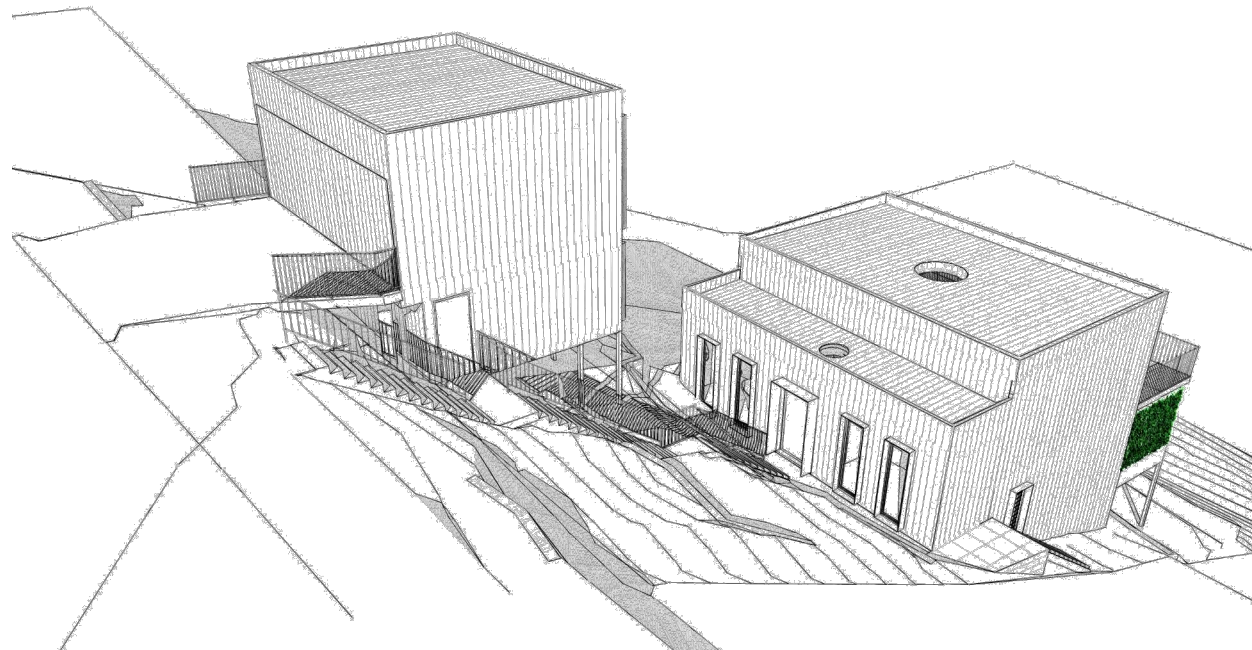




CONTENTS

DA1	COVER PAGE, MATERIALS & FINISHES
DA2	SURVEY
DA3	SITE ANALYSIS, STORMWATER & WASTE MANAGEMENT PLAN
DA4	LOWER FLOOR PLAN
DA5	ENTRY FLOOR PLAN
DA6	STORE FLOOR PLAN
DA7	GARAGE FLOOR PLAN
DA8	ROOF FLOOR PLAN
DA9	ELEVATIONS, S, N
DA10	ELEVATIONS, S (STREET), E
DA11	ELEVATIONS, W
DA12	SECTIONS A-A
DA13	SECTIONS B-B
DA14	SECTIONS C-C
DA15	LANDSCAPED AREA PLAN
DA16	LANDSCAPING CONCEPT PLAN
DA17	SOLAR JUNE 21 - 9AM
DA18	SOLAR JUNE 21 - 12PM
DA19	SOLAR JUNE 21 - 3PM
DA20	SEDIMENT & EROSION CONTROL PLAN
DA21	BASIX
DA22	BASIX

private residence

44 wandeen rd, clareville

alterations and additions
development application

architectural perspectives

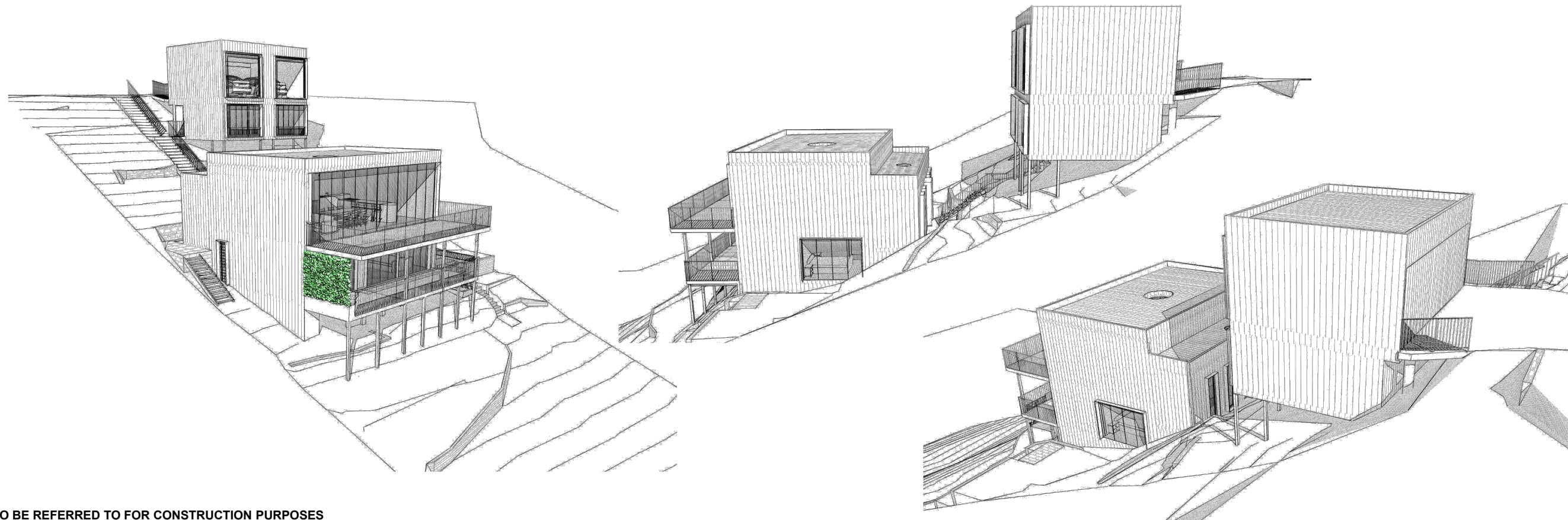
ROOF
METAL
GREY
or similar



WALLS
WEATHERBOARD
CLADDING
GREY
STRIA
or similar



WINDOWS
ALUMINIUM
GREY
or similar



LEGEND

- POS

PRIVATE OPEN SPACE (EXISTING)
- ED

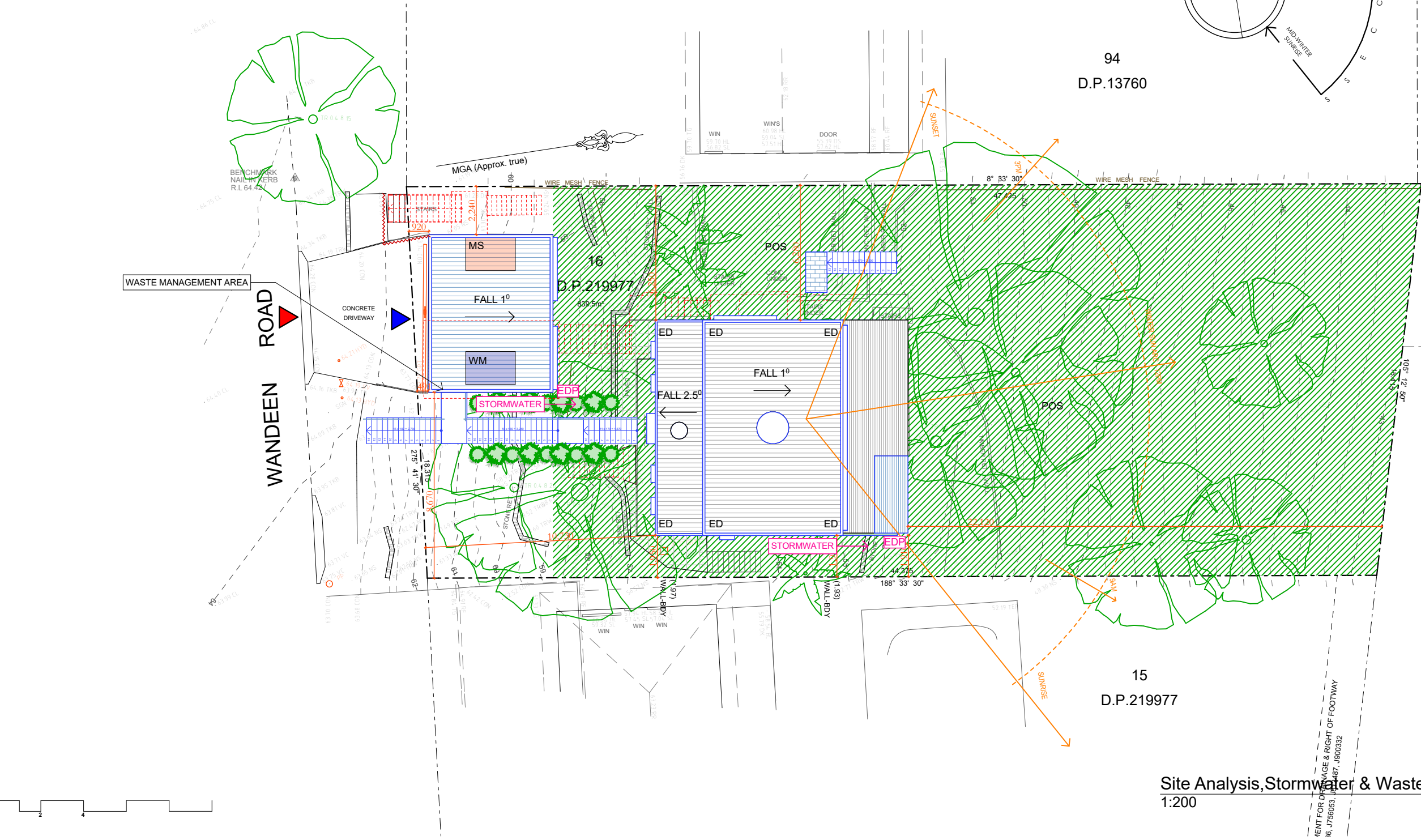
EXISTING DWELLING
- MS

MATERIAL STOCKPILE
- WM

WASTE MANAGEMENT
- EXISTING LEVELS
- CAR ENTRY POINT
- CARPORT ENTRY
- WASTE MANAGEMENT
- SITE SAFETY FENCE
- BOUNDARY

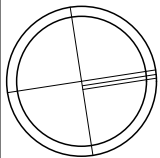
ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED



Site Analysis, Stormwater & Waste Management Plan
1:200

Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence

Drawing : - Site Analysis, Stormwater & Waste Management Plan

- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB

Project Number : 2321

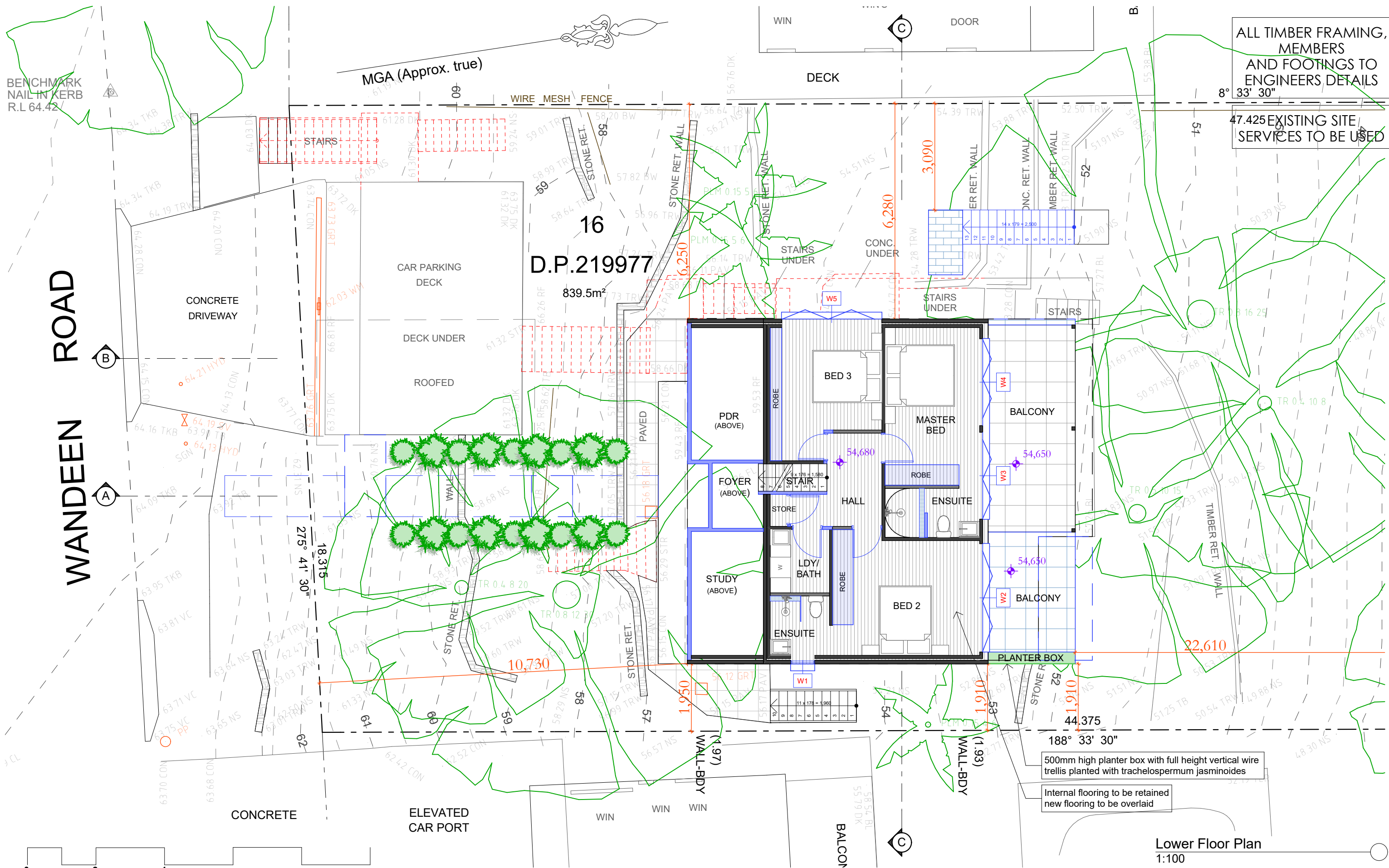
Drawing No. :

DA3

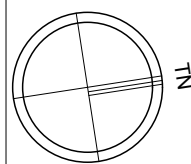
Date : 040825

Scale : 1:200 @ A3

Issue :



Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Designer for construction.



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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2

Client : Private Residence

Drawing : - Lower Floor Plan

 = Proposed Work
 = Demolition
 = Existing

Drawn/Designed : PB

Date : 040825

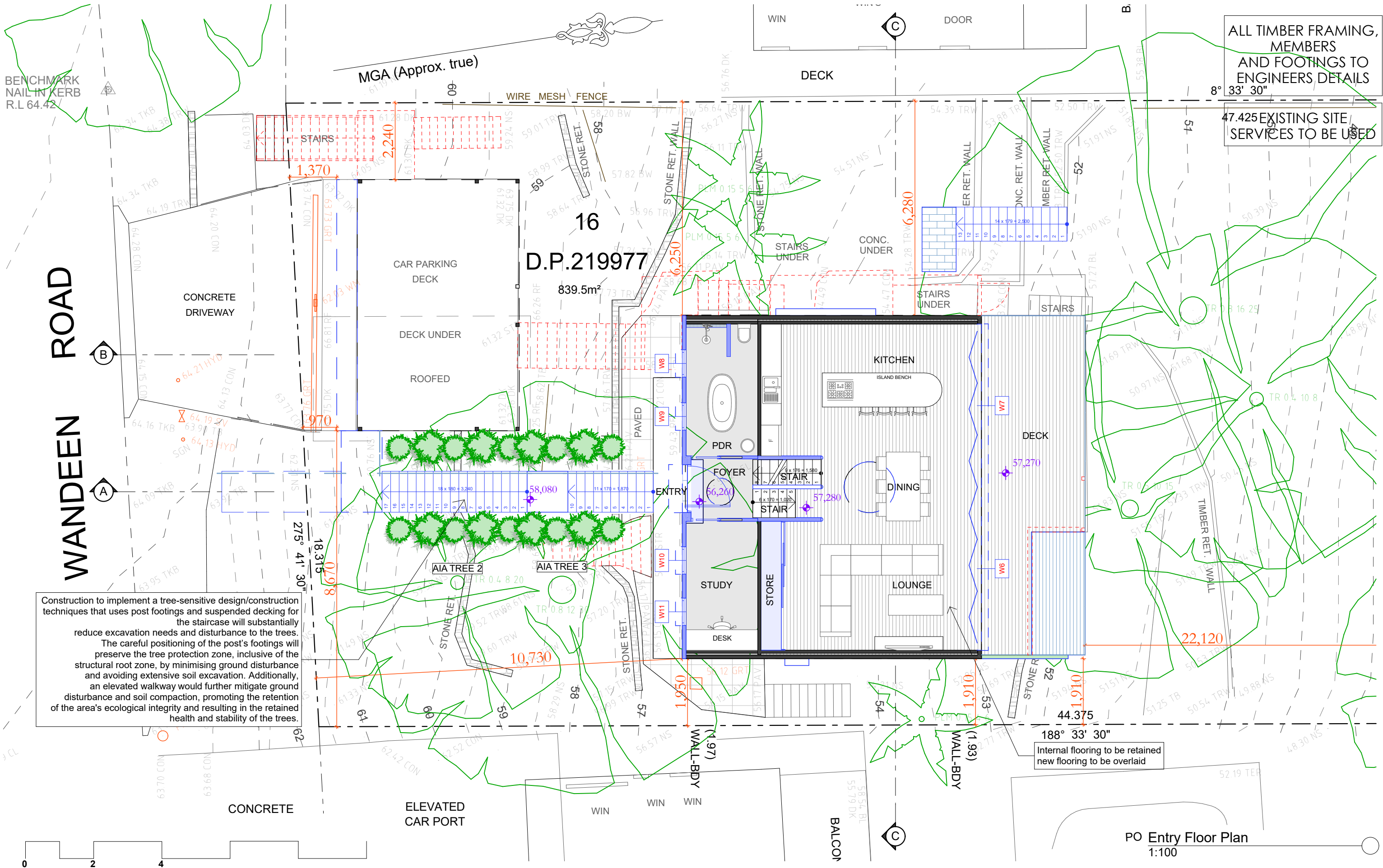
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Scale : 1:100 @ A3

Drawing No. :

DA4

Issue :



Date :	Issue :	Description :

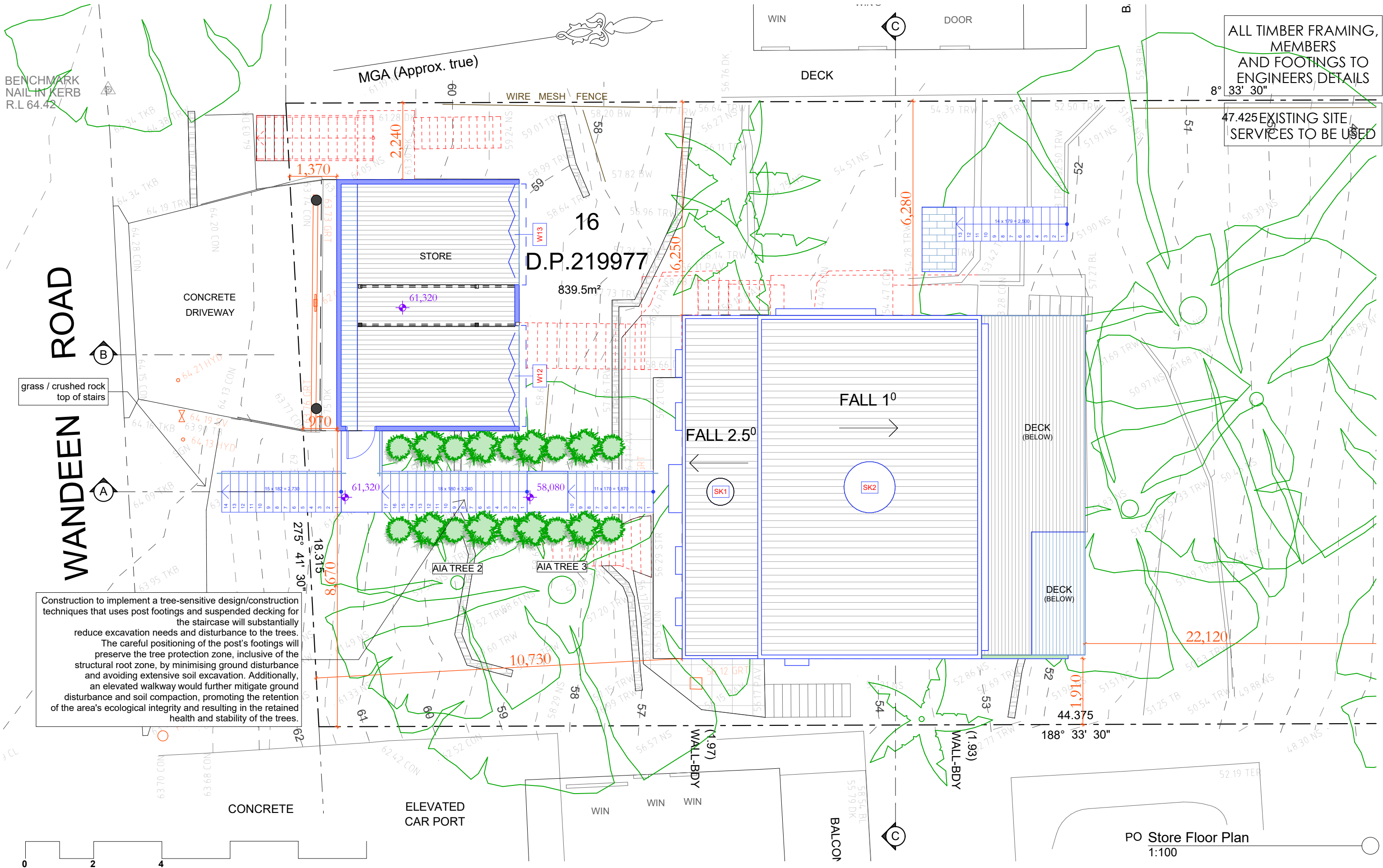
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m²
Client : Private Residence
Drawing - Entry Floor Plan

- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB	Date : 040825
Project Number : 2321	Scale : 1:100 @ A3
Drawing No. : DA5	Issue :

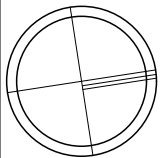


ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

47.425 EXISTING SITE
SERVICES TO BE USED

Construction to implement a tree-sensitive design/construction techniques that uses post footings and suspended decking for the staircase will substantially reduce excavation needs and disturbance to the trees. The careful positioning of the post's footings will preserve the tree protection zone, inclusive of the structural root zone, by minimising ground disturbance and avoiding extensive soil excavation. Additionally, an elevated walkway would further mitigate ground disturbance and soil compaction, promoting the retention of the area's ecological integrity and resulting in the retained health and stability of the trees.

Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



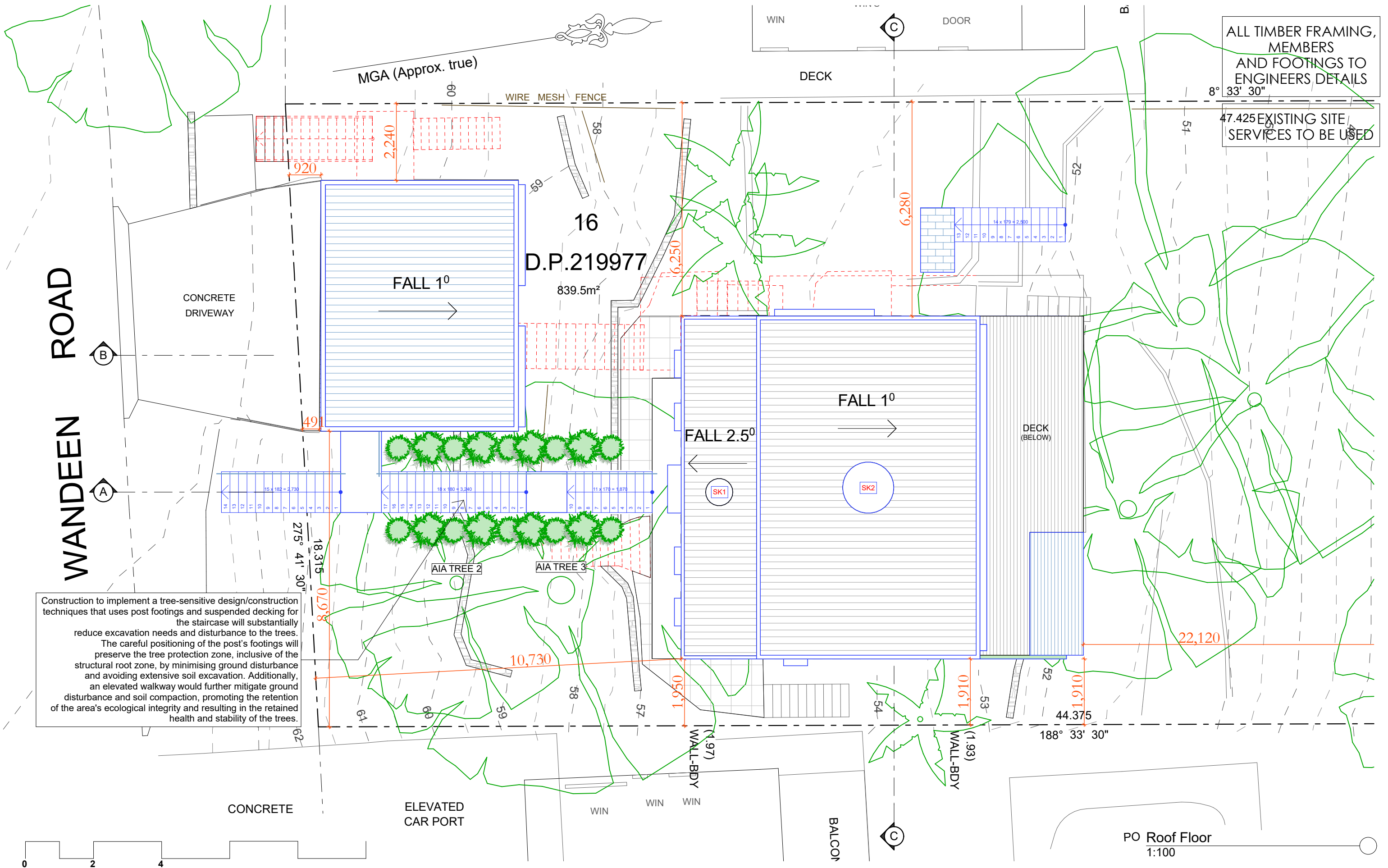
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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Store Floor Plan

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2321
Drawing No. : DA6

Date : 040825
Scale : 1:100 @ A3
Issue :



RL +61,320
Store Floor

RL +57,280
Entry Floor

RL +67,260
Parapet

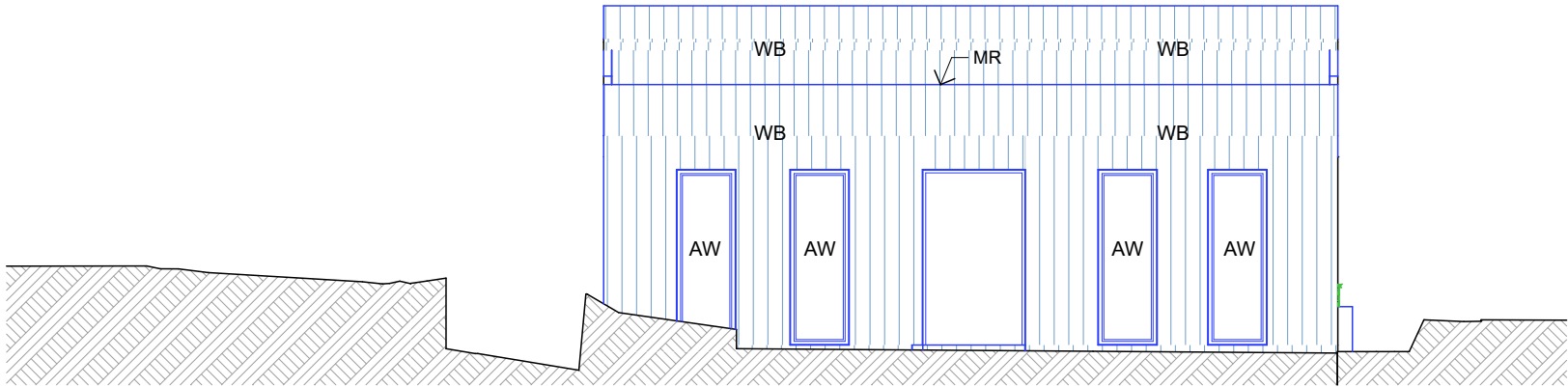
RL +63,750
Garage Floor

RL +61,320
Store Floor
RL +60,910
Parapet

RL +57,280
Entry Floor

RL +54,680
Lower Floor

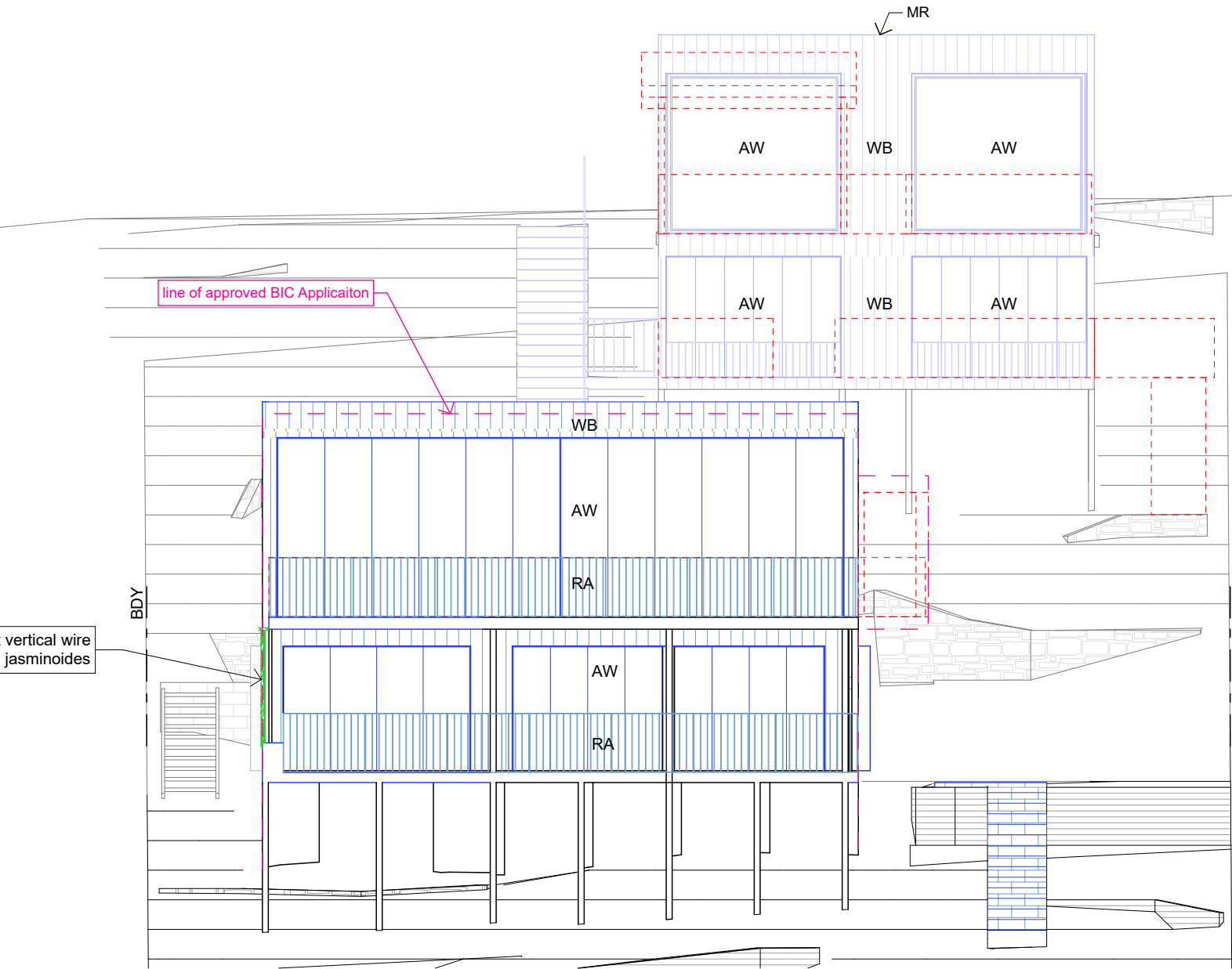
500mm high planter box with full height vertical wire trellis planted with trachelospermum jasminoides



South Elevation
1:100

LEGEND

- TR Timber framed roof with Metal cladding
WB Weatherboard cladding
AW Aluminium window
RA Rail to BCA / NCC
CC Concrete



North Elevation
1:100



Date :	Issue :	Description :

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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Elevations, N, S

- = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB

Project Number : 2321

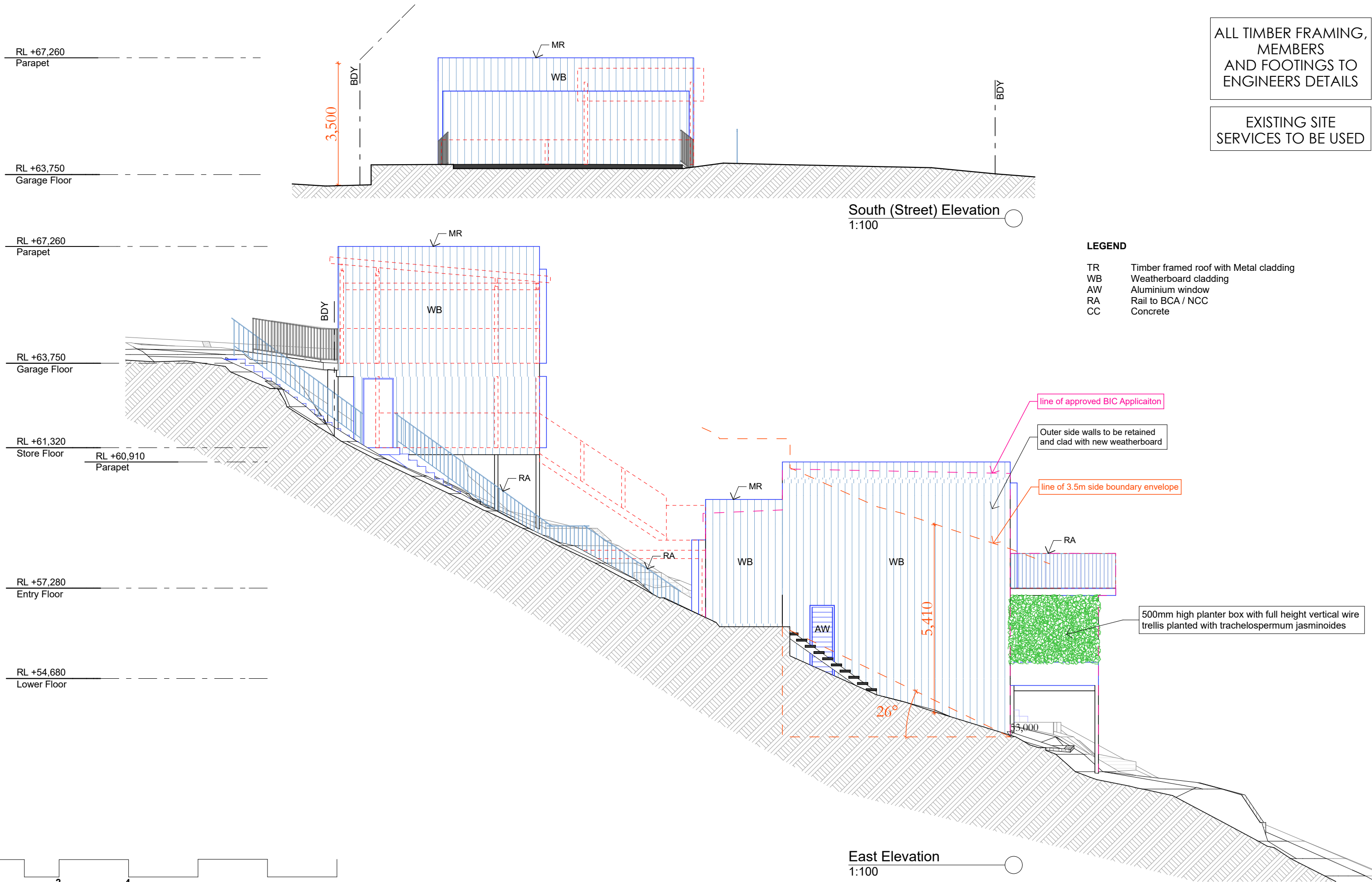
Drawing No. :

DA9

Date : 040825

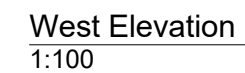
Scale : 1:100 @ A3

Issue :



EXISTING SITE SERVICES TO BE USED

TR	Timber framed roof with Metal cladding
WB	Weatherboard cladding
AW	Aluminium window
RA	Rail to BCA / NCC
CC	Concrete



**NORTHERN
BEACHES**
DRAFTING

Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2

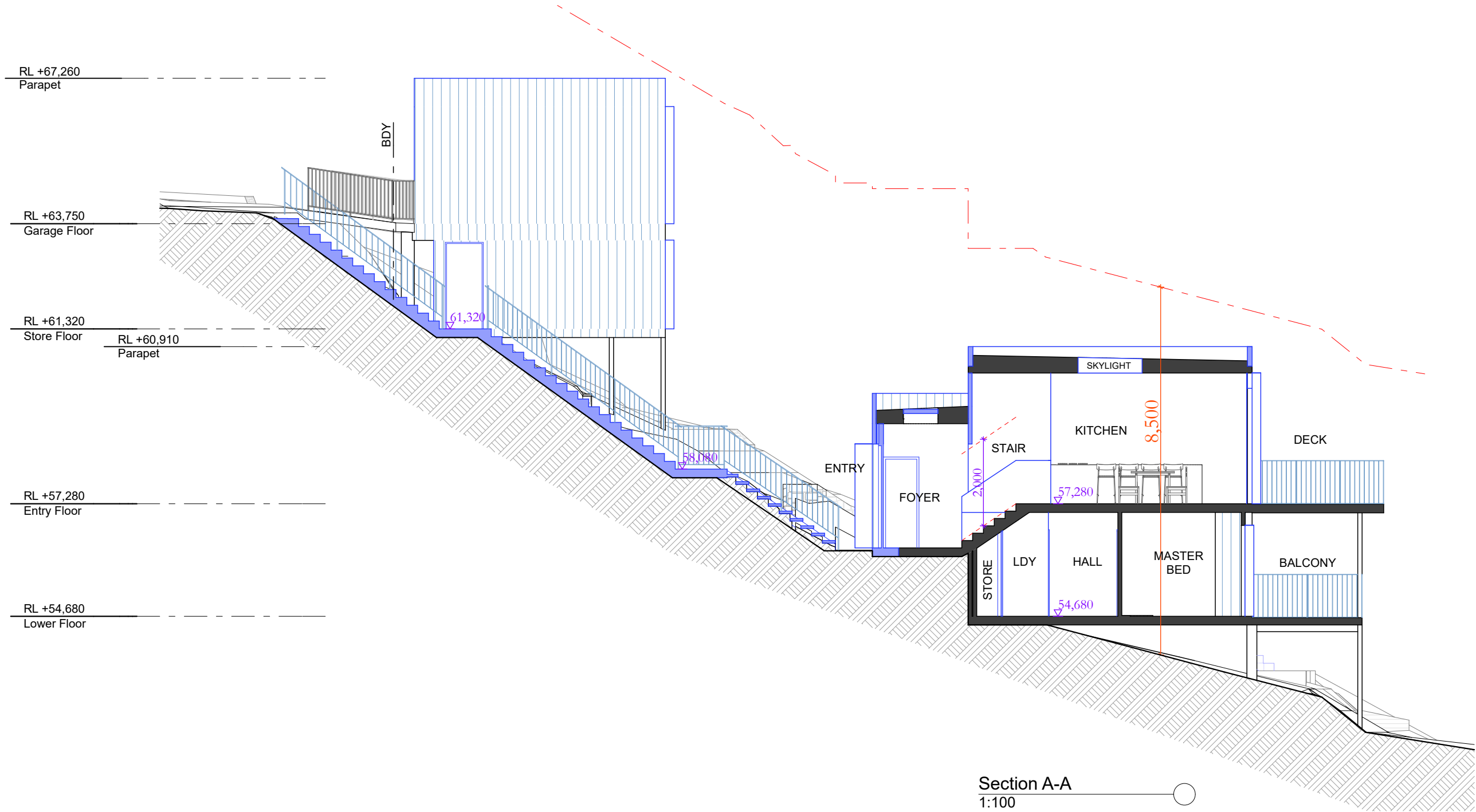
Client : Private Residence

Drawing : - Elevations, W

Issue :

ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED



Section A-A
1:100



Date :	Issue :	Description :

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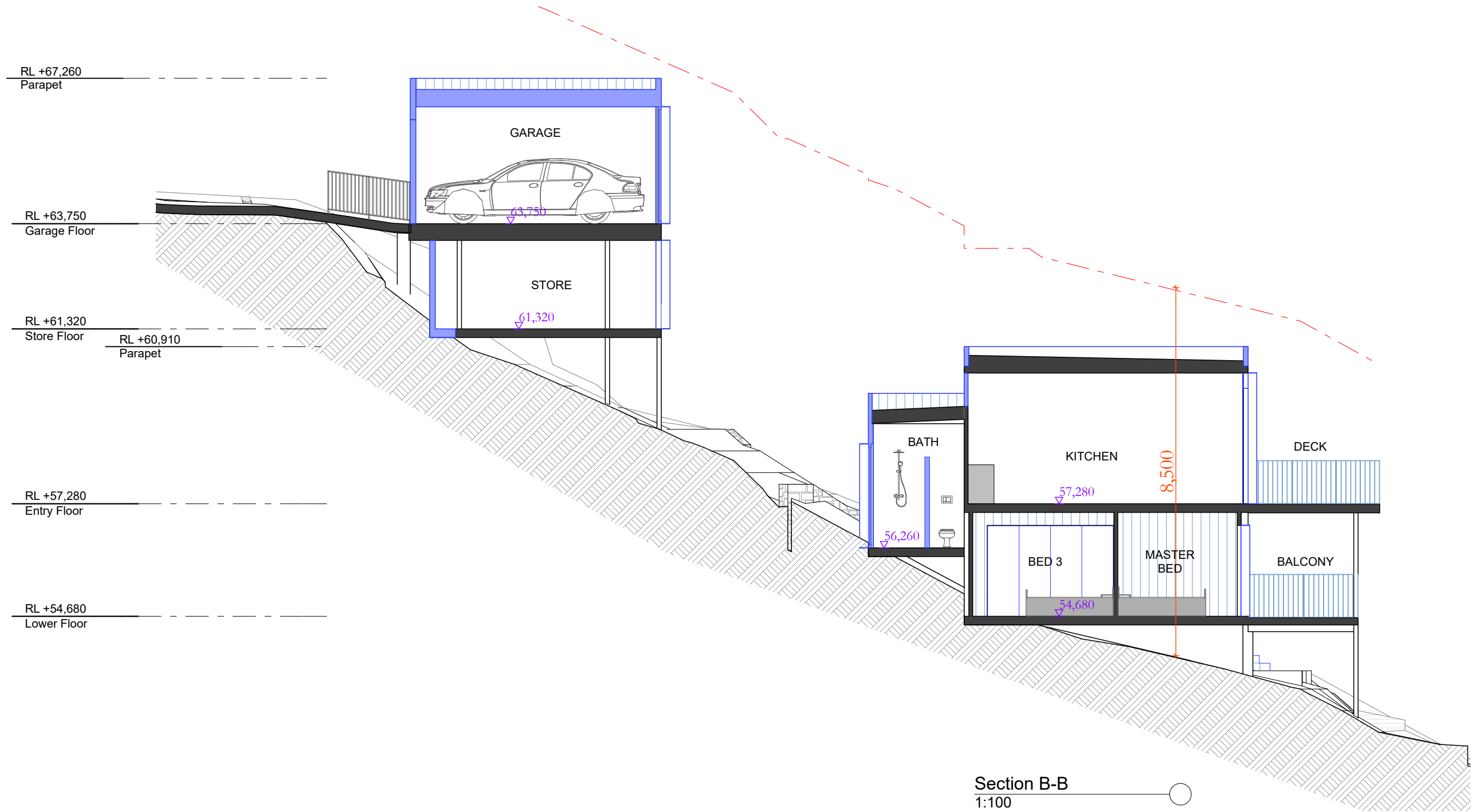
Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Section A-A

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2321
Drawing No. : DA12
Date : 040825
Scale : 1:100 @ A3
Issue :

ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED



Date :	Issue :	Description :

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NORTHERN BEACHES
DRAFTING

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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - **Section B-B**

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : **2321**
Drawing No. : **DA13**

Date : 040825
Scale : 1:100 @ A3
Issue :

ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

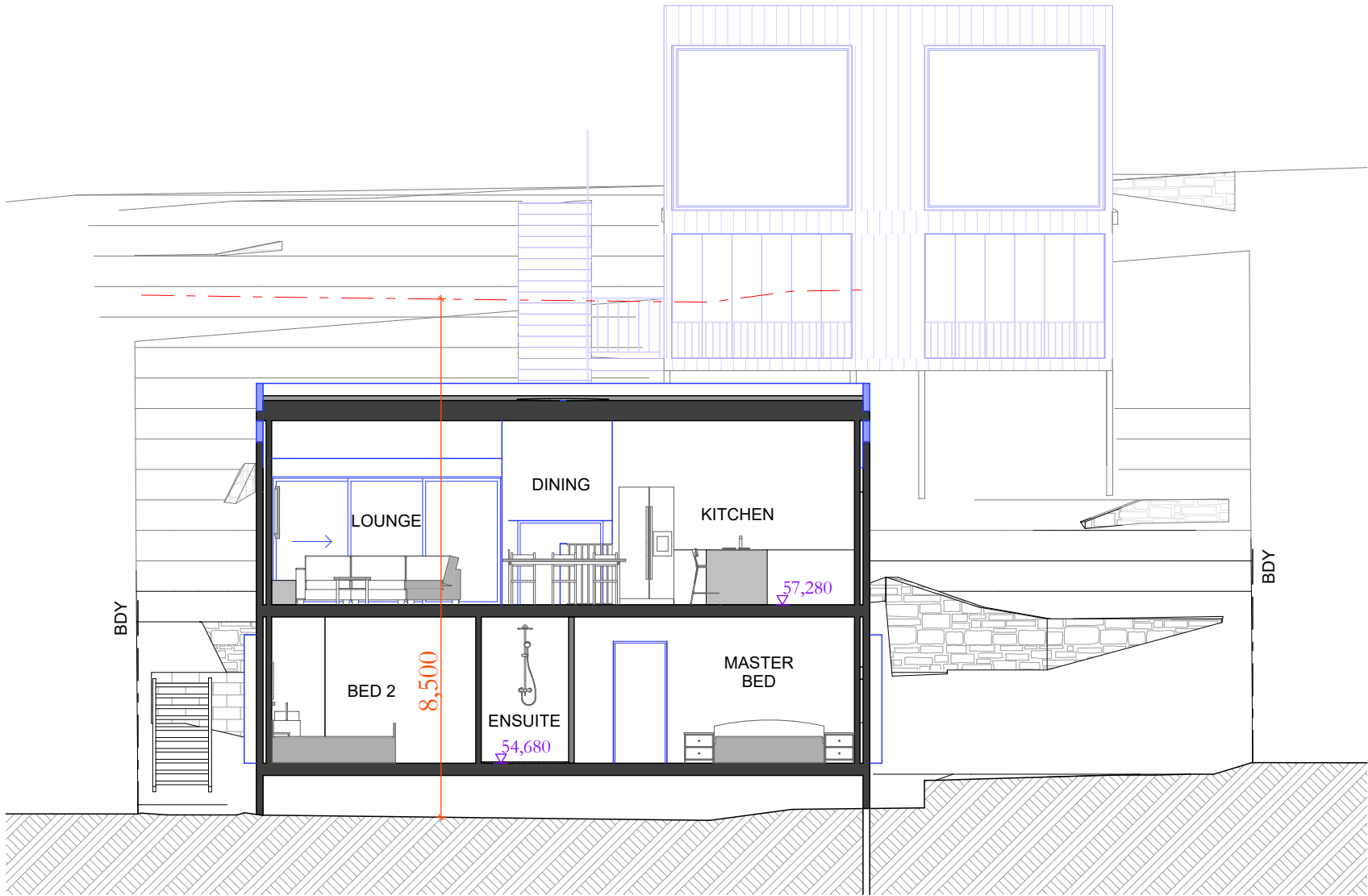
RL +67,260
Parapet

RL +63,750
Garage Floor

RL +61,320
Store Floor
RL +60,910
Parapet

RL +57,280
Entry Floor

RL +54,680
Lower Floor



Section C-C
1:100



Date :	Issue :	Description :

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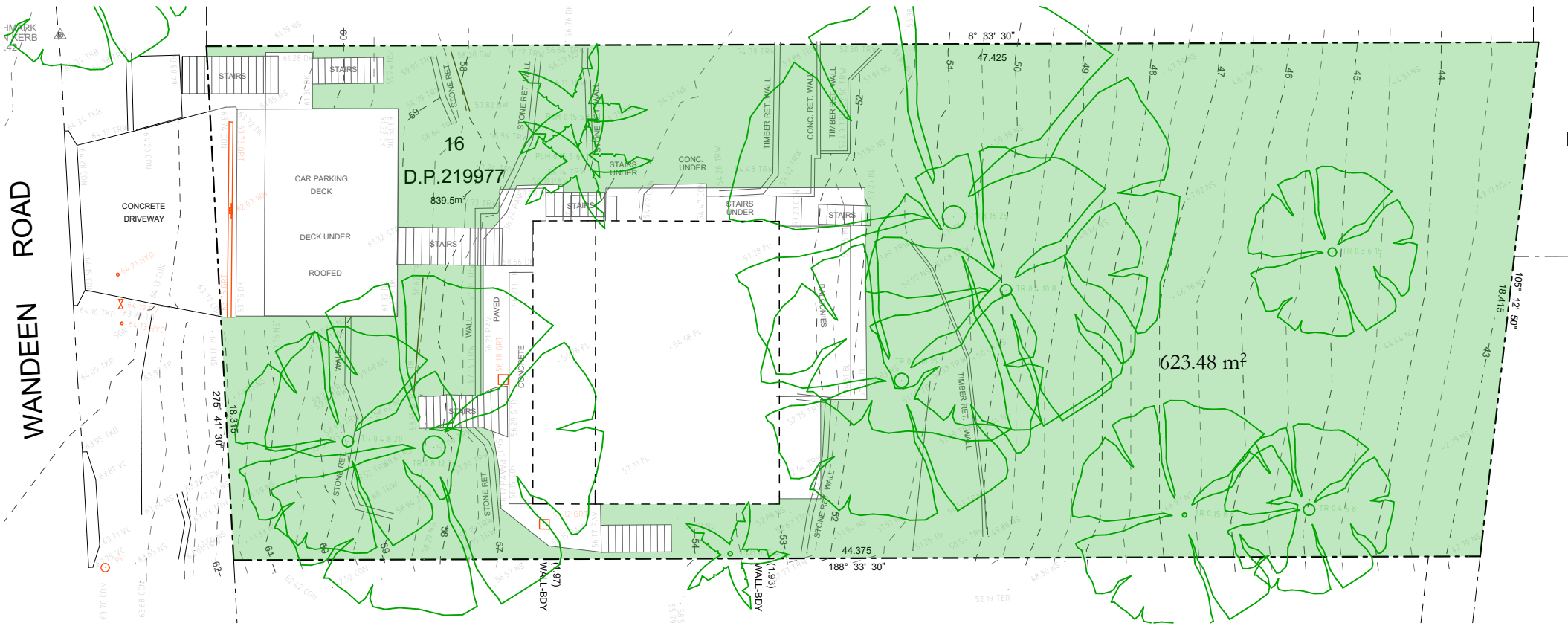


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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Section C-C

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2321
Drawing No. : DA14
Date : 040825
Scale : 1:100 @ A3
Issue :



Landscape Plan Existing
1:200

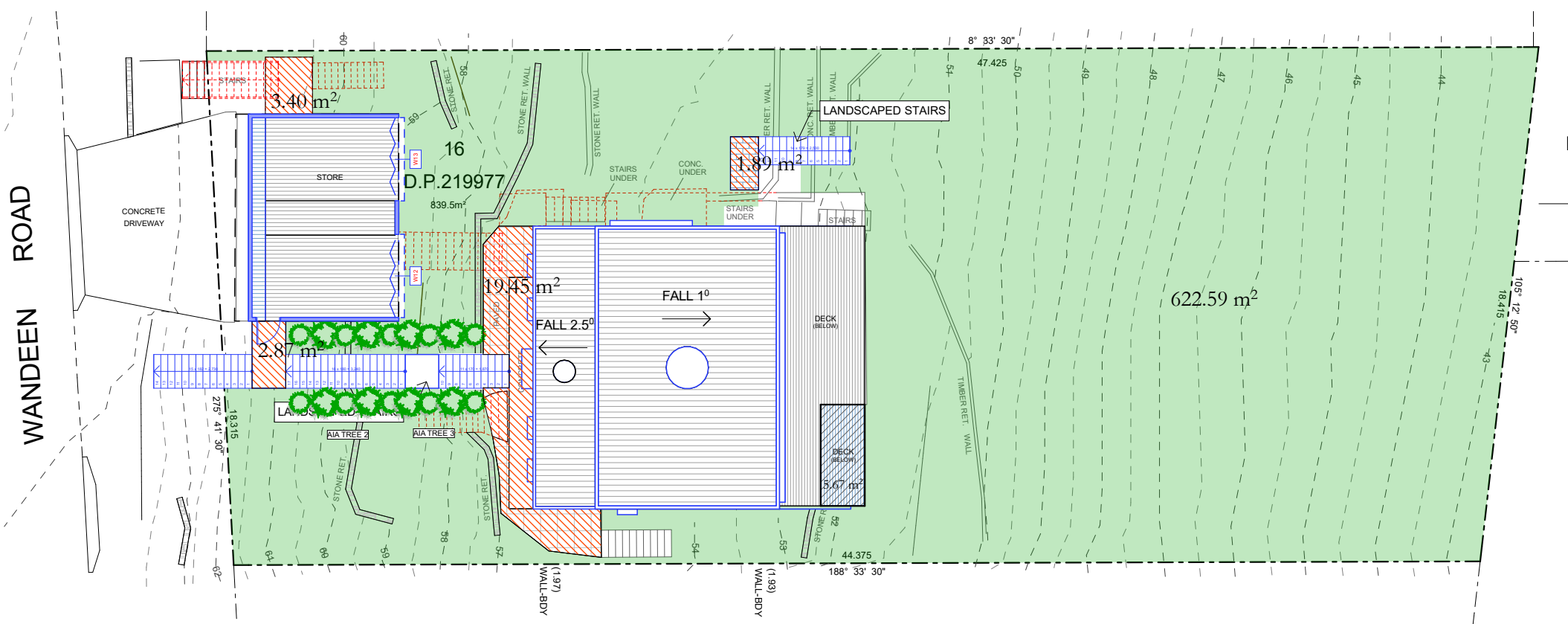
ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

SITE AREA 839.5m²

MIN. LANDSCAPED AREA 60% = 503.7m²

LANDSCAPED AREA EXISTING = 623.48m²



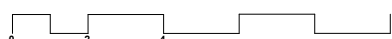
Landscape Plan Proposed
1:200

LANDSCAPED AREA PROPOSED = 622.59m²

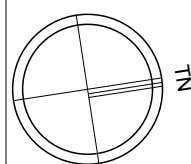
IMPERVIOUS AREA ALLOWANCE = 27.61m² (3.2%)

LANDSCAPED AREA COMPLIES = 650.2m² (77.45%)

No Increase in impervious areas by 50m². No OSD required for alterations. New downpipes connected to existing stormwater line & discharged to existing stormwater drainage system. Adequacy of existing system to be checked by stormwater engineer at construction stage.



Date :	Issue :	Description :



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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m²
Client : Private Residence

Drawing : - Landscape Area Plan

Blue square = Proposed Work
Red square = Demolition
Black square = Existing

Drawn/Designed : PB

Project Number : 2321

Drawing No. : DA15

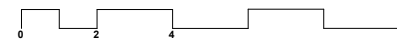
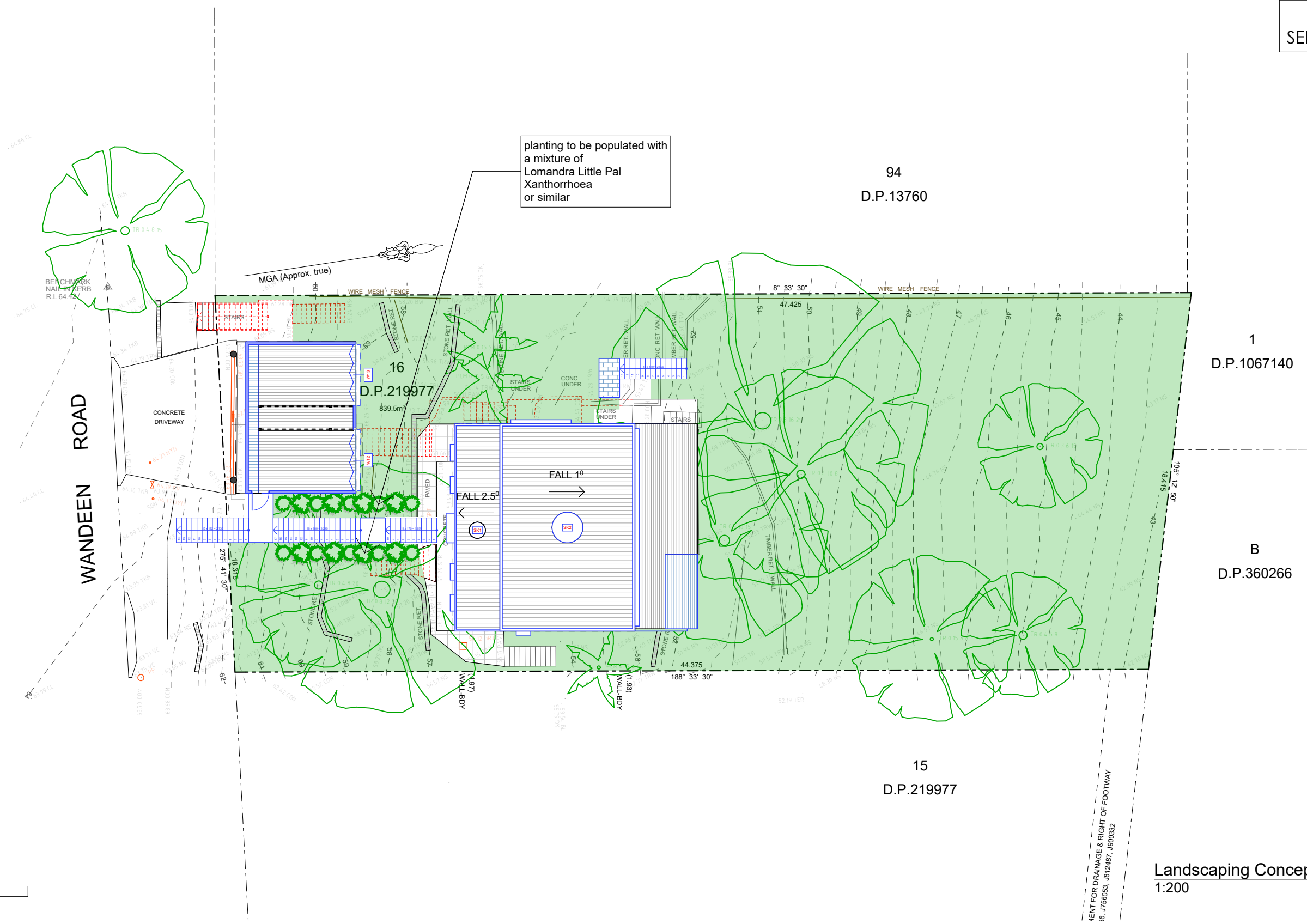
Date : 040825

Scale : 1:200 @ A3

Issue :

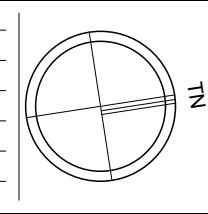
ALL TIMBER FRAMING,
MEMBERS
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED



Landscaping Concept Plan
1:200

Date :	Issue :	Description :



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NORTHERN BEACHES
DRAFTING

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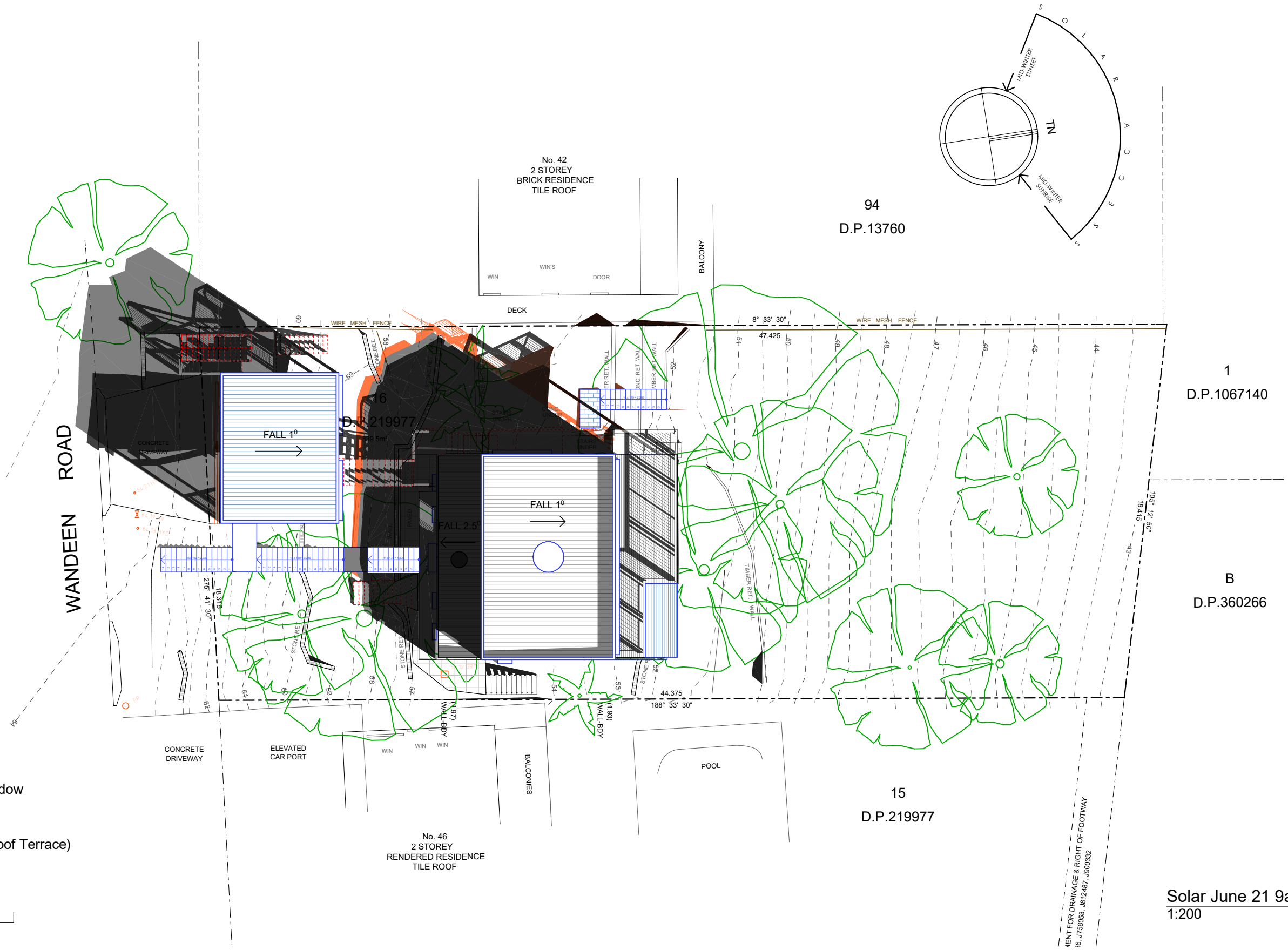
Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Landscaping Concept Plan

= Proposed Work

= Demolition

= Existing

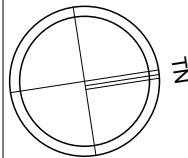
Drawn/Designed : PB	Date : 040825
Project Number : 2321	Scale : 1:200 @ A3
Drawing No. : DA16	Issue :



- Existing shadow
- RFI Proposed shadow
- DA Lodgement (Roof Terrace)

Solar June 21 9am
1:200

Date :	Issue :	Description :



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DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Solar June 21 - 9am

- Proposed Work
- Demolition
- Existing

Drawn/Designed : PB

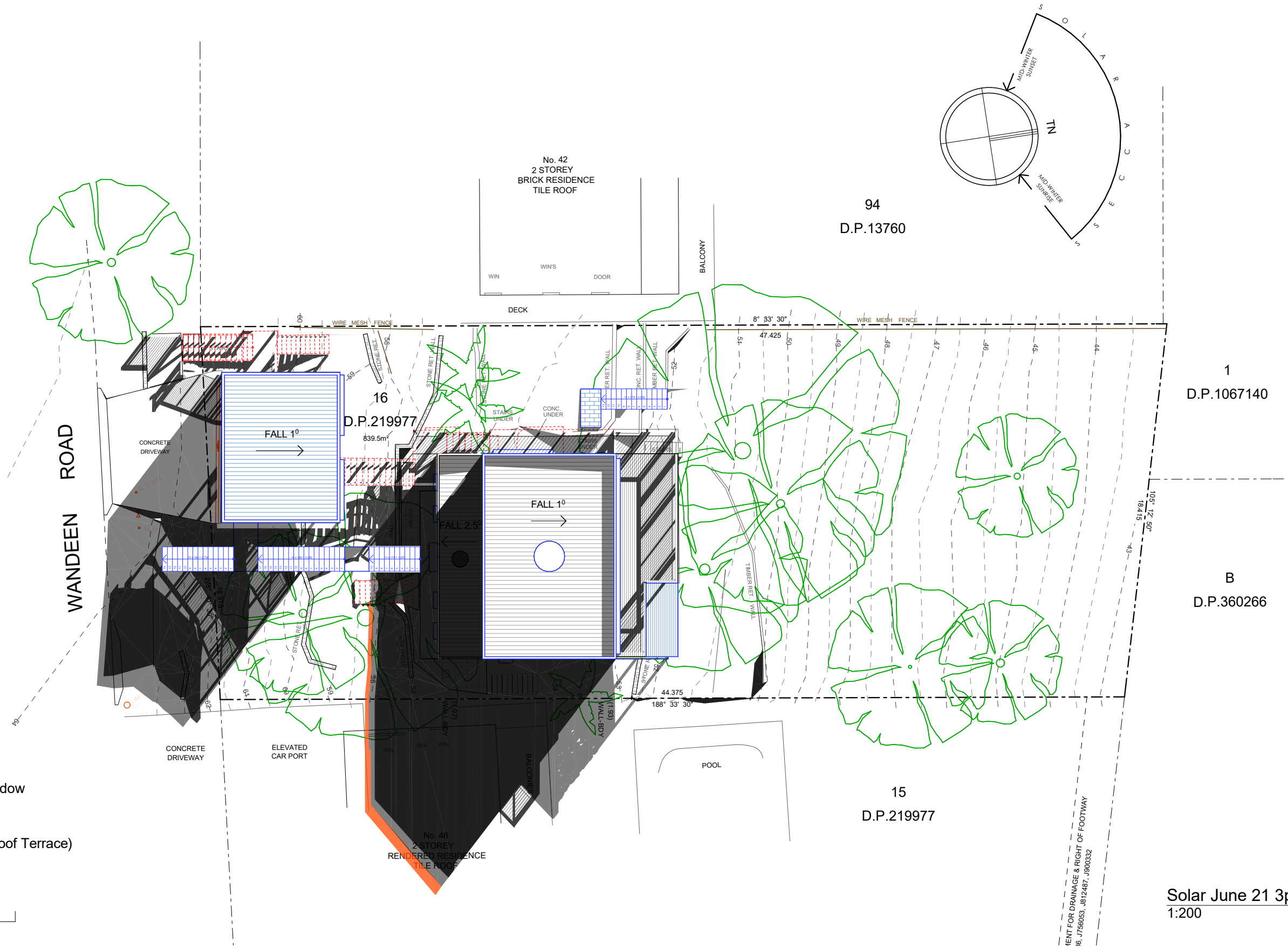
Project Number : 2321

Drawing No. : DA17

Date : 040825

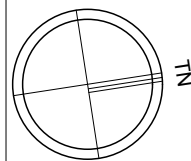
Scale : 1:100 @ A3

Issue :



Solar June 21 3pm
1:200

Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Solar June 21 - 3pm

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB

Project Number : 2321

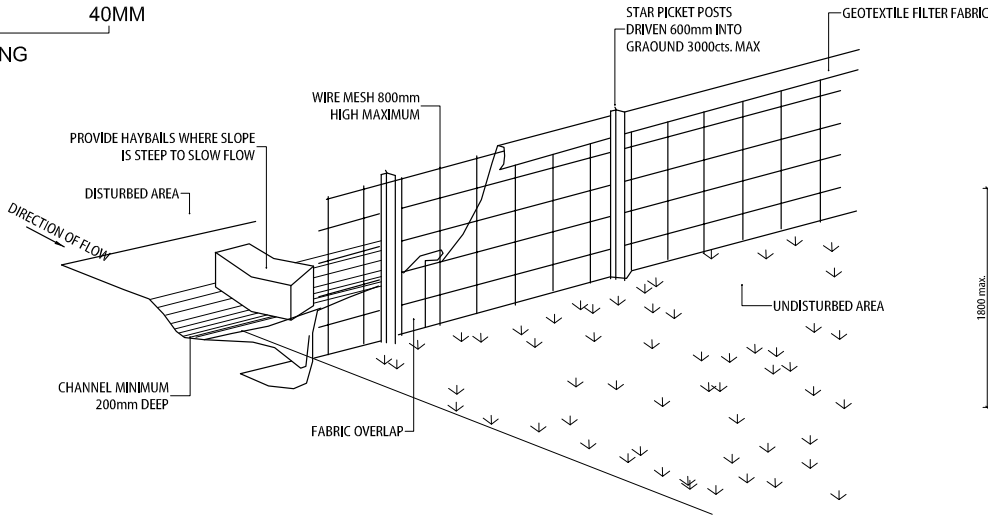
Drawing No. : DA19

Date : 040825

Scale : 1:100 @ A3

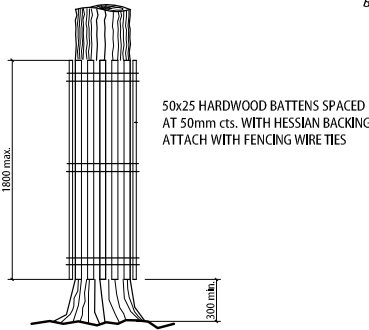
Issue :

0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY



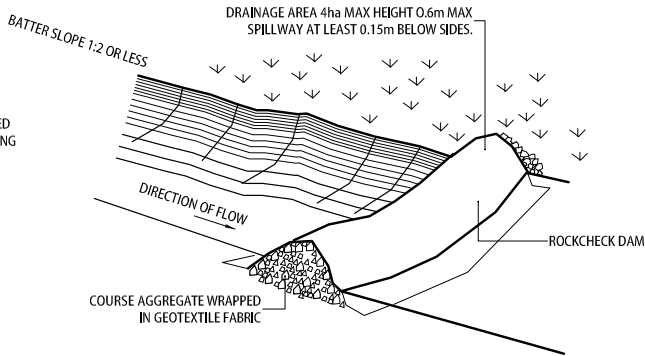
TYPICAL SEDIMENT FENCE

SCALE NTS



TYPICAL TREE PROTECTION

SCALE NTS



TYPICAL DIVERSION CHANNEL

SCALE NTS

Vehicle Movements

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS.

ACCESS POINTS AND APRKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE AS SOON AS POSSIBLE AFTER THEIR FORMATION.

WHERE SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.

ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORWATER SYSTEM. ALL POLLUTED WATER MUST BE RETAINED ON SITE FOR TREATMENT BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM.

NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE.

ALL VEHIICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN TAHT AREA.

Sediment Traps

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

Diversion Channels

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE.

ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

Erosion & Sediment Controls

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.

THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THW WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

Dust Control

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES.

APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST. CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION.

WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST.

EARTH MOVONG ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

Designated Site Manager/Builder

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

Topsoil Management

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUECCED BY EITHER SLASHING OR MOWING.

ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE.

SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT.

IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

Building Material Stockpiling

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

Sediment Fences

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

Date :	Issue :	Description :

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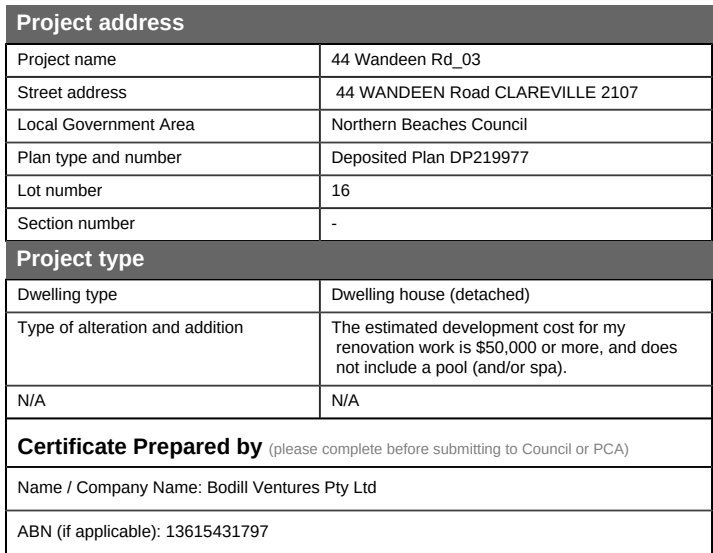
Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - Sediment & Erosion Control Plan

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2321
Drawing No. : DA20
Date : 040825
Scale :
Issue :

Certificate number: A1762456_03

Secretary
Date of issue: Monday, 07 April 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil	N/A			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	E	1.47	6.65	2.27	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W2	N	6.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W3	N	5.32	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W4	N	5.32	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W5	W	6.13	7.83	7.77	projection/ height above sill ratio >=0.23	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			

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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2

Client : Private Residence

Drawing : - BASIX

 = Proposed Work
 = Demolition
 = Existing

Drawn/Designed : PB

Date : 040825

Project Number : **2321**

Scale :

Drawing No. : **DA21**

Issue :

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W6	N	14.44	9.56	4.1	projection/ height above sill ratio >=0.23	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W7	N	14.44	18.84	5.8	projection/ height above sill ratio >=0.23	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W8	S	1.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W9	S	1.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
W10	S	1.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W11	S	1.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Glazed roofs						
The applicant must install the glazed roofs described in the table below, in accordance with the specifications listed in the table.				✔	✔	✔
The following requirements must also be satisfied in relation to each glazed roof:					✔	✔
Glazed roofs glazing requirements						
Glazed roof number	Area of glazing (m2)	Shading device	Glass type			
SK1	0.5	no shading	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Date :	Issue :	Description :

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Project : Additions & Alterations
DA - RFI
44 Wandeen Rd, Clareville
Lot 16 in DP 219977 - 839.5m2
Client : Private Residence
Drawing : - **BASIX**

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB

Project Number : 2321

Drawing No. : **DA22**

Date : 040825

Scale :

Issue :