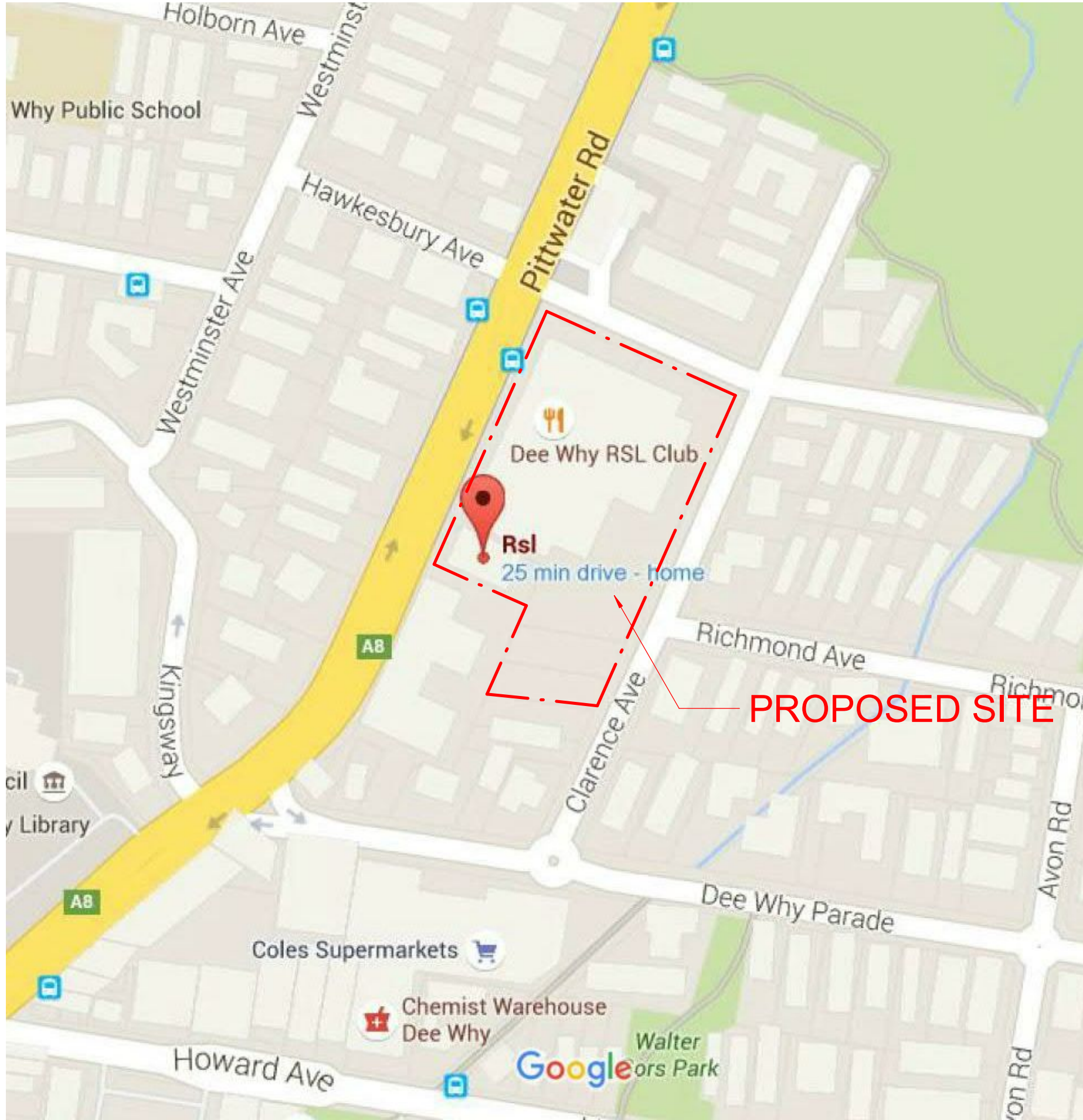


ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

SECTION 96 SUBMISSION

DEE WHY RSL CLUB - 932 PITTWATER ROAD
STAGE 5 CLUB EXTENSION



LOCATION MAP

DEVELOPMENT APPLICATION DRAWING LIST		
Sheet Number	Sheet Name	Current Revision
DA-0000	COVER SHEET	2
DA-0001	SITE ANALYSIS PLAN	2
DA-0002	PERSPECTIVES	2
DA-0003	SHADOW DIAGRAM - 21 JUNE	2
DA-0004	3D VIEW - 12 METRES HEIGHT PLANE OVERLAY	2
DA-1000	CAR PARK LEVEL 1 (ENTRY LEVEL) EXISTING AND DEMOLITION PLAN	2
DA-1001	CAR PARK LEVEL 2 EXISTING AND DEMOLITION PLAN	2
DA-1002	CLUB LEVEL 3 AND LEVEL 4 - EXISTING AND DEMOLITION PLAN	2
DA-1050	KEY PLAN - CARPARK LEVEL -1	2
DA-1051	KEY PLAN - CARPARK LEVEL 1	2
DA-1052	KEY PLAN - CAR PARK LEVEL 2	2
DA-1053	KEY PLAN - LEVEL 2	2
DA-1055	KEY PLAN - ROOF	2
DA-1100	CAR PARK LEVEL -4 & LEVEL -5	2
DA-1101	CAR PARK LEVEL -3	2
DA-1102	CAR PARK LEVEL -2	2
DA-1103	CAR PARK LEVEL -1	2
DA-1104	CAR PARK LEVEL 1	2
DA-1105	CAR PARK LEVEL 2	2
DA-1106	PROPOSED LEVEL 2 SOUTH EAST LEVEL 3 AND LEVEL 4	2
DA-1108	PROPOSED ROOF PLAN	2
DA-2000	EXISTING ELEVATIONS	1
DA-2100	PROPOSED ELEVATIONS	2
DA-3000	PROPOSED SECTIONS	2
DA-5001	NOTIFICATION PLAN	2
DA-5002	NOTIFICATION ELEVATIONS	2
DA-9000	FINISHES AND MATERIALS SCHEDULE	2

GROSS FLOOR AREA CALCULATION					
EXISTING GFA	PROPOSED GFA APPROVED UNDER DA APPLICATION DA2017/0244	PROPOSED GFA SECTION 96 APPLICATION	TOTAL GFA APPROVED UNDER DA APPLICATION DA2017/0244	TOTAL GFA SECTION 96 APPLICATION	APPROVED MASTER PLAN
12,622	2,722	2,586	15,344	15,208	18,438

CLIENT:
DEE WHY RSL CLUB

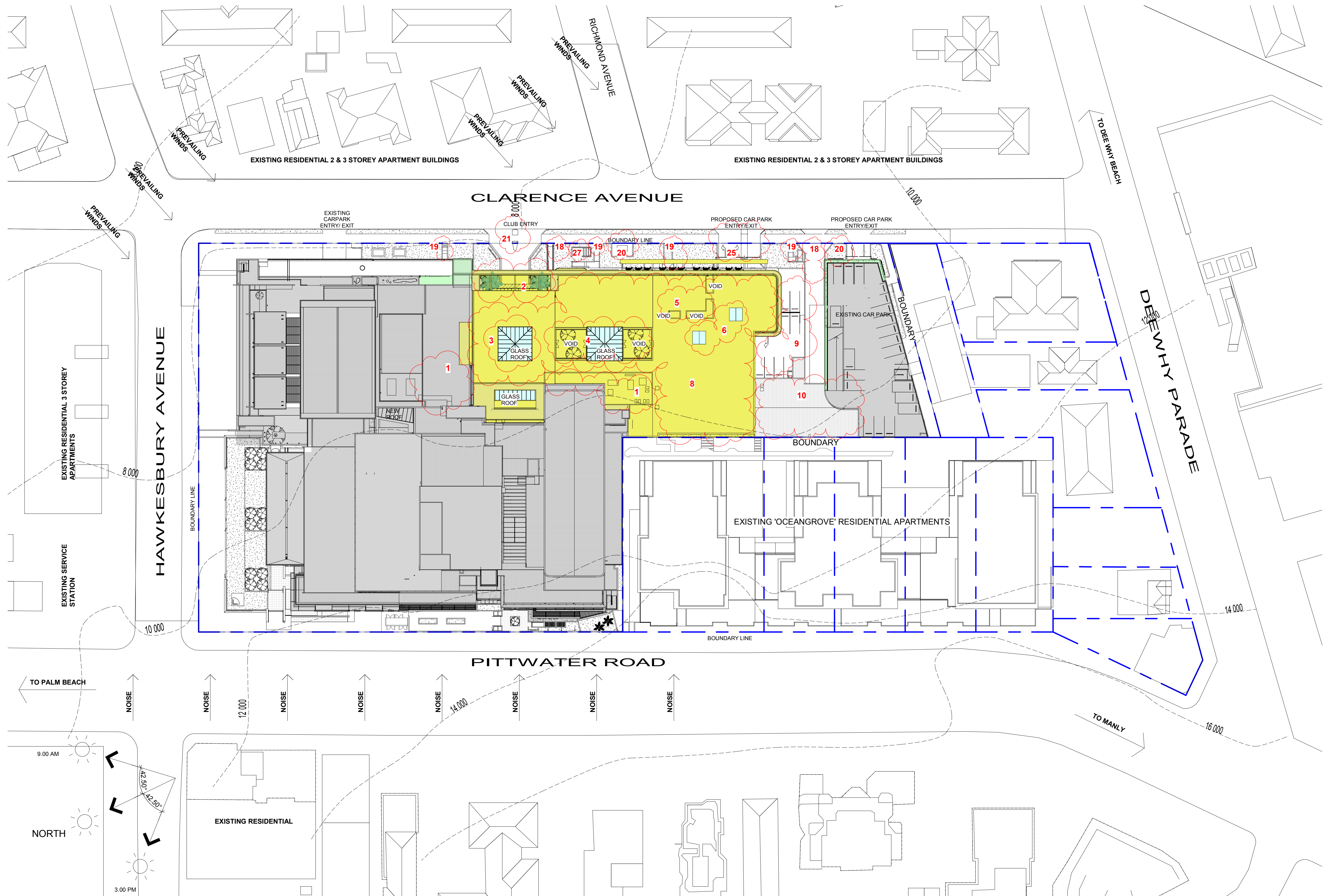
PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

ARCHITECT:
ALTIS
architecture
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf
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DRAWING TITLE:
COVER SHEET

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1 : 100
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PROJECT NO: 2341.06
DRAWING NO: DA-0000
DATE: MARCH 2018
ISSUE: 2



ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

CHANGES FOR SECTION 96 APPROVAL

- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
 2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
 3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
 4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
 5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m²
 6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT. 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
 7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
 8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
 9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
 10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
 12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
 13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
 14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 832mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
 15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
 16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
 17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
 19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
 20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
 21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
 22. RELOCATED STORMWATER OVERFLOW PATH
 23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.800 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
 24. BASEMENT CAR PARK LEVEL -5 ADDED
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 136m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

ARCHITECT:
ALTIS
architecture
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suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:
SITE ANALYSIS PLAN

NOTES:
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PROJECT NO: 2341.06
CAD FILE:

DATE: MARCH 2018
ISSUE: 2
DRAWING NO: DA-0001

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96



EXISTING VIEW - CLUB ENTRY AT CLARENCE AVENUE



PROPOSED VIEW - CLUB ENTRY AT CLARENCE AVENUE



EXISTING VIEW - SOUTHEAST CORNER AT CLARENCE AVENUE



PROPOSED VIEW - SOUTHEAST CORNER AT CLARENCE AVENUE

CLIENT: DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION

**PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE**

ARCHITECT:

ALTIS
architecture

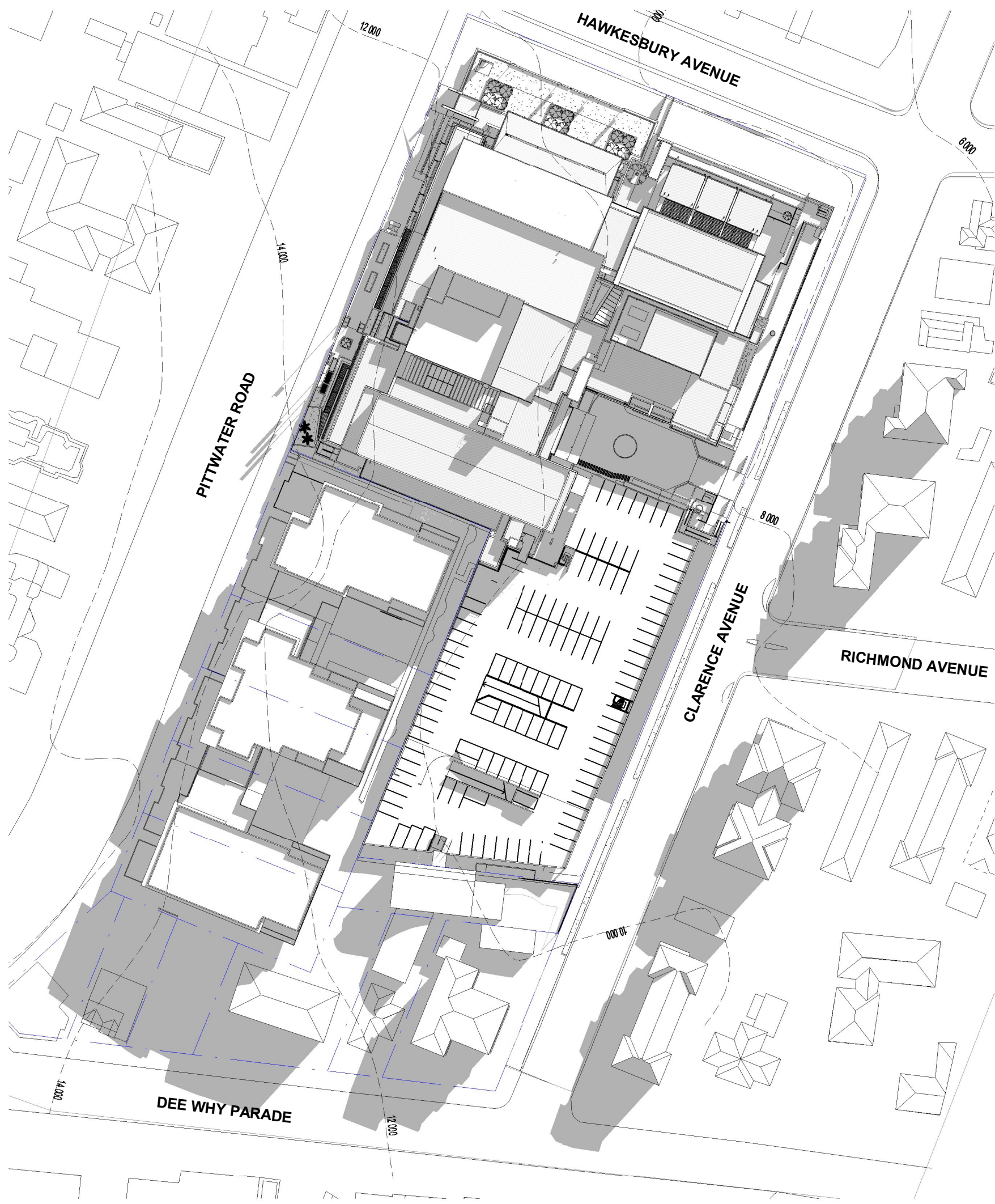
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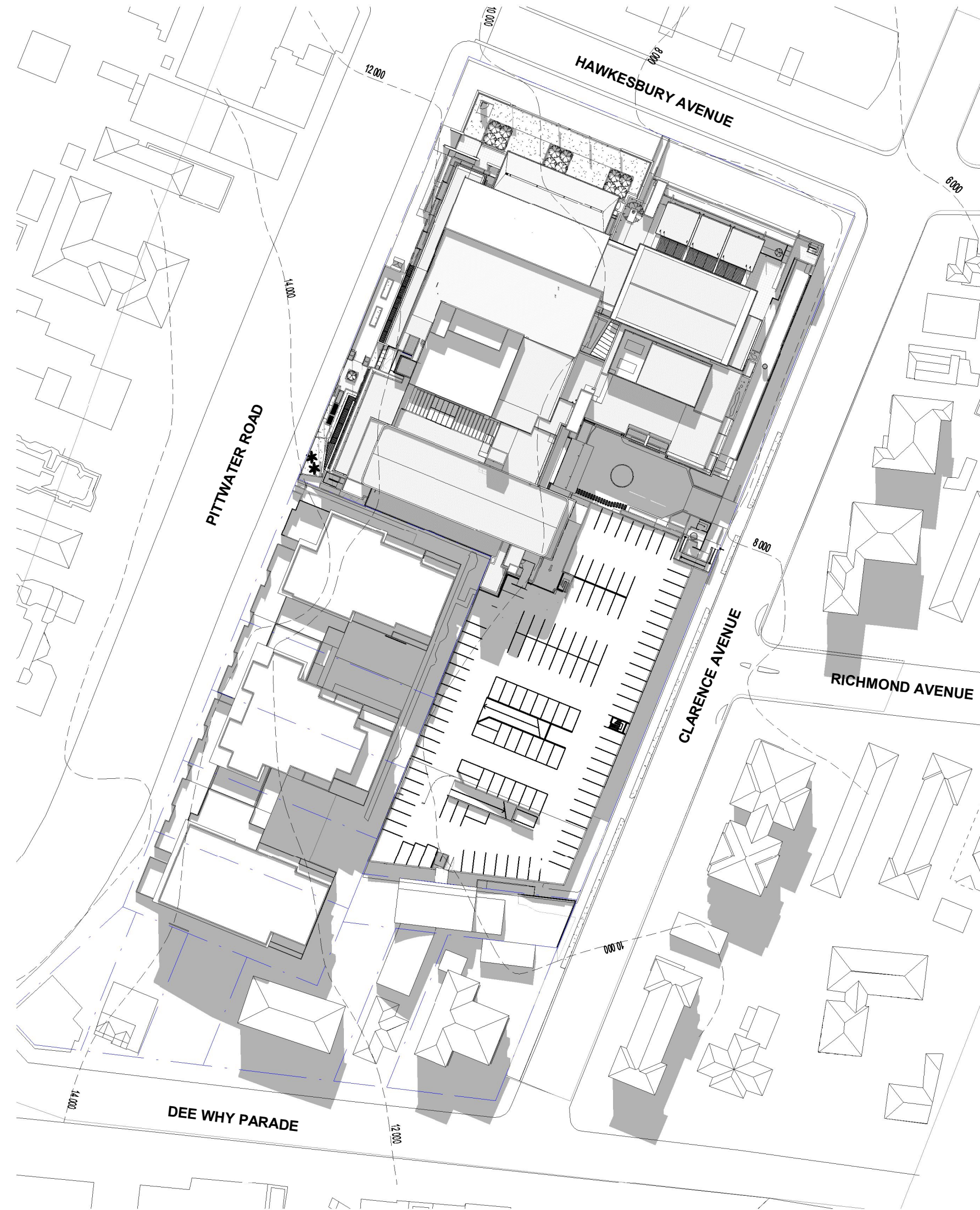
PERSPECTIVES

NOTES:
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DRAWN BY: MC	CHECKED BY: DOC	PROJECT NO: 2341.06	DRAWING NO: DA-0002	ISSUE: 2
CAD FILE:				



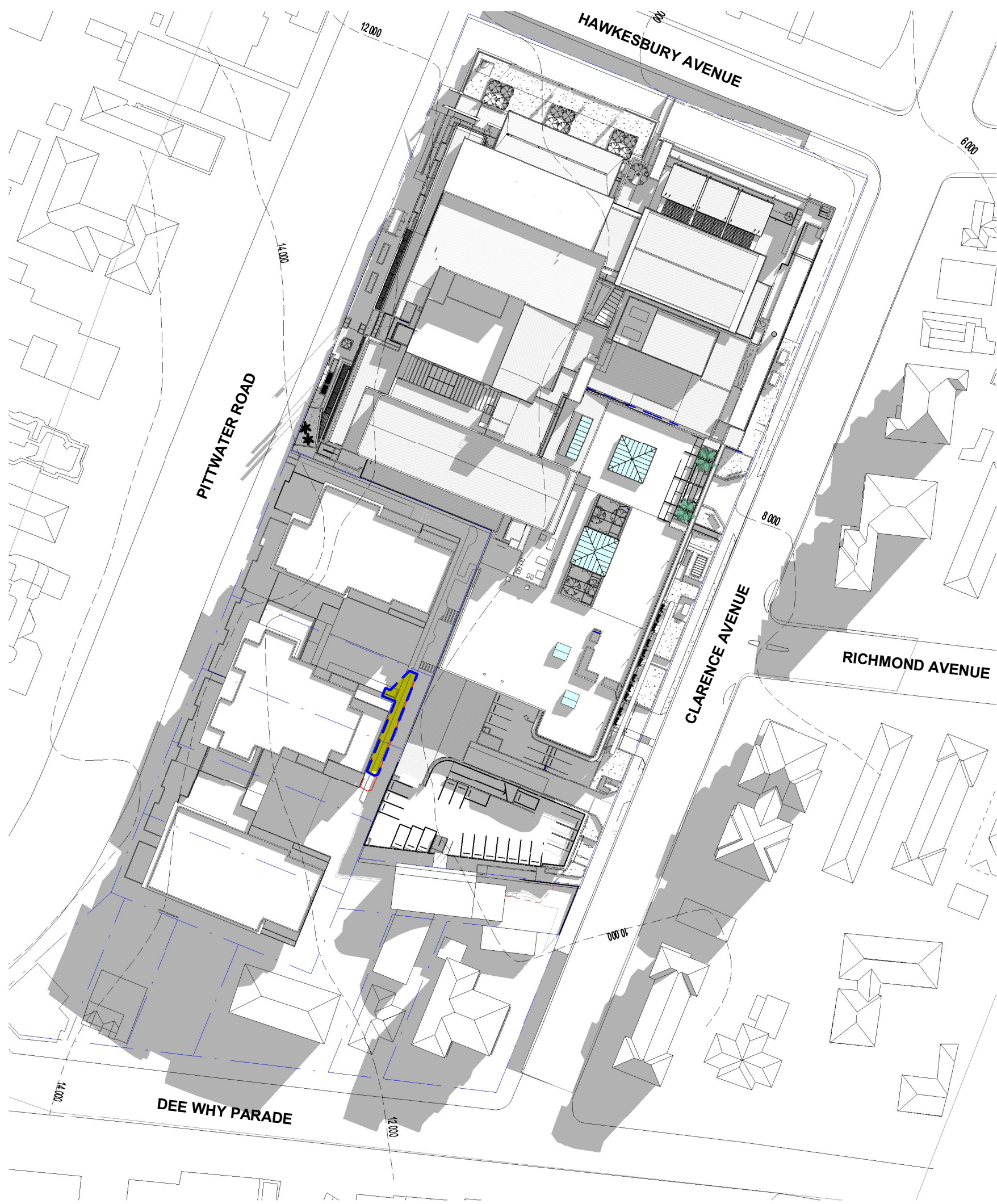
1 5-EX-SHADOW DIAGRAM - 9AM 21JUNE-NE
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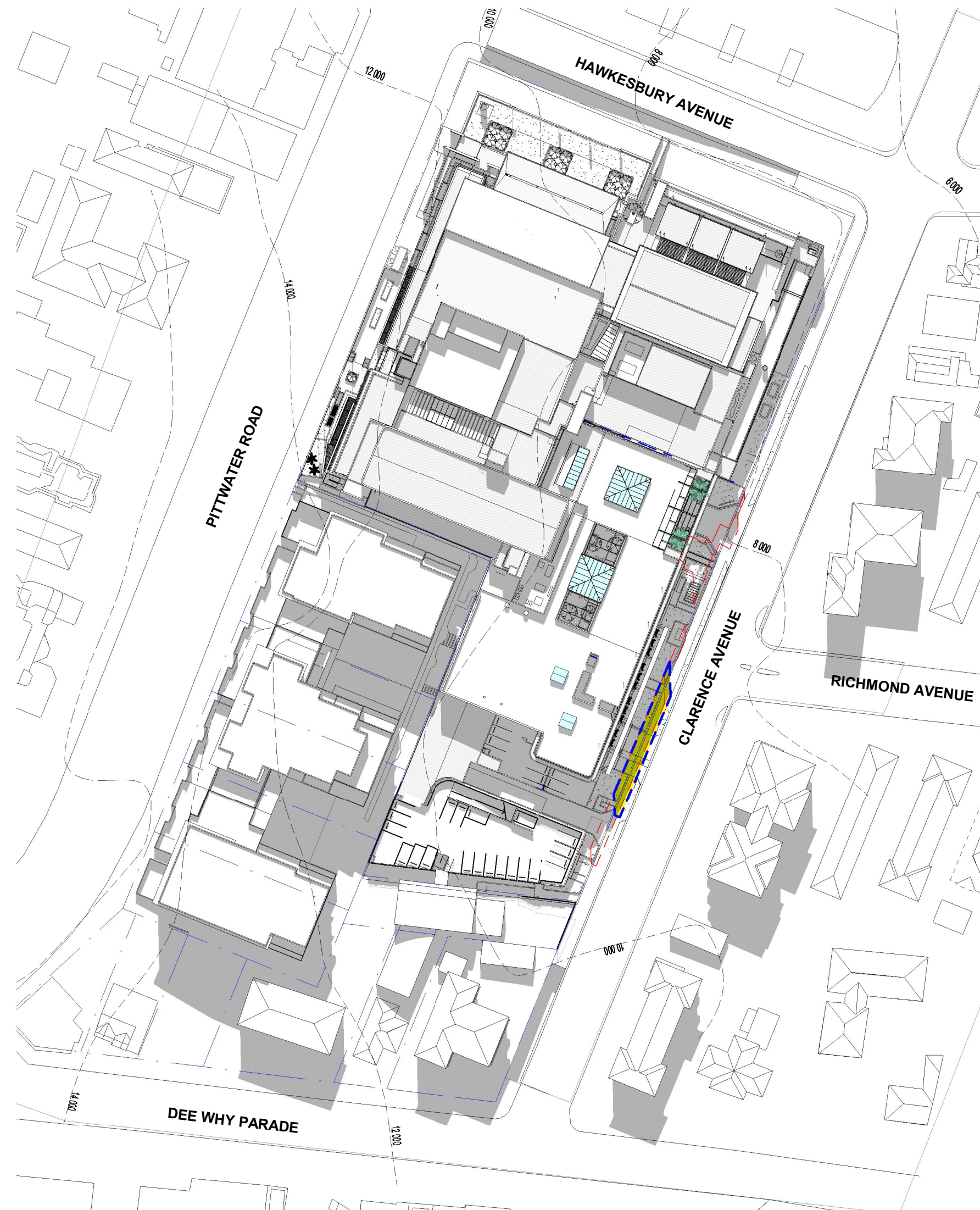
2 5-EX-SHADOW DIAGRAM - 12PM 21JUNE-NE
Scale: 1 : 1000



3 5-EX-SHADOW DIAGRAM - 3PM 21JUNE-NE
Scale: 1 : 1000



4 5-DA-SHADOW DIAGRAM - 9AM 21JUNE
Scale: 1 : 1000



5 5-DA-SHADOW DIAGRAM - 12PM 21JUNE
Scale: 1 : 1000



6 5-DA-SHADOW DIAGRAM - 3PM 21JUNE
Scale: 1 : 1000

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	02.03.2018	PRELIMINARY SECTION 96

- SHADOW CAST BASED ON SECTION 96 MODIFICATIONS, REDUCED IMPACT
- SHADOW CAST ONTO SURROUNDING BY PROPOSED DEVELOPMENT AS PER ORIGINAL DA 2017/0244

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

ARCHITECT:
ALTIS
architecture
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf
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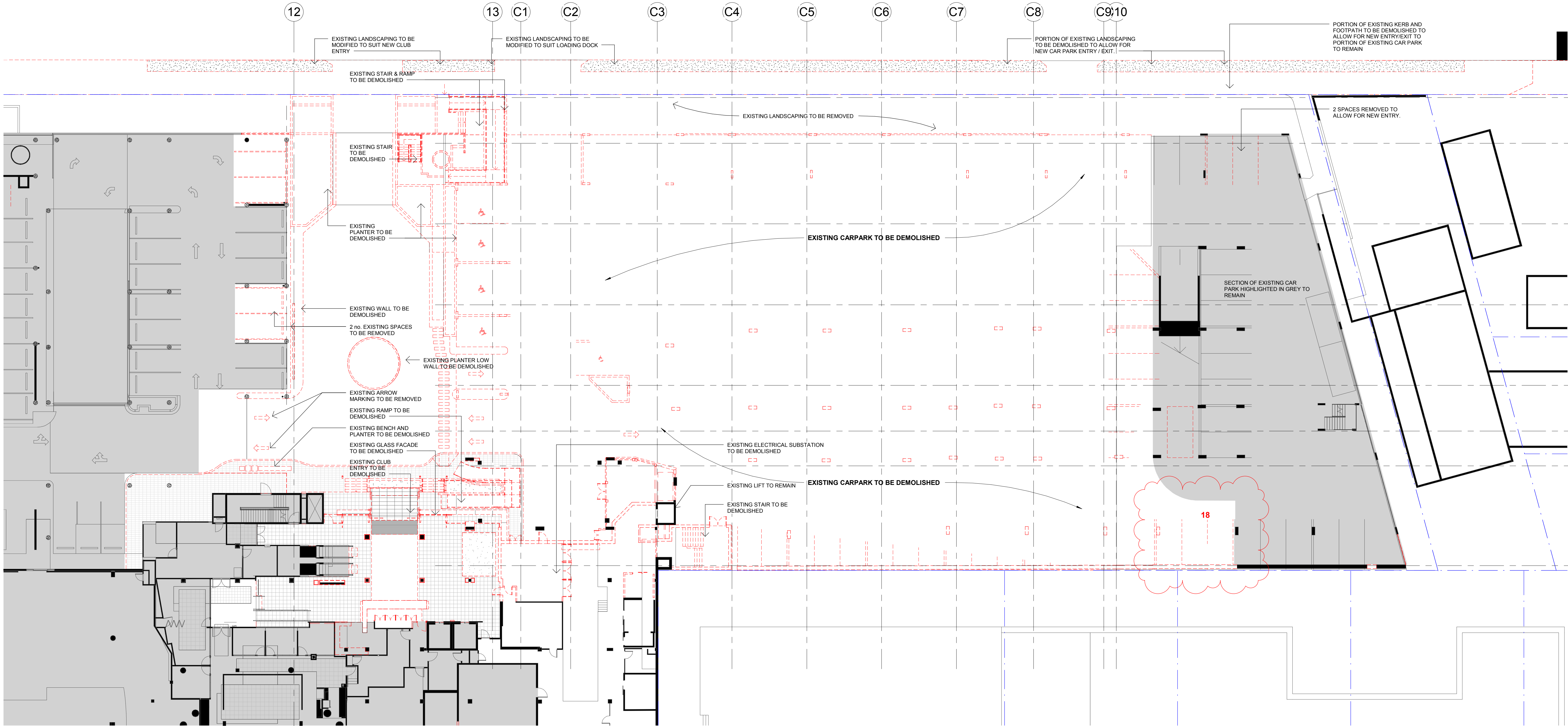
DRAWING TITLE:
SHADOW DIAGRAM - 21 JUNE

NOTES:
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CAD FILE:	DRAWING NO: DA-0003	ISSUE: 2

SECTION 96

10/3/2018 5:15:55 PM



ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
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9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
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16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
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- ground/landscape/floor plate
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 24. BASEMENT CAR PARK LEVEL -5 ADDED.
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 136m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- - - DASHED LINE INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
- GREY HATCH INDICATES AREA WITH NO DEMOLITION WORKS

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

ARCHITECT:
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architecture
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DRAWING TITLE:
CAR PARK LEVEL 1 (ENTRY LEVEL)
EXISTING AND DEMOLITION PLAN

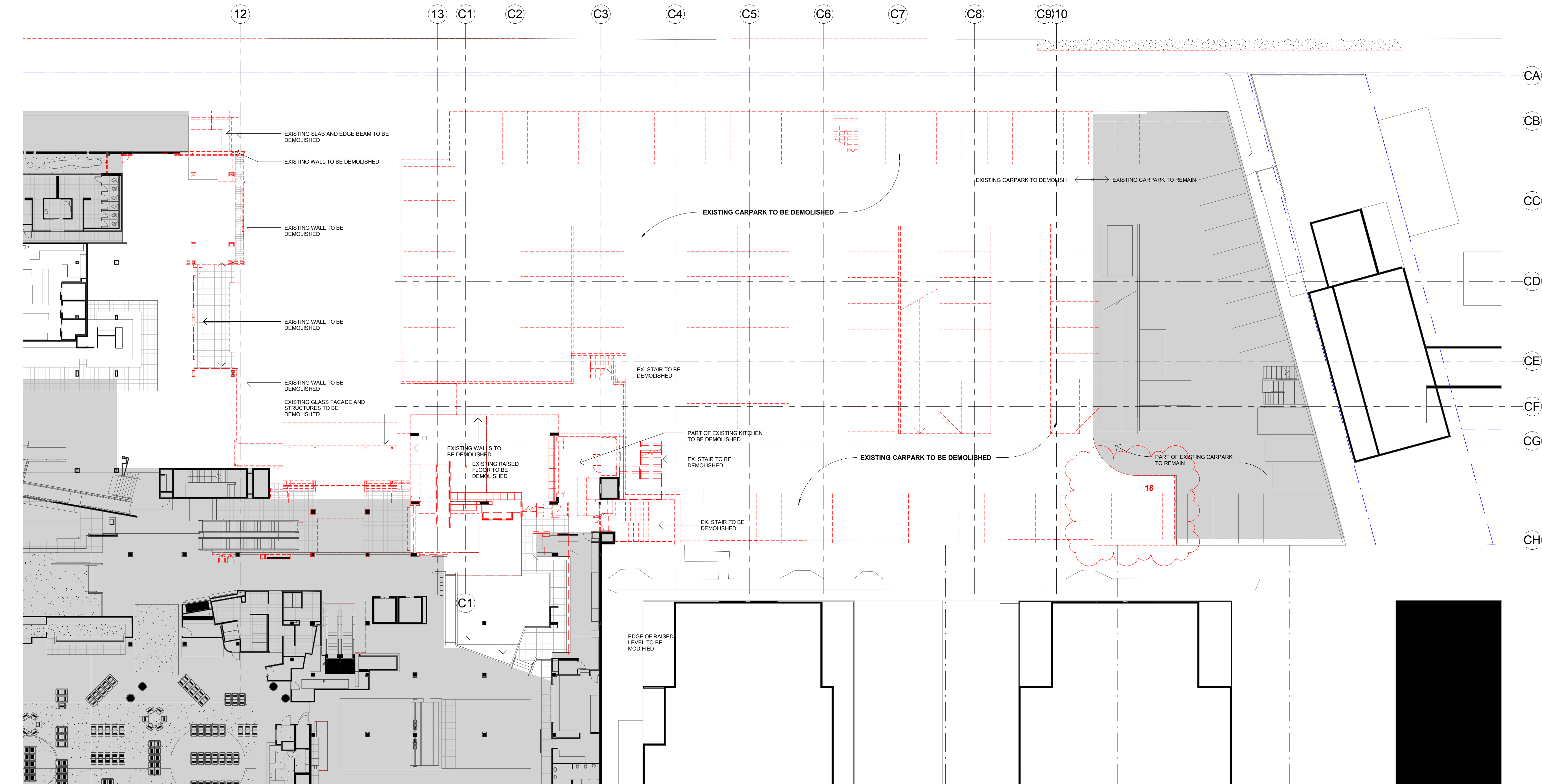
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1 : 200 @ B1
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PROJECT NO: 2341.06
CADD FILE:

DATE: MARCH 2018
ISSUE: 2
DRAWING NO: DA-1000

SECTION 96

5/3/2018 12:52:10 PM



1 5B-AD-S96-CAR PARK LEVEL 2 EXISTING AND DEMOLITION PLAN
Scale: 1:200

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

CHANGES FOR SECTION 96 APPROVAL

roof

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m²
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT. 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8328mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES REDUCED BY 147mm
16. CONCRETE BLADE WALL REDUCED BY 147mm IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

ground/landscape/floor plate

18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
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24. BASEMENT CAR PARK LEVEL -5 ADDED.
25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
27. LOCATION OF AIR INTAKE MODIFIED
28. EXTENT OF RESTAURANT REDUCED BY 136m²
29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

--- DASHED LINE INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

GREY HATCH INDICATES AREA WITH NO DEMOLITION WORKS

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN CARPARK & ENCLOSURE

ARCHITECT:

ALTIS
architecture

p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

CAR PARK LEVEL 2 EXISTING AND DEMOLITION PLAN

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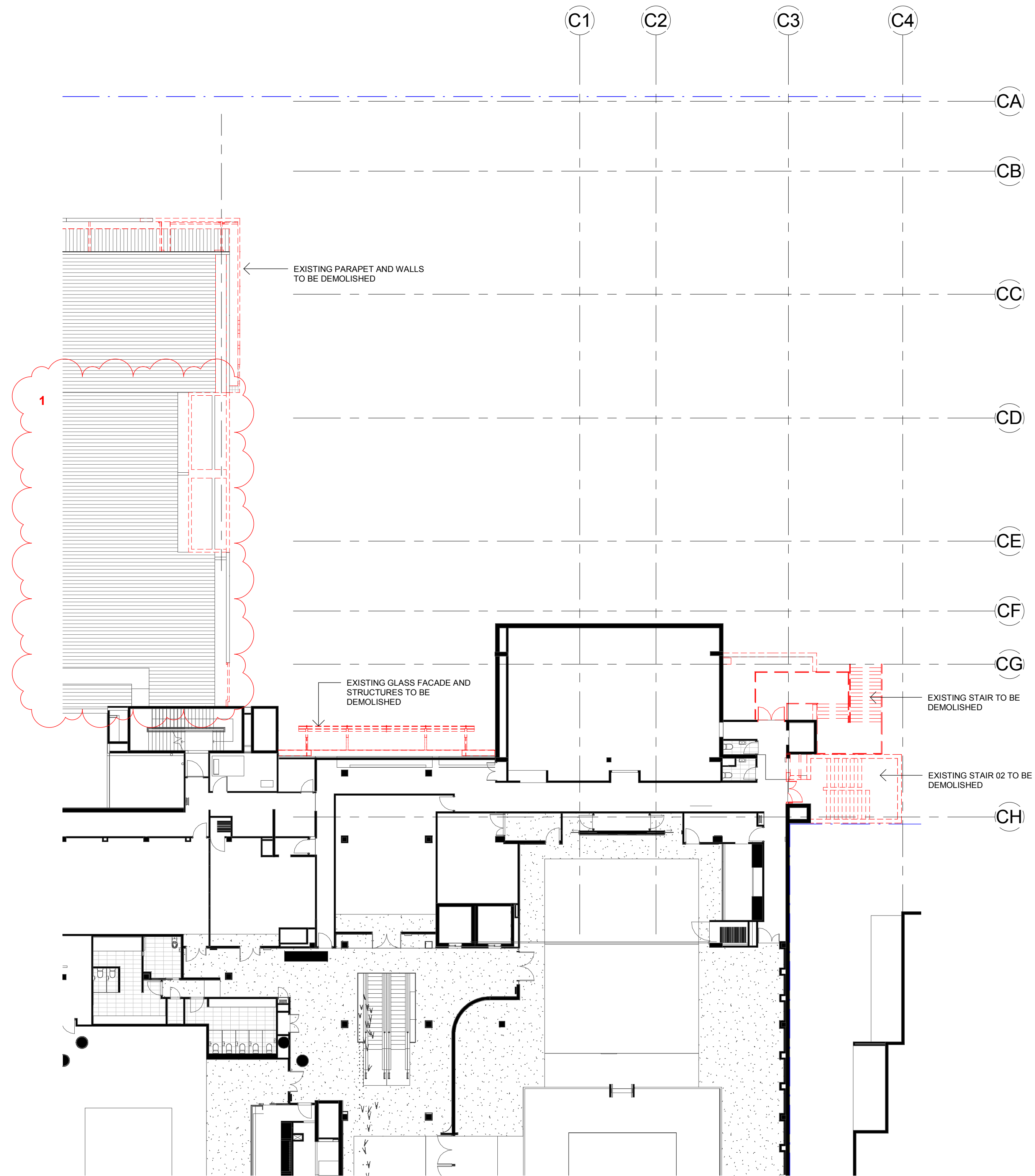
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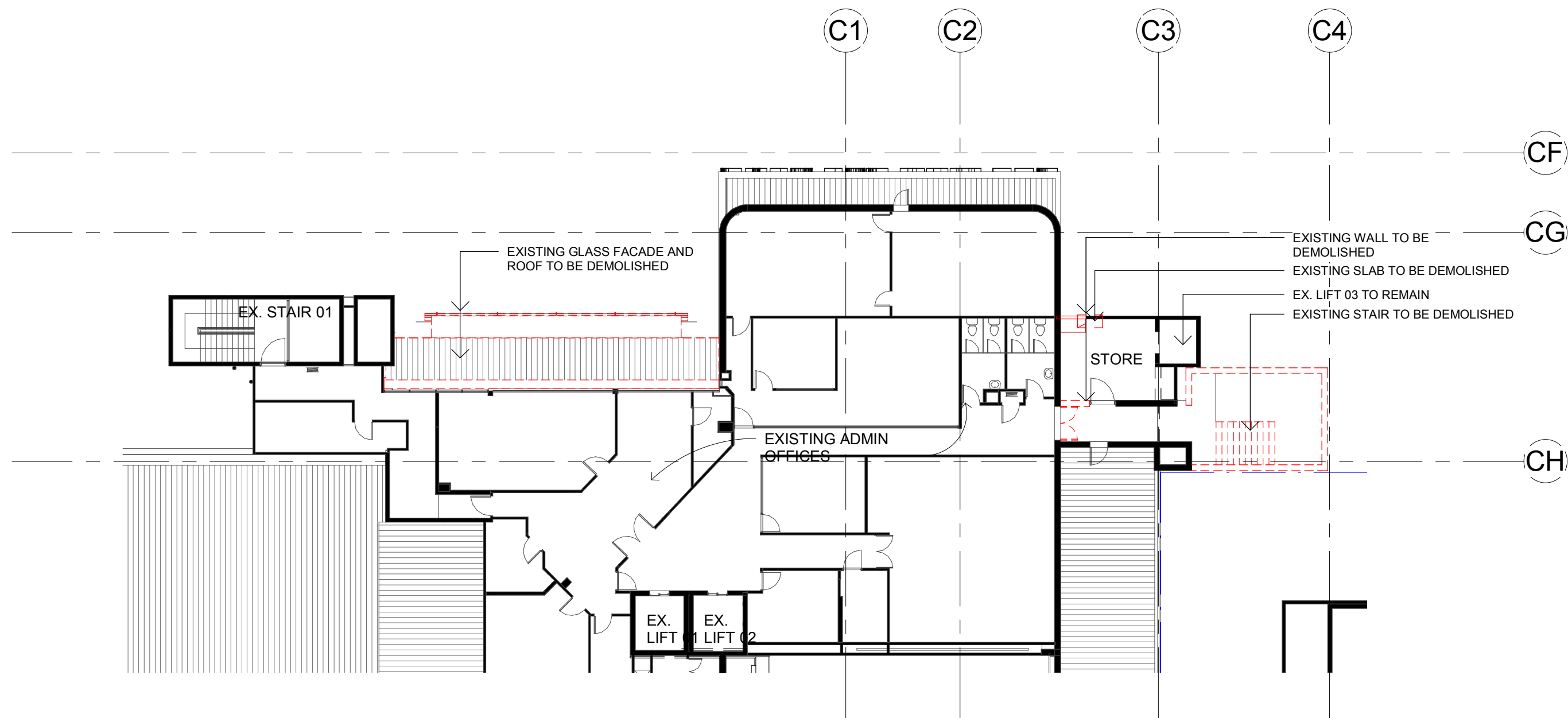
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DRAWN BY: AG CHECKED BY: DOC PROJECT NO: 2341.06 DRAWING NO: DA-1001 ISSUE: 2

5B-AD-S96-15-23-27 PM



1 LEVEL 3 - AUDITORIUM LEVEL
Scale: 1: 200



2 LEVEL 4 - ADMIN LEVEL
Scale: 1: 200

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

CHANGES FOR SECTION 96 APPROVAL

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9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
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- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
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- ground/landscape/floor plate
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 21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8m AS PER DA CONDITION 23
 22. RELOCATED STORMWATER OVERFLOW PATH
 23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
 24. BASEMENT CAR PARK LEVEL -5 ADDED.
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 136m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- - - DASHED LINE INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
- GREY HATCH INDICATES AREA WITH NO DEMOLITION WORKS

CLIENT:
DEE WHY RSL CLUB

PROJECT:
**STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE**

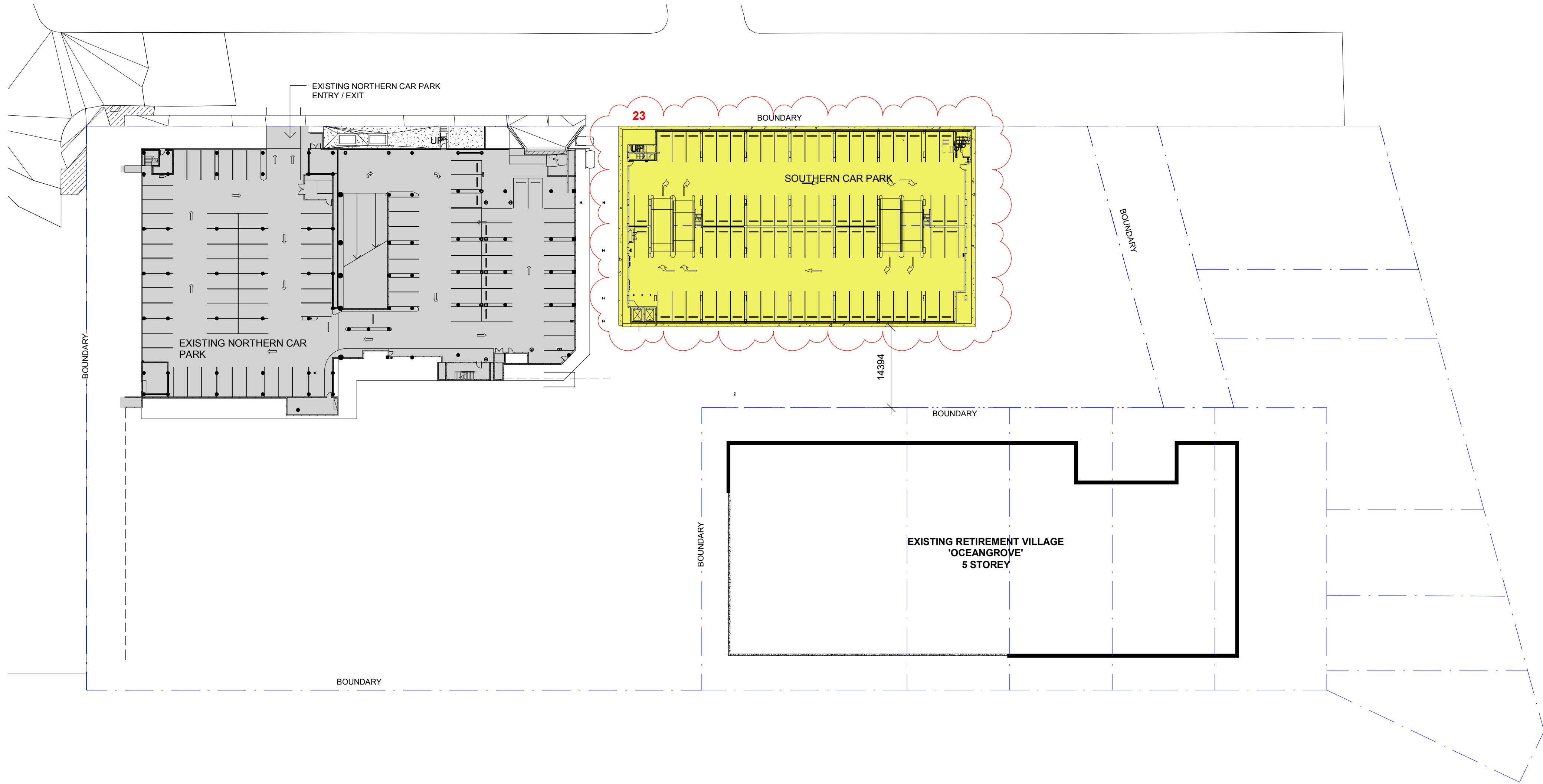
ARCHITECT:
ALTIS
architecture
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf
suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

DRAWING TITLE:
**CLUB LEVEL 3 AND LEVEL 4 -
EXISTING AND DEMOLITION PLAN**

NOTES:
Nominated architect: Rofe Latimer - 6535
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SCALE:
1: 200 @ B1
DRAWN BY: AG
CHECKED BY: DOC
PROJECT NO: 2341.06
CAD FILE:

DATE: MARCH 2018
ISSUE: 2
DRAWING NO: DA-1002



ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

- CHANGES FOR SECTION 96 APPROVAL
- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
 2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
 3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
 4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH
 5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA, AREA REDUCED BY 21m²
 6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT, 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
 7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
 8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
 9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
 10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
 12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
 13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
 14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 6326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
 15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
 16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
 17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)
- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
 19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
 20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
 21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
 22. RELOCATED STORMWATER OVERFLOW PATH
 23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
 24. BASEMENT CAR PARK LEVEL -5 ADDED.
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 136m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

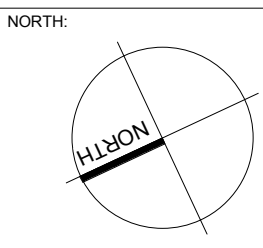
ARCHITECT:

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suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

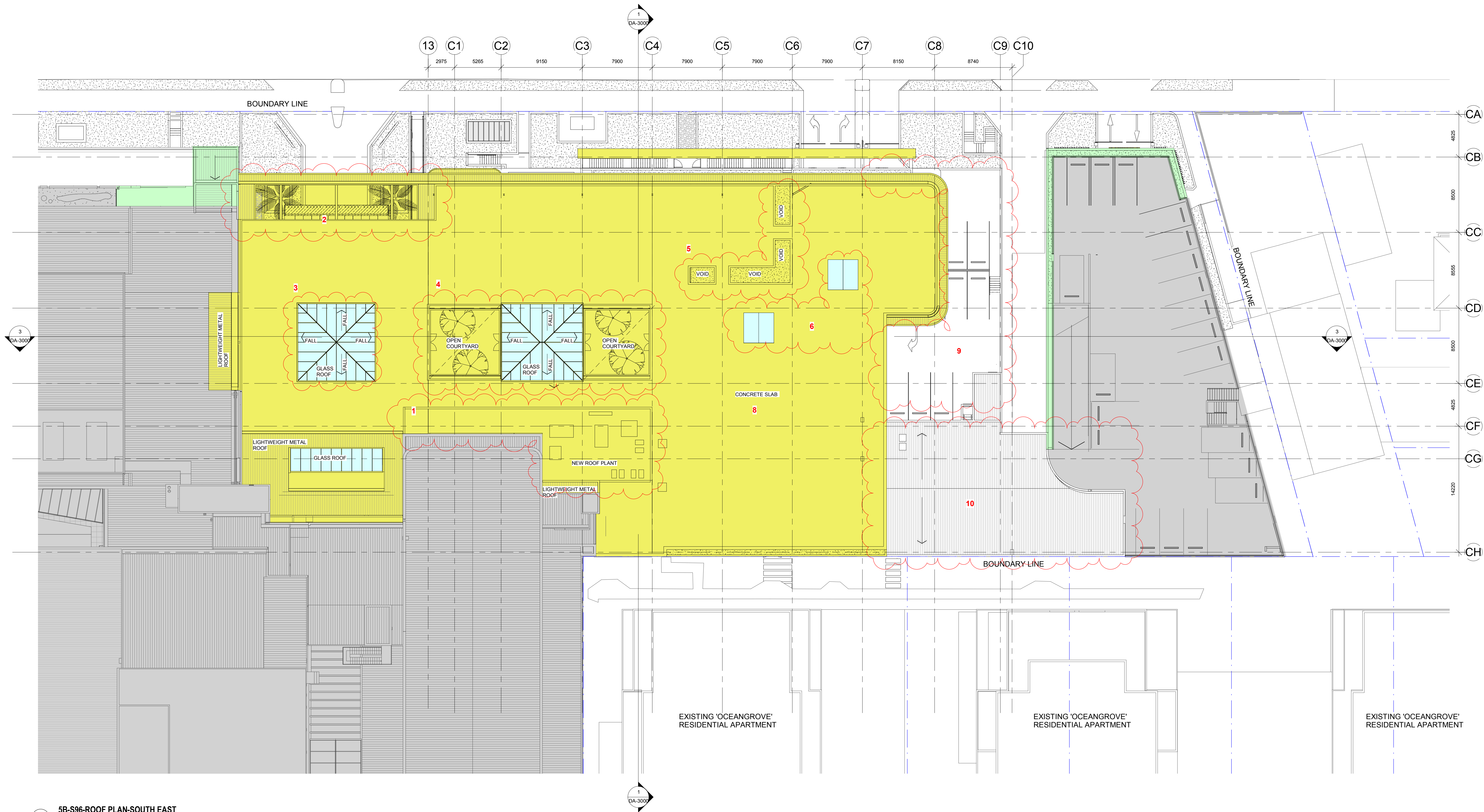
DRAWING TITLE:
KEY PLAN - CARPARK LEVEL -1

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DRAWN BY: MC	CHECKED BY: DOC
PROJECT NO: 2341.06	DRAWING NO: DA-1050
CAD FILE:	ISSUE: 2

SECTION 96



5B-S96-ROOF PLAN-SOUTH EAST
Scale: 1 : 200

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA, AREA REDUCED BY 21m²
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
 19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
 20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
 21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
 22. RELOCATED STORMWATER OVERFLOW PATH
 23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.800 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 987 TO 680
 24. BASEMENT CAR PARK LEVEL -5 ADDED.
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 136m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

ARCHITECT:
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suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:
PROPOSED ROOF PLAN

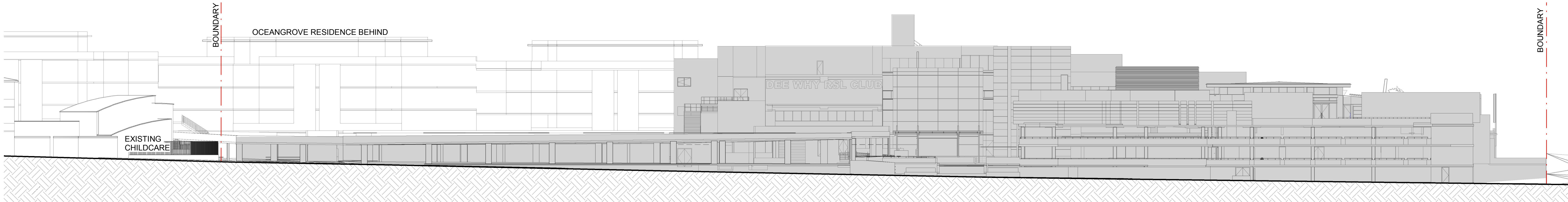
NOTES:
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CHECKED BY: Checker
PROJECT NO: 2341.06
CAD FILE:

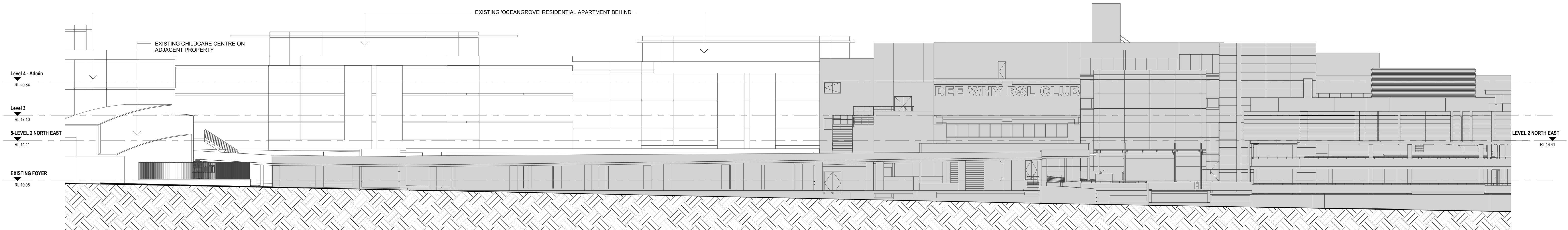
DATE: MARCH 2018
ISSUE: 2
DRAWING NO: DA-1108

SECTION 96

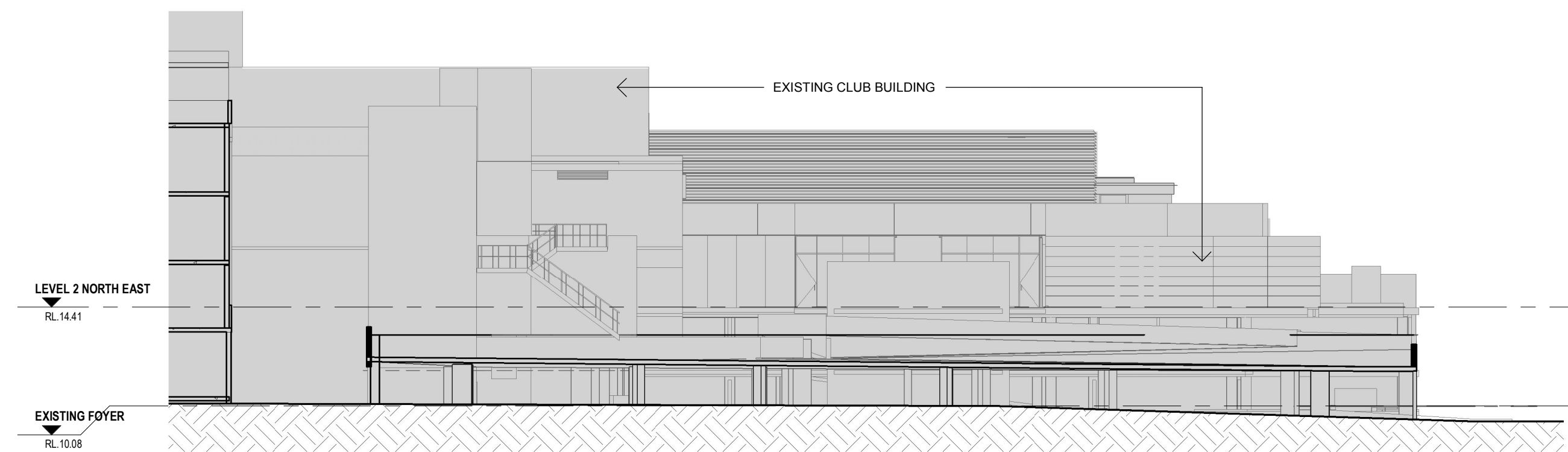
ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	02.03.2018	PRELIMINARY SECTION 96



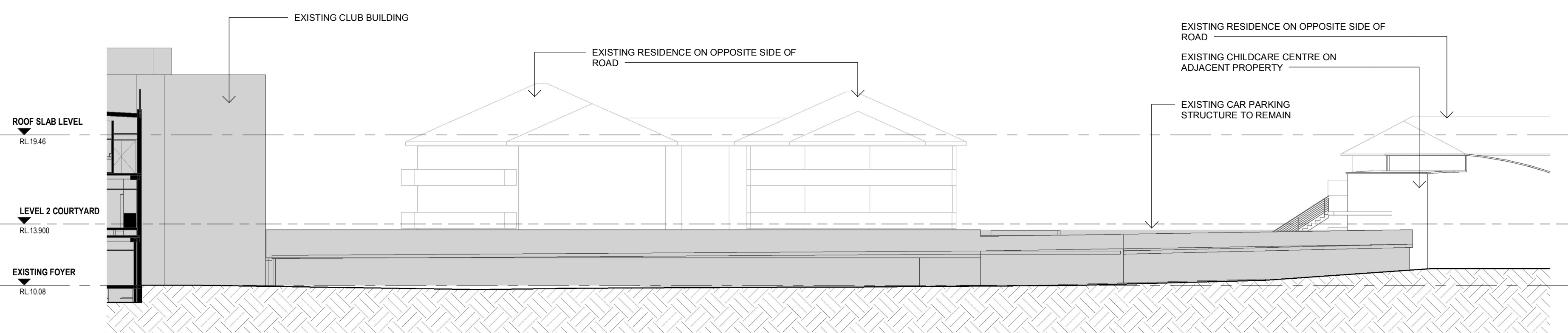
4 EX-EAST ELEVATION (Overall)
Scale: 1 : 250



1 EX-EAST ELEVATION
Scale: 1 : 200



2 EX-SOUTH ELEVATION
Scale: 1 : 200



3 EX-WEST ELEVATION
Scale: 1 : 200

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION

ARCHITECT:
ALTIS
architecture
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suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

DRAWING TITLE:
EXISTING ELEVATIONS

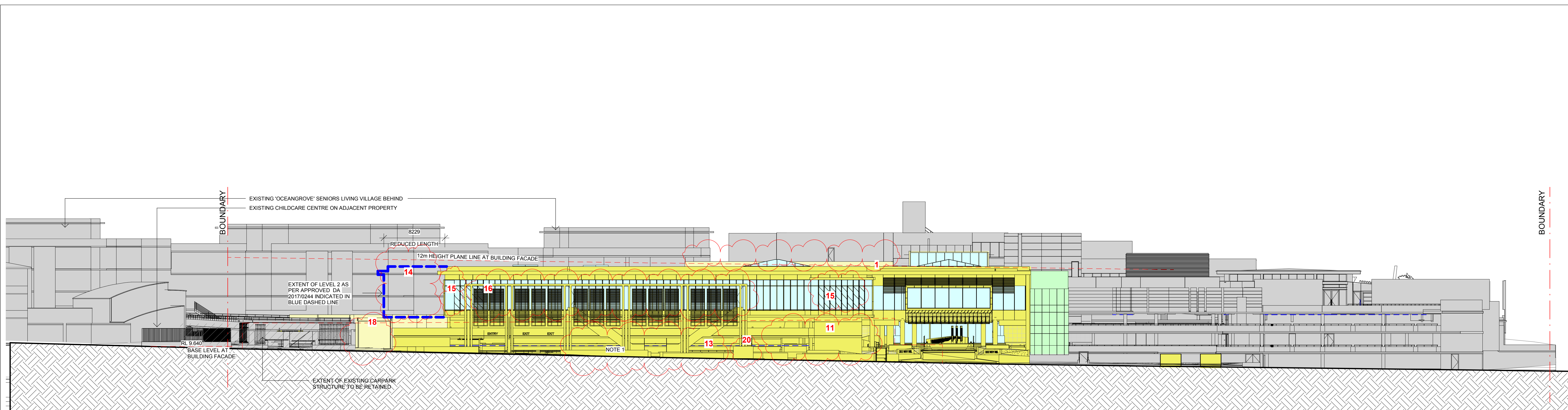
NOTES:
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CHECKED BY: DOC
PROJECT NO: 2341.06
CAD FILE:

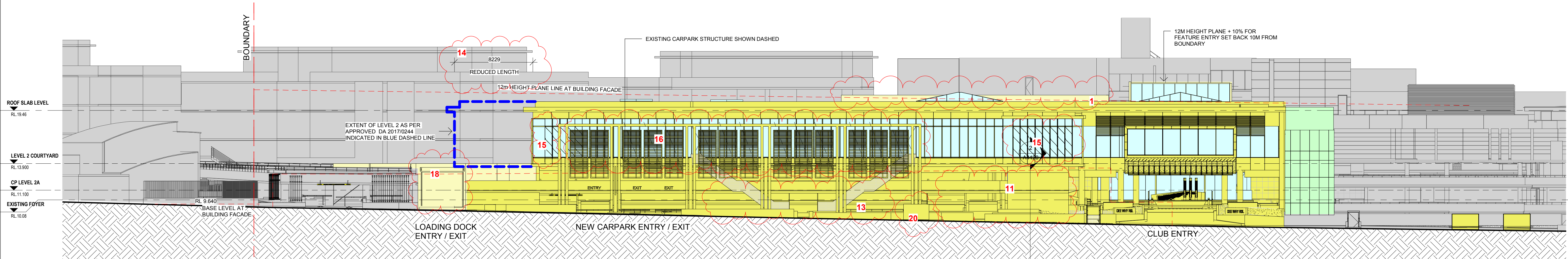
NORTH:
DATE: MARCH 2018
DRAWING NO: DA-2000
ISSUE: 2

SECTION 96

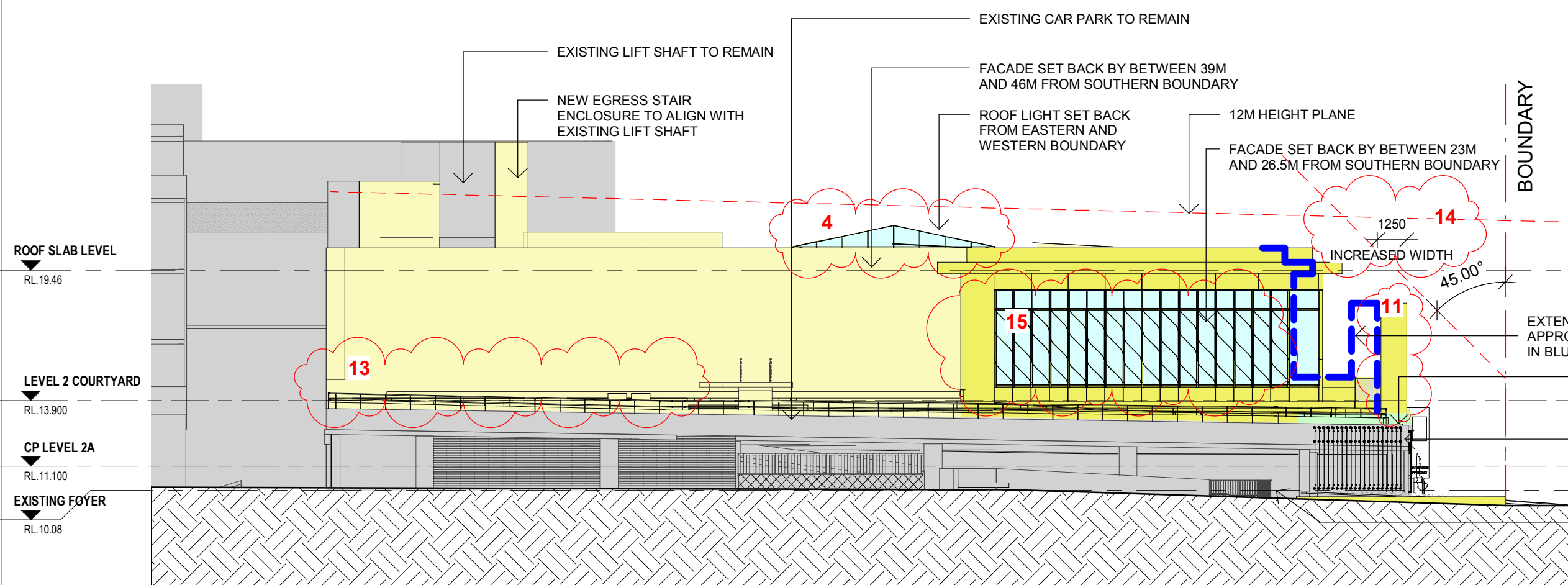
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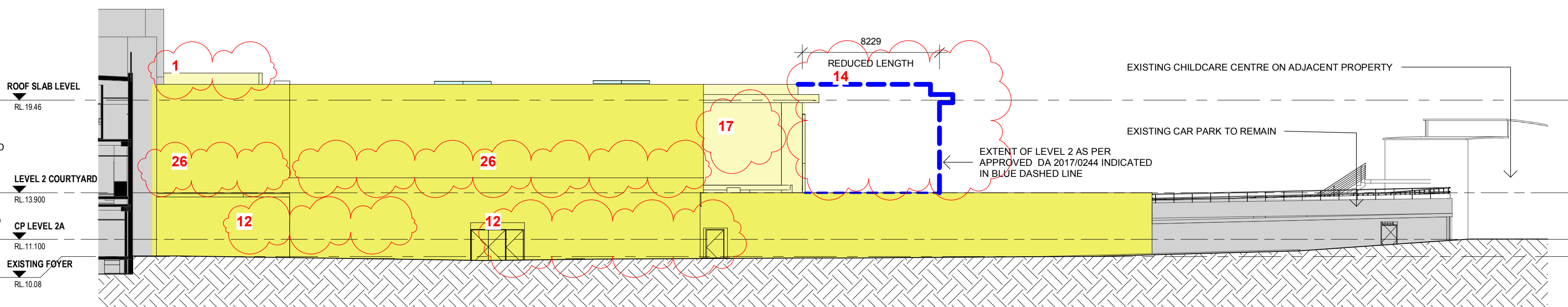
1 REFERENCE EAST ELEVATION
Scale: 1 : 250



2 5B-S96-EAST ELEVATION
Scale: 1 : 200



3 PROPOSED SOUTH ELEVATION
Scale: 1 : 200



4 PROPOSED WEST ELEVATION
Scale: 1 : 200

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	05.03.2018	ISSUED FOR SECTION 96

- CHANGES FOR SECTION 96 APPROVAL
- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
 2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
 3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
 4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
 5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m²
 6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
 7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
 8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
 9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
 10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
 12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
 13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
 14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8320mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
 15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
 16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
 17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)
- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
 19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
 20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
 21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
 22. RELOCATED STORMWATER OVERFLOW PATH
 23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
 24. BASEMENT CAR PARK LEVEL -5 ADDED.
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 30444mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 136m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

NOTE 1: LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DOCUMENTS AND PERSPECTIVE VIEWS WHERE APPROPRIATE

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION
PHASE 2 WORKS - SOUTHERN
CARPARK & ENCLOSURE

ARCHITECT:
ALTIS
architecture
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

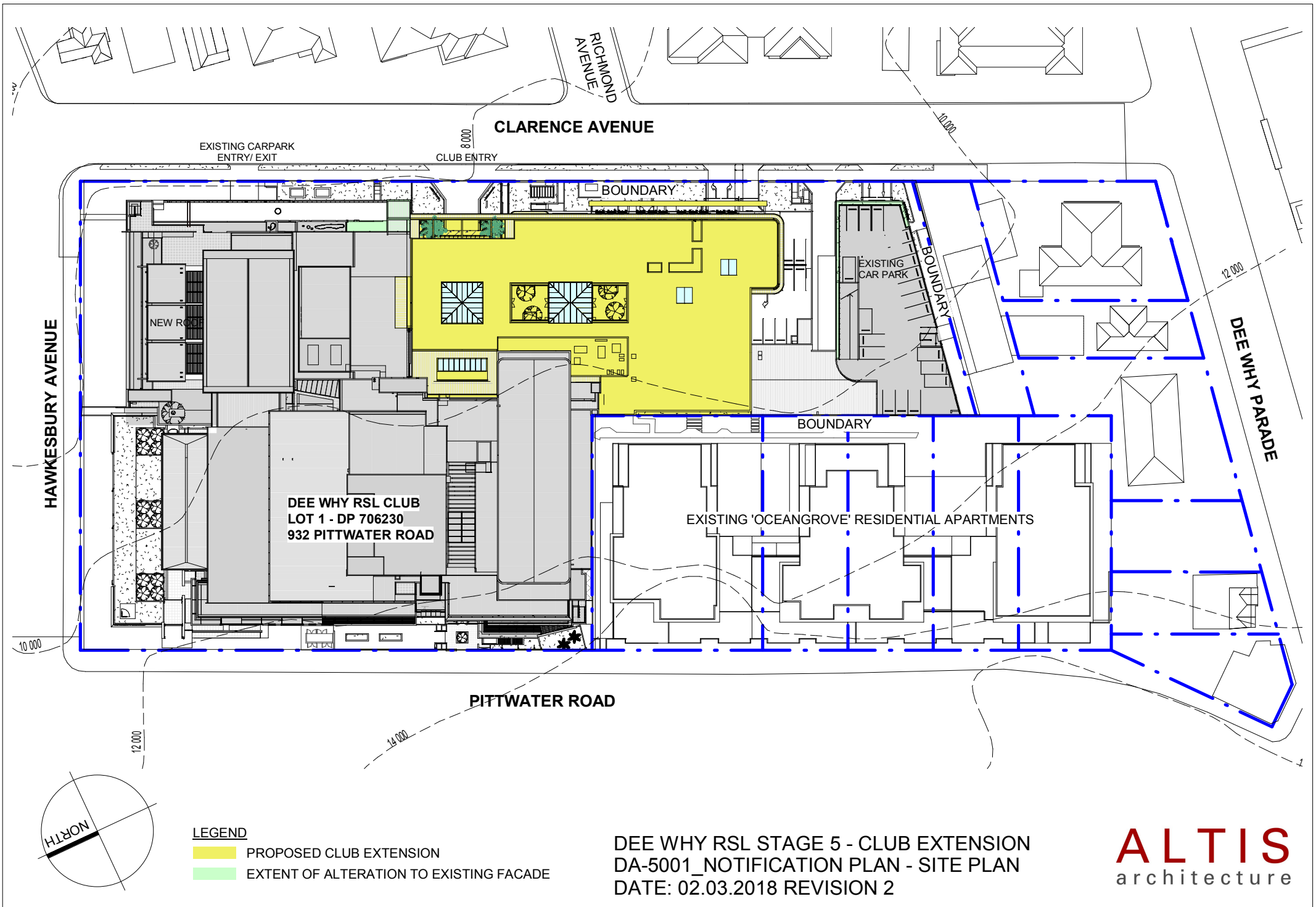
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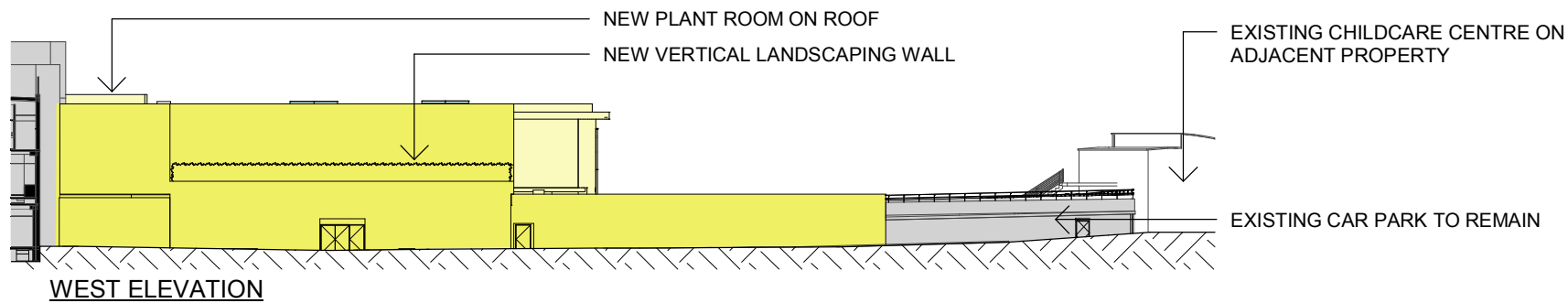
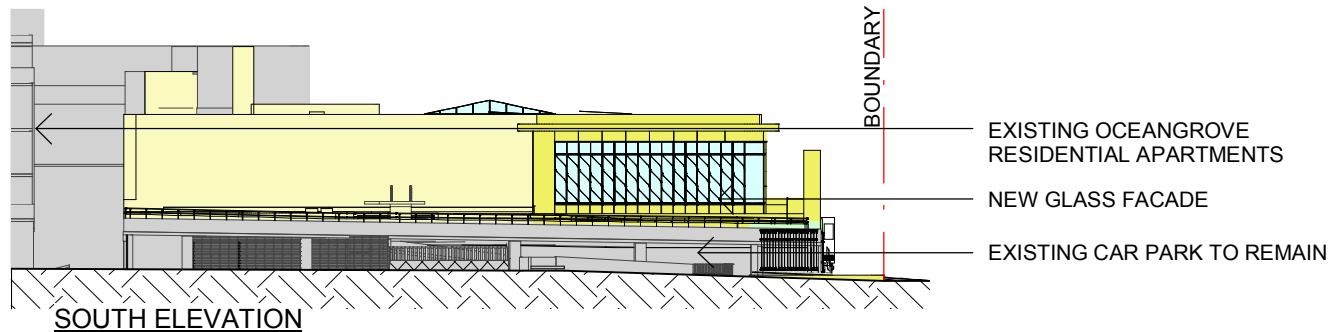
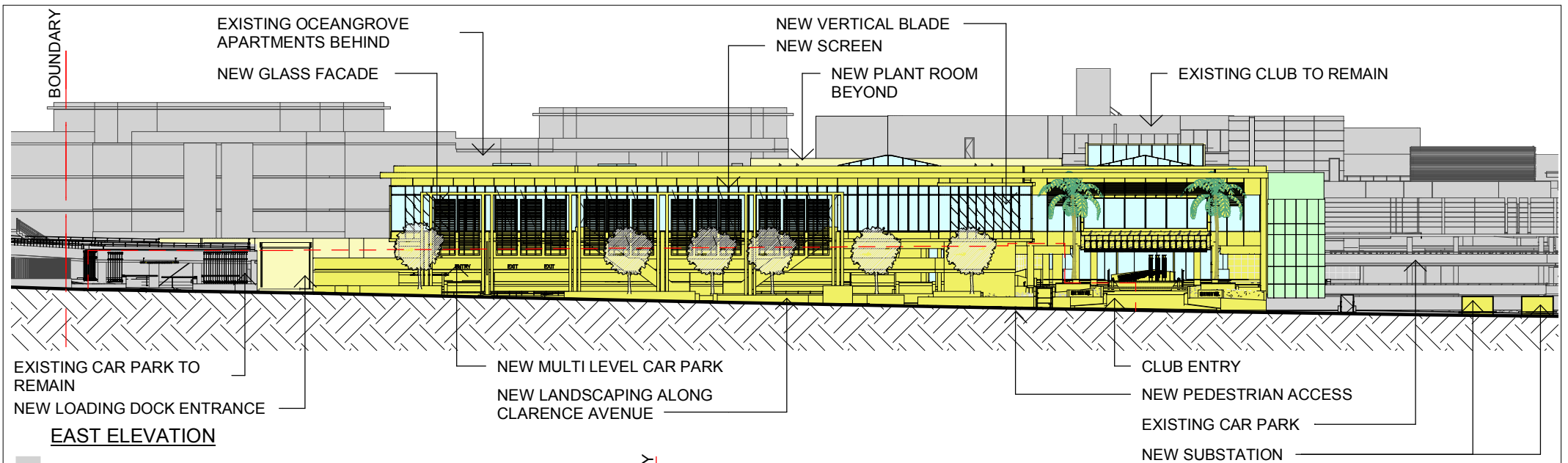
NOTES:
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SCALE:
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DRAWN BY: MC
CHECKED BY: DOC
PROJECT NO: 2341.06
CADD FILE:

DATE: MARCH 2018
DRAWING NO: DA-2100
ISSUE: 2

SECTION 96



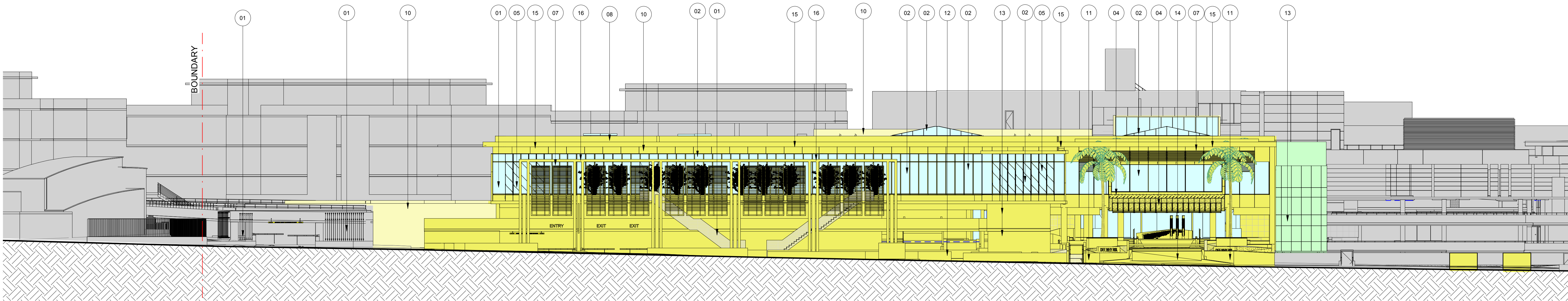


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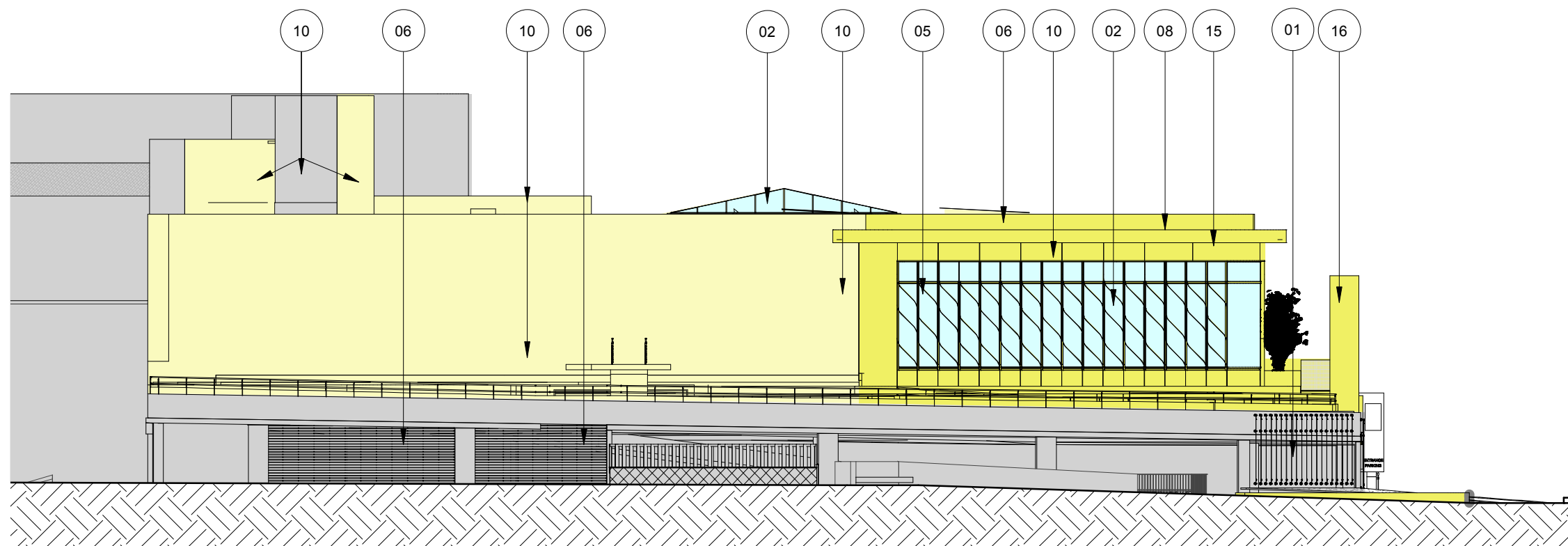
- PROPOSED CLUB EXTENSION
- PROPOSED CLUB EXTENSION (SET BACK FROM BOUNDARY)
- EXTENT OF ALTERATION TO EXISTING FACADE
- NEW GLASS FACADE

DEE WHY RSL STAGE 5 - CLUB EXTENSION
 DA-5001_NOTIFICATION PLAN - SITE PLAN
 DATE: 02.03.2018 REVISION 2

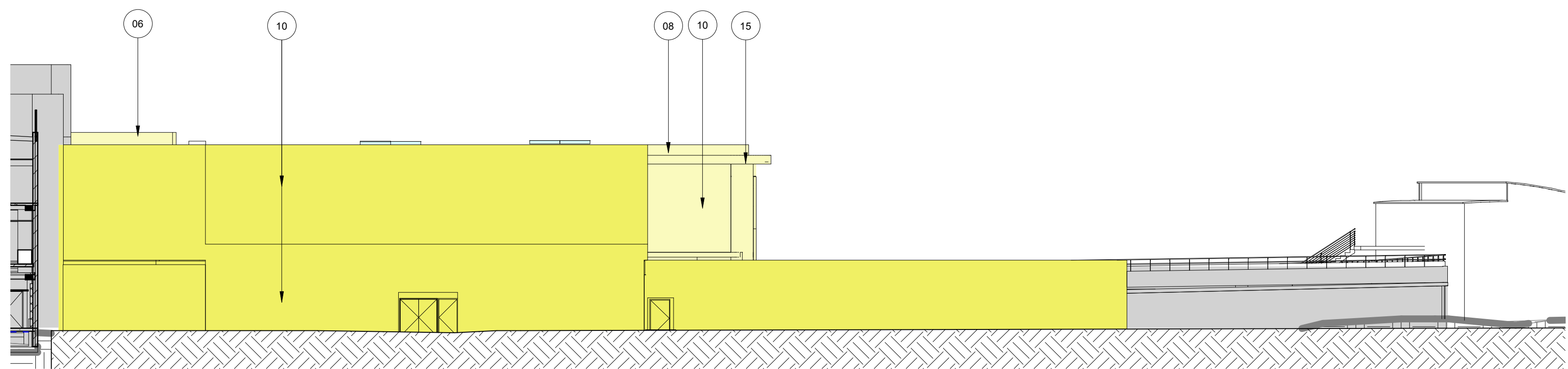
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1 EAST ELEVATION
Scale: 1 : 200



2 SOUTH ELEVATION
Scale: 1 : 200



3 WEST ELEVATION
Scale: 1 : 200

ISSUE	DATE	DESCRIPTION
1	17.03.2017	ISSUED FOR DEVELOPMENT APPLICATION
2	02.03.2018	PRELIMINARY SECTION 96

CHANGES FOR SECTION 96 APPROVAL

- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
 2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
 3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
 4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
 5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 33m²
 6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT. 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
 7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
 8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
 9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
 10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
 12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
 13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
 14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
 15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
 16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
 17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
 19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
 20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
 21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
 22. RELOCATED STORMWATER OVERFLOW PATH
 23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL - 5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
 24. BASEMENT CAR PARK LEVEL -5 ADDED.
 25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
 26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
 27. LOCATION OF AIR INTAKE MODIFIED
 28. EXTENT OF RESTAURANT REDUCED BY 135m²
 29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
 30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK.
 31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:
DEE WHY RSL CLUB

PROJECT:
STAGE 5 - CLUB EXTENSION

ARCHITECT:
ALTIS
architecture
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf
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FINISHES AND MATERIALS
SCHEDULE

NOTES:
Nominated architect: Rofe Latimer - 5535
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Ensure compliance with the Building Code of Australia and all relevant Australian Standards and Authority requirements.

SCALE:	DATE:
As indicated @ B1	MARCH 2018
DRAWN BY: MC	CHECKED BY: DOC
PROJECT NO: 2341.06	DRAWING NO: DA-9000
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