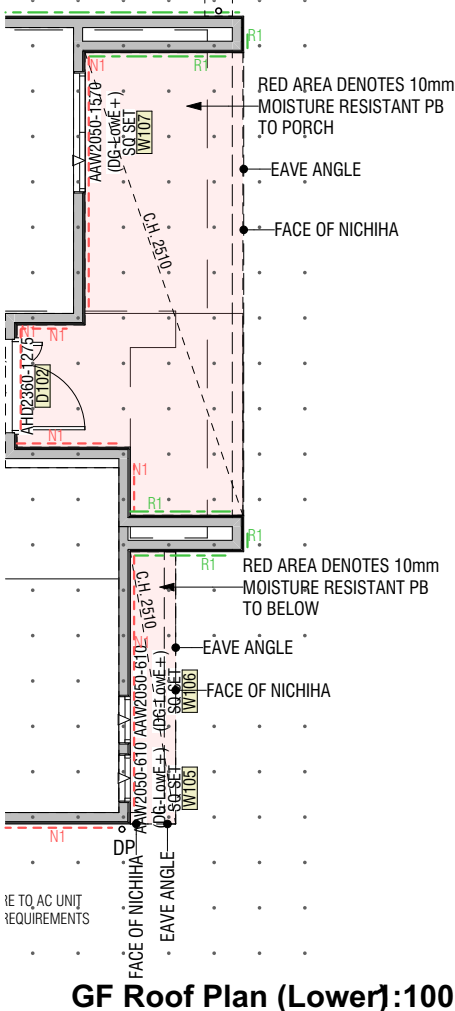
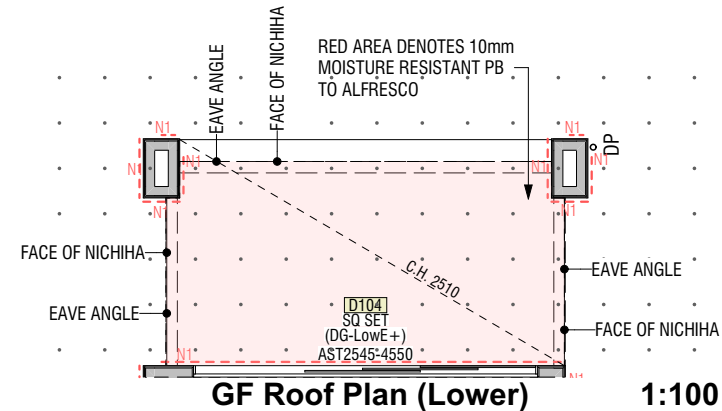
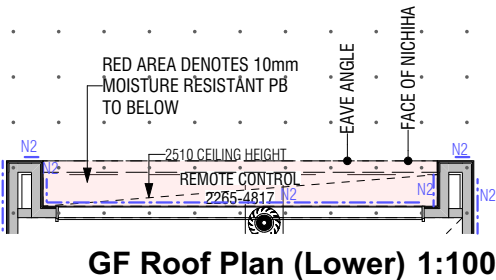
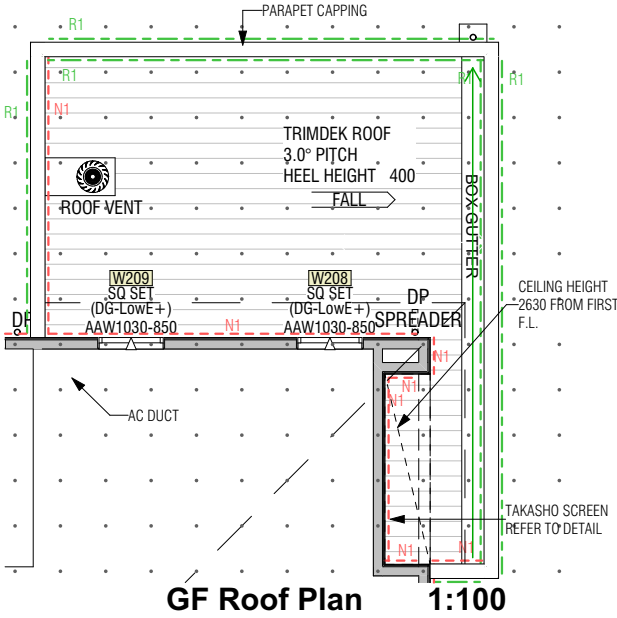
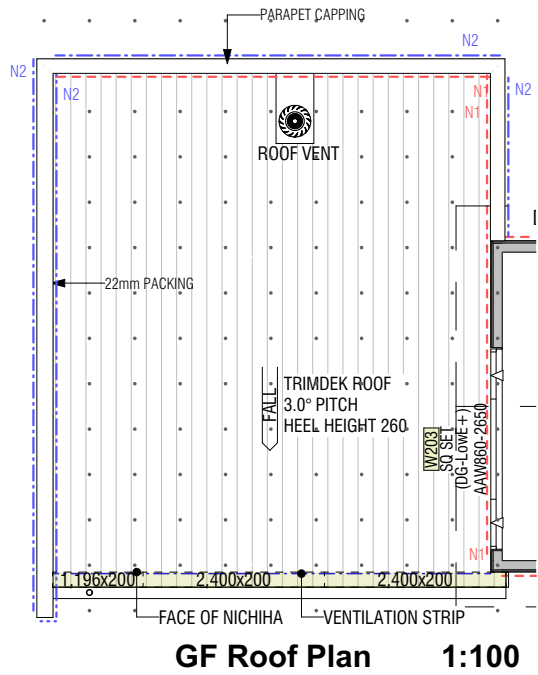
Door Schedule												
Element ID	Door Code	Paragon	Height	Width	Reveal Width	Square Set 2mm gap	External View	Special Note	Glazing	werslink	Uvalue	SHGC
D101	AFD2120-900	☒	2,120	900	117	☒			DG:- Double Glass	WID-122-017	3.90	0.51
D103	AST2545-3010	☐	2,545	3,010	117	☒			DG-SP10+:- Double Glass with SP10 PLUS	WID-111-005	2.90	0.48
D104	AST2545-4550	☐	2,545	4,550	117	☒			DG-SP10+:- Double Glass with SP10 PLUS	WID-111-005	2.90	0.48
3												

REV				AMENDMENT		BY		DATE		ADDRESS:				WINDOW & DOOR SCHEDULE									
01		DA PLANS				MSS		06.12.2024		LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW SHAWOOD 68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400 Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. © COPYRIGHT 2024 REPRODUCTION IN PART OR WHOLE FORBIDDEN				FR07				F01		ALTERATION ISSUE			
02		PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST				SA		12.12.2024						TYPE		ACCOM		FACADE		GENERAL ISSUE 23		DESIGN ISSUE NA	
03		AMENDED DA, NEW SITE APPLIED AS PER SWC				MSS		10.03.2025															
04		PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF				SA		14.03.2025						CONTRACT No: NM105562						SHEET DA-10			
05		DA RFIs + PCV#3: COUNCIL REQUIREMENTS				BM		01.05.2025						MASTER DESIGN				PAGE:					
06		WET AREA FLOOR WASTES REMOVED EXCL. SHOWER				BM		02.05.2025						MASTER CHECKED				SCALE:					
07		DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25				SA		23.05.2025						MSS				-					
08		DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS				MSS		16.06.2025															

LEGEND

- N1 - STANDARD FUGE
- N2 - FEATURE FUGE
- R1 - RENDERED

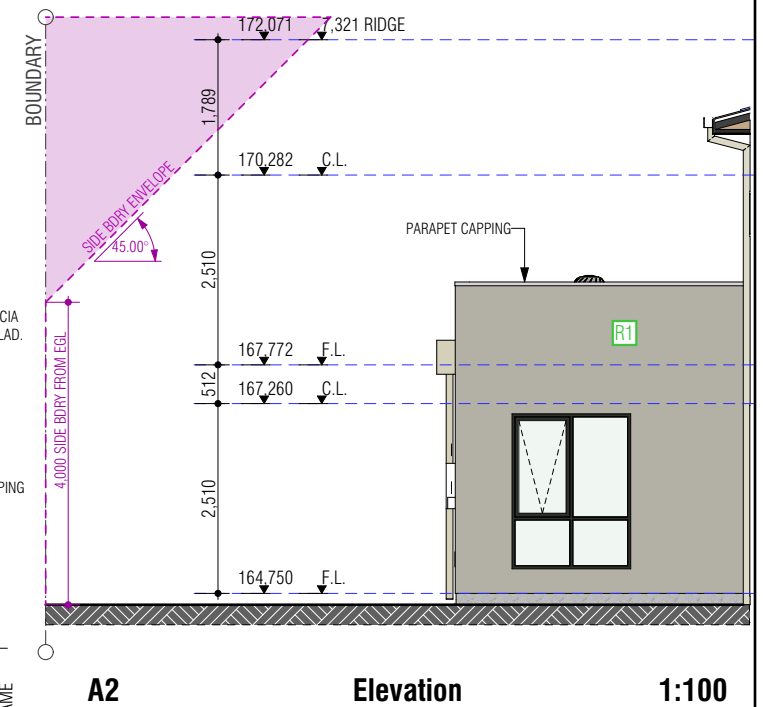
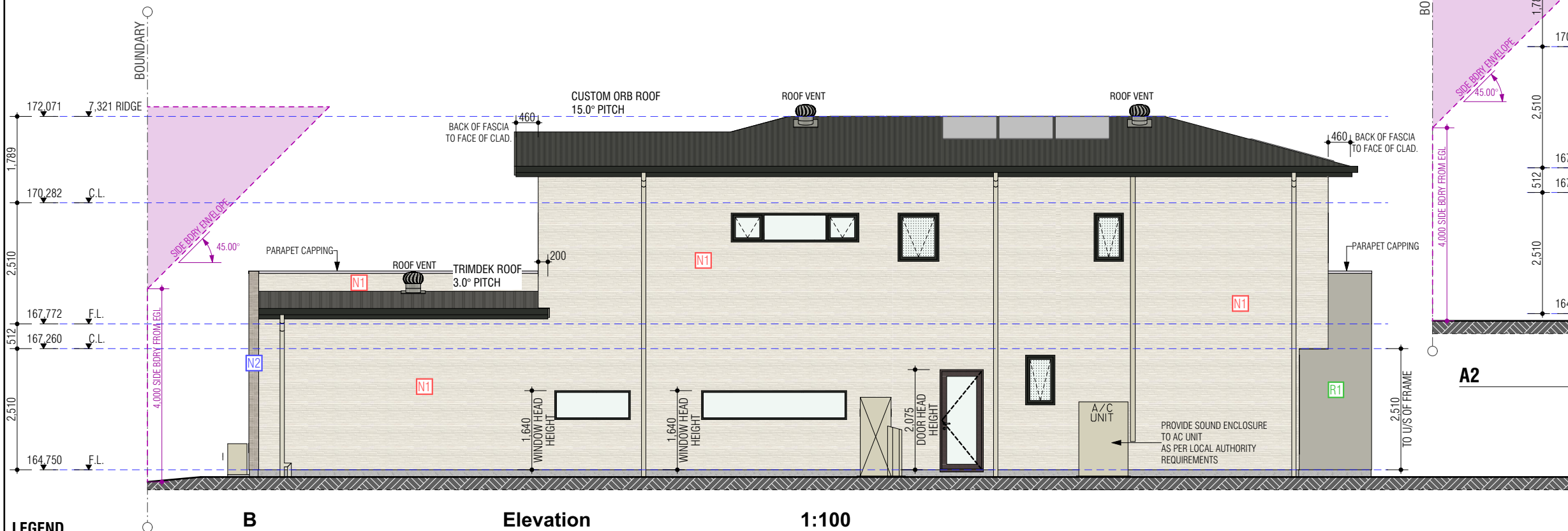
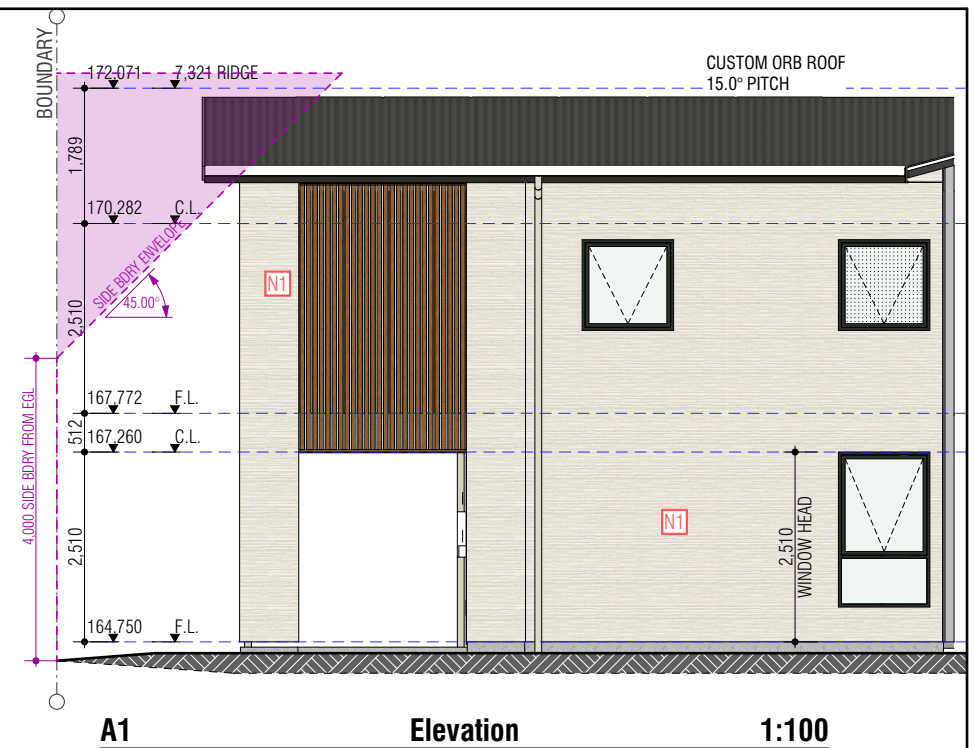
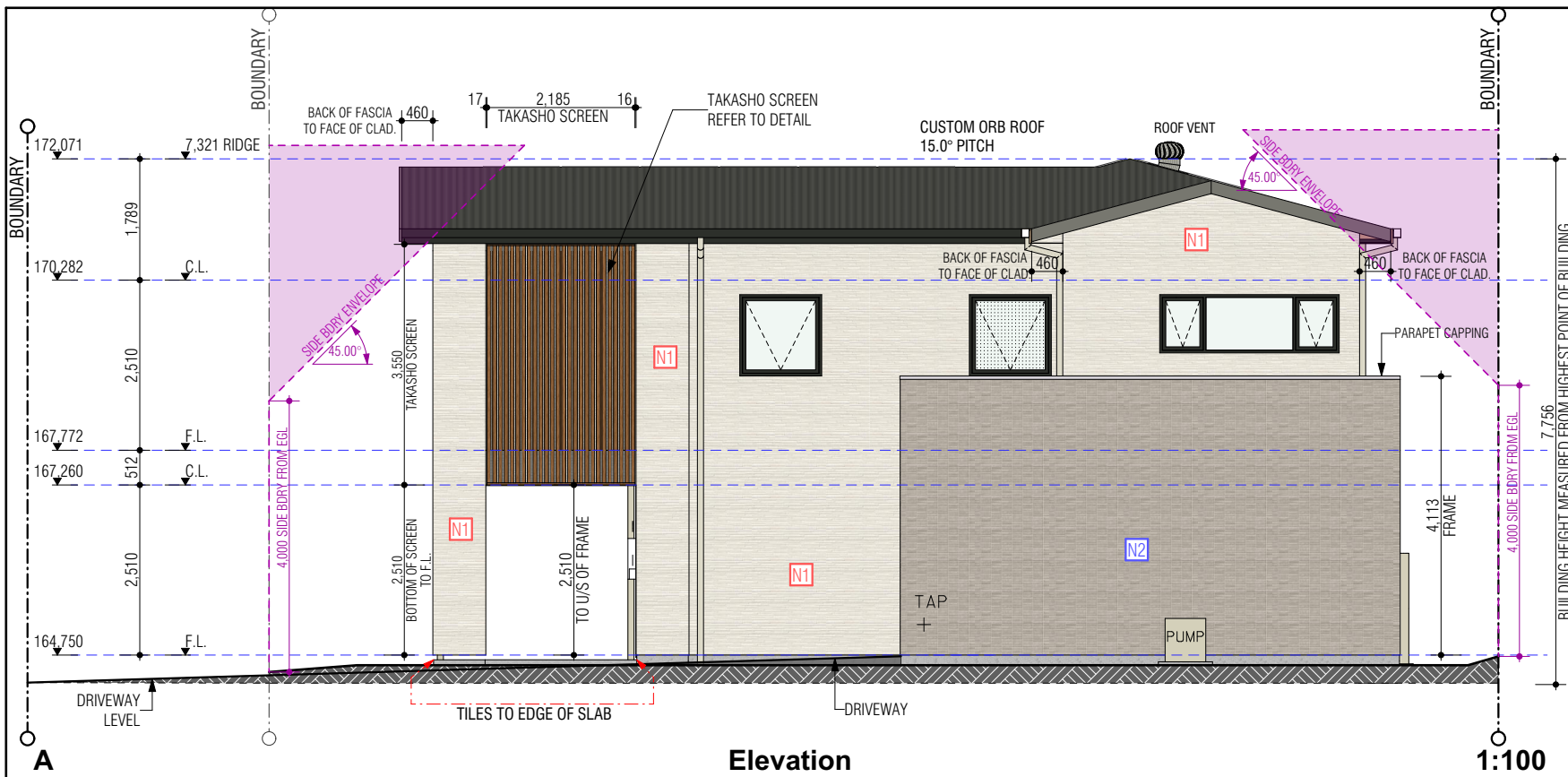
ALL EAVES RAKED UNLESS NOTED OTHERWISE



ROOF PLAN NOTES

- DP - DOWNPIPE
- EAVE VENT
- PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE STANDARD DETAILS 5.3-2 TO 5.3-5
- THE NUMBER OF PHOTOVOLTAIC PANELS SHOWN HERE IS APPROX. THE QUANTITY AND LOCATION CAN VARY WHEN INSTALLED

REV	AMENDMENT	BY	DATE	ADDRESS:	LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW	ROOF PLAN
01	DA PLANS	MSS	06.12.2024			
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024			
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025			
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025			
05	DA RFI# + PCV#3: COUNCIL REQUIREMENTS	BM	01.05.2025			
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025			
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025			
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025			
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400	SHAWOOD	FR07 F01 ALTERATION ISSUE
				Sekisui House Services (NSW) Pty Limited	REPRODUCTION IN PART OR WHOLE FORBIDDEN	TYPE ACCOM FACADE GENERAL ISSUE 23 DESIGN ISSUE NA
				ABN: 42119550220. BL: 226045C.		CONTRACT No: NM105562
						MASTER DESIGN MASTER CHECKED
						MSS -
						SHEET DA-11
						PAGE:
						SCALE:



LEGEND	
	- OBSCURE GLASS
	- STANDARD FUGE
	- FEATURE FUGE
	- RENDERED
ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS	

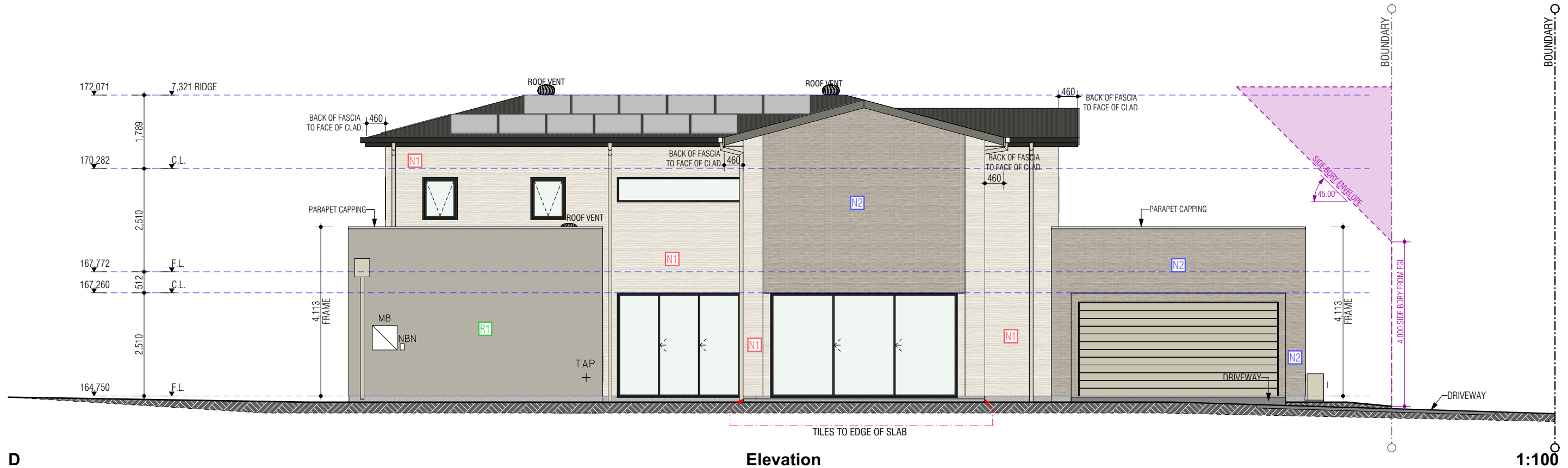
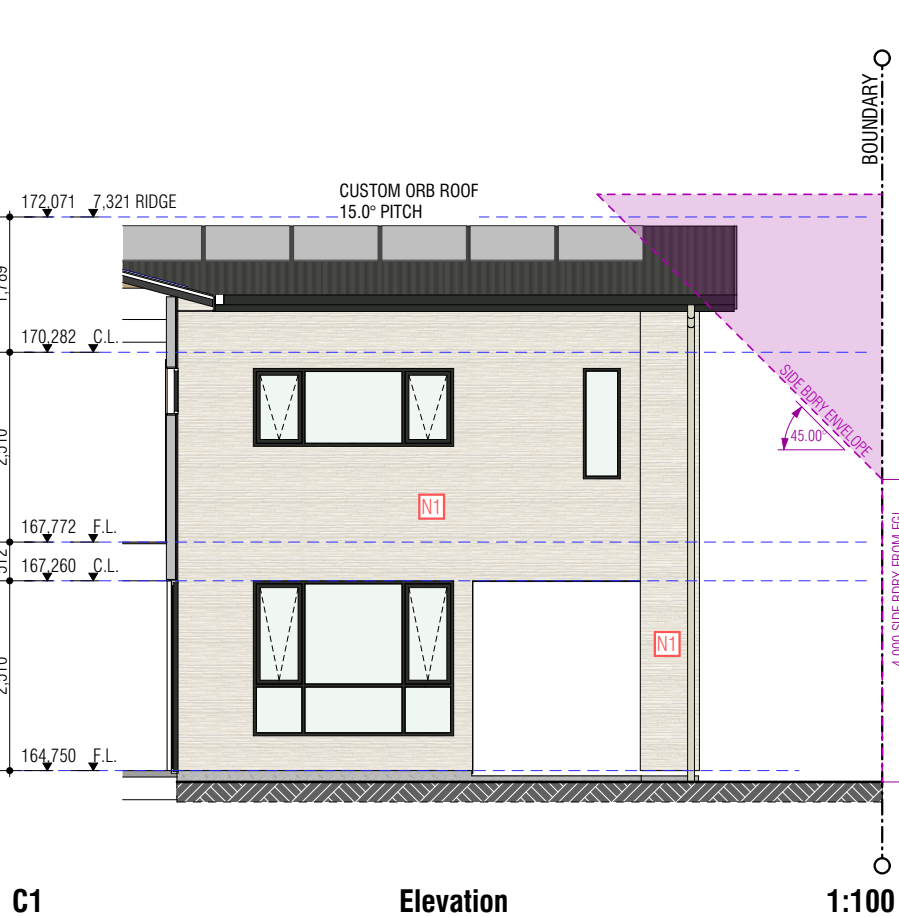
REV	AMENDMENT	BY	DATE
01	DA PLANS	MSS	06.12.2024
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025
05	DA RFIs + PCV#3: COUNCIL REQUIREMENTS	BM	01.05.2025
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025

ADDRESS:		EXTERNAL ELEVATIONS			
LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW		FR07		F01	ALTERATION ISSUE
SHAWOOD		TYPE	ACCOM	FACADE	GENERAL ISSUE
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400		CONTRACT No: NM105562			SHEET 23
Sekisui House Services (NSW) Pty Limited		MASTER DESIGN			DA-12
ABN: 42119550220. BL: 226045C.		MASTER CHECKED			PAGE:
		MSS			SCALE: 1:100

LEGEND

	- OBSCURE GLASS
	- STANDARD FUGE
	- FEATURE FUGE
	- RENDERED

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS



REV	AMENDMENT	BY	DATE
01	DA PLANS	MSS	06.12.2024
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025
05	DA RFIs + PCV#3: COUNCIL REQUIREMENTS	BM	01.05.2025
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025

ADDRESS:	LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW
	SHAWOOD
	68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
	Sekisui House Services (NSW) Pty Limited
	ABN: 42119550220. BL: 226045C.

EXTERNAL ELEVATIONS				
FR07		F01	ALTERATION ISSUE	
TYPE	ACCOM	FACADE	GENERAL ISSUE	23 DESIGN ISSUE NA
CONTRACT No: NM105562			SHEET DA-13	
MASTER DESIGN		MASTER CHECKED		PAGE:
MSS		-		SCALE: 1:100

LEGEND

- OBSCURE GLASS

N1

- STANDARD FUGE

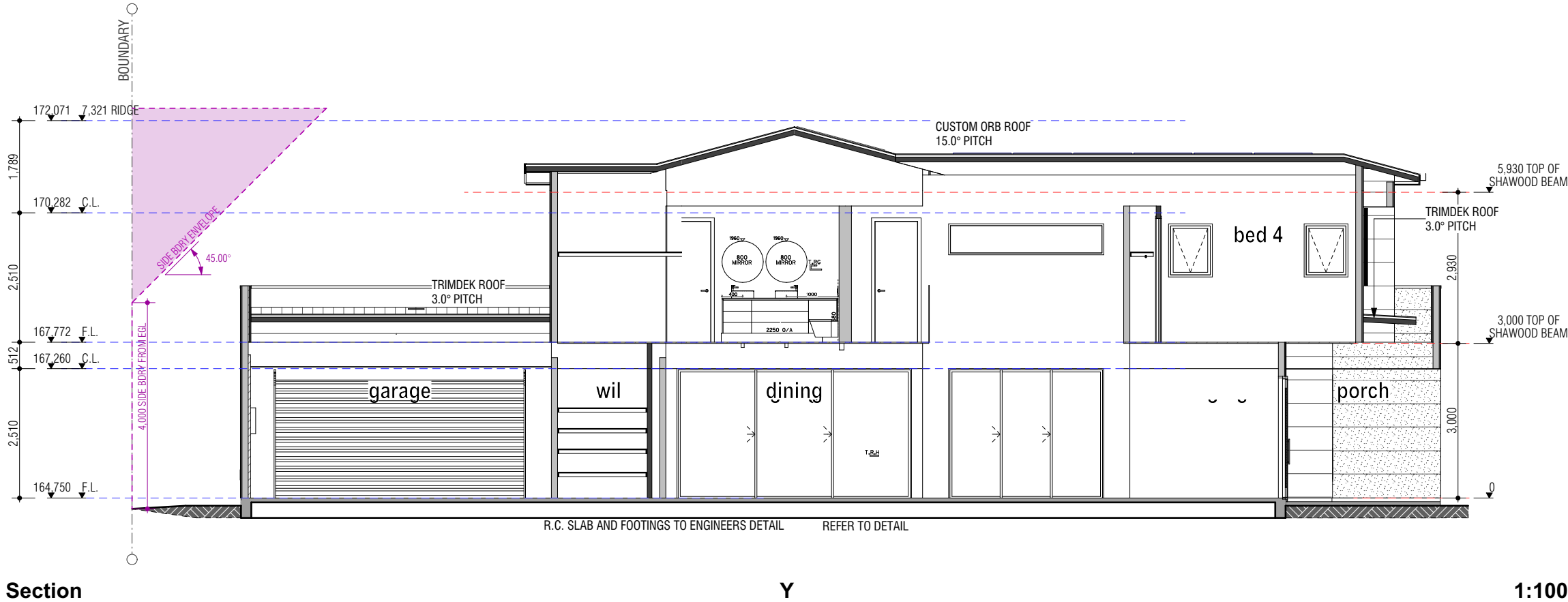
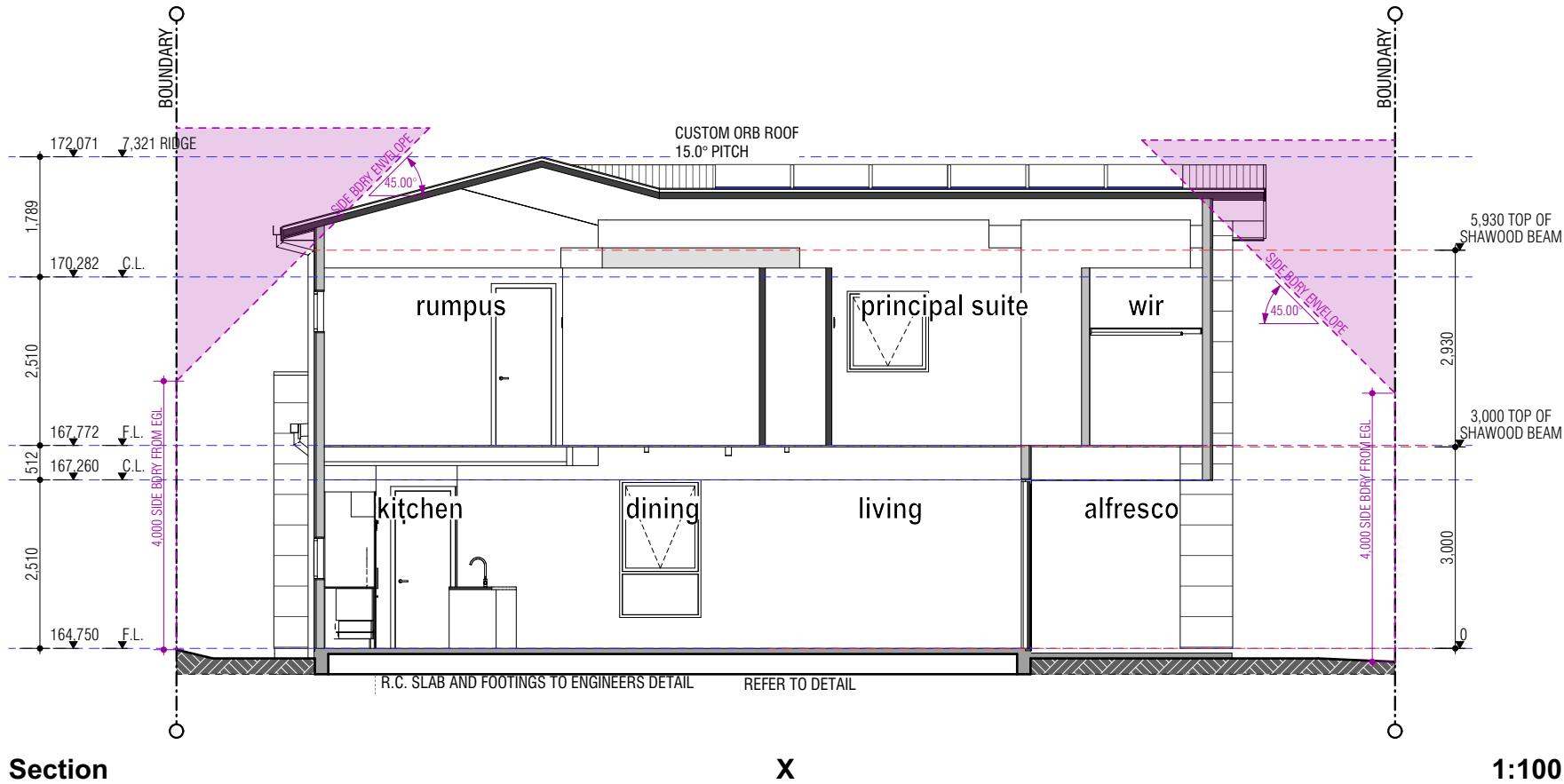
N2

- FEATURE FUGE

R1

- RENDERED

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS



- NOTES:-**
- * TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
 - * EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
 - * ALL GLAZING TO AUSTRALIAN STANDARD 1288 - 2021
 - * WINDOW SASH LOCATION AND GLAZING BAR CONFIGURATION TO MANUFACTURERS SPECIFICATIONS
 - * OPENING RESTRICTOR TO WINDOW SASHES AS PER Pt 11.3, NCC 2022

NICHIHA FU-GE CLADDING IS USED TO THE OUTER WALLS AS SHOWN ON THE ELEVATIONS. NICHIHA CLADDING IS COMPLIANT WITH THE REQUIREMENTS OF THE NCC AS SHOWN IN THE FOLLOWING DOCUMENTS. NCC COMPLIANCE - Quasar Management Services Pty Ltd, Q09102702-5, 19/05/2010 Codemark Certificate of Conformity - Nichiha Fu-ge Series Cladding System : CM30143 Rev 0 BUSHFIRE COMPLIANCE: Exova Warrington Fire, EWFA Report No. 2593802.2, Issued 09/02/2012

REV	AMENDMENT	BY	DATE
01	DA PLANS	MSS	06.12.2024
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025
05	DA RFIS + PCV#3: COUNCIL REQUIREMENTS	BM	01.05.2025
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025

ADDRESS: LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW

SHAWOOD

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SECTIONS			
FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE 23 DESIGN ISSUE NA
CONTRACT No: NM105562			SHEET DA-14
MASTER DESIGN		MASTER CHECKED	
MSS		-	
			PAGE: SCALE: 1:100

