

# RESIDENTIAL DEVELOPMENT MEDIUM DENSITY DEVELOPMENT 8 FOREST ROAD, WARRIEWOOD



CLIENT:  
**WARRIEWOOD VALE PTY LTD**

CONSTRUCTION MANAGER:

3A MACQUARIE STREET, MORISSET PARK, NSW 2264

# AMENDED DEVELOPMENT APPLICATION TOWNHOUSES - SECTION 96



DRAWING LIST			
DWG No	SCALE	TITLE	REV No
A-000	NTS	COVER SHEET & DRAWING LIST	06
A-001	1:500	SITE PLAN AND DEVELOPMENT SUMMARY	06
A-099.1	1:200	BASEMENT CAR PARKING - EAST	07
A-100.1	1:200	GROUND FLOOR PLAN - EAST	07
A-101.1	1:200	FIRST FLOOR PLAN - EAST	07
A-199.1	1:200	ROOF PLAN - EAST	06
A-203	1:200	ELEVATIONS - TOWNHOUSES	05
A-210.1	1:500	BOUNDARY ELEVATIONS - EAST & WEST	04
A-210.2	1:500	BOUNDARY ELEVATIONS - NORTH & SOUTH	04
A-301	1:200	SECTIONS - TOWNHOUSES	05
A-500	1:500	SHADOW DIAGRAMS	05
A-510	1:500	SOLAR ACCESS ANALYSIS	06
A-520	1:500	NATURAL VENTILATION ANALYSIS	06
A-540	1:500	GROSS FLOOR AREAS ANALYSIS	05

AREA SCHEDULE - NETT INTERNAL AREA					
TOWNHOUSE	UNIT NO	BEDS	CAR SPACE NO	NETT INTERNAL AREA (M <sup>2</sup> )	PRIVATE OPEN SPACE (M <sup>2</sup> )
	UNIT 01	3	2	202.1	106.8
	UNIT 02	3	2	159.2	56.3
	UNIT 03	3	2	159.2	50.8
	UNIT 04	3	2	159.2	50.8
	UNIT 05	3	2	159.2	93.5
	UNIT 06	3	2	159.2	99.7
	UNIT 07	3	2	159.2	89.1
	UNIT 08	3	2	159.2	89.1
	UNIT 09	3	2	159.2	99.7
	UNIT 10	3	2	159.2	99.7
	UNIT 11	3	2	159.2	99.7
	UNIT 12	3	2	159.2	89.1
	UNIT 13	3	2	159.2	59.1
	UNIT 14	3	2	186.0	150.8
<b>TOTAL</b>			28	2298.5	1234.2

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<p>Job Title:</p> <p><b>COVER SHEET</b></p>																																								



BUILDING A
<ul style="list-style-type: none"> <li>18 APARTMENTS (01-18)</li> <li>3 STOREY</li> <li>MAX. HEIGHT 10.5 M</li> <li>4 x 1 BEDROOM</li> <li>5 x 2 BEDROOM</li> <li>8 x 3 BEDROOM</li> <li>1 x 4 BEDROOM</li> </ul>
BUILDING B
<ul style="list-style-type: none"> <li>18 APARTMENTS (19-36)</li> <li>3 STOREY</li> <li>MAX. HEIGHT 10.5 M</li> <li>1 x 1 BEDROOM</li> <li>2 x 2 BEDROOM</li> <li>15 x 3 BEDROOM</li> </ul>
BUILDING C
<ul style="list-style-type: none"> <li>12 APARTMENTS (37-48)</li> <li>3 STOREY</li> <li>MAX. HEIGHT 10.5 M</li> <li>12 x 3 BEDROOM</li> </ul>
BUILDING D
<ul style="list-style-type: none"> <li>18 APARTMENTS (49-66)</li> <li>3 STOREY</li> <li>MAX. HEIGHT 10.5 M</li> <li>3 x 1 BEDROOM</li> <li>1 x 2 BEDROOM</li> <li>14 x 3 BEDROOM</li> </ul>
TOWNHOUSES 1-14
<ul style="list-style-type: none"> <li>14 TOWNHOUSES (1-14)</li> <li>2 STOREY</li> <li>MAX. HEIGHT 10.5 M</li> <li>14 x 3 BEDROOM</li> </ul>
<ul style="list-style-type: none"> <li>66 UNITS</li> <li>14 TOWNHOUSES</li> <li>1 DWELLING HOUSE</li> <li>79% SOLAR ACCESS COMPLIANCE (63 UNITS)</li> <li>78% NATURAL VENTILATION COMPLIANCE (62 UNITS)</li> </ul>
<b>81 TOTAL DWELLING UNITS</b>

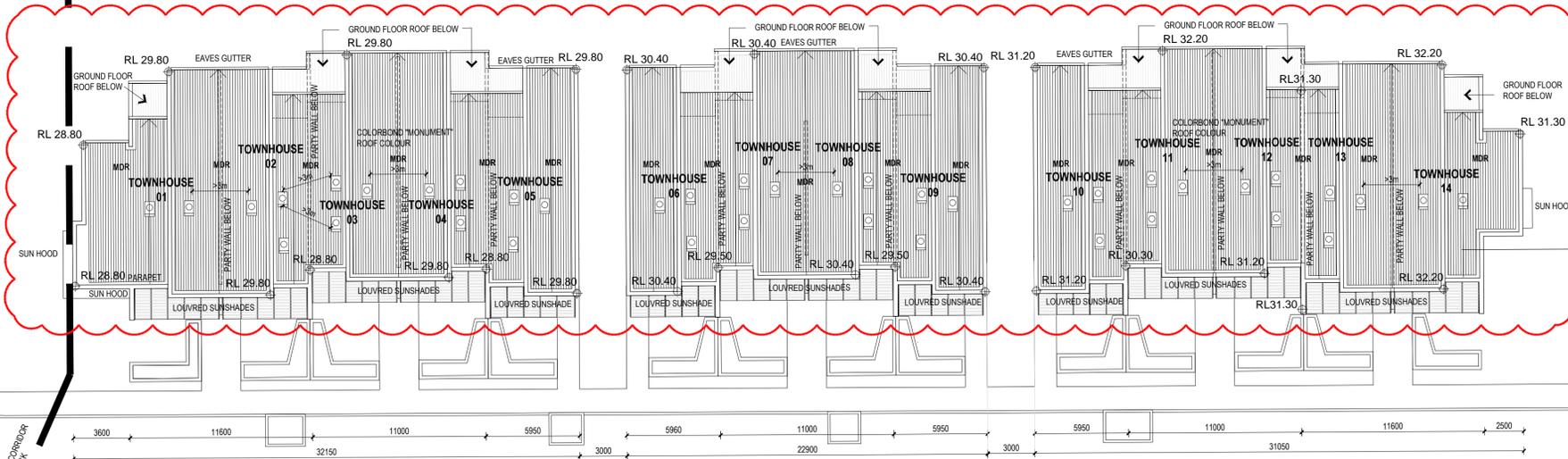
**LEGEND:**

- EXISTING BOUNDARY
- EXISTING NARRABEEN CREEK
- EXISTING BUILDING
- EXISTING VEGETATION TREES
- EXISTING SIGNIFICANT TREES
- EXISTING RESIDENCE
- PROPOSED DRIVEWAY ACCESS
- PROPOSED FOOTPATH
- PROPOSED FIRE ACCESS
- PROPOSED PRIVATE ACCESS WAY
- PROPOSED TOWNHOUSES
- PROPOSED APARTMENTS
- PROPOSED BALCONIES & TERRACES
- 25m RIPARIAN SETBACK
- BUSHFIRE APZ
- PROPOSED LETTER BOXES
- PROPOSED LEVEL

- TOTAL SITE AREA - 5.678 Ha
- RU2 SITE AREA - 2.823 Ha
- R3 SITE AREA - 2.855 Ha
- LANDSCAPE AREA - 15,689.7 m<sup>2</sup>
- TOTAL FOOT PRINT AREA - 9,393.6 m<sup>2</sup>
- SITE COVERAGE - 32.90 %
- PRIVATE OPEN SPACE AREA - 3,466.7 m<sup>2</sup>

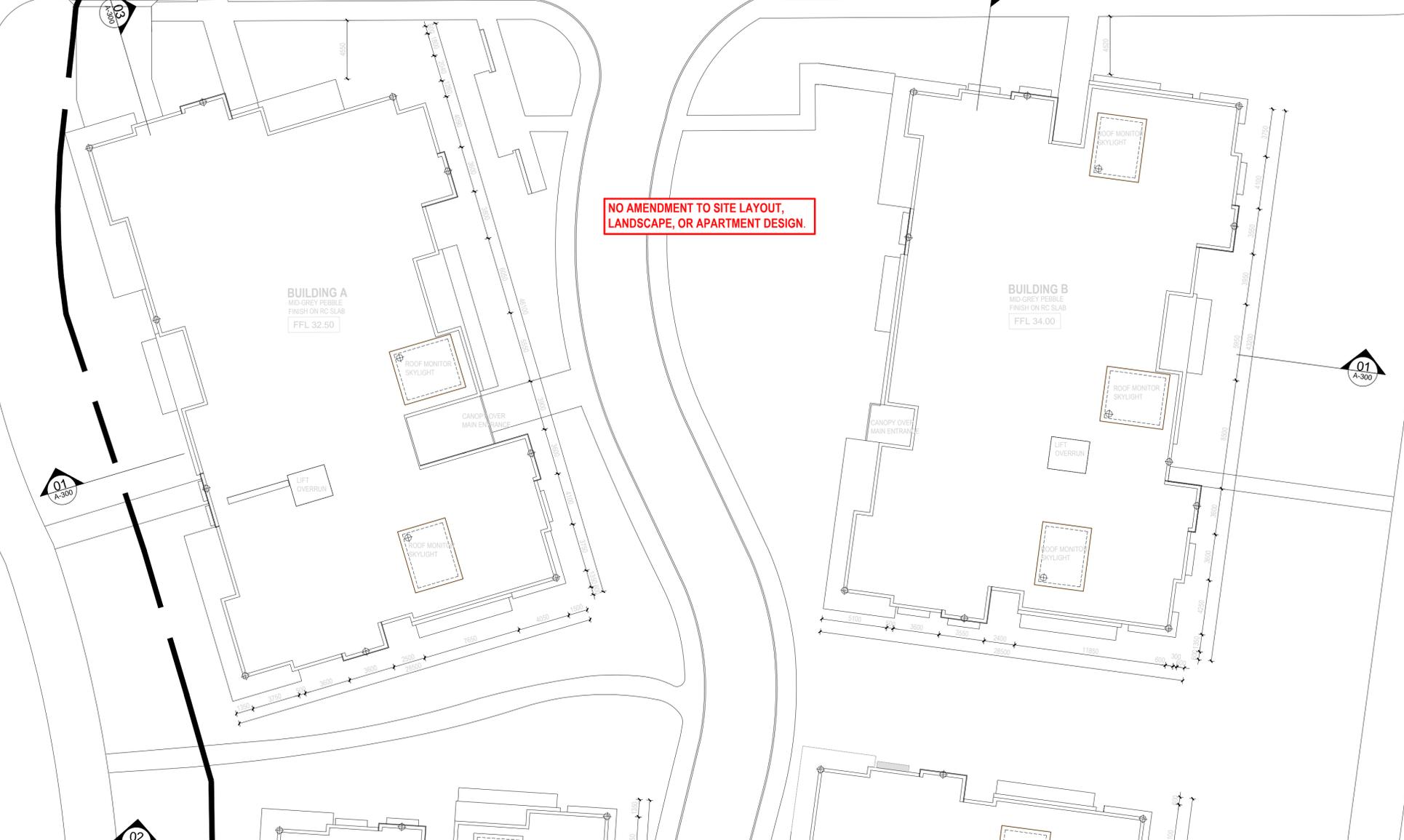


ROOF COLOUR - DULUX MONUMENT

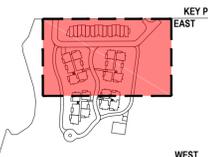


06- TOWNHOUSES REDUCED TO TWO STOREYS WITH METAL ROOF THROUGHOUT.

NO AMENDMENT TO SITE LAYOUT, LANDSCAPE, OR APARTMENT DESIGN.



NOTE: ALL ROOF MONITOR SKYLIGHTS AND LIFT OVERRUNS ARE UNDER THE 10.5 METERS HEIGHT LIMIT.



FOR CONTINUATION SEE SHEET A-199.2

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06	13/06/18	ISSUED FOR AMENDED TOWNHOUSE S96 APPLICATION	LES				
05	28/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
04	28/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
03	17/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
02	14/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
01	04/11/16	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
01	21/10/16	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				

Architects: **DREW DICKSON ARCHITECTS**  
 SYDNEY ABU DHABI NEW DELHI CHENGDU  
 Notwendig Architects, One Dalton NSW Architects Reg No. 4128  
 DREW DICKSON ARCHITECTS PTY LTD. - ABN 12 58 892 153  
 LEVEL 8, 50 CARRINGTON STREET SYDNEY NSW 2000, AUSTRALIA  
 T +61 2 8279 3800 E info@dda-architects.com W www.dsa-architects.com

Client: **WARRIEWOOD VALE PTY LTD**  
 3A MACQUARIE STREET, MORISSET PARK, NSW 2264

Job Title: **MEDIUM DENSITY DEVELOPMENT**  
 8 FOREST ROAD, WARRIEWOOD, NSW 2012

Drawing Title: **AMENDED TOWNHOUSE S96**  
**ROOF PLAN - EAST**

Drawing Scale: **1:200@A1**  
 Date: **13/06/2018**  
 Drawn by: **LES**

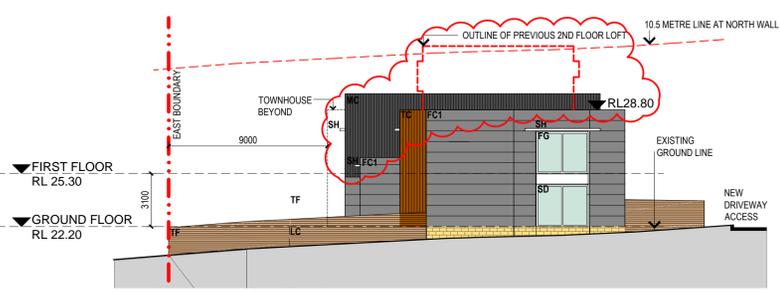
Project / Job No: **15049**  
 Drawing No: **A-199.1**  
 Revision: **06**

**LEGEND:**

- BAL BALUSTRADE 1 - GLASS
- BD BI-FOLD DOOR
- FC1 FIBRE CEMENT CLADDING - DULUX OOLONG
- FC2 FIBRE CEMENT CLADDING - DULUX TINKER
- GD HINGED GLASS DOOR
- SD SLIDING GLASS DOOR
- SW SLIDING WINDOW
- FG FIXED GLASS WINDOW
- PC PAINTED CONCRETE
- LC LIMESTONE CLADDING
- SH SUN SHADE - SOLID
- SH2 SUN SHADE - LOUVRED
- TC TIMBER CLADDING
- TF TIMBER FENCE



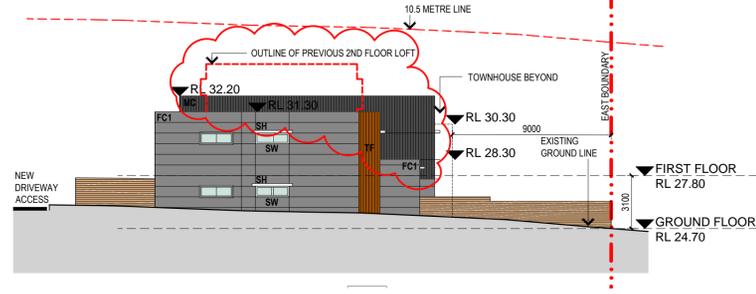
**01 TOWNHOUSES - WEST ELEVATION (FROM 8.5m DRIVEWAY ACCESS)**  
1:200



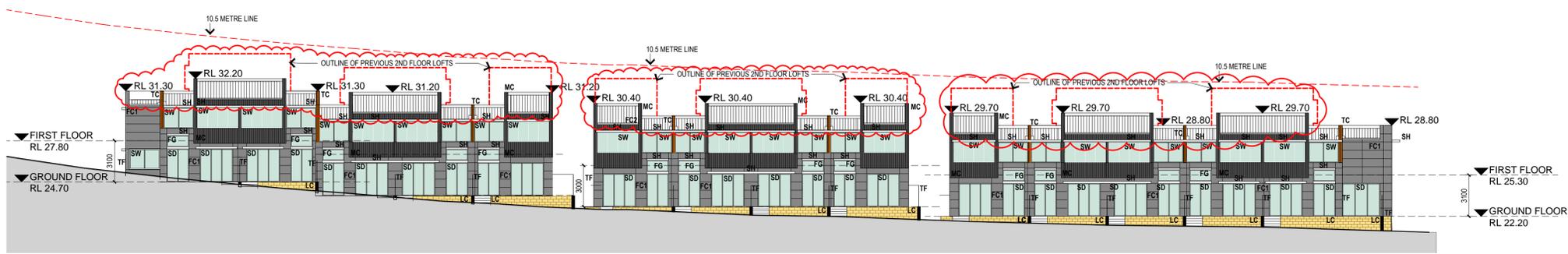
**02 TOWNHOUSES - NORTH ELEVATION**  
1:200

**AMENDMENTS:  
SECOND FLOOR LOFTS AND CONCRETE SLAB  
AT 2ND FLOOR / ROOF DELETED.**

**METAL ROOF AND METAL CLADDING REPLACES  
PAINTED FIBROUS CEMENT CLADDING TO  
RAISED FIRST FLOOR CENTRAL AND END BAYS.**



**03 TOWNHOUSES - SOUTH ELEVATION**  
1:200



**04 TOWNHOUSES - EAST ELEVATION**  
1:200



**BAL BALUSTRADE**  
MATERIAL: STAINLESS STEEL/  
CLEAR GLASS  
COLOUR: NATURAL



**BD BI-FOLD DOOR**  
MATERIAL: ALUMINIUM  
COLOUR: WHITE



**FC1 FIBRE CEMENT CLADDING**  
MATERIAL: FIBRE CEMENT SHEET  
COLOUR: DULUX OOLONG



**FC2 FIBRE CEMENT CLADDING**  
MATERIAL: FIBRE CEMENT SHEET  
COLOUR: DULUX TINKER



**SD GLASS SLIDING DOOR**  
**SW GLASS SLIDING WINDOW**  
**FG GLASS FIXED WINDOW**  
MATERIAL: ALUMINIUM  
COLOUR: WHITE



**SH SUN SHADING**  
MATERIAL: FIBRE CEMENT  
COLOUR: WHITE



**LC LIMESTONE CLADDING**  
MATERIAL: RUSTICATED  
LIMESTONE  
COLOUR: NATURAL



**SH2 SUN SHADING**  
MATERIAL: ALUMINIUM  
COLOUR: NATURAL



**TC TIMBER CLADDING**  
MATERIAL: TIMBER  
COLOUR: NATURAL



**TF TIMBER FENCE**  
MATERIAL: TIMBER  
COLOUR: NATURAL



**MC METAL CLADDING**  
MATERIAL: METAL  
COLOUR: DULUX OOLONG



**PC PAINTED CONCRETE**  
MATERIAL: CONCRETE  
COLOUR: WHITE

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Issue	Date	Description	Issued by	Issue	Date	Description	Issued by
05	13/06/18	ISSUED FOR AMENDED DA TOWNHOUSES SECTION 96 2ND FLOOR REMOVED	DF				
04	28/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
03	17/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
02	04/11/16	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
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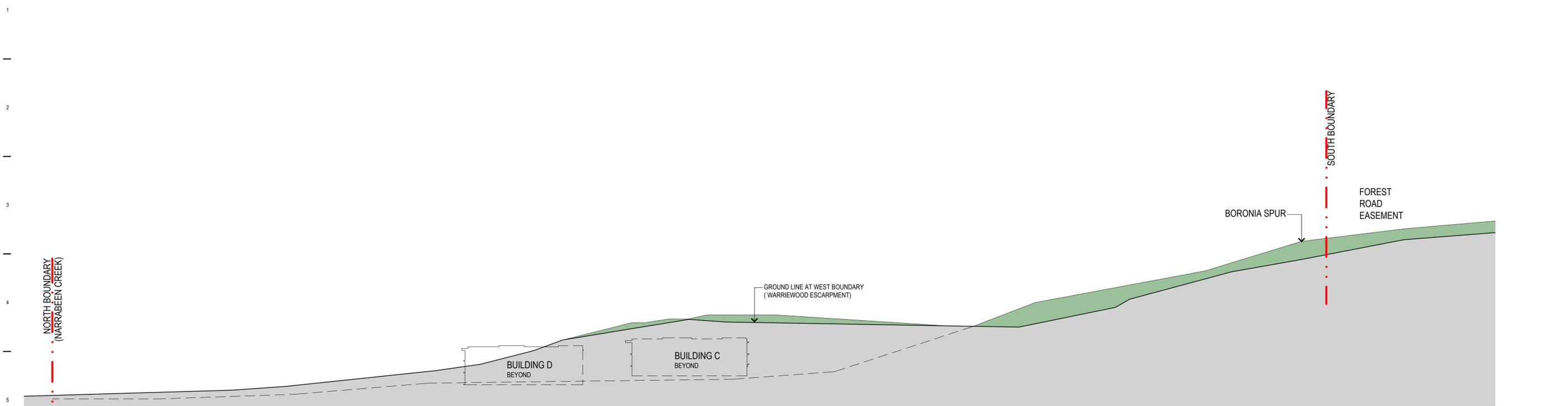
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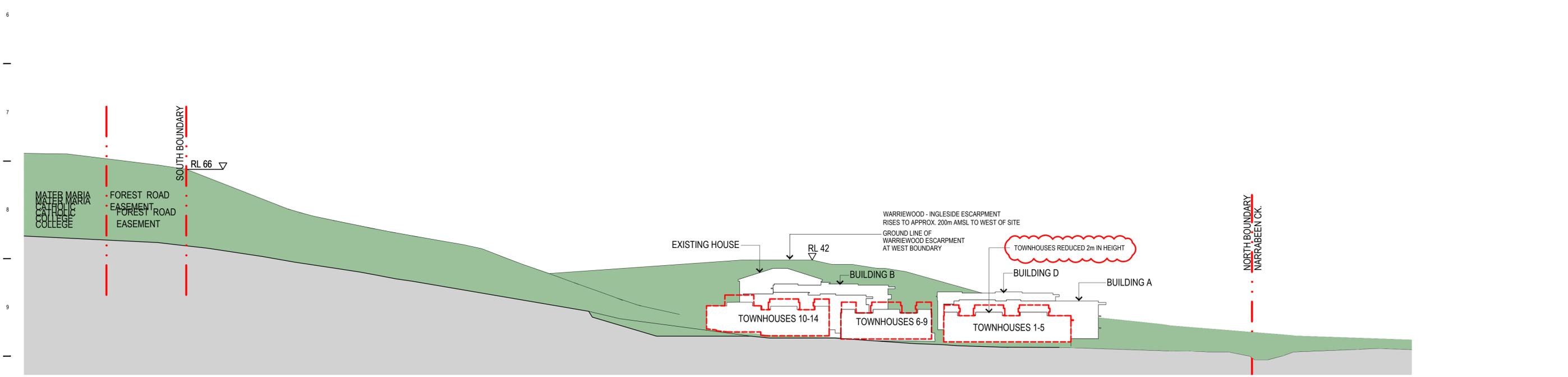
**Client:** WARRIEWOOD VALE PTY LTD  
3A MACQUARIE STREET, MORISSET PARK, NSW 2264

**Job Title:** MEDIUM DENSITY DEVELOPMENT  
8 FOREST ROAD, WARRIEWOOD, NSW 2012

Drawing Scale: 1:200@A1	Date: 14/10/2016	Drawn by: AR
Drawing Status: AMENDED DA TOWNHOUSES S96		
Project / Job No: 15049	Drawing No: A-203	Revision: 05

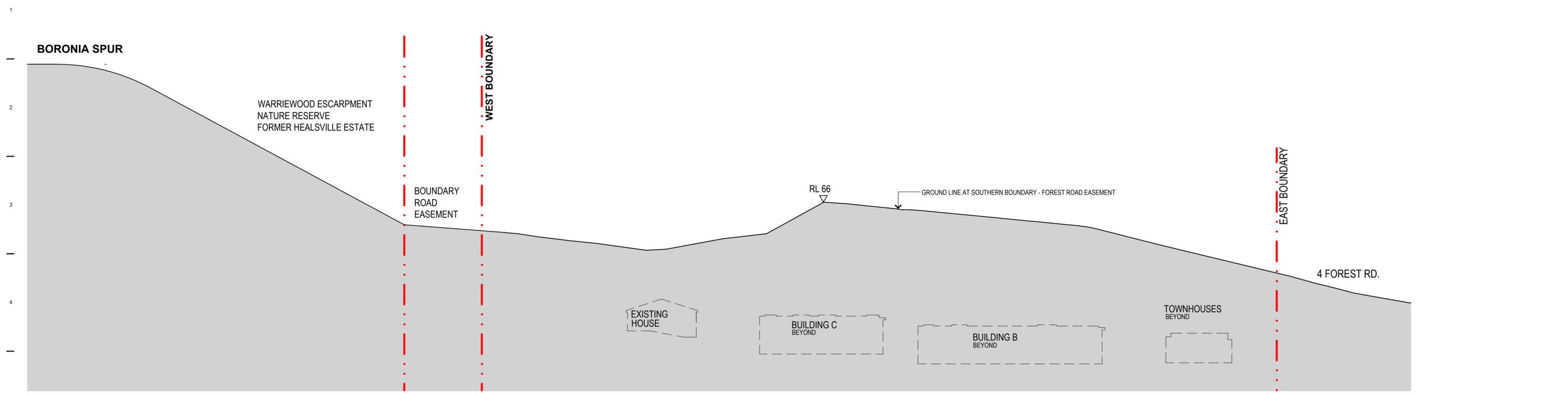


01 WEST BOUNDARY ELEVATION - BOUNDARY ROAD EASEMENT  
1:500

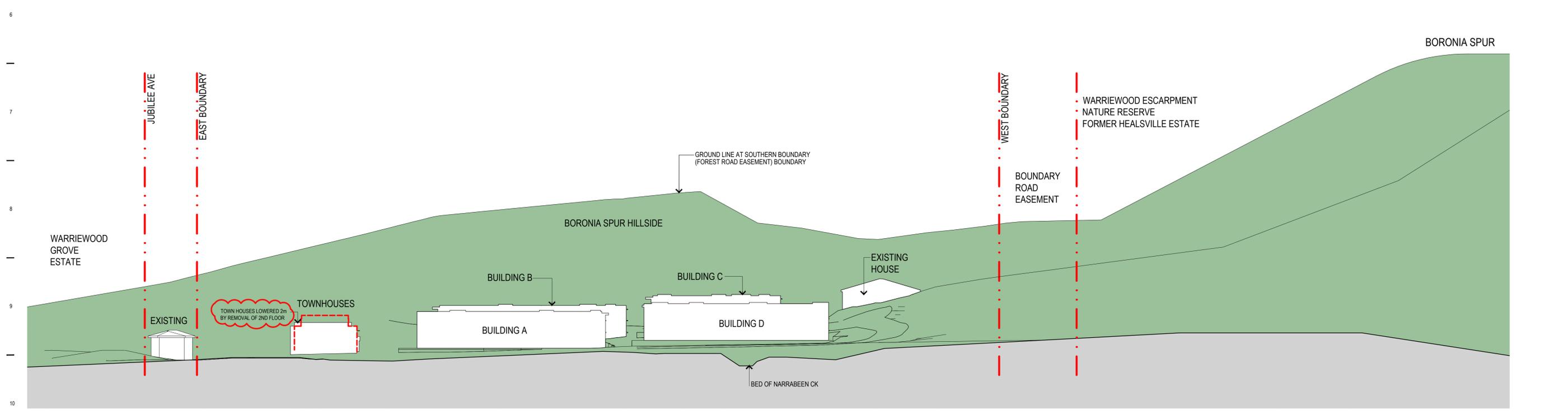


02 EAST BOUNDARY ELEVATION - TO WARRIWOOD GROVE ESTATE  
1:500

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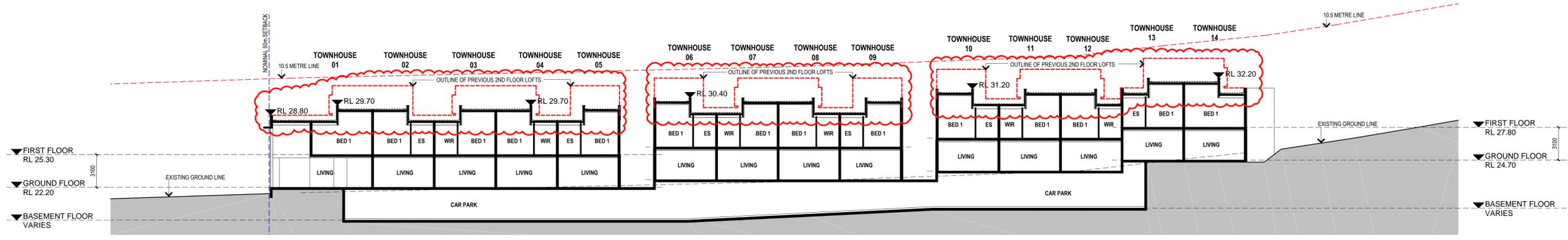


01 SOUTH BOUNDARY ELEVATION (FOREST ROAD EASEMENT)  
1:500



02 NORTH BOUNDARY ELEVATION (NARRABEEN CREEK)  
1:500

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<p>Project / Job No:</p> <p>15049</p>	<p>Drawing No:</p> <p>A-210.2</p>	<p>Revision:</p> <p>04</p>																																															



01 TOWNHOUSES - SECTION  
1:200

- SECOND FLOOR LOFTS DELETED.
- ROOF & FLOOR SLABS DELETED.
- REPLACED BY ALL METAL ROOF AND LOWER METAL CLAD RAISED FIRST FLOOR CENTRAL AND END BAYS.

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<p>Drawing Status:</p> <p>AMENDED DA TOWNHOUSES S96</p>	<p>Project / Job No:</p> <p>15049</p>	<p>Drawing No:</p> <p>A-301</p>	<p>Revision:</p> <p>05</p>																					



01 21ST JUNE 09 AM



02 21ST JUNE 12 NOON



03 21ST JUNE 03 PM

LEGEND:  
 ■ PROPOSED SHADOWS  
 ■ EXISTING SHADOWS

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Issue	Date	Description	Issued by	Issue	Date	Description	Issued by
05	14/06/18	ISSUED FOR AMENDED TOWNHOUSE S96 APPLICATION	LES				
04	10/03/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
03	17/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
02	04/11/16	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				
01	21/10/16	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF				

Architects:

**DREW DICKSON ARCHITECTS**  
 SYDNEY ABU DHABI NEW DELHI CHENGDU  
 Nominated Architect Drew Dickson NSW Architects Reg No 4120  
 DREW DICKSON ARCHITECTS PTY LTD - ABN 12 168 882 153  
 LEVEL 3, 90 CARRINGTON STREET SYDNEY NSW 2009 AUSTRALIA  
 T +61 2 8270 3860 E info@dda-architects.com W www.dda-architects.com

Client:

**WARRIEWOOD VALE PTY LTD**  
 3A MACQUARIE STREET, MORISSET PARK, NSW 2264

Job Title:

**MEDIUM DENSITY DEVELOPMENT**  
 8 FOREST ROAD, WARRIEWOOD, NSW 2012

Drawing Title:

**SHADOW DIAGRAMS**

Drawing Scale:	1:500@A1	Date:	13/06/2018	Drawn by:	NL
Drawing Status:	AMENDED DA TOWNHOUSES S96	Project / Job No:	15049	Drawing No:	A-500
Revision:	05				



05 - TOWNHOUSE SECOND FLOOR LOFTS DELETED, THEREFORE GROSS FLOOR AREA REDUCED.

TOWNHOUSES 01-05 SECOND FLOOR GROSS FLOOR AREA = 147.2m<sup>2</sup>  
 TOWNHOUSES 06-09 SECOND FLOOR GROSS FLOOR AREA = 118.6m<sup>2</sup>  
 TOWNHOUSES 10-14 SECOND FLOOR GROSS FLOOR AREA = 147.2m<sup>2</sup>

05 - TOWNHOUSE SECOND FLOOR LOFTS DELETED WITH A MINOR INCREASE IN FIRST FLOOR BEDROOM 1. TOTAL GROSS FLOOR AREA REDUCED.

01 GROUND FLOOR PLAN  
1:500

02 FIRST FLOOR PLAN  
1:500

03 SECOND FLOOR PLAN  
1:500

GROSS FLOOR AREA DEFINITION AS PITTWATER LOCAL ENVIRONMENTAL PLAN 2014:  
**gross floor area** means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
  - (d) any area for common vertical circulation, such as lifts and stairs, and
  - (e) any basement:
  - (f) storage, and
  - (g) vehicular access, loading areas, garbage and services, and
  - (h) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
  - (i) car parking to meet any requirements of the consent authority (including access to that car parking), and
  - (j) any space used for the loading or unloading of goods (including access to it), and
  - (k) terraces and balconies with outer walls less than 1.4 metres high, and
  - (l) voids above a floor at the level of a storey or storey above.

AREA SCHEDULE	GROSS FLOOR AREA (M <sup>2</sup> )			TOTAL G.F.A.
	GROUND FLOOR	FIRST FLOOR	SECOND FLOOR	
TOWNHOUSES 01-05	439.3	365.0	0.0	804.3
TOWNHOUSES 06-09	332.5	276.1	0.0	608.6
TOWNHOUSES 10-14	426.8	362.1	0.0	788.9
BUILDING A	828.1	876.3	893.1	2597.5
BUILDING B	858.0	844.2	869.8	2572.0
BUILDING C	575.2	586.9	605.8	1767.9
BUILDING D	821.5	845.1	844.2	2510.8
<b>TOTAL G.F.A.</b>	<b>4281.4</b>	<b>4155.7</b>	<b>3212.9</b>	<b>11650.0</b>

**TOTAL GROSS FLOOR AREA - 11650 m<sup>2</sup>**  
**SITE AREA (R3 ZONE) - 28 553 m<sup>2</sup>**  
**FLOOR SPACE RATIO - 0.41:1**

Issue	Date	Description	Issued by
05	14/06/16	ISSUED FOR TOWNHOUSE S96 AMENDED DEVELOPMENT APPLICATION	LTS
04	28/02/17	ISSUED FOR AMENDED DEVELOPMENT APPLICATION	DF
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Drawing Scale: 1:500@A1  
 Date: 21/10/2016  
 Drawn by: VE  
 Drawing Status: AMENDED DA TOWNHOUSE S96  
 Project / Job No: 15049  
 Drawing No: A-540  
 Revision: 05