

Site Plan  
1:200

Builder/Contractor shall verify job dimensions before any job commences.  
Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
P1	12/07/2019	BL/EM	RS/DN	For Coordination
P2	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
00	10/06/2020	MJ	DN	For Construction
01	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randserson 8342

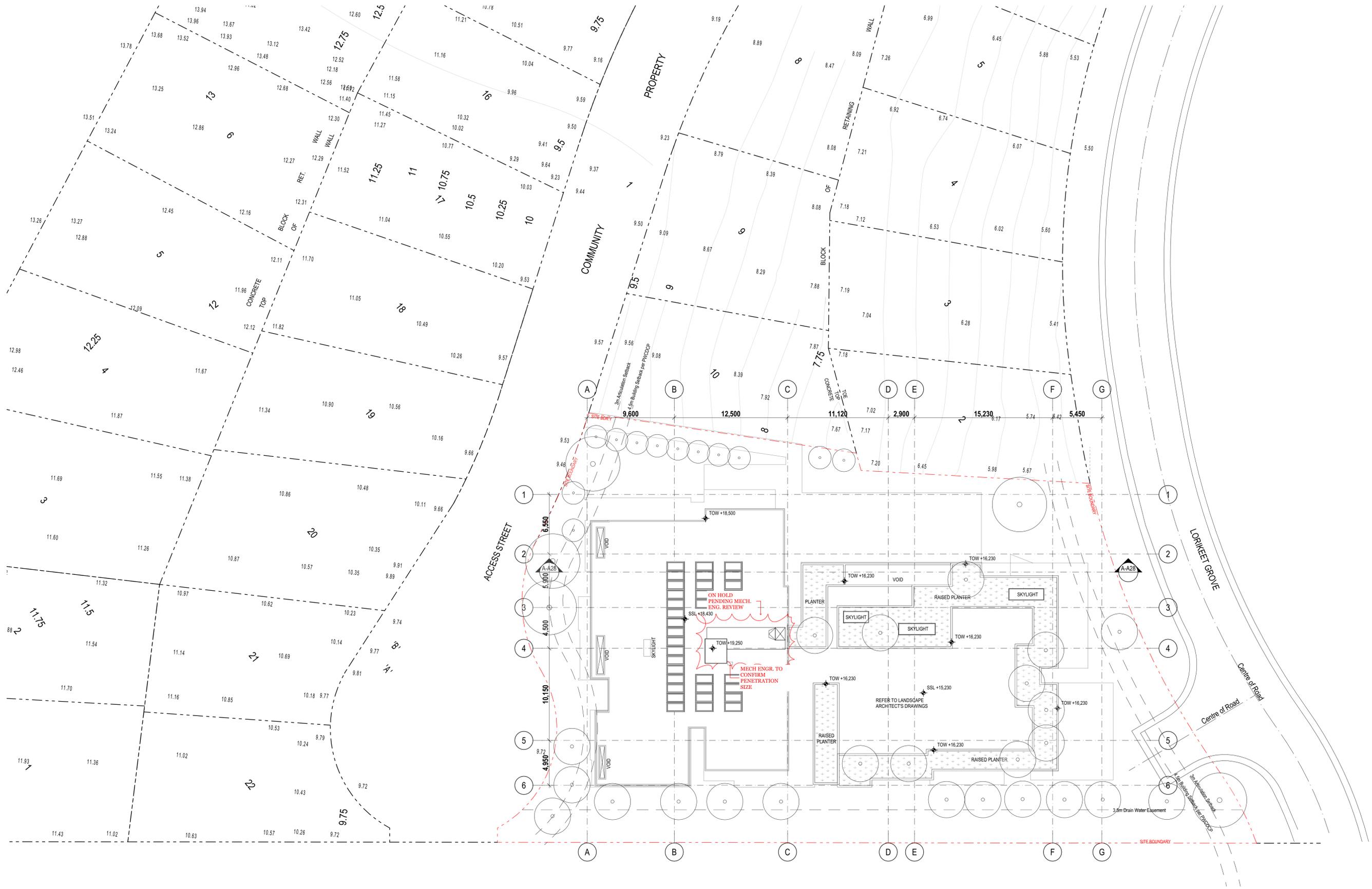


Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: MJ  
Checked By: DN  
Date: 25/06/2021  
Scale:

Drawing Series: Site & Setout Drawings  
Drawing Name: Site Plan  
Drawing Number: A2001  
Revision: 01

Project: Warriewood Apts  
 Drawing: Site Plan  
 Date: 25/06/2021  
 Scale: 1:200  
 Author: MJ  
 Checker: DN  
 Title: Site Plan



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01	25/06/2021	EM/BL	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

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David Randerson 8342



Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

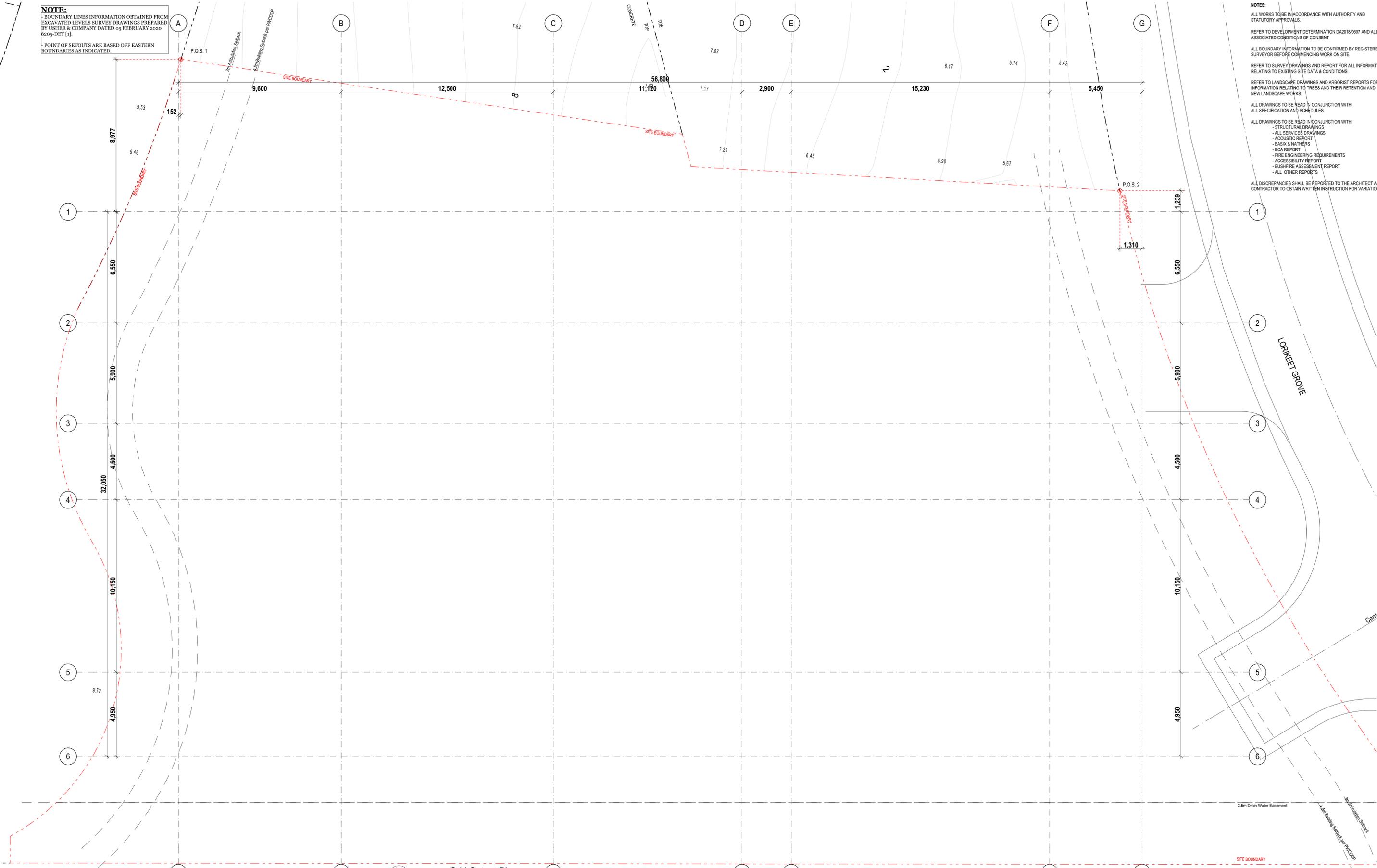
Drawn By: EM/BL  
Checked By: \*\*\* Not in Use \*\*\*\*\*  
Date: 25/06/2021  
Scale:

Drawing Series: Site & Setout Drawings  
Drawing Name: Demolition Plan  
Drawing Number: A2002  
Revision: 01

Project: Warriewood Apts  
 Drawing: Demolition Plan  
 Date: 25/06/2021  
 Scale: 1:200  
 Author: EM/BL  
 Checker: DN  
 Title: Site & Setout Drawings

**NOTE:**  
 BOUNDARY LINES INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET [1].  
 POINT OF SETOUTS ARE BASED OFF EASTERN BOUNDARIES AS INDICATED.

**NOTES:**  
 ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.  
 REFER TO DEVELOPMENT DETERMINATION DA2018/0067 AND ALL ASSOCIATED CONDITIONS OF CONSENT  
 ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR BEFORE COMMENCING WORK ON SITE.  
 REFER TO SURVEY DRAWINGS AND REPORT FOR ALL INFORMATION RELATING TO EXISTING SITE DATA & CONDITIONS.  
 REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:  
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 - ALL SERVICES DRAWINGS  
 - ACOUSTIC REPORT  
 - BASIX & NATHERS  
 - BCA REPORT  
 - FIRE ENGINEERING REQUIREMENTS  
 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
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Grid Setout Plan  
 1:100

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T01	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
00	30/03/2020	MJ	RS	For Construction
01	20/02/2020	MJ	RS	For Construction
02	24/03/2020	MJ	RS	For Construction
03	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
01	-	-	-	-

Consultants

**WBB DESIGN**

**PDSGROUP**

**IGS**

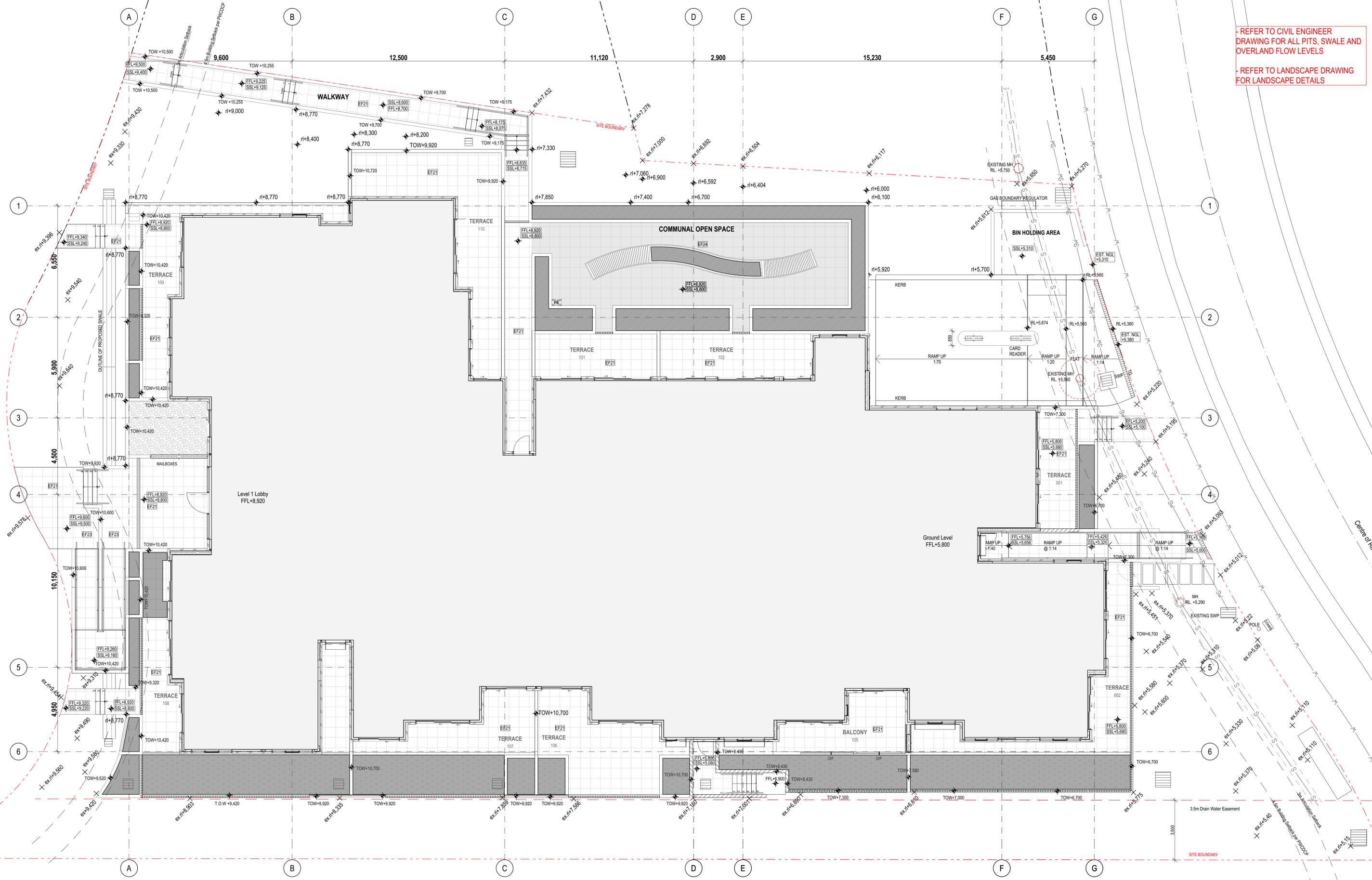
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 Koos de Keijzer 5767  
 David Randerson 8542



Project Name	Warriewood Apts	Drawing Series	Site & Setout Drawings
Project Number	11268	Drawing Name	Grid Setout Plan
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A2003</b>
Drawn By	MJ	Revision	<b>03</b>
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: Grid Setout Plan  
 Date: 25/06/2021  
 Scale: 1:100  
 Author: MJ  
 Checker: \*\*\* Not in Use \*\*\*\*\*  
 Date: 25/06/2021  
 Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: Grid Setout Plan  
 Date: 25/06/2021  
 Scale: 1:100  
 Author: MJ  
 Checker: \*\*\* Not in Use \*\*\*\*\*  
 Date: 25/06/2021

- REFER TO CIVIL ENGINEER DRAWING FOR ALL PITS, SWALE AND OVERLAND FLOW LEVELS  
 - REFER TO LANDSCAPE DRAWING FOR LANDSCAPE DETAILS



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Rev.	Issue Date	By	Chk	Description
00	20/07/2020	MJ	DN	Issue for Construction
01	31/08/2020	MJ	DN	Issue for Coordination
02	7/08/2020	MJ	DN	Issue for Coordination
03	20/08/2020	MJ	DN	TOW level corrected along terrace 002. TOW shown along main entry ramp and also adjustment. Level adjusted along grid 1E as coordinated with civil drawings
04	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
00	20/07/2020	MJ	DN	Issue for Construction
01	31/08/2020	MJ	DN	Issue for Coordination
02	7/08/2020	MJ	DN	Issue for Coordination
03	20/08/2020	MJ	DN	TOW level corrected along terrace 002. TOW shown along main entry ramp and also adjustment. Level adjusted along grid 1E as coordinated with civil drawings
04	25/06/2021	MJ	DN	Works as Executed

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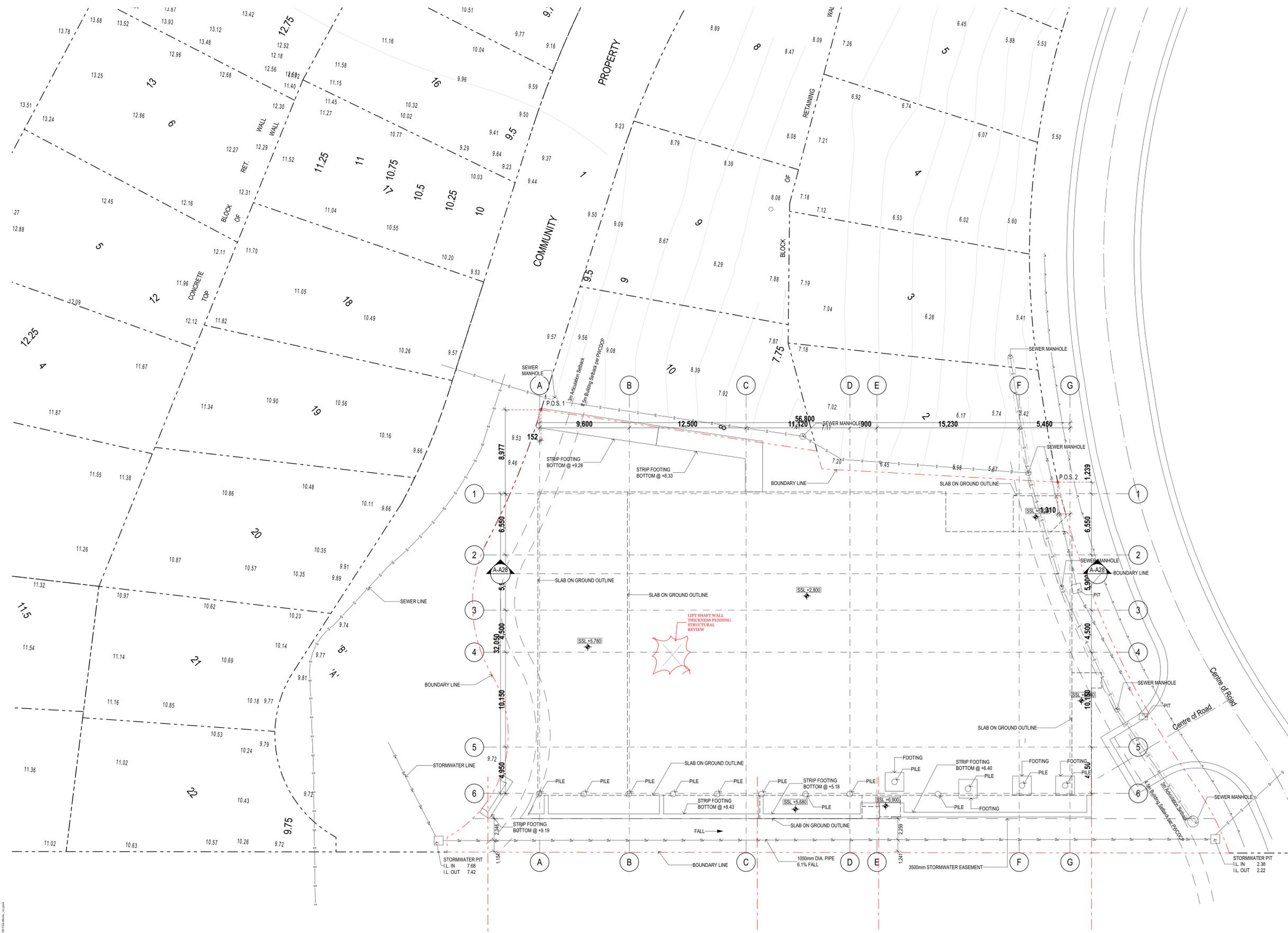


Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: MJ  
 Checked By: DN  
 Date: 25/06/2021  
 Scale:

Drawing Series: Site & Setout Drawings  
 Drawing Name: External Works  
 Drawing Number: **A2004**  
 Revision: **04**

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: A2004 - Site & Setout Drawings - External Works - Revision 04  
 Date: 25/06/2021  
 Author: MJ  
 Checker: DN  
 Scale: 1:100  
 Project Manager: David Randerson  
 Architect: DKO Architecture (NSW) Pty Ltd  
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**NOTES:**  
 PITS I.L. TO BE CONFIRMED BY CIVIL ENGINEER  
 PITS BOTTOM SLAB 150MM THICK TO BE CONFIRMED BY CIVIL ENGINEER  
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**LEGEND:**  
 S SEWER LINE  
 SW STORMWATER LINE

**DISCLAIMER:**  
 STORMWATER SITE PLAN BASED OFF THE FOLLOWING INFORMATION

- WORKS AS EXECUTED SURVEY DRAWINGS PREPARED BY CRAIG & RHODES DATED 13 MARCH 2018
  - 1762C CC 004 WAE [03]
  - 1762C CC 005 WAE [08]
  - 1762C CC 008 WAE [00]
  - 1762C CC 031 WAE [00]
  - 1762C CC 032 WAE [02]
  - 1762C CC 033 WAE [06]
  - 1762C CC 034 WAE [00]
  - 1762C CC 036 WAE [02]
  - 1762C CC 037 WAE [01]
  - 1762C CC 038 WAE [03]
  - 1762C CC 039 WAE [02]
  - 1762C CC 061 WAE [00]
  - 1762C CC 063 WAE [00]
  - 1762C CC 065 WAE [03]
  - 1762C CC 066 WAE [04]
  - 1762C CC 067 WAE [04]
  - 1762C CC 068 WAE [02]
  - 1762C CC 069 WAE [02]
  - 1762C CC 070 WAE [02]
  - 1762C CC 071 WAE [01]
- EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 - 6205-DET [1]
- STRUCTURAL FOUNDATION DRAWINGS S030 & S031 REV P1 DATED 23 AUGUST 2019 AND MARK UP REFERENCE WD18175\_2019-11-11 WARRIEWOOD APARTMENTS FOUNDATION INFORMATION DATED 13 NOVEMBER 2019 PREPARED BY WEBBER DESIGN

DKO TAKE NO RESPONSIBILITY FOR ACCURACY OF DIMENSIONS/LEVELS

**01 Public Stormwater Drainage Plan**  
 1:200

Rev.	Issue Date	By	Chk	Description
P1	12/11/2019	EM	RS	For Review
P2	22/11/2019	EM	RS	For Deferred Commencement Condition 1
P3	11/12/2019	EM	RS	For Deferred Commencement Condition 1
P4	5/01/2020	RS/EM	MR	For Deferred Commencement Condition 1
P5	7/02/2020	RS	MR	For Deferred Commencement Condition 1
P6	25/06/2021	RS	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

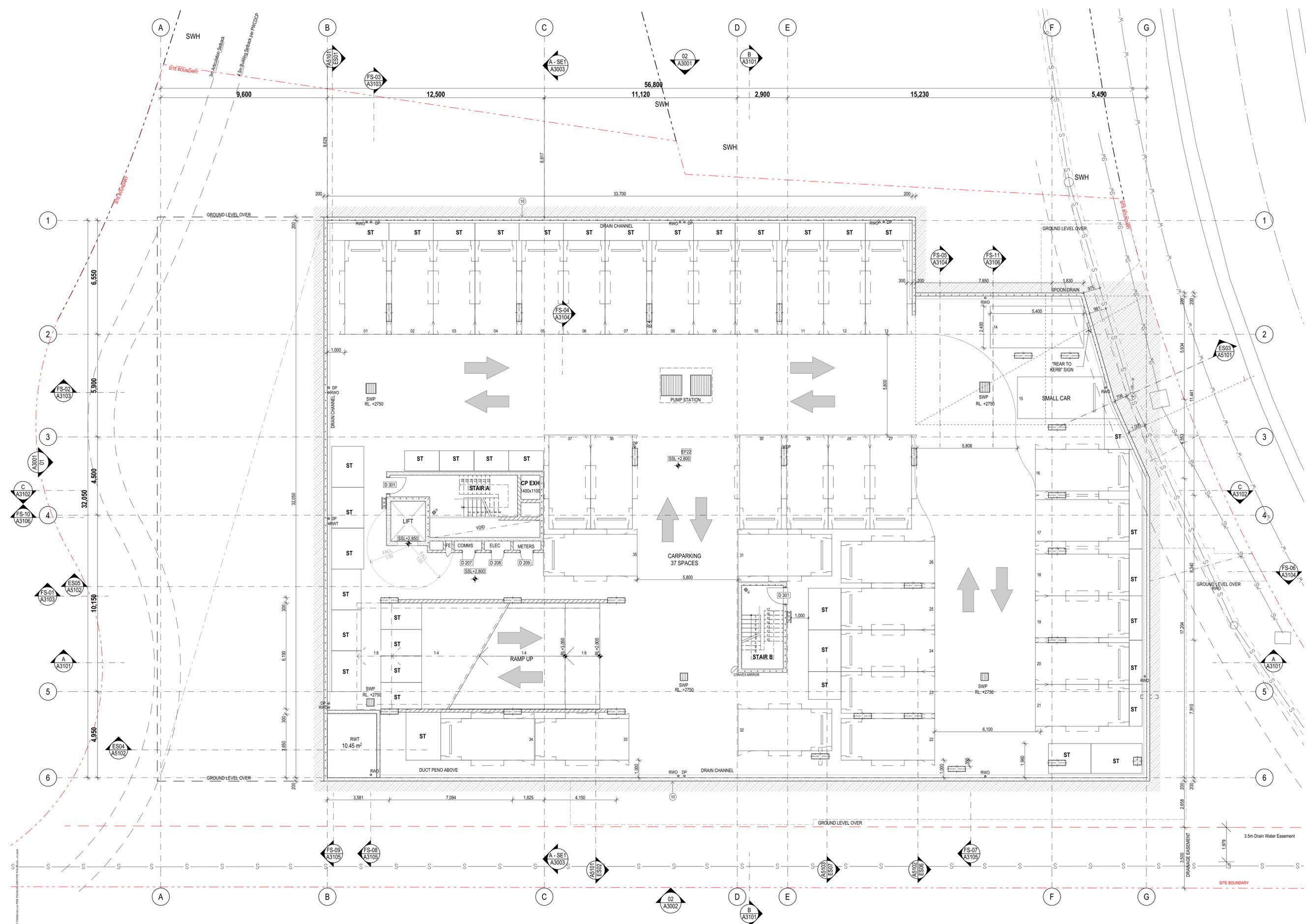


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Project Name	Warriewood Apts	Drawing Series	Site & Setout Drawings
Project Number	1268	Drawing Name	Public Stormwater Drainage plan
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2004
Drawn By	RS	Revision	P6
Checked By	*** Not in Use ****		
Date	25/06/2021		
Scale			

Project: 1268 - Warriewood Apts  
 Drawing: A2004 - Public Stormwater Drainage Plan  
 Date: 25/06/2021  
 Scale: 1:200  
 Author: RS  
 Checker: DN  
 Title: Public Stormwater Drainage Plan



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**LEGEND**

DP	DOWNPIPE
DPCI	DOWNPIPE CAST IN
RWO	RAIN WATER OUTLET
RWO	RAIN WATER OUTLET - CAST IN
O/F	OVERFLOW
BOL	BOLLARD
SW	STORMWATER
S	SEWER
W	WATER
BT-01	BALUSTRADE TYPE 01. REFER A6501 FOR DETAILS.
ST-01	SCREEN TYPE 01. REFER A6601 FOR DETAILS.
PLANTER	PLANTER: REFER LANDSCAPE ARCHITECT FOR W/PROOFING & DRAINAGE DETAILS AND WALL CAPPING DETAIL.

**GAP KEYNOTES LEGEND**

01	LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
G.L.	SET MIN. 150mm BELOW F.L. LOUVERED GRILLE SILLS.
02	PAVING: REFER A6601 FOR DETAILS. <b>NOT TO USE</b> SURFACES.
04	ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
06	CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

**10** BASEMENT & SUB-GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENG'S DETAIL.

**11** STRIP FOOTINGS, RAMPS & ON-GROUND SLABS TO STRUCT. ENG DETAIL.

**12** -

**13** MECH. RISER WITH PLANTER ABOVE

**14** BASE FIXED SCREENS TO STRUCT. ENG'S DETAIL.

**20** PARAPET CAPPING, POWDERCOAT FINISH.

**21** FRAMED ROOF BELOW, FLAT SHEET ROOFING OVER BASE BOARD AT 2" FALL, COLORBOND FINISH.

**22** CONC. ROOF SET TO MIN. 1:100 FALLS TO RWO, W/PROOF MEMBRANE OVER.

**23** O/F CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.

**24** CONC. LIFT ROOF SLAB SET TO 2" FALL, W/PROOF MEMBRANE OVER.

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P1	14/06/2019	EM/BL	RS/DN	For Coordination
P2	21/06/2019	EM/BL	RS/DN	For Coordination
P3	19/07/2019	BL/EM	RS/DN	For Coordination
P4	18/07/2019	BL/EM	RS/DN	For Coordination
P5	29/07/2019	EM/BL	RS/DN	For Coordination
Tot1	19/08/2019	EM/BL	RS/DN	For Tender
A	4/02/2020	MJ	RS	For Coordination
B	16/02/2020	MJ	RS	For Coordination
C	13/02/2020	MJ	RS	For Coordination
D	18/02/2020	MJ	RS	For Coordination

Rev.	Issue Date	By	Chk	Description
E	21/02/2020	MJ	RS	For Construction Certificate 1
F	28/02/2020	MJ	RS	For Hydraulic Coordination
G	6/03/2020	MJ	RS	For Construction Certificate 1
00	19/03/2020	MJ	RS	For Construction
01	26/03/2020	MJ	RS	Revised Lift Shaft Wall Thickness to 200mm, Omit Middle Wall to Fire Stairs A & B
02	19/07/2020	DN/MJ	DN	As Clouded, intermedia landing adjusted
03	17/07/2020	DN/MJ	DN	As Clouded, Car parking space amended
04	3/03/2021	DN/MJ	DN	Revised storage, as clouded
05	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

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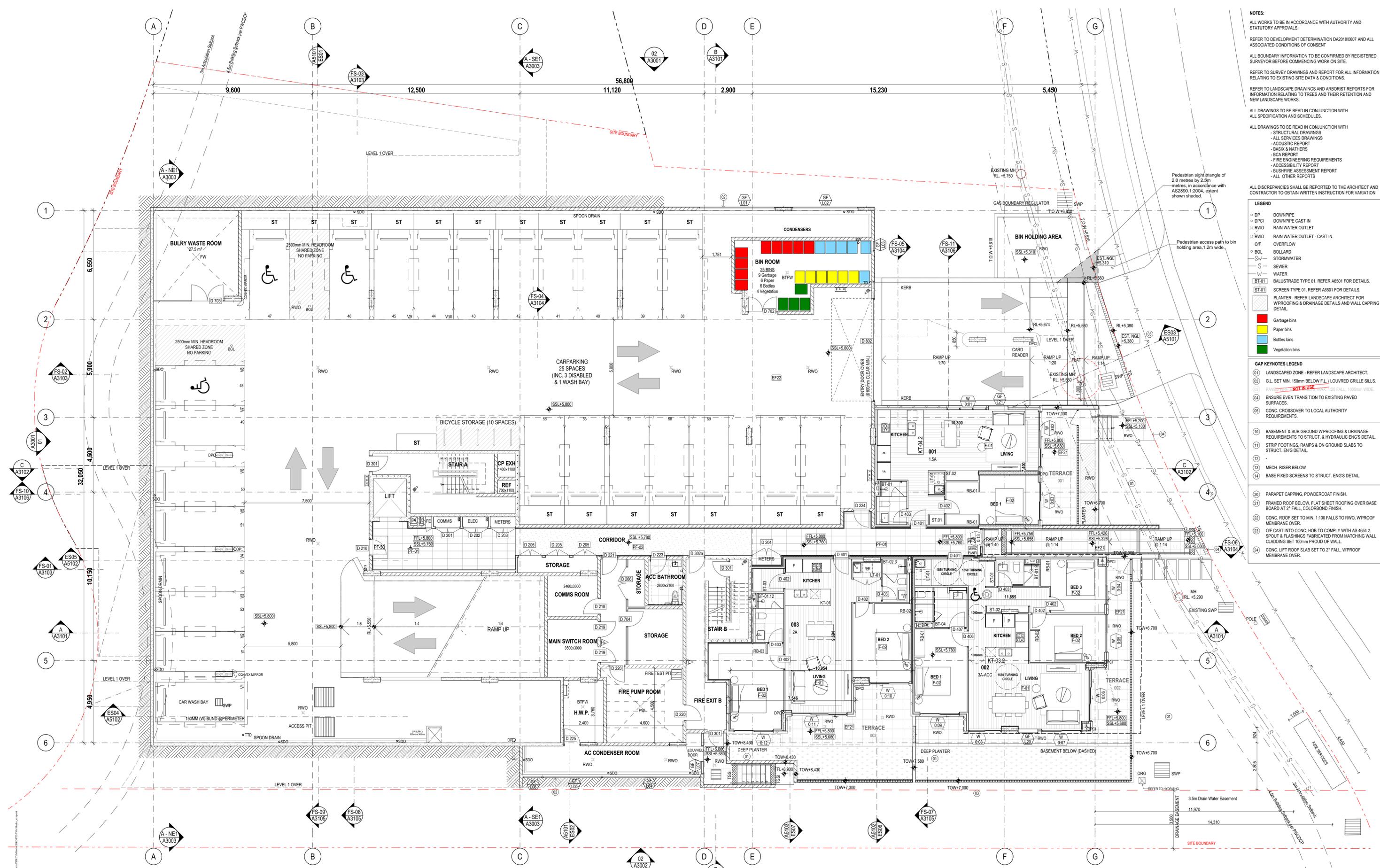


Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: DN/MJ  
 Checked By: RS  
 Date: 25/06/2021  
 Scale:

Drawing Series: General Arrangement Plans  
 Drawing Name: GAP Basement Level

Drawing Number: **A2101**  
 Revision: **05**



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- LEGEND**
- DP DOWNPIPE
  - DPCI DOWNPIPE CAST IN
  - RWO RAIN WATER OUTLET
  - RWO RAIN WATER OUTLET - CAST IN
  - OF OVERFLOW
  - BOL BOLLARD
  - SW STORMWATER
  - S SEWER
  - W WATER
  - BT-01 BALUSTRADE TYPE 01. REFER A6501 FOR DETAILS.
  - ST-01 SCREEN TYPE 01. REFER A6501 FOR DETAILS.
  - PLANTER REFER LANDSCAPE ARCHITECT FOR W/PROOFING & DRAINAGE DETAILS AND WALL CAPPING DETAIL.
  - Garbage bins
  - Paper bins
  - Bottles bins
  - Vegetation bins

- GAP KEYNOTES LEGEND**
- 01 LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
  - 02 G.L. SET MIN. 150mm BELOW F.L./LOUVER GRILLE SILLS.
  - 03 FINISH TO BE ~~NOT IN USE~~ 120 FALL, 1000mm WIDE.
  - 04 ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
  - 06 CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.
  - 10 BASEMENT & SUB GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENGS DETAIL.
  - 11 STRIP FOOTINGS, RAMPS & ON GROUND SLABS TO STRUCT. ENGS DETAIL.
  - 12 -
  - 13 MECH. RISER BELOW
  - 14 BASE FIXED SCREENS TO STRUCT. ENGS DETAIL.
  - 20 PARAPET CAPPING, POWDERCOAT FINISH.
  - 21 FRAMED ROOF BELOW, FLAT SHEET ROOFING OVER BASE BOARD AT 2" FALL, COLORBOND FINISH.
  - 22 CONC. ROOF SET TO MIN. 1:100 FALLS TO RWO, W/PROOF MEMBRANE OVER.
  - 23 O/F CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
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C	13/02/2020	MJ	RS	For Coordination
D	18/02/2020	MJ	RS	For Coordination
E	21/02/2020	MJ	RS	For Construction Certificate 1
F	28/02/2020	MJ	RS	For Hydraulic Coordination
G	01/03/2020	MJ	RS	For Construction Certificate 1
00	13/05/2020	MJ	RS	For Construction
01	22/05/2020	MJ	RS/DN	For Construction
02	4/06/2020	AD	DN	For Construction

Rev.	Issue Date	By	Chk	Description
03	25/06/2020	DN/AL	DN	As Cladded
04	30/06/20	DN	DN	F.L.P. panel shown at entry
05	9/07/2020	DN/MJ	DN	Revised Fire services entrance location As Cladded, intermedia landing adjusted
06	19/08/2020	DN/MJ	DN	As Cladded, 002-entry door location revised, Vanity rotated in ensuite. 003- Window revised to sliding door, Vanity and pan away. Misc FIP panel revised. Retaining wall along terrace 002 and 003 height revised with balustrade on top.
07	2/09/2020	DN/MJ	DN	Sliding doors flipped
08	11/01/2020	DN/MJ	DN	Issue for Kitchen layout coordination
09	8/01/2020	DN/MJ	DN	Door revised, mechanical louvers added on walls, mimic panel size updated
10	22/06/2021	DN/MJ	DN	Works as Executed

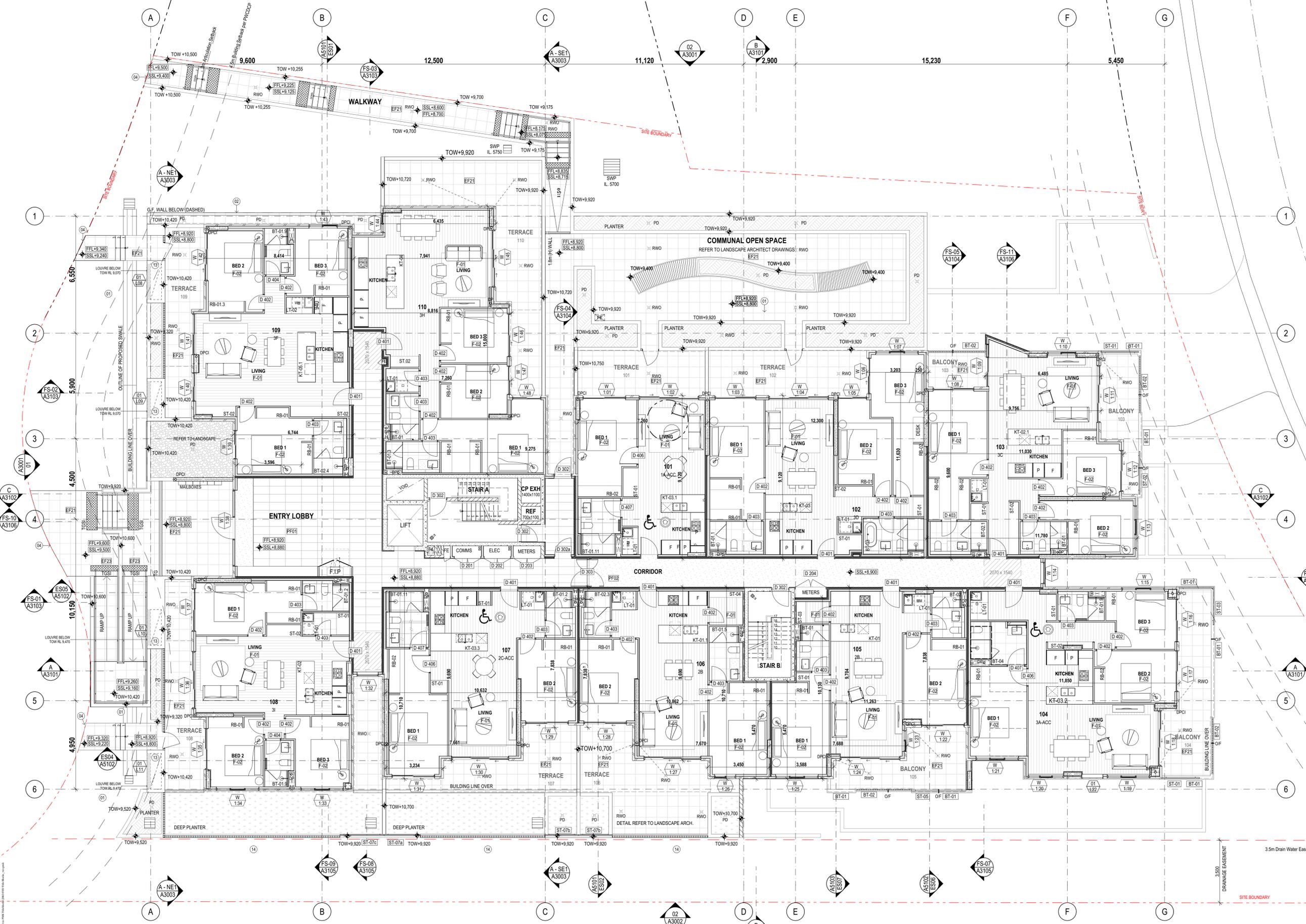


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Project Name: Warriewood Apts  
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 Project Address: 31 Warriewood Road, Warriewood, NSW 2102  
 Drawn By: DN/MJ  
 Checked By: RS  
 Date: 25/06/2021  
 Scale:

Drawing Series: General Arrangement Plans  
 Drawing Name: GAP Ground Level  
 Drawing Number: A2102  
 Revision: 10



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 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
 - ALL OTHER REPORTS  
 ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

**LEGEND**

DP	DOWNPIPE
DPCI	DOWNPIPE CAST IN
RWO	RAIN WATER OUTLET
RWO	RAIN WATER OUTLET - CAST IN
OF	OVERFLOW
OF	OVERFLOW - CAST IN
BOL	BOLLARD
SW	STORMWATER
S	SEWER
W	WATER
BT-01	BALUSTRADE TYPE 01. REFER A6501 FOR DETAILS.
ST-01	SCREEN TYPE 01. REFER A6601 FOR DETAILS.
PLANTER	PLANTER - REFER LANDSCAPE ARCHITECT FOR W/PROOFING & DRAINAGE DETAILS AND WALL CAPPING DETAIL.

**GAP KEYNOTES LEGEND**

01	LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
02	G.L. SET MIN. 150mm BELOW F.L. / LOUVRE GRILLE SILLS SURFACES.
04	REFER TO LANDSCAPE ARCHITECT FOR DETAILS. <b>NOT TO BE USED</b>
05	ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
06	CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

10	BASEMENT & SUB-GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENGS DETAIL.
11	STRIP FOOTINGS, RAMPS & ON-GROUND SLABS TO STRUCT. ENG DETAIL.
12	-
13	MECH RISER BELOW
14	BASE FIXED SCREENS TO STRUCT. ENGS DETAIL.

20	PARAPET CAPPING, POWDERCOAT FINISH.
21	FRAMED ROOF BELOW, FLAT SHEET ROOFING OVER BASE BOARD AT 2" FALL, COLORBOND FINISH.
22	CONC. ROOF SET TO MIN. 1:100 FALLS TO RWO, W/PROOF MEMBRANE OVER.
23	OF CAST INTO CONC. HOBS TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
24	CONC. LIFT ROOF SLAB SET TO 2" FALL, W/PROOF MEMBRANE OVER.

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk.	Description
D	31/03/2020	RS	RS	For Coordination
00	10/03/2020	MJ	RS	For Construction
01	22/05/2020	MJ	RS/DN	For Construction
02	4/06/2020	MJ/DN	AD	DN For Construction
03	3/07/2020	DN	DN	DN
04	9/07/2020	DN/MJ	DN	As Cloned, intermedia landing adjusted; Unit type 3H storage and laundry layout revised; Door tags added
05	30/08/2020	DN/MJ	DN	Revised column locations and sizes; Wall types revised along party walls; Wall types along access paths. L2a added in 104
06	20/08/2020	DN/MJ	DN	Communal area tiles revised to EF21, D39a revised to asymmetrical door, Louvre L08 & Louvres revised to EF21, D39a revised to asymmetrical door, Louvre L08 & Louvres revised to EF21, D39a revised to asymmetrical door, Louvre L08 & Louvres revised to EF21, D39a revised to asymmetrical door
07	15/09/2020	DN/MJ	DN	Planners removed along Terrace 108, 109. Gate tags added. Updated screen tags 102 wall alignment with door
08	12/10/2020	DN/MJ	DN	Issue for Kitchen layout and plan. Window heads removed. Louvre L08 layout revised to original Tender documentation layout. D39a along access paths. L2a added in 104
09	18/11/2020	DN/MJ	DN	Revised clear door opening along hallways in 108-109 D39a added. Door type D39a along access paths. L2a added in 104
10	25/06/2021	DN/MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description
06	15/09/2020	DN/MJ	DN	Planners removed along Terrace 108, 109. Gate tags added. Updated screen tags 102 wall alignment with door
07	1/10/2020	DN/MJ	DN	Issue for Kitchen layout and plan. Window heads removed. Louvre L08 layout revised to original Tender documentation layout. D39a along access paths. L2a added in 104
08	12/10/2020	DN/MJ	DN	Revised clear door opening along hallways in 108-109 D39a added. Door type D39a along access paths. L2a added in 104
09	18/11/2020	DN/MJ	DN	Communal area tiles revised to EF21, D39a revised to asymmetrical door, Louvre L08 & Louvres revised to EF21, D39a revised to asymmetrical door, Louvre L08 & Louvres revised to EF21, D39a revised to asymmetrical door
10	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

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**RSBESON**

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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8542

Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 33 Warriewood Road, Warriewood, NSW 2102

Drawing Series: General Arrangement Plans  
 Drawing Name: GAP Level 1

Drawn By: DN/MJ  
 Checked By: RS  
 Date: 25/06/2021  
 Scale:

Drawing Number: **A2103**  
 Revision: **10**



**NOTES:**

- ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.
- REFER TO DEVELOPMENT DETERMINATION DA2018/0667 AND ALL ASSOCIATED CONDITIONS OF CONSENT
- ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR BEFORE COMMENCING WORK ON SITE.
- REFER TO SURVEY DRAWINGS AND REPORT FOR ALL INFORMATION RELATING TO EXISTING SITE DATA & CONDITIONS.
- REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
  - STRUCTURAL DRAWINGS
  - ALL SERVICES DRAWINGS
  - ACOUSTIC REPORT
  - BASIX & NATHERS
  - BCA REPORT
  - FIRE ENGINEERING REQUIREMENTS
  - ACCESSIBILITY REPORT
  - BUSHFIRE ASSESSMENT REPORT
  - ALL OTHER REPORTS
- ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

**LEGEND**

○ DP	DOWNPIPE
○ DPCI	DOWNPIPE CAST IN
⊗ RWO	RAIN WATER OUTLET
⊗ RWO	RAIN WATER OUTLET - CAST IN
○ OF	OVERFLOW
○ BOL	BOLLARD
○ SW	STORMWATER
○ S	SEWER
○ W	WATER
BT-01	BALUSTRADE TYPE 01. REFER A6501 FOR DETAILS.
ST-01	SCREEN TYPE 01. REFER A6601 FOR DETAILS.
PL	PLASTER - REFER LANDSCAPE ARCHITECT FOR W/PROOFING & DRAINAGE DETAILS AND WALL CAPPING DETAIL.

**GAP KEYNOTES LEGEND**

01	LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
02	G.L. SET MIN. 150mm BELOW F.L. / LOUVER GRILLE SILLS.
03	PAVING - <del>REFER A6501 FOR DETAILS</del> - REFER A6501 FOR DETAILS. <b>NOT TO BE USED</b>
04	ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
05	CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

10	BASEMENT & SUB-GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENGS DETAIL.
11	STRIP FOOTINGS, RAMPS & ON-GROUND SLABS TO STRUCT. ENG DETAIL.
12	-
13	MECH. RISER BELOW
14	BASE FIXED SCREENS TO STRUCT. ENGS DETAIL.

20	PARAPET CAPPING, POWDERCOAT FINISH.
21	FRAMED ROOF BELOW. FLAT SHEET ROOFING OVER BASE BOARD AT 2" FALL. COLORBOND FINISH.
22	CONC. ROOF SET TO MIN. 1:100 FALLS TO RWO. W/PROOF MEMBRANE OVER.
23	OF CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
24	CONC. LIFT ROOF SLAB SET TO 2" FALL. W/PROOF MEMBRANE OVER.

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Rev.	Issue Date	By	Chk	Description
P4	18/07/2019	BL/EM	RS/DN	For Coordination
P5	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	4/02/2020	MJ	RS	For Coordination
B	5/02/2020	MJ	RS	For Construction Certificate 1
C	28/02/2020	MJ	RS	For Hydraulic Coordination
D	31/03/2020	RS	RS	For Coordination
00	16/05/2020	MJ	RS	For Construction
01	25/05/2020	MJ	RS/DN	For Construction
02	4/06/2020	AD	DN	For Construction

Rev.	Issue Date	By	Chk	Description
03	30/06/20	DN	DN	Revised column locations and sizes; Wall types revised along party walls; Wall alignment and additional wall linings within apartments; Bathroom revisions; Laundry/stove revised along 208 & 211; Lobby SSL revised.
04	9/07/2020	DN/MJ	DN	At Closed, intermediate landing adjusted; Unit type 31 storage and laundry layout revised; Door tags added.
05	19/08/2020	DN/MJ	DN	Window revised to sliding door in units 201,202,203,209. Sliding doors flipped in units 202,203,204,206,209,210. Unit 204 main entry Vanity revised. Bathroom revised in unit 201. Ensuite revised in Unit 207. Robe revised in unit 205. Kitchen revised to original layout in unit 203.
06	15/09/2020	DN/MJ	DN	102 wall alignment with door, skylight layout revised over.
07	1/10/2020	DN/MJ	DN	Issue for Kitchen layout coordination.
08	03/10/2020	DN/MJ	DN	Revised door opening along bathroom in 208. L23 added in 204.
09	18/11/2020	DN/MJ	DN	D203 revised to asymmetrical door.
10	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

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David Randerson 8342

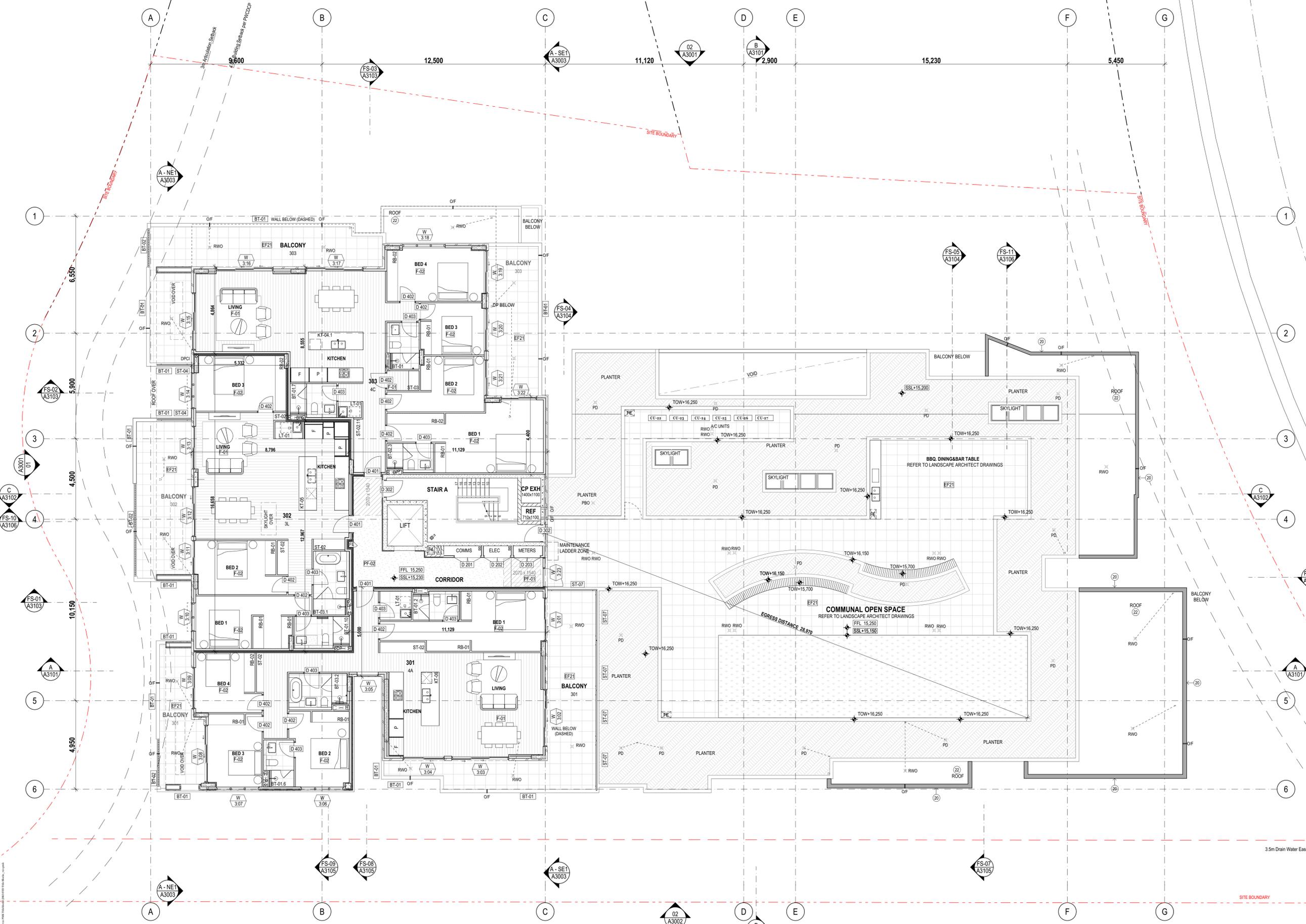


Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: DN/MJ  
Checked By: RS  
Date: 25/06/2021  
Scale:

Drawing Series: General Arrangement Plans  
Drawing Name: GAP Level 2

Drawing Number: **A2104**  
Revision: **10**



**NOTES:**  
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 REFER TO DEVELOPMENT DETERMINATION DA2018/0667 AND ALL ASSOCIATED CONDITIONS OF CONSENT.  
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 ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**

DP	DOWNPIPE
DPCI	DOWNPIPE CAST IN
RWO	RAIN WATER OUTLET
RWO	RAIN WATER OUTLET - CAST IN
OF	OVERFLOW
BOL	BOLLARD
SW	STORMWATER
S	SEWER
W	WATER
BT-01	BALUSTRADE TYPE 01. REFER A6501 FOR DETAILS.
ST-01	SCREEN TYPE 01. REFER A6601 FOR DETAILS.
PLANTER	PLANTER. REFER LANDSCAPE ARCHITECT FOR W/PROOFING & DRAINAGE DETAILS AND WALL CAPPING DETAIL.

**GAP KEYNOTES LEGEND**

01	LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
02	G.L. SET MIN. 150mm BELOW F.L. LOUVERED GRILLE SILLS.
03	RAINWATER NOT IN USE
04	ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
05	CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

10	BASEMENT & SUB-GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENGS DETAIL.
11	STRIP FOOTINGS, RAMPS & ON-GROUND SLABS TO STRUCT. ENG DETAIL.
12	-
13	MECH. RISER BELOW
14	BASE FIXED SCREENS TO STRUCT. ENGS DETAIL.

20	PARAPET CAPPING, POWDERCOAT FINISH.
21	FRAMED ROOF BELOW. FLAT SHEET ROOFING OVER BASE BOARD AT 2" FALL. COLORBOND FINISH.
22	CONC. ROOF SET TO MIN. 1:100 FALLS TO RWO. W/PROOF MEMBRANE OVER.
23	OF CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
24	CONC. LIFT ROOF SLAB SET TO 2" FALL. W/PROOF MEMBRANE OVER.

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Rev.	Issue Date	By	Chk.	Description
Toi	12/08/2019	EM/BL	RS/DN	For Tender
A	4/02/2020	MJ	RS	For Coordination
B	5/02/2020	MJ	RS	For Construction Certificate 1
C	28/02/2020	MJ	RS	For Hydraulic Coordination
D	31/03/2020	RS	RS	For Coordination
00	10/03/2020	MJ	RS	For Construction
01	22/05/2020	MJ	RS/DN	For Construction
02	4/06/2020	MJ/DN	DN	For Construction
03	2/07/2020	DN	DN	Revised column locations and steel wall types
04	30/06/20	DN/MJ	DN	add back sliding party walls

Rev.	Issue Date	By	Chk.	Description
05	20/08/2020	DN/MJ	DN	Window revised to Sliding Door Unit 202. Sliding doors flipped in units 301, 302, 303. Ruler height revised and screen removed in balcony in 301. Main entry door moved in 302. Door swing revised in 303.
06	2/09/2020	DN/MJ	DN	Step removed along Cantilever. Sliding door height revised in communal area 302 above.
07	8/09/2020	DN/MJ	DN	Skylight layout revised.
08	1/10/2020	DN/MJ	DN	Issue for Kitchen layout coordination.
09	13/10/2020	DN/MJ	DN	Minor adjustments to reflect PSP updated drawing A203-nbs along door openings
10	18/10/2020	DN/MJ	DN	BBQ area tiles revert to EF21
11	15/12/2020	DN/MJ	DN	As Checked-302 Laundry wall setout revised, Capping top removed
12	25/06/2021	DN/MJ	DN	Works as Executed



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 NSW: Nominated Architects  
 Kos de Keijzer 5767  
 David Randerson 8342



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102  
 Drawn By: DN/MJ  
 Checked By: RS  
 Date: 25/06/2021  
 Scale:

Drawing Series: General Arrangement Plans  
 Drawing Name: GAP Level 3  
 Drawing Number: A2105  
 Revision: 12

**NOTES:**  
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 - ALL OTHER REPORTS  
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**LEGEND**

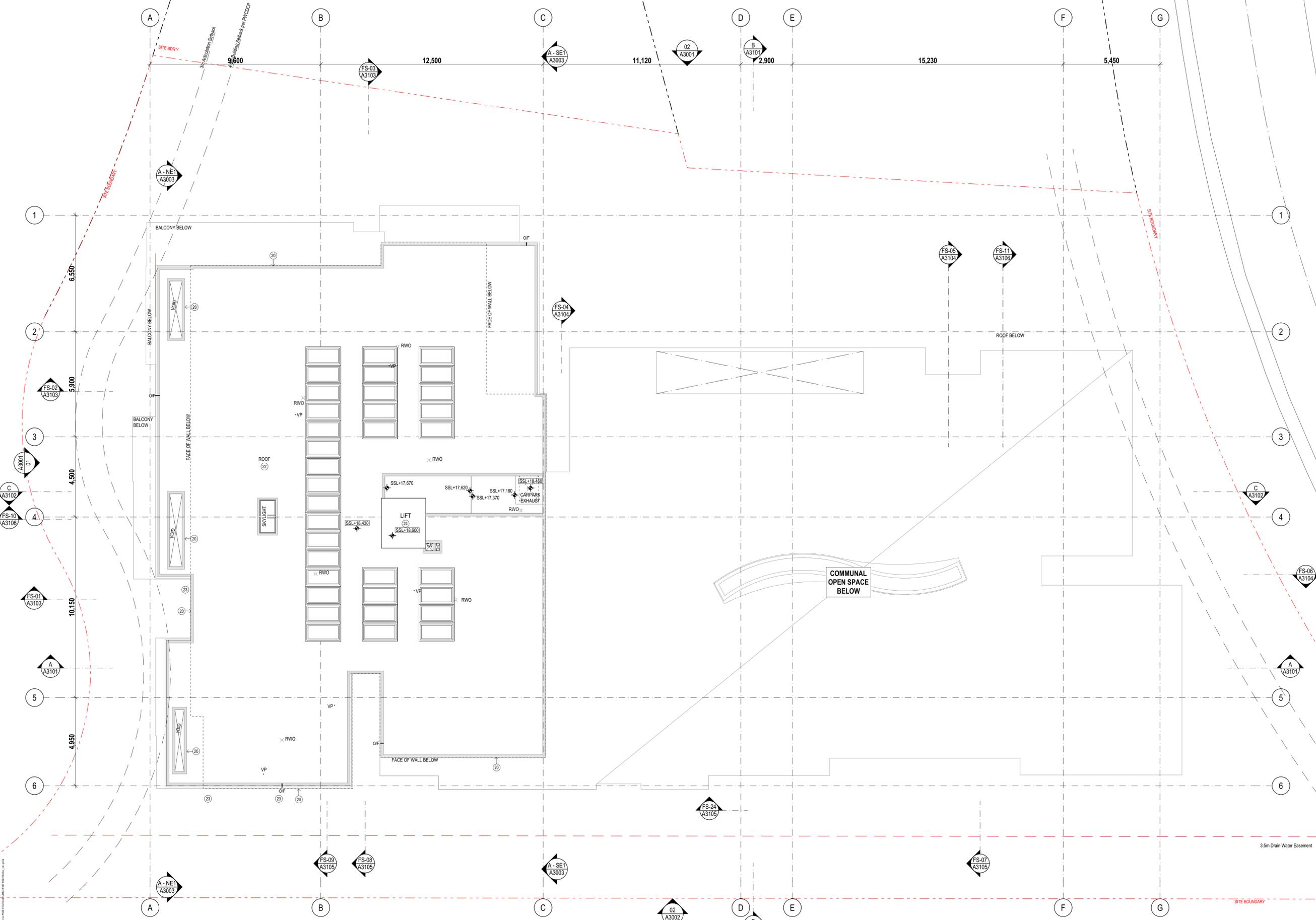
○ DP	DOWNPIPE
○ DPCI	DOWNPIPE CAST IN
⊗ RWO	RAIN WATER OUTLET
⊗ RWO	RAIN WATER OUTLET - CAST IN
OF	OVERFLOW
○ BOL	BOLLARD
Sw	STORMWATER
S	SEWER
W	WATER
BT-01	BALUSTRADE TYPE 01. REFER A6501 FOR DETAILS.
ST-01	SCREEN TYPE 01. REFER A6601 FOR DETAILS.
▨	PLANTER - REFER LANDSCAPE ARCHITECT FOR WPROOFING & DRAINAGE DETAILS AND WALL CAPPING DETAIL.

**GAP KEYNOTES LEGEND**

01	LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
02	G.L. SET MIN. 150mm BELOW F.L. LOUVERED GRILLE SILLS.
03	RAINWATER NOT IN USE
04	ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
05	CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

10	BASEMENT & SUB-GROUND WPROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENG'S DETAIL.
11	STRIP FOOTINGS, RAMPS & ON-GROUND SLABS TO STRUCT. ENG DETAIL.
12	-
13	MECH. RISER BELOW
14	BASE FIXED SCREENS TO STRUCT. ENG'S DETAIL.

20	PARAPET CAPPING, POWDERCOAT FINISH.
21	FRAMED ROOF BELOW. FLAT SHEET ROOFING OVER BASE BOARD AT 2° FALL. COLORBOND FINISH.
22	CONC. ROOF SET TO MIN. 1:100 FALLS TO RWO, WPROOF MEMBRANE OVER.
23	OF CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
24	CONC. LIFT ROOF SLAB SET TO 2° FALL. WPROOF MEMBRANE OVER.



Builder/Contractor shall verify job-dimensions before any job commences.  
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Rev.	Issue Date	By	Chk	Description
P1	14/06/2019	EM/BL	RS/DN	For Coordination
P2	21/06/2019	EM/BL	RS/DN	For Coordination
P3	19/07/2019	BL/EM	RS/DN	For Coordination
P4	18/07/2019	BL/EM	RS/DN	For Coordination
P5	20/07/2019	EM/BL	RS/DN	For Coordination
Tot1	19/08/2019	EM/BL	RS/DN	For Tender
A	4/02/2020	MJ	RS	For Coordination
B	5/02/2020	MJ	RS	For Construction Certificate 1
C	28/02/2020	MJ	RS	For Hydraulic Coordination
D	31/03/2020	RS	RS	For Coordination
00	16/05/2020	MJ	RS	For Construction

Rev.	Issue Date	By	Chk	Description
01	22/03/2020	MJ/DN	RS/DN	For Construction
02	4/06/2020	MJ/AD	DN	For Construction
03	21/07/2020	DN/MJ	DN	As Closed, Lift overrun level amended
04	8/09/2020	DN/MJ	DN	Skylight layout revised, Carpark exhaust peno revised
05	11/09/2020	DN/MJ	DN	Roof levels updated along Stair A Carpark exhaust
06	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

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Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: DN/MJ  
 Checked By: RS  
 Date: 25/06/2021  
 Scale:

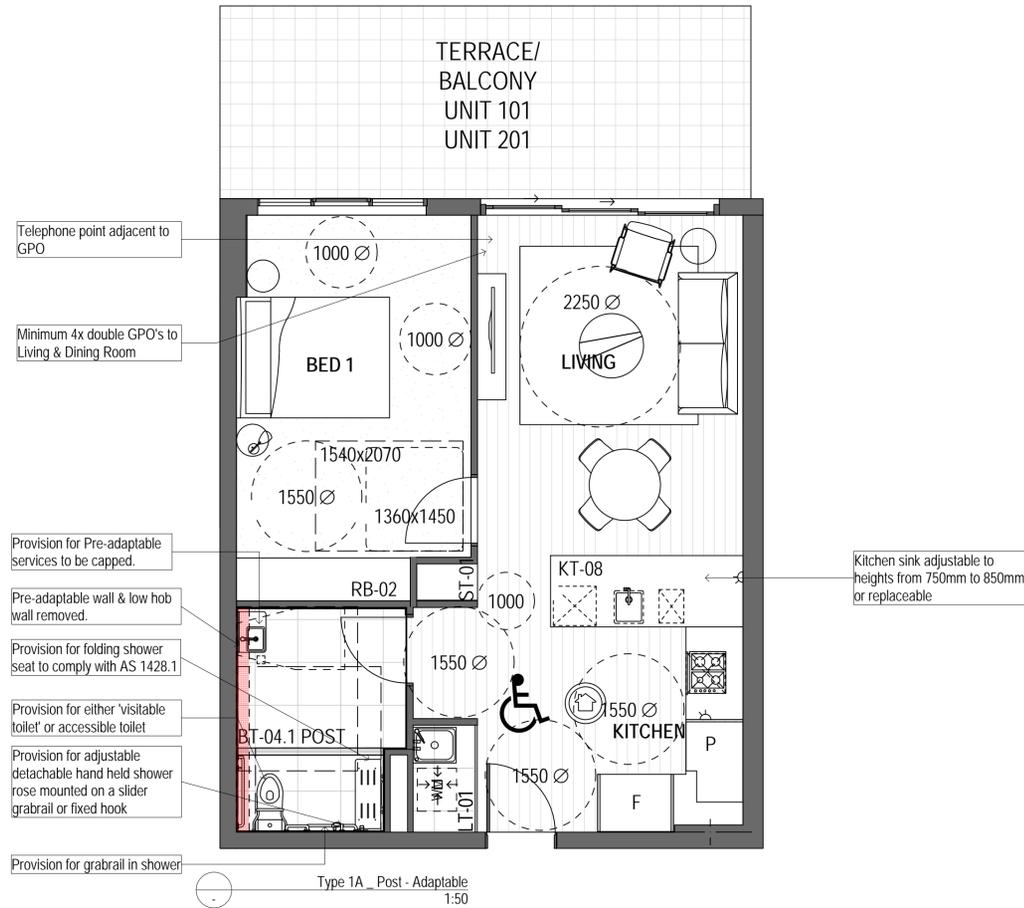
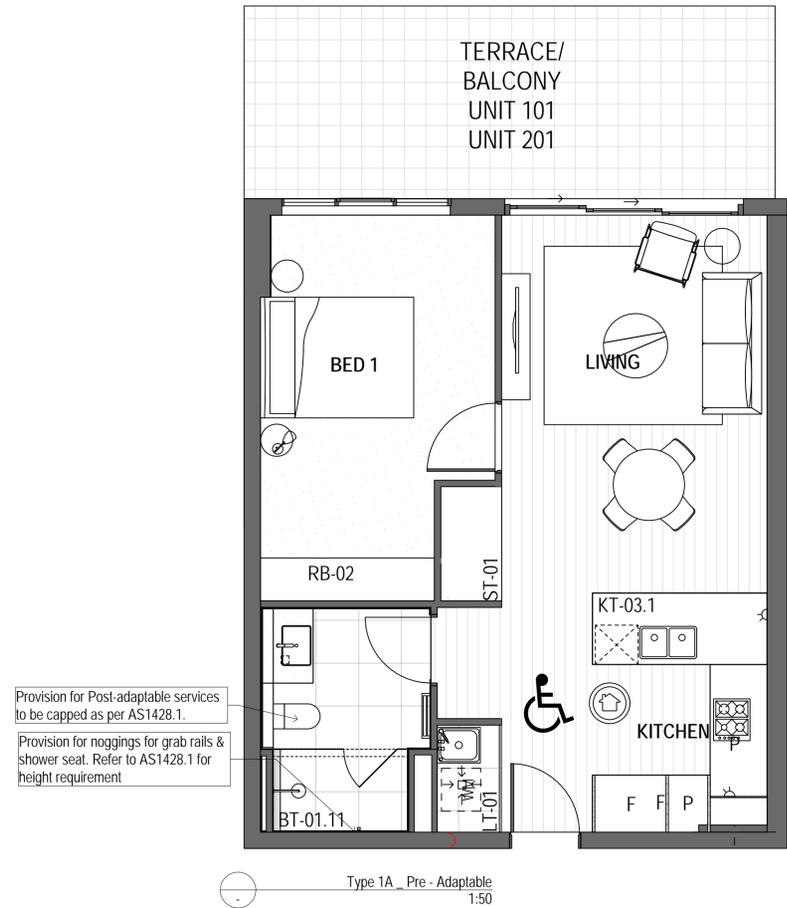
Drawing Series: General Arrangement Plans  
 Drawing Name: GAP Roof Plan  
 Drawing Number: **A2106**  
 Revision: **06**

**NOTES:**

- 6 units to 'Silver Level' LHA Standard.
- Basins, sink & tubs should feature lever or capstan style tap hardware with a central spout.

**ADAPTABLE APARTMENTS:**

- All switches & power point heights to comply with AS 4299 at installation.
- Switches located 900-1100mm above floor in line with door handles.
- GPOs located not less than 600mm above floor.
- window controls located in an accessible position.



Builder/Contractor shall verify job dimensions before any job commences  
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Rev.	Issue Date	By	Chk	Description
TU	12/08/2019	EM/BL	RS/IN	For Tender
A	4/02/2020	MJ	RS	For Coordination
B	13/02/2020	MJ	RS	For Coordination
C	6/03/2020	MJ/AD	RS/AD/IN	For Coordination
00	28/08/2020	MJ/AD	DN	For Construction-Updated Pre and Post Adaptable apartments
01	25/06/2020	MJ	DN	Work As Executed

Rev.	Issue Date	By	Chk	Description
00	28/08/2020	MJ/AD	DN	For Construction-Updated Pre and Post Adaptable apartments
01	25/06/2020	MJ	DN	Work As Executed

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**W R DESIGN**

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**DKO**

Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: MJ/AD  
Checked By: RS  
Date: 28/08/2020  
Scale:

Drawing Series: General Arrangement Plans  
Drawing Name: Adaptable Apartment Layout □\_Type 1A  
Drawing Number: **A2111**  
Revision: **00**

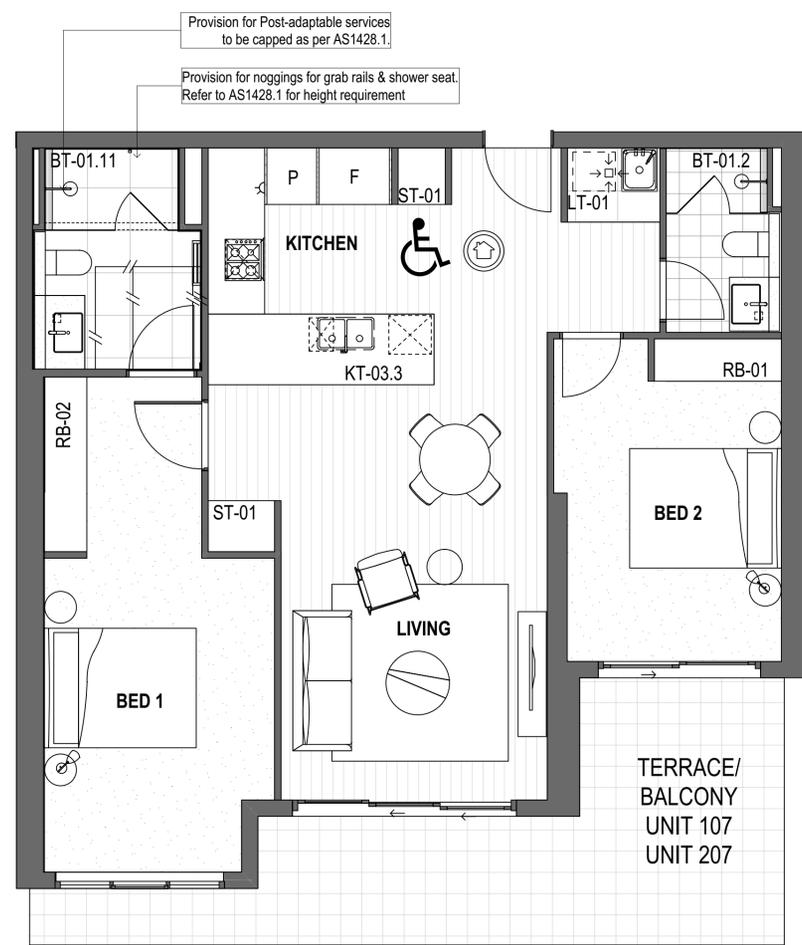
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- Basins, sink & tubs should feature lever or capstan style tap hardware with a central spout.

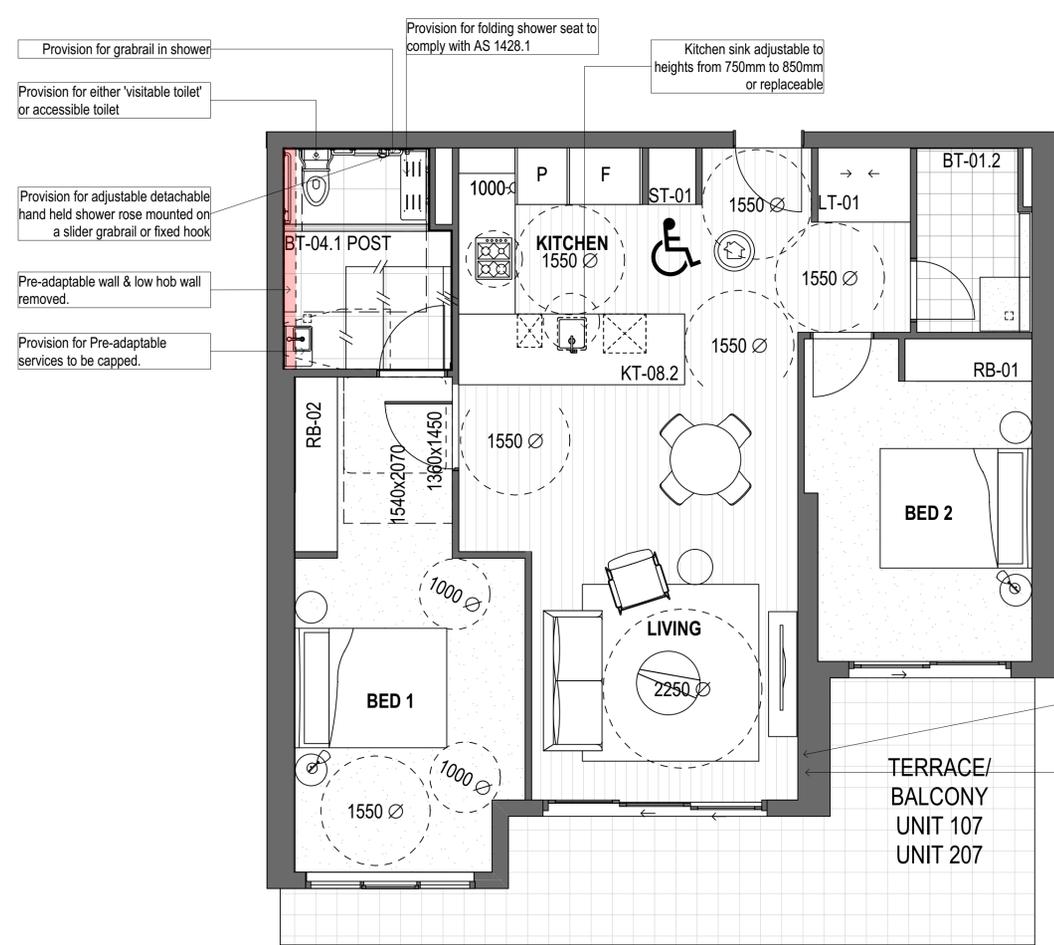
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- GPOs located not less than 600mm above floor.
- Window controls located in an accessible position.



Type 2C \_ Pre - Adaptable  
1:50



Type 2C \_ Post - Adaptable  
1:50

Minimum 4x double GPO's to Living & Dining Room

Telephone point adjacent to GPO

Builder/Contractor shall verify job-dimensions before any job commences. Figured dimensions take precedence over drawings and job-dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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Rev.	Issue Date	By	Chk	Description
A	4/02/2020	MJ	RS	For Coordination
B	13/02/2020	MJ	RS	For Coordination
C	6/05/2020	MJ/AD	RS/AD/RS	For Coordination
00	28/08/2020	MJ/AD	DN	For Construction- Updated Pre and Post Adaptable apartments
01	25/06/2021	MJ	DN	Work As Executed

Rev.	Issue Date	By	Chk	Description

Consultants

**PDSGROUP**

**IGS**

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ABN: 8195796590  
NSW: Nominated Architects  
Koos de Keijzer 5767  
David Randerson 8542

**DKO**

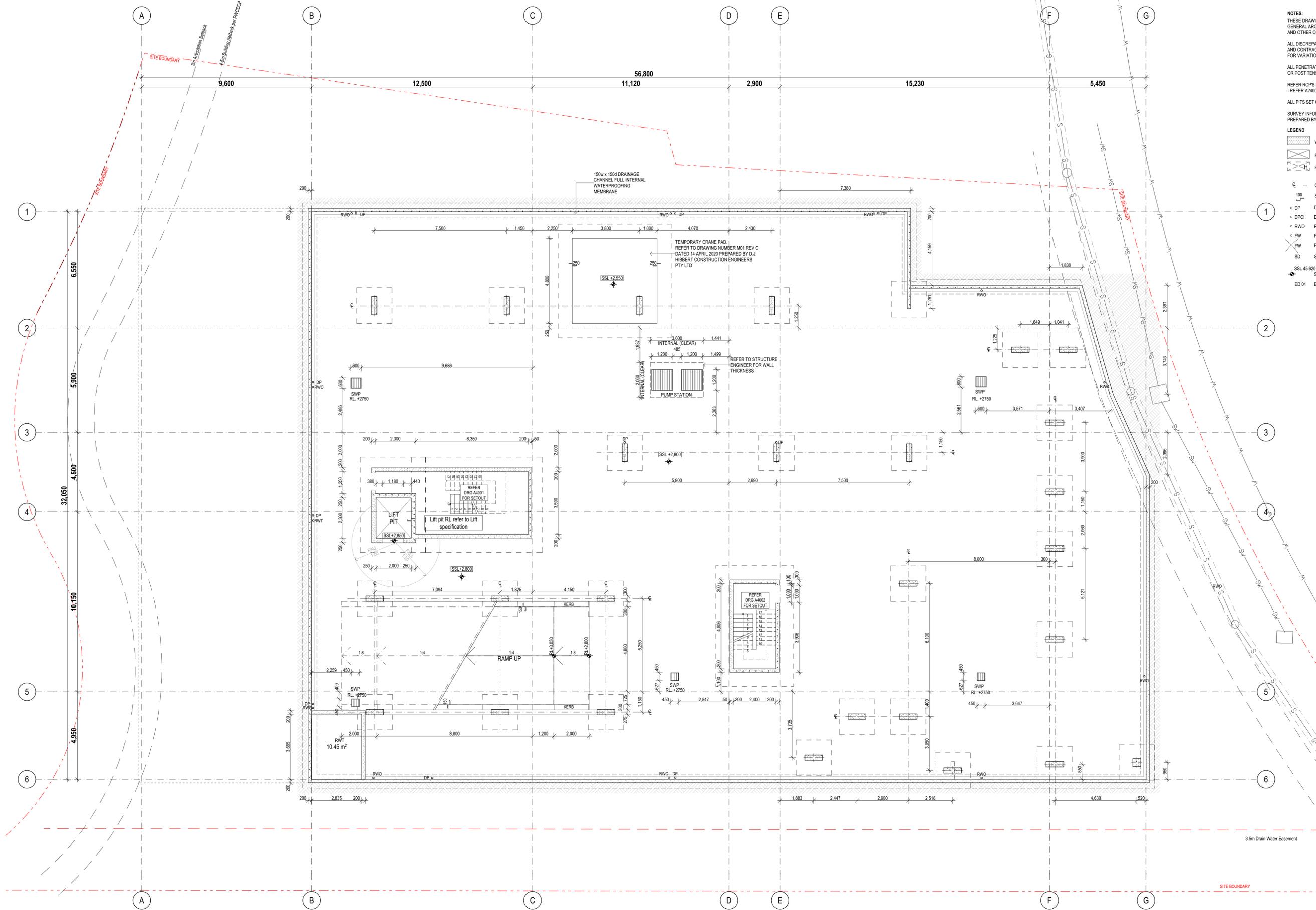
Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: MJ/AD  
Checked By: RS  
Date: 28/08/2020  
Scale:

Drawing Series: General Arrangement Plans  
Drawing Name: Adaptable Apartment Layout \_ Type 2C

Drawing Number: **A2112**  
Revision: **00**





- NOTES:**  
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS STRUCTURAL AND OTHER CONSULTANT DRAWINGS  
 ALL DISCREPANCIES SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL PENETRATION TO BE COORDINATED WITH ANY PRESTRESSED OR POST TENSIONED CABLE STRUCTURAL ENGINEERS TO APPROVE  
 REFER RCP'S FOR EXTENT OF EXPOSED OFF FORM CONC. SOFFIT FINISH - REFER A2400 DRG SERIES.  
 ALL PITS SET OUT TO INTERNAL FACE  
 SURVEY INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET (1)
- LEGEND**
- WET AREAS SETDOWN - 20mm
  - FULL SLAB PENETRATION
  - HYDRAULIC CAST IN ZONE
  - CENTRE LINE
  - SLAB FOLD DOWN 100mm
  - DOWNPIPE
  - DPCI DOWNPIPE CAST IN CONCRETE
  - RAIN WATER OUTLET
  - FLOOR WASTE
  - FLOOR WASTE - FULL ROOM FALLS TO FW.
  - SPOON DRAIN
  - SSL 45 620 STRUCTURAL SLAB LEVEL
  - ED 01 EDGE DETAIL 01. REFER SLAB EDGE DETAIL SCHEDULE.

Builder/Contractor shall verify job dimensions before any job commences  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant

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Rev.	Issue Date	By	Chk	Description
Pi	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	01/02/2020	MJ	RS	For Construction Certificate 1
B	21/02/2020	MJ	RS	For Construction Certificate 1
C	01/03/2020	MJ	RS	For Construction Certificate 1
00	13/03/2020	MJ	RS	For Construction
01	19/03/2020	MJ	RS	For Construction
02	26/03/2020	MJ	RS	Revised Lift Shaft Wall Thickness to 200mm, Omit Middle Wall to Fire Stairs A & B
03	28/04/2020	MJ	RS/DN	For Construction
04	29/04/2020	MJ	RS/DN	For Construction
05	30/04/2020	RS	RS	For Construction

Rev.	Issue Date	By	Chk	Description
06	18/06/2020	DN	DN	For Construction
07	25/06/2021	DN	DN	Works as Executed



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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8342



Project Name	Warriewood Apts	Drawing Series	Concrete Setout Plans
Project Number	11268	Drawing Name	CSP Basement Level
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2201
Drawn By	DN	Revision	07
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS STRUCTURAL AND OTHER CONSULTANT DRAWINGS

ALL DISCREPANCIES SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

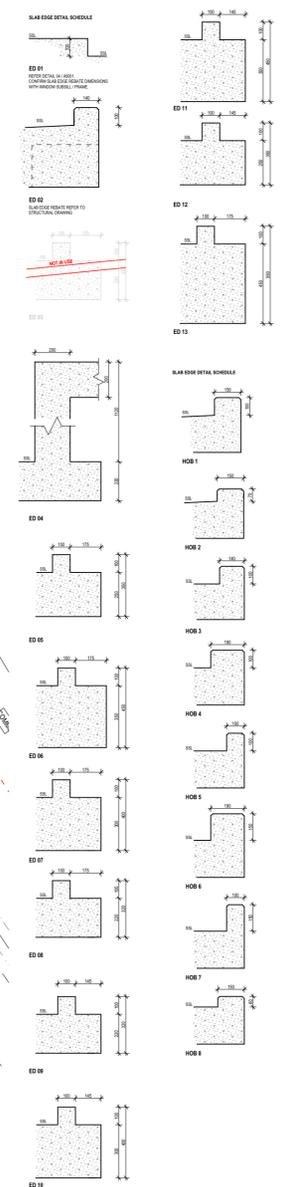
ALL PENETRATION TO BE COORDINATED WITH ANY PRESTRESSED OR POST TENSIONED CABLE STRUCTURAL ENGINEERS TO APPROVE

REFER RCP'S FOR EXTENT OF EXPOSED OFF FORM CONC. SOFFIT FINISH - REFER A2400 DRG SERIES.

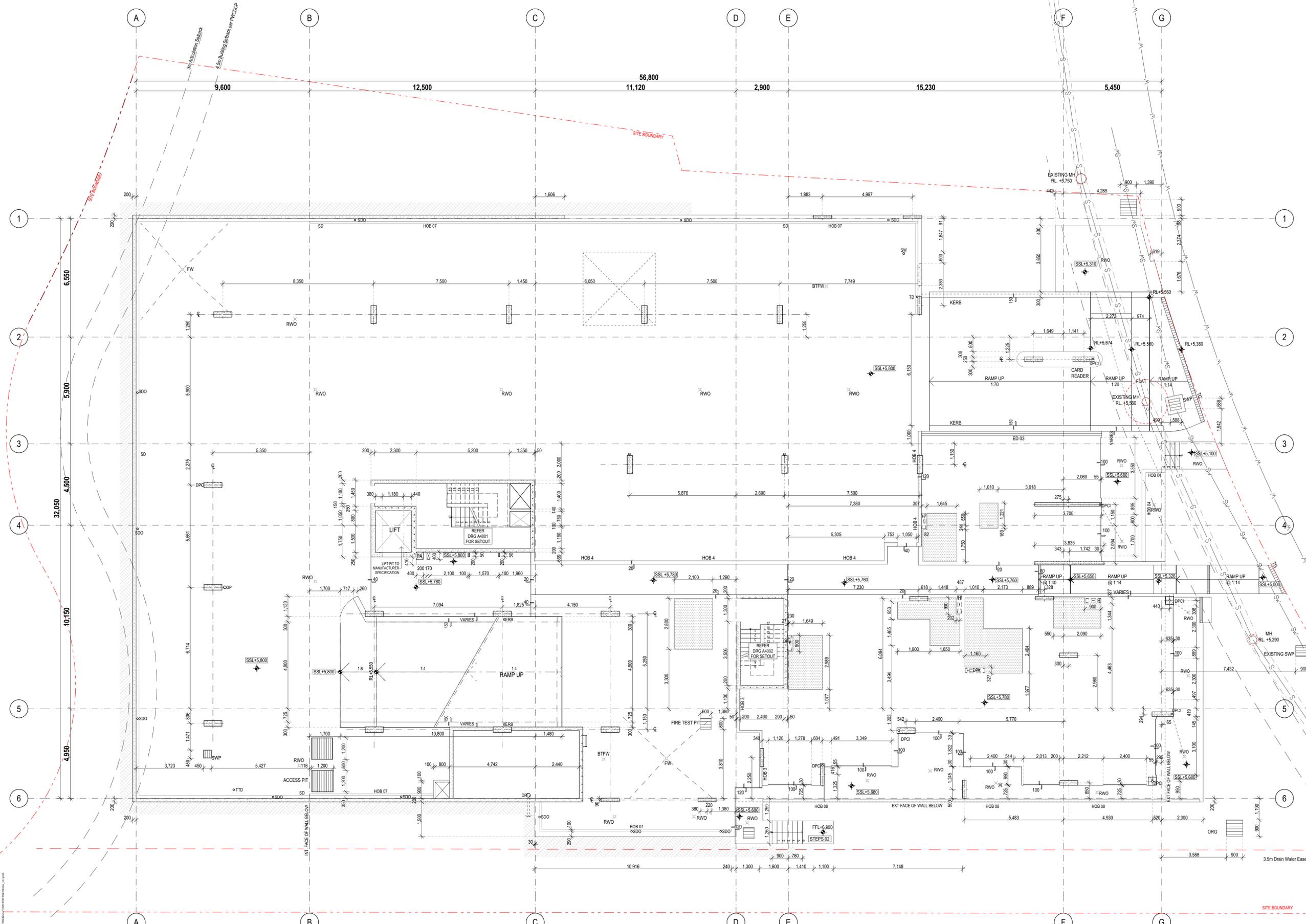
ALL PITS SET OUT TO INTERNAL FACE

SURVEY INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET (1)

- LEGEND**
- WET AREAS SETDOWN - 20mm
  - FULL SLAB PENETRATION
  - HYDRAULIC CAST IN ZONE
  - CENTRE LINE
  - SLAB FOLD DOWN 100mm
  - DOWNPIPE
  - DOWNPIPE CAST IN CONCRETE
  - RAIN WATER OUTLET
  - FLOOR WASTE
  - FLOOR WASTE - FULL ROOM FALLS TO FW.
  - SPOON DRAIN
  - SSL 45 620 STRUCTURAL SLAB LEVEL
  - ED 01 EDGE DETAIL 01. REFER SLAB EDGE DETAIL SCHEDULE.



- CONCRETE SETOUT PLAN KEYNOTES LEGEND**
- RWO SETOUT TO BE CONFIRMED WITH HYDRAULICS CONSULTANT.
  - ADDITIONAL CONC. HOB'S - REFER LANDSCAPE ARCHITECTS DRGS.



Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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Rev.	Issue Date	By	Chk	Description
Pi	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	01/02/2020	MJ	RS	For Construction Certificate 1
B	21/02/2020	MJ	RS	For Construction Certificate 1
C	01/03/2020	MJ	RS	For Construction Certificate 1
01	12/03/2020	MJ	RS	For Construction
02	27/03/2020	MJ	RS	For Coordination
03	31/03/2020	RS	RS	For Coordination
04	20/04/2020	MJ	RS/DN	For Construction
05	21/06/2020	MJ	DN/RS	For Construction
06	23/06/2020	MJ	DN	As Clouded

Rev.	Issue Date	By	Chk	Description
06	25/06/2020	DN/AL	DN	As Clouded
07	29/06/2020	DN/AL	DN	As Clouded
08	2/07/2020	DN	DN	As Clouded; Add Hob 7 to A/C Condenser Room; Amend Hob 8
09	6/07/2020	MJ/DN	DN	As Clouded; Amend pit size
10	20/08/2020	MJ/DN	DN	Sliding door rebates added. Extend of blade walls shown/TG shown at boundary, stair revised. Extend of dencil wall revised along Grid 1
11	25/06/2021	MJ/DN	DN	Works as Executed



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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8342

Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 33 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Concrete Setout Plans  
 Drawing Name: CSP Ground Level

Drawn By: MJ/DN  
 Checked By: \*\*\* Not in Use \*\*\*\*\*  
 Date: 25/06/2021  
 Scale:

Drawing Number: **A2202**  
 Revision: **11**

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS STRUCTURAL AND OTHER CONSULTANT DRAWINGS

ALL DISCREPANCIES SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

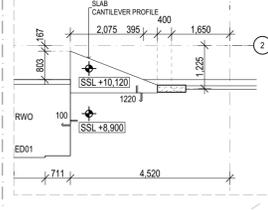
ALL PENETRATION TO BE COORDINATED WITH ANY PRESTRESSED OR POST TENSIONED CABLE STRUCTURAL ENGINEERS TO APPROVE

REFER RCPS FOR EXTENT OF EXPOSED OFF FORM CONC. SOFFIT FINISH - REFER A2400 DRG SERIES.

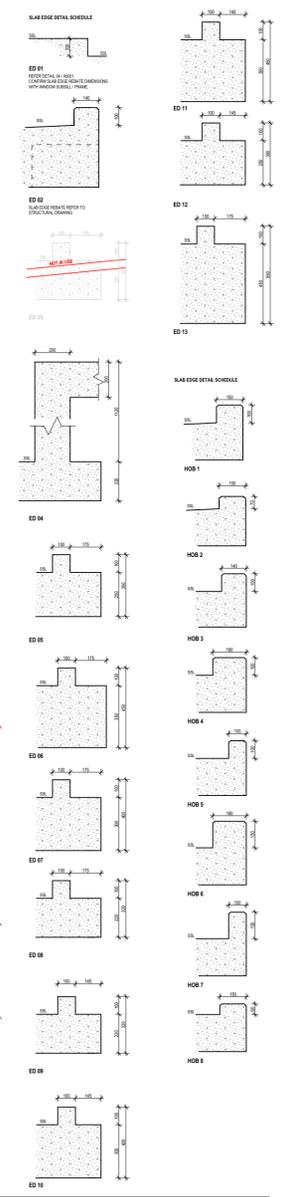
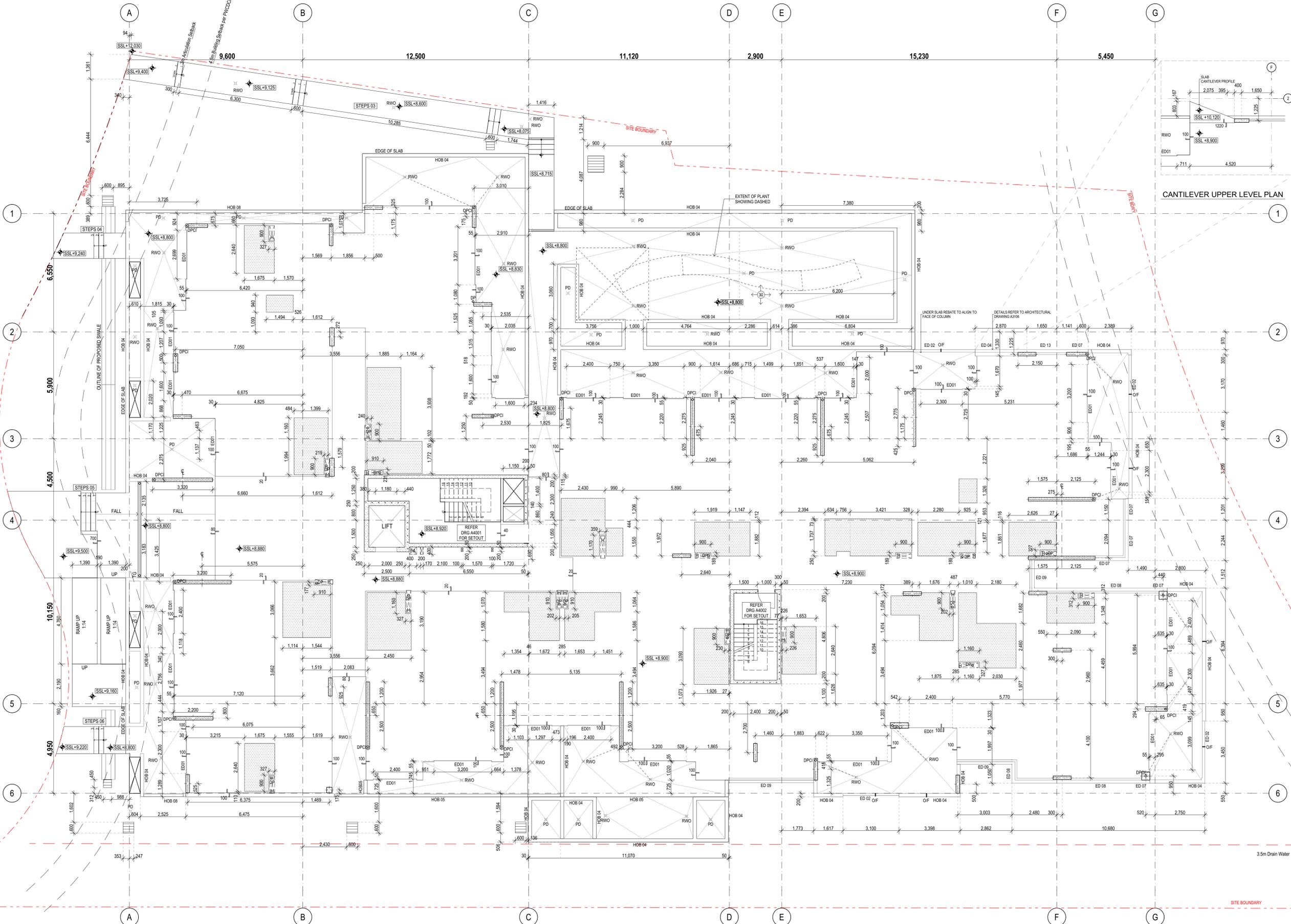
ALL PITS SET OUT TO INTERNAL FACE

SURVEY INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET (1)

- LEGEND**
- WET AREAS SETDOWN - 20mm
  - FULL SLAB PENETRATION
  - HYDRAULIC CAST IN ZONE
  - CENTRE LINE
  - SLAB FOLD DOWN 100mm
  - DOWNPIPE
  - DOWNPIPE CAST IN CONCRETE
  - RAIN WATER OUTLET
  - FLOOR WASTE
  - FLOOR WASTE - FULL ROOM FALLS TO FW.
  - SPOON DRAIN
  - SSL 45 620
  - ED 01



CANTILEVER UPPER LEVEL PLAN



- CONCRETE SETOUT PLAN KEYNOTES LEGEND**
- RWO SETOUT TO BE CONFIRMED WITH HYDRAULICS CONSULTANT.
  - ADDITIONAL CONC. HOB'S - REFER LANDSCAPE ARCHITECTS DRGS.

Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
P1	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	02/03/2020	MJ	RS	For Construction Certificate 1
B	27/03/2020	MJ	RS	For Coordination
C	31/03/2020	RS	RS	For Coordination
01	20/03/2020	MJ	RS/DN	For Construction
02	2/06/2020	MJ	DN/RS	For Construction
03	2/07/2020	DN	DN	General revision: Setdowns for foundation added; Hobs revised and revised; Column locations & Sizes
04	6/07/2020	MJ/DN	DN	As Clouded - Column not cut out revised; DP not within column; Hob added
04	01/07/2020	MJ/DN	DN	As Clouded, Wet area setdowns revised
05	17/07/2020	MJ/DN	DN	As Clouded, Cantilever detail updated

Rev.	Issue Date	By	Chk	Description
06	21/07/2020	MJ/DN	DN	As Clouded, Cantilever detail updated, GRATED DRAIN UPDATED
07	11/08/2020	MJ/DN	DN	As Clouded, Plant drains show
08	20/08/2020	MJ	DN	Sliding door rebates added. Extend of blade walls shown ED02 added as built in column. Columns updated in unit too
09	21/08/2020	MJ	DN	Updated Hob location
10	25/06/2021	MJ	DN	Works as Executed

Consultants

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Kos de Keijzer 5767  
David Randerson 8342

Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 33 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Concrete Setout Plans  
Drawing Name: CSP Level 1  
Drawing Number: A2203  
Revision: 10  
Drawn By: MJ  
Checked By: DN  
Date: 25/06/2021  
Scale:



THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS STRUCTURAL AND OTHER CONSULTANT DRAWINGS

ALL DISCREPANCIES SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

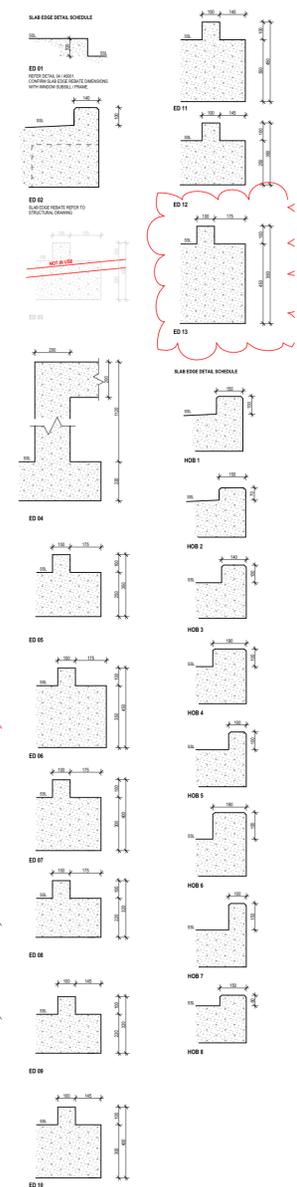
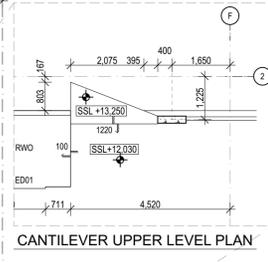
ALL PENETRATION TO BE COORDINATED WITH ANY PRESTRESSED OR POST TENSIONED CABLE STRUCTURAL ENGINEERS TO APPROVE

REFER RCP'S FOR EXTENT OF EXPOSED OFF FORM CONC. SOFFIT FINISH - REFER A2400 DRG SERIES.

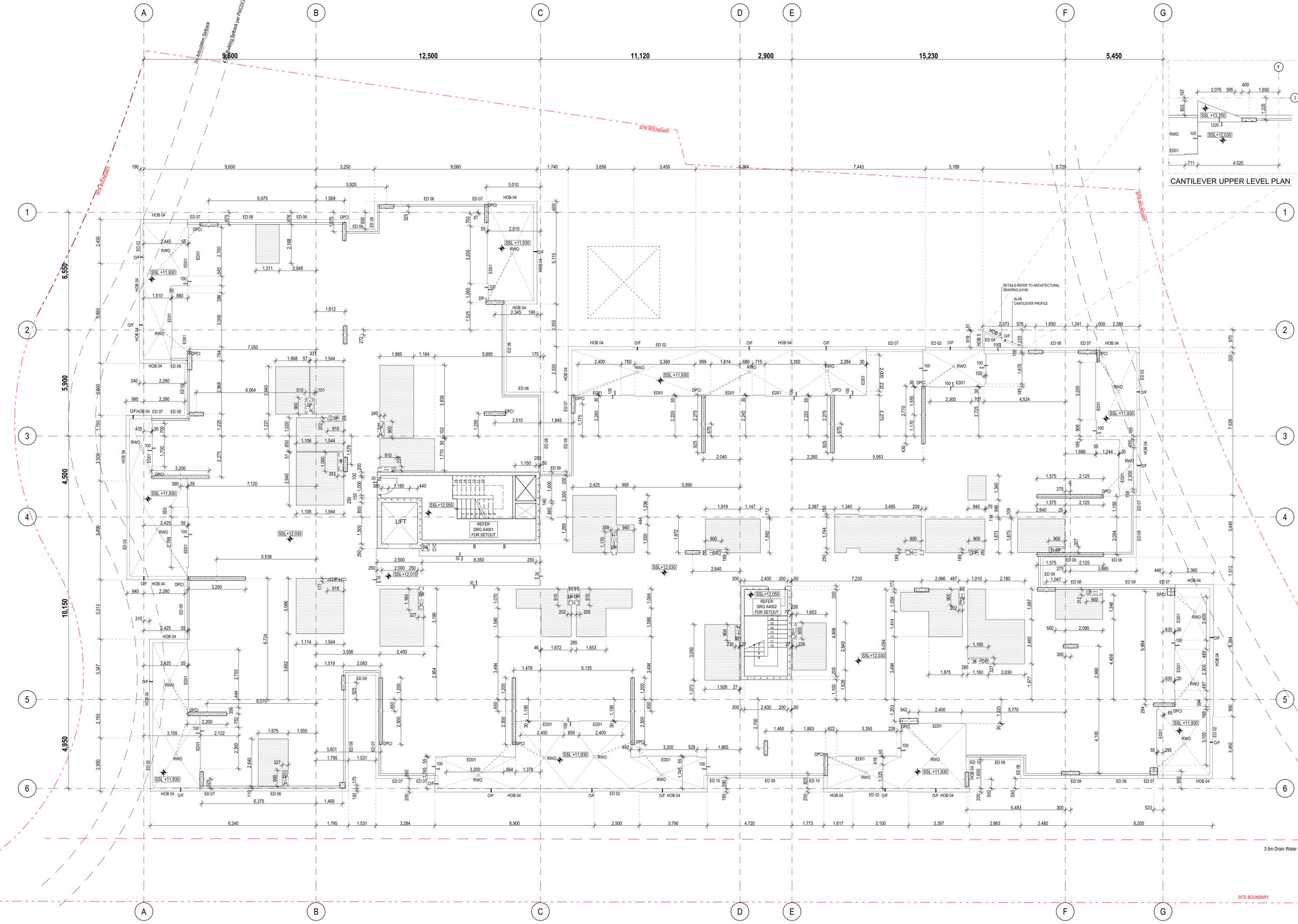
ALL PITS SET OUT TO INTERNAL FACE

SURVEY INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET (1)

- LEGEND**
- WET AREAS SETDOWN - 20mm
  - FULL SLAB PENETRATION
  - HYDRAULIC CAST IN ZONE
  - CENTRE LINE
  - SLAB FOLD DOWN 100mm
  - DOWNPIPE
  - DOWNPIPE CAST IN CONCRETE
  - RAIN WATER OUTLET
  - FLOOR WASTE
  - FLOOR WASTE - FULL ROOM FALLS TO FW.
  - SPOON DRAIN
  - SSL 45 620 STRUCTURAL SLAB LEVEL
  - ED 01 EDGE DETAIL 01. REFER SLAB EDGE DETAIL SCHEDULE.



- CONCRETE SETOUT PLAN KEYNOTES LEGEND**
- RWO SETOUT TO BE CONFIRMED WITH HYDRAULICS CONSULTANT.
  - ADDITIONAL CONC. HOBS - REFER LANDSCAPE ARCHITECTS DRGS.



Rev.	Issue Date	By	Chk.	Description
01	20/07/2019	EM/BL	RS/DN	For Coordination
02	12/08/2019	EM/BL	RS/DN	For Tender
03	05/02/2020	MJ	RS	For Construction Certificate 1
04	27/03/2020	MJ	RS	For Coordination
05	31/03/2020	RS	RS	For Coordination
06	20/03/2020	MJ	RS/DN	For Construction
07	2/06/2020	MJ	DN/RS	For Construction
08	3/07/2020	MJ/DN	DN	General revision/Setdowns for laundries added/Hoba revised and revised column locations & sizes
09	6/07/2020	MJ/DN	DN	As Clouded - Column set out revised; DPP not within column; 20mm setdown to lobby
10	9/07/2020	MJ/DN	DN	As Clouded; Wet area setdown revised
11	17/07/2020	MJ/DN	DN	As Clouded; Cantilever detail updated

Rev.	Issue Date	By	Chk.	Description
06	21/07/2020	MJ/DN	DN	As Clouded; Cantilever detail updated
07	18/08/2020	MJ	DN	As Clouded; Sliding door rebates added; Revised bathroom setout
08	20/08/2020	MJ	DN	Sliding door rebates added; Extend of black walls shown E212 added as built on site; Column updated in unit no
09	25/06/2021	MJ	DN	Works as Executed

Consultants

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NSW: Nominated Architects  
Kos de Keijzer 5767  
David Randerson 8342

**DKO**

Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 33 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Concrete Setout Plans  
Drawing Name: CSP Level 2  
Drawing Number: A2204  
Revision: 09



THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS STRUCTURAL AND OTHER CONSULTANT DRAWINGS

ALL DISCREPANCIES SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

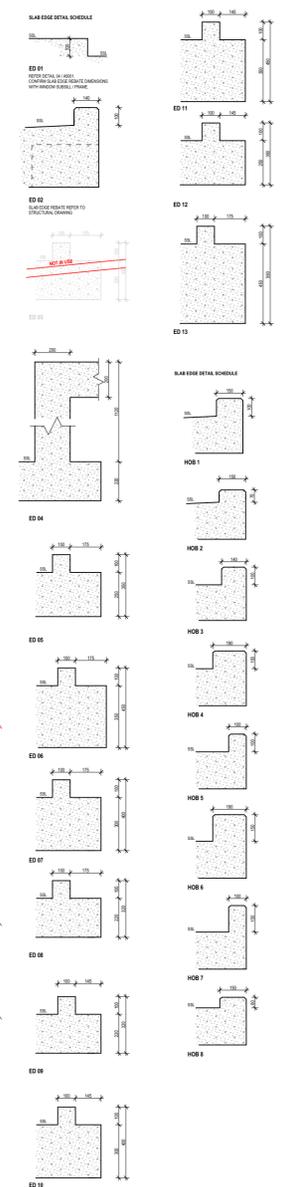
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REFER RCP'S FOR EXTENT OF EXPOSED OFF FORM CONC. SOFFIT FINISH - REFER A2400 DRG SERIES.

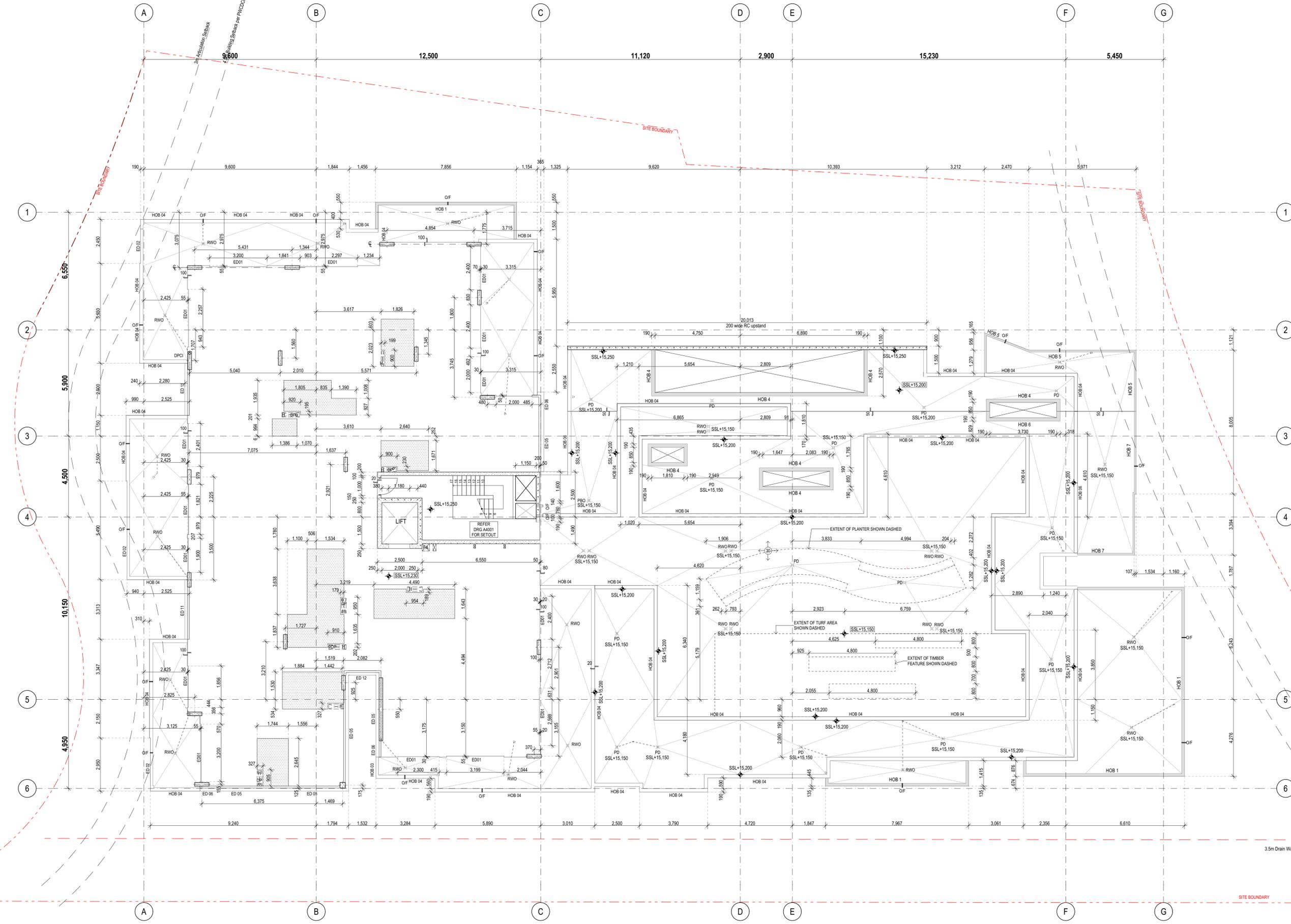
ALL PITS SET OUT TO INTERNAL FACE

SURVEY INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET (1)

- LEGEND**
- WET AREAS SETDOWN - 20mm
  - FULL SLAB PENETRATION
  - HYDRAULIC CAST IN ZONE
  - CENTRE LINE
  - SLAB FOLD DOWN 100mm
  - DOWNPIPE
  - DOWNPIPE CAST IN CONCRETE
  - RAIN WATER OUTLET
  - FLOOR WASTE
  - FLOOR WASTE - FULL ROOM FALLS TO FW.
  - SPOON DRAIN
  - SSL 45.620
  - STRUCTURAL SLAB LEVEL
  - EDGE DETAIL 01. REFER SLAB EDGE DETAIL SCHEDULE.



- CONCRETE SETOUT PLAN KEYNOTES LEGEND**
- RWO SETOUT TO BE CONFIRMED WITH HYDRAULICS CONSULTANT.
  - ADDITIONAL CONC. HOBS - REFER LANDSCAPE ARCHITECTS DRGS.



01 - CSP Level 3  
1:100

Rev.	Issue Date	By	Chk	Description
01	20/07/2019	EM/BL	RS/DN	For Coordination
02	12/08/2019	EM/BL	RS/DN	For Tender
03	05/02/2020	MJ	RS	For Construction Certificate 1
04	27/03/2020	MJ	RS	For Coordination
05	31/03/2020	RS	RS	For Coordination
06	20/03/2020	MJ	RS/DN	For Construction
07	2/06/2020	MJ	DN/RS	For Construction
08	3/07/2020	MJ/DN	DN	General revision; Setdowns for laundries added; Column locations & Sizes
09	07/07/2020	MJ/DN	DN	As Clouded- Hobs added
10	21/07/2020	MJ/DN	DN	As Clouded, Cantilever detail updated
11	11/08/2020	MJ	DN	As Clouded, revised portal layout, falls to RWO

Rev.	Issue Date	By	Chk	Description
06	18/08/2020	MJ	DN	As Clouded, Sliding door rebate added, Planter drains added
07	20/08/2020	MJ	DN	200 wide RC wall updated shown. Updated extent of centre planter and hobs to match Landscaping drawings
08	21/08/2020	MJ	DN	Updated Hob location
09	2/09/2020	MJ	DN	Step removed along Cantilever
10	4/09/2020	MJ	DN	Skylight removed revised
11	8/09/2020	MJ	DN	Falls shown along RWO and PD along Communal area
12	16/09/2020	MJ	DN	Extent of timber feature shown
13	16/09/2020	MJ	DN	Setout of central planter/seat shown
14	22/06/2021	MJ	DN	Works as Executed

Consultants

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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8342



Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Concrete Setout Plans  
Drawing Name: CSP Level 3

Drawn By: MJ  
Checked By: \*\*\* Not in Use \*\*\*\*  
Date: 25/06/2021  
Scale:

Drawing Number: **A2205**  
Revision: **14**



THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS STRUCTURAL AND OTHER CONSULTANT DRAWINGS

ALL DISCREPANCIES SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION

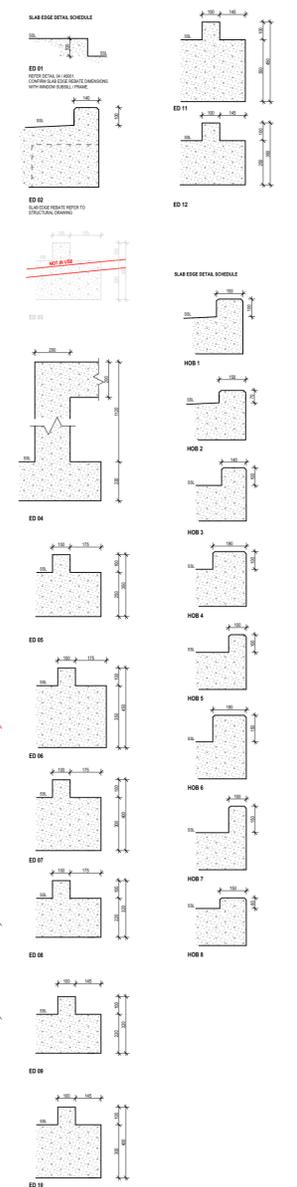
ALL PENETRATION TO BE COORDINATED WITH ANY PRESTRESSED OR POST TENSIONED CABLE STRUCTURAL ENGINEERS TO APPROVE

REFER RCP'S FOR EXTENT OF EXPOSED OFF FORM CONC. SOFFIT FINISH - REFER A2400 DRG SERIES.

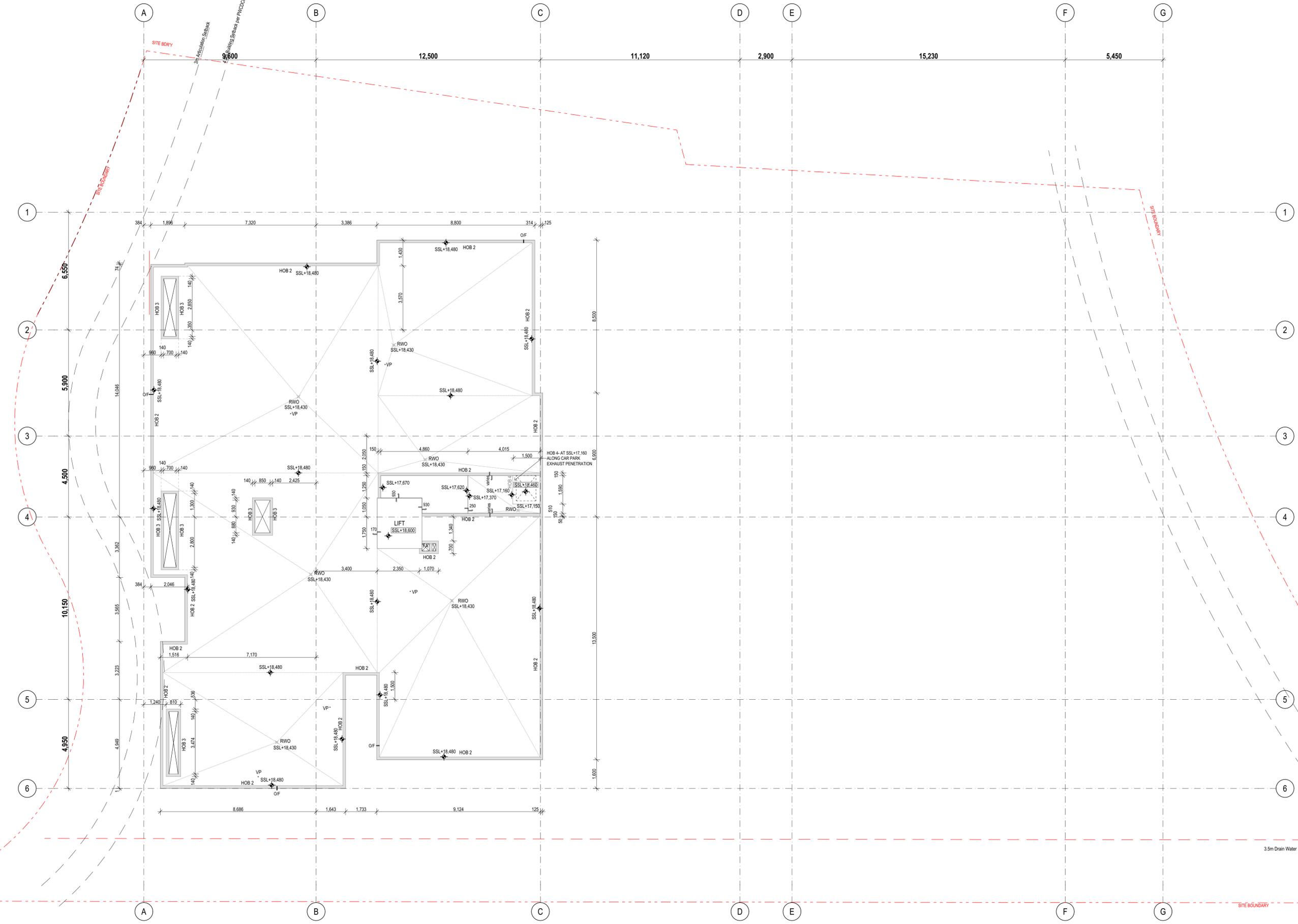
ALL PITS SET OUT TO INTERNAL FACE

SURVEY INFORMATION OBTAINED FROM EXCAVATED LEVELS SURVEY DRAWINGS PREPARED BY USHER & COMPANY DATED 05 FEBRUARY 2020 6205-DET [1]

- LEGEND**
- WET AREAS SETDOWN - 20mm
  - FULL SLAB PENETRATION
  - HYDRAULIC CAST IN ZONE
  - CENTRE LINE
  - SLAB FOLD DOWN 100mm
  - DOWNPIPE
  - DOWNPIPE CAST IN CONCRETE
  - RAIN WATER OUTLET
  - FLOOR WASTE
  - FLOOR WASTE - FULL ROOM FALLS TO FW.
  - SPOON DRAIN
  - SSL 45.620
  - STRUCTURAL SLAB LEVEL
  - EDGE DETAIL 01. REFER SLAB EDGE DETAIL SCHEDULE.



- CONCRETE SETOUT PLAN KEYNOTES LEGEND**
- RWO SETOUT TO BE CONFIRMED WITH HYDRAULICS CONSULTANT.
  - ADDITIONAL CONC. HOBS - REFER LANDSCAPE ARCHITECTS DRGS.



CSP Roof Level  
1:100

Builder/Contractor shall verify job-dimensions before any job commences. Figured dimensions take precedence over drawings and job-dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop-drawings by the Architect/Consultant.

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Rev.	Issue Date	By	Chk	Description
P1	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	02/02/2020	MJ	RS	For Construction Certificate 1
B	27/03/2020	MJ	RS	For Coordination
C	31/03/2020	RS	RS	For Coordination
00	20/03/2020	MJ	RS/DN	For Construction
01	2/06/2020	MJ	DN/RS	For Construction
02	6/07/2020	MJ/DN	DN	As Closed- Penetrations amended
03	21/07/2020	MJ/DN	DN	As Closed- Lift overrun level amended
04	11/08/2020	MJ/DN	DN	As Closed- falls to RWO
05	4/09/2020	MJ/DN	DN	Skylight setout revised

Rev.	Issue Date	By	Chk	Description
06	8/09/2020	MJ/DN	DN	Revised carpark exhaust penetration
07	21/09/2020	MJ	DN	As Closed- Car park exhaust roof revised
08	22/09/2020	MJ	DN	As Closed- Adjusted levels along Car park exhaust. RWO levels revised
09	23/09/2020	MJ	DN	RWO high and low levels revised
10	25/09/2020	MJ	DN	Works as Executed

Consultants

**PDSGROUP**

**IGS**

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ABN: 81956706590  
NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8342



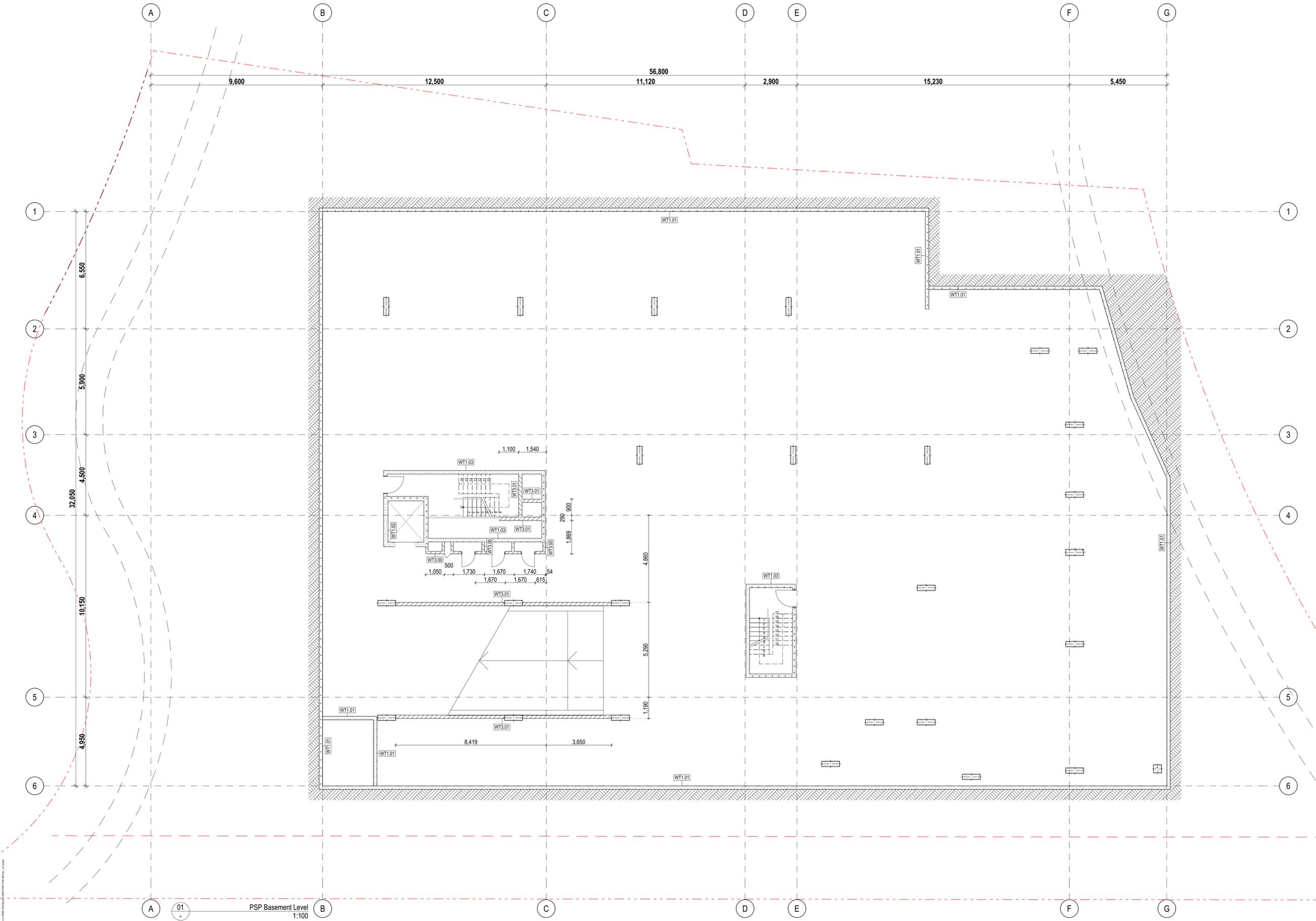
Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: MJ  
Checked By: DN  
Date: 25/06/2021  
Scale:

Drawing Series: Concrete Setout Plans  
Drawing Name: CSP Roof Plan

Drawing Number: **A2206**  
Revision: **10**





**NOTES:**

PARTITION SETOUT PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS INCLUDING:

REFLECTED CEILING PLANS - REFER A2400 SERIES DRGS.  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRGS.  
 A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRGS.

ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**

-WT3.01 WALL TYPE 3.01  
 REFER WALL TYPES SCHEDULE - REFER A300 SERIES DRGS.  
 COS: CHECK ON SITE.  
 UNO: UNLESS NOTED OTHERWISE.

**NOTES:**

- WT4.00 FOR ALL UNIT INTERNAL PARTITION WALLS UNO.
- ALL DOOR SETOUT DIMENSIONS TO HINGE SIDE OF DOOR.
- REFER TO A2100 SERIES GAS FOR DOOR TAGS/ TYPES.
- REFER TO A-SCH-008 DOOR SCHEDULE FOR STRUCTURAL OPENING SIZE.
- REFER TO A6300 SERIES WINDOW SCHEDULE FOR WINDOW TYPES/ DETAIL.
- REFER TO A6100 SERIES BALUSTRADE SCHEDULE FOR BALUSTRADE TYPES/ DETAIL.
- ALLOW FOR FC SHEETING IN ALL WALLS ALONG RECYCLING BIN ROOM AREAS.

01 PSP Basement Level 1:100

Rev.	Issue Date	By	Chk	Description
Pt	14/06/2019	EM	BL/RS	For Coordination
Pa	20/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
00	7/05/2020	DN	DN/RS	For Construction
01	01/06/2020	DN	DN	Walk-updated to Blockwork along services cupboards
02	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
01	14/06/2019	EM	BL/RS	For Coordination
02	25/06/2021	DN	DN	Works as Executed

Consultants

**PDSGROUP**

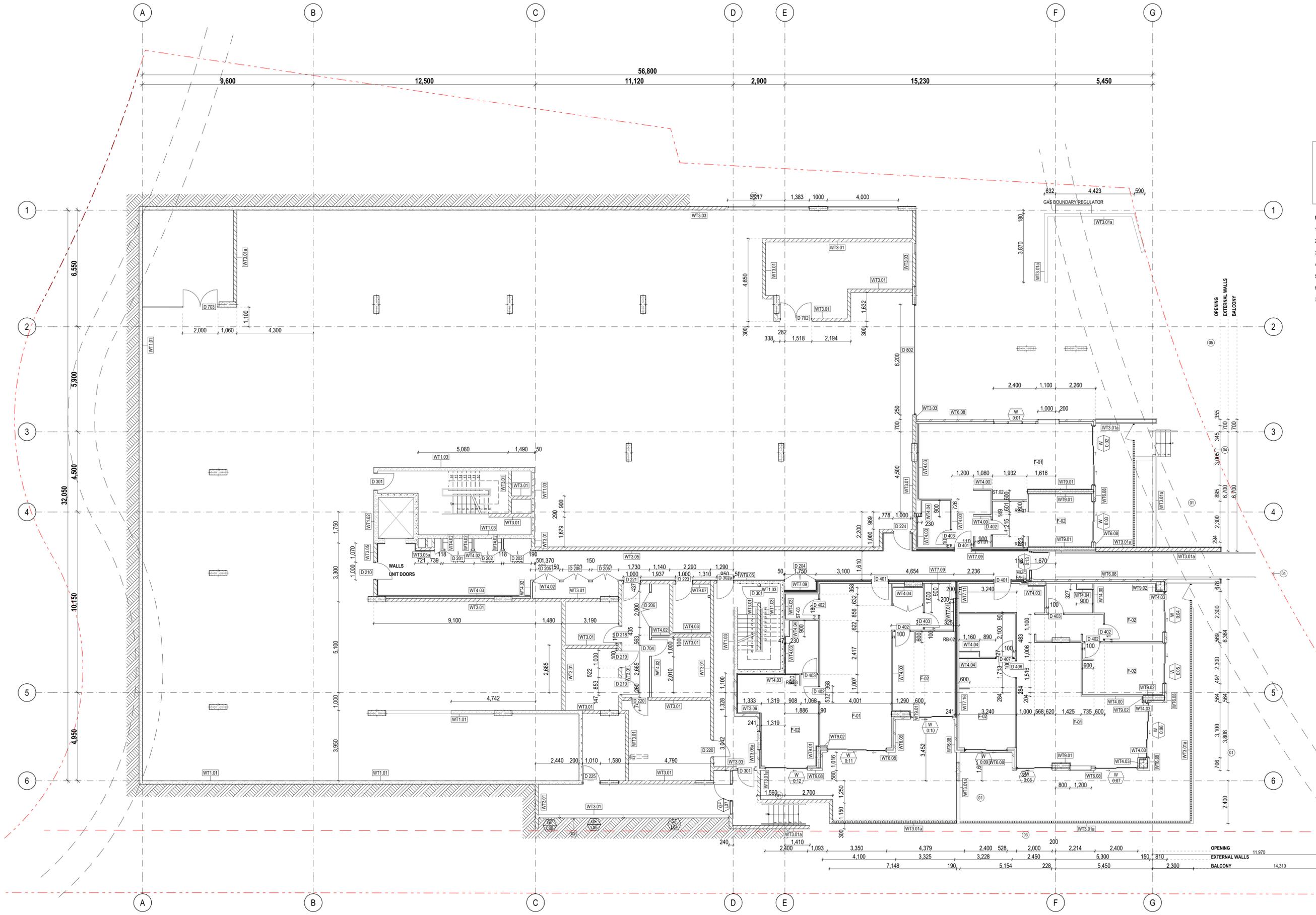
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Project Name	Warriewood Apts	Drawing Series	Partition Setout Plans
Project Number	11268	Drawing Name	PSP Basement Level
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A2301</b>
Drawn By	DN	Revision	<b>02</b>
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

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 David Randerson 8342



**NOTES:**

PARTITION SETOUT PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS INCLUDING:

REFLECTED CEILING PLANS - REFER A2400 SERIES DRGS.  
LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRGS.  
A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRGS.

ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**

-WT3.01	WALL TYPE 3.01
-	REFER WALL TYPES SCHEDULE - REFER A300 SERIES DRGS.
COS:	CHECK ON SITE.
UNO:	UNLESS NOTED OTHERWISE.

- NOTES:**
- WT4.00 FOR ALL UNIT INTERNAL PARTITION WALLS UNO.
  - ALL DOOR SETOUT DIMENSIONS TO HINGE SIDE OF DOOR.
  - REFER TO A2100 SERIES GAS FOR DOOR TAGS' TYPES.
  - REFER TO A-SCH4008 DOOR SCHEDULE FOR STRUCTURAL OPENING SIZE.
  - REFER TO A6300 SERIES WINDOW SCHEDULE FOR WINDOW TYPES' DETAIL.
  - REFER TO A6100 SERIES BALUSTRADE SCHEDULE FOR BALUSTRADE TYPES' DETAIL.
  - ALLOW FOR FC SHEETING IN ALL WALLS ALONG RECYCLING BIN ROOM AREAS.

Builder/Contractor shall verify job dimensions before any job commences.  
Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
Pt	14/06/2019	EM	BL/RS	For Coordination
Pa	20/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
00	7/05/2020	DN	DN/RS	For Construction
01	10/07/2020	DN/MJ	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and sizes within apartments
02	5/08/2020	DN/MJ	DN	As Clouded, Stair wall setout
03	28/08/2020	DN/MJ	DN	WT3.01a-190 Blockwork Render finish on both sides, planters, retaining walls. Adjustment along perils in some balconies. External wall revised along Cantilever in units 101 and 201

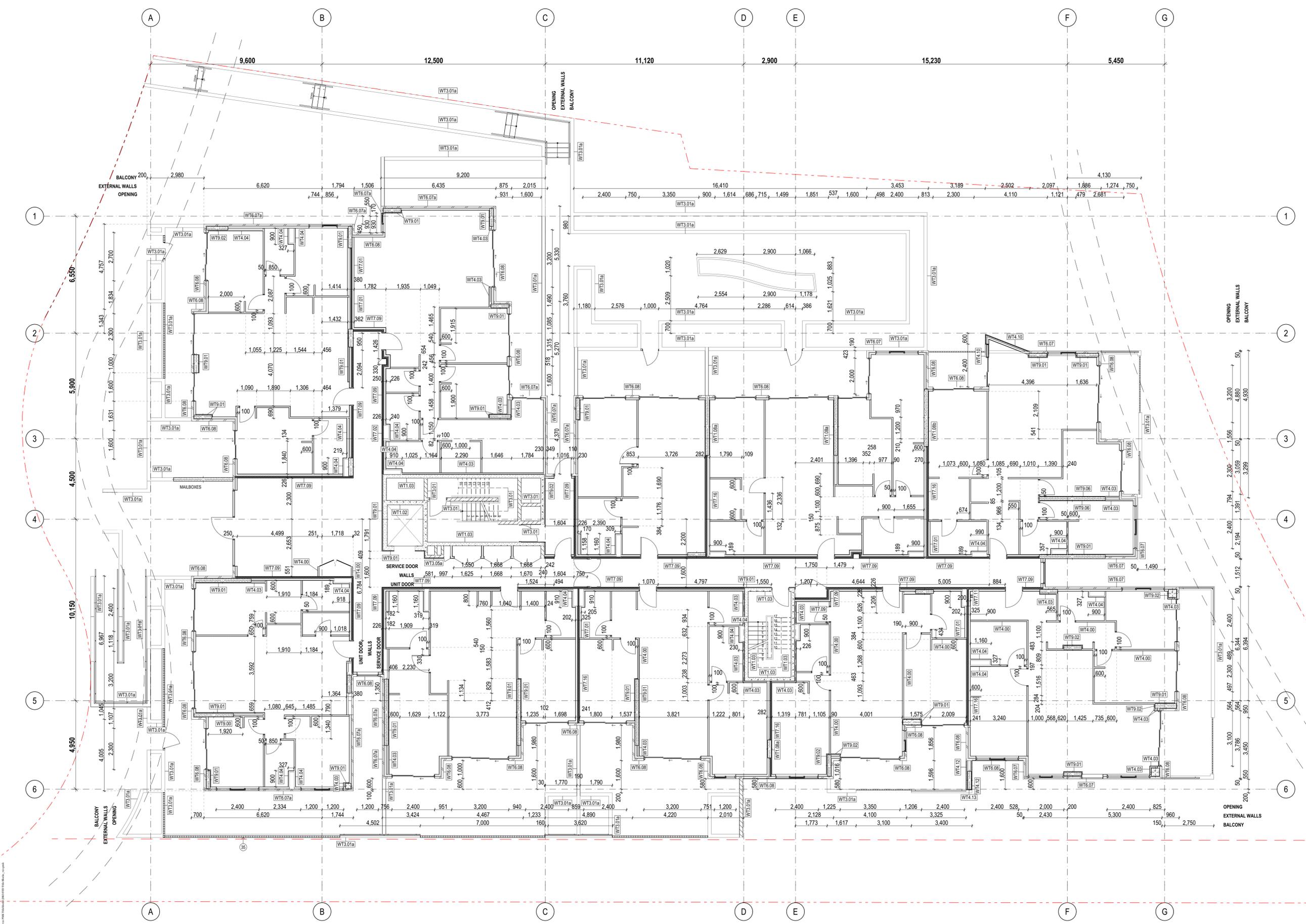
Rev.	Issue Date	By	Chk	Description
04	6/10/2020	DN/MJ	DN	As Clouded- Wall types added and setout dimensions
05	9/10/2020	DN/MJ	DN	Updated NFP-Additional dimensions added
06	25/06/2021	DN/MJ	DN	Works as Executed



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Project Name	Warriewood Apts	Drawing Series	Partition Setout Plans
Project Number	11268	Drawing Name	PSP Ground Level
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2302
Drawn By	DN/MJ	Revision	06
Checked By	*** Not in Use ****		
Date	25/06/2021		
Scale			



**NOTES:**  
 PARTITION SETOUT PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS INCLUDING:  
 REFLECTED CEILING PLANS - REFER A2400 SERIES DRGS.  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRGS.  
 A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRGS.  
 ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**  
 -WT3.01 WALL TYPE 3.01 REFER WALL TYPES SCHEDULE - REFER A300 SERIES DRGS.  
 COS: CHECK ON SITE.  
 UNO: UNLESS NOTED OTHERWISE.

**NOTES:**  
 1. WT4.00 FOR ALL UNIT INTERNAL PARTITION WALLS UNO.  
 2. ALL DOOR SETOUT DIMENSIONS TO HINGE SIDE OF DOOR.  
 3. REFER TO A2100 SERIES GAS FOR DOOR TAGS' TYPES.  
 4. REFER TO A-SCH4008 DOOR SCHEDULE FOR STRUCTURAL OPENING SIZE.  
 5. REFER TO A6300 SERIES WINDOW SCHEDULE FOR WINDOW TYPES/ DETAIL.  
 6. REFER TO A6100 SERIES BALUSTRADE SCHEDULE FOR BALUSTRADE TYPES/ DETAIL.  
 7. ALLOW FOR FC SHEETING IN ALL WALLS ALONG RECYCLING BIN ROOM AREAS.

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
Pt	14/06/2019	EM	BL/RS	For Coordination
Pa	20/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	02/09/2020	MJ	RS	For Construction Certificate 1
00	07/05/2020	DN	DN/RS	For Construction
01	10/07/2020	DN/MJ	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and sizes within apartments
02	28/08/2020	DN/MJ	DN	WT3.01a-190 Blackwork Render finish on both sides, planters, retaining walls. Adjustment along portals in some balconies. External wall revised along Cantilever in units 100 and 201
03	15/09/2020	DN/MJ	DN	As Clouded- Wall aligning with door

Rev.	Issue Date	By	Chk	Description
04	12/10/2020	DN/MJ	DN	Additional dimensions added
05	20/10/2020	DN/MJ	DN	As Clouded- Revised to WT6.07a
06	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

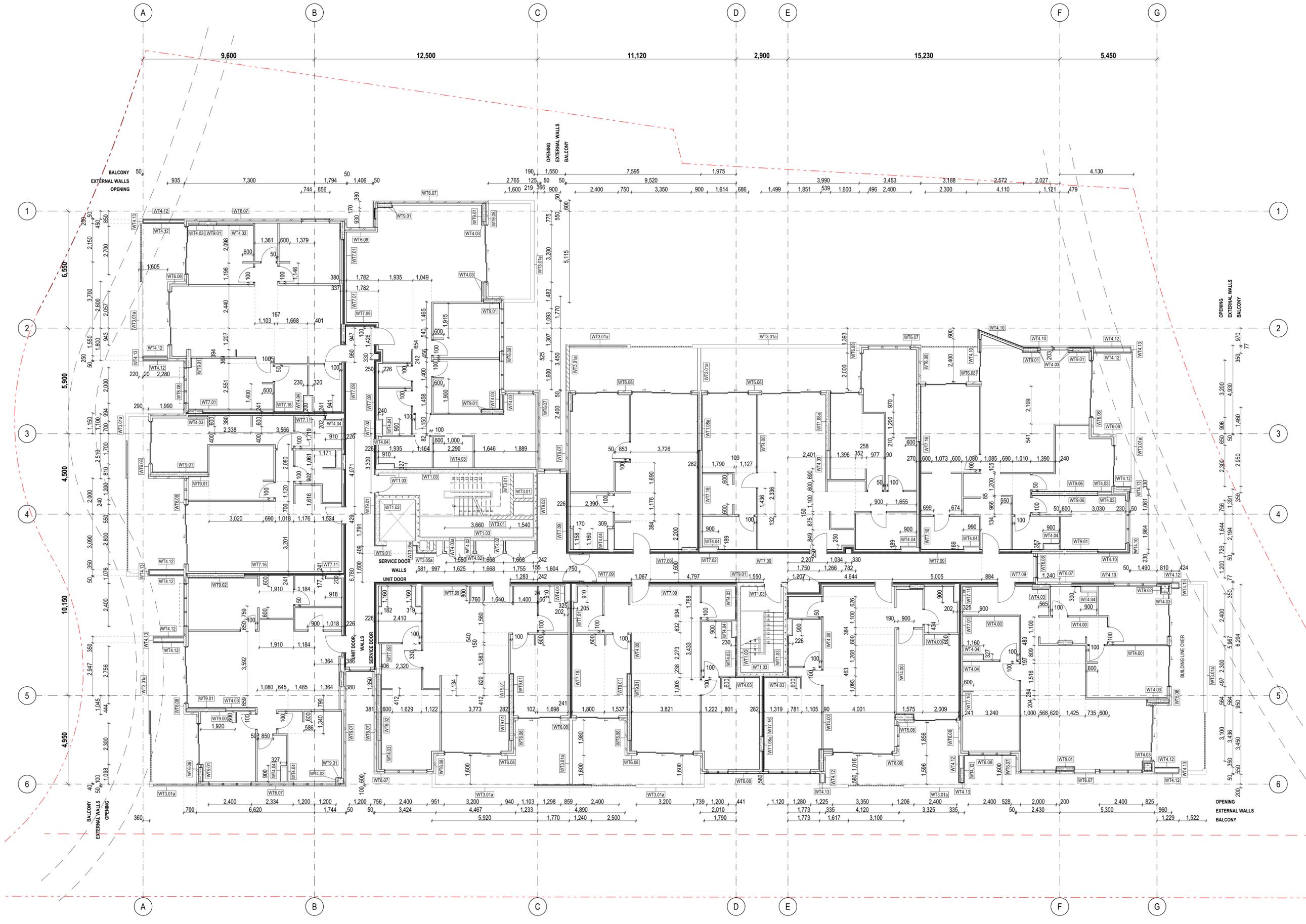
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Project Name	Warriewood Apts	Drawing Series	Partition Setout Plans
Project Number	11268	Drawing Name	PSP Level 1
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2303
Drawn By	DN/MJ	Revision	06
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			



**NOTES:**

PARTITION SETOUT PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS INCLUDING:

REFLECTED CEILING PLANS - REFER A2400 SERIES DRGS.  
LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRGS.  
A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRGS.

ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**

WT3.01	WALL TYPE 3.01
WT4.03	REFER WALL TYPES SCHEDULE - REFER A300 SERIES DRGS.
COS:	CHECK ON SITE.
UNO:	UNLESS NOTED OTHERWISE.

- NOTES:**
- WT4.00 FOR ALL UNIT INTERNAL PARTITION WALLS UNO.
  - ALL DOOR SETOUT DIMENSIONS TO HINGE SIDE OF DOOR.
  - REFER TO A2100 SERIES GAS FOR DOOR TAGS/ TYPES.
  - REFER TO A-SCH008 DOOR SCHEDULE FOR STRUCTURAL OPENING SIZE.
  - REFER TO A6300 SERIES WINDOW SCHEDULE FOR WINDOW TYPES/ DETAIL.
  - REFER TO A6100 SERIES BALUSTRADE SCHEDULE FOR BALUSTRADE TYPES/ DETAIL.
  - ALLOW FOR FC SHEETING IN ALL WALLS ALONG RECYCLING BIN ROOM AREAS.

Builder/Contractor shall verify job dimensions before any job commences.  
Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall commence prior to return of inspected shop drawings by the Architect/Consultant.

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Rev.	Issue Date	By	Chk	Description
Pt	14/06/2019	EM	BL/RS	For Coordination
Pt	20/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
00	7/05/2020	DN	DN/RS	For Construction
01	10/07/2020	DN/MJ	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and sizes within apartments
02	28/08/2020	DN/MJ	DN	WT3.01a-190 Blackwork Render finish on both sides, planters, retaining walls. Adjustment along portals in some balconies. External wall revised along Cantilever in units 100 and 201.
03	15/09/2020	DN/MJ	DN	As Clouded- Wall aligning with door

Rev.	Issue Date	By	Chk	Description
04	13/10/2020	DN/MJ	DN	Additional dimensions added
05	18/12/2020	DN/MJ	DN	Wall tag correction from WT6.07 TO WT6.07
06	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

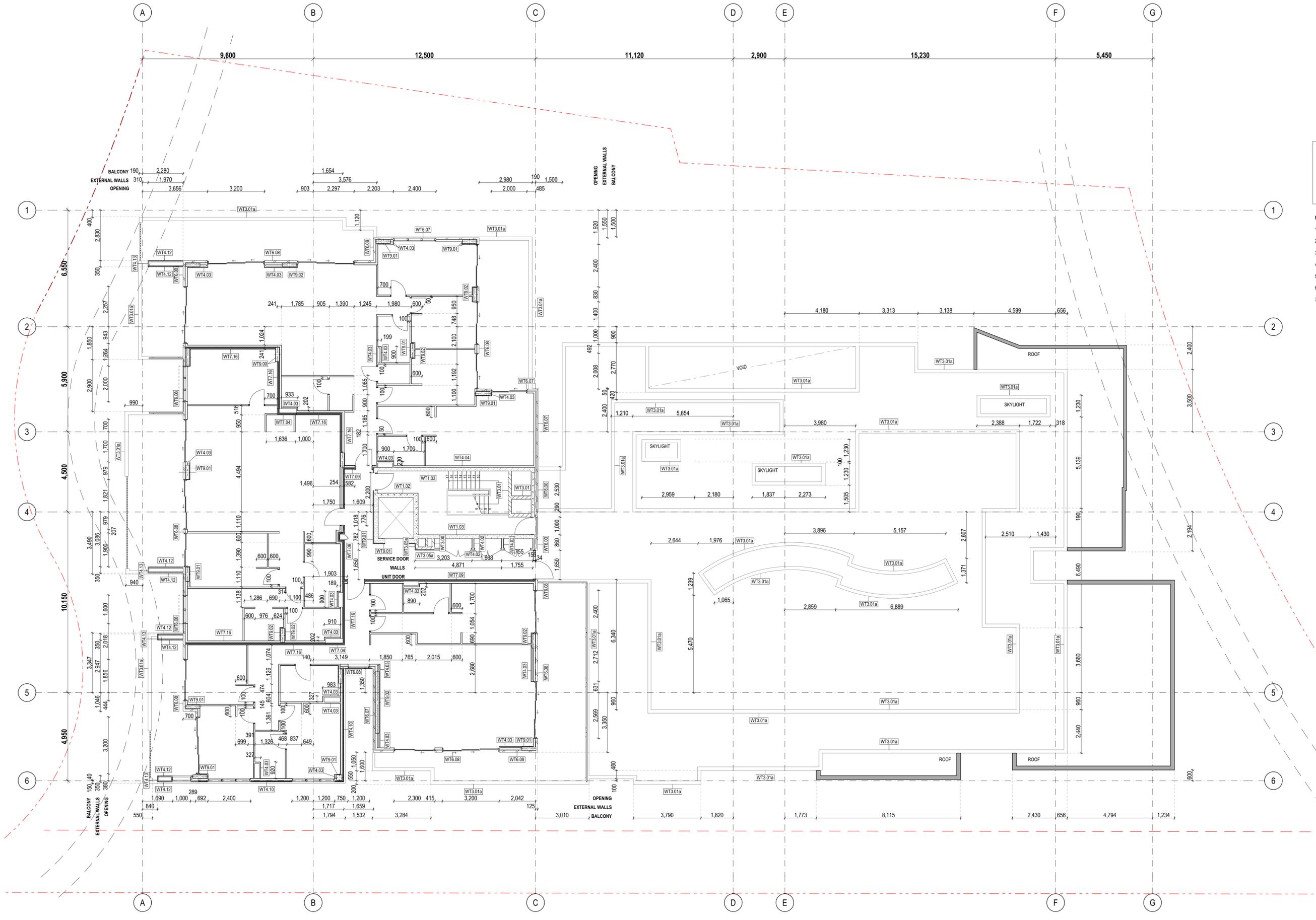
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Project Name	Warriewood Apts	Drawing Series	Partition Setout Plans
Project Number	11268	Drawing Name	PSP Level 2
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2304
Drawn By	DN/MJ	Revision	06
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			



**NOTES:**

PARTITION SETOUT PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS INCLUDING:

REFLECTED CEILING PLANS - REFER A2400 SERIES DRGS.  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRGS.  
 A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRGS.

ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**

WT3.01	WALL TYPE 3.01
WT3.01a	REFER WALL TYPES SCHEDULE
WT3.01b	REFER A6300 SERIES DRGS.
COS:	CHECK ON SITE.
UNO:	UNLESS NOTED OTHERWISE.

- NOTES:**
- WT4.00 FOR ALL UNIT INTERNAL PARTITION WALLS UNO.
  - ALL DOOR SETOUT DIMENSIONS TO HINGE SIDE OF DOOR.
  - REFER TO A2100 SERIES GAS FOR DOOR TAGS/ TYPES.
  - REFER TO A-SCH4008 DOOR SCHEDULE FOR STRUCTURAL OPENING SIZE.
  - REFER TO A6300 SERIES WINDOW SCHEDULE FOR WINDOW TYPES/ DETAIL.
  - REFER TO A6100 SERIES BALUSTRADE SCHEDULE FOR BALUSTRADE TYPES/ DETAIL.
  - ALLOW FOR FC SHEETING IN ALL WALLS ALONG RECYCLING BIN ROOM AREAS.

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
P1	14/06/2019	EM	BL/RS	For Coordination
P2	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
00	7/05/2020	DN	DN/RS	For Construction
01	10/07/2020	DN/MJ	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and sizes within apartments.
02	28/08/2020	DN/MJ	DN	WT3.01a-190 Blackwork Render finish on both sides, planters, retaining walls. Adjustment along portals to both balconies. External wall revised along Cantilever in units 100 and 201.
03	13/10/2020	DN/MJ	DN	Additional dimensions added

Rev.	Issue Date	By	Chk	Description
04	15/12/2020	DN/MJ	DN	As Coupled-302 Laundry wall setout revised
05	25/06/2021	DN/MJ	DN	Works as Executed

Consultants

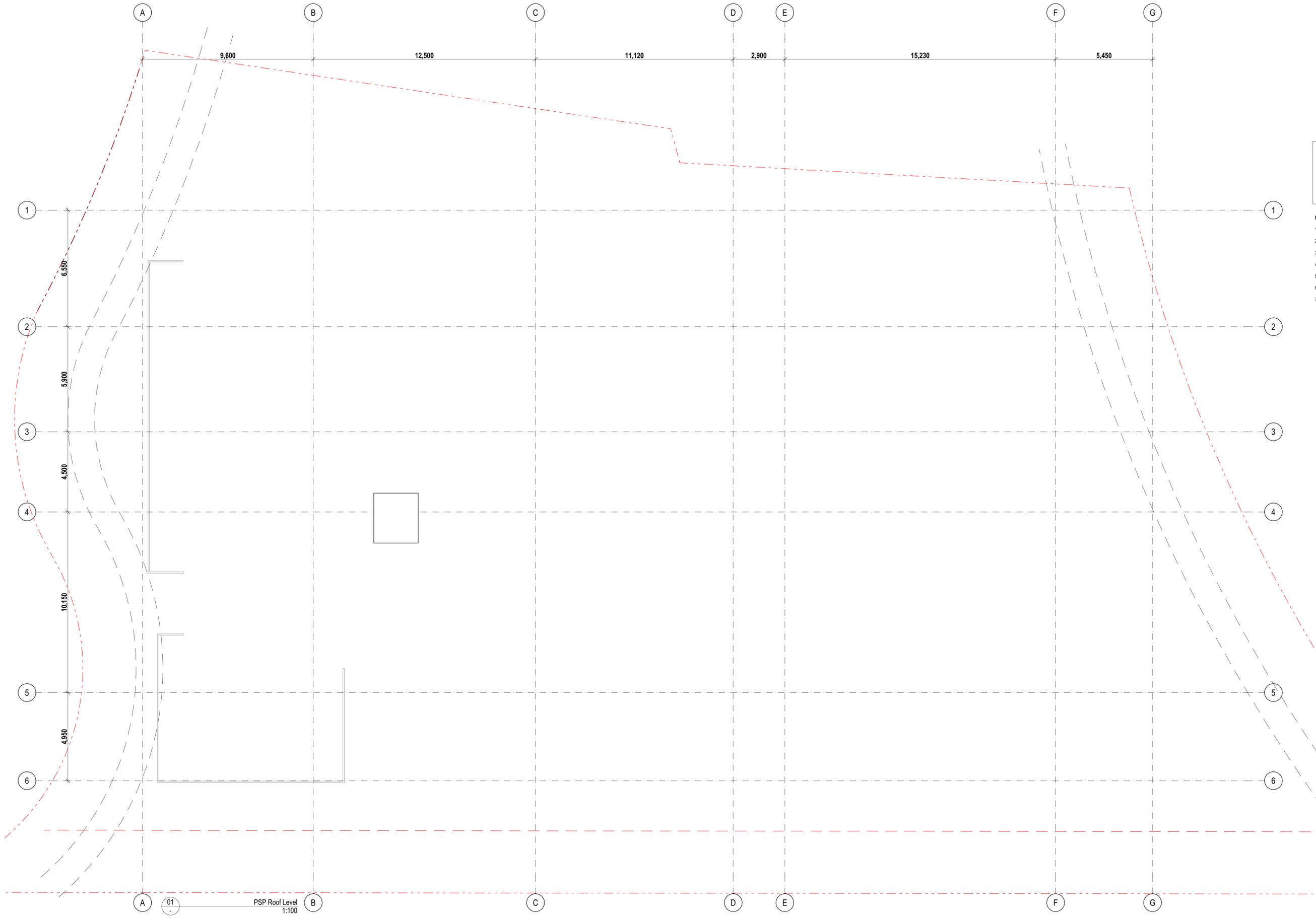
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Project Name	Warriewood Apts	Drawing Series	Partition Setout Plans
Project Number	11268	Drawing Name	PSP Level 3
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2305
Drawn By	DN/MJ	Revision	05
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			



**NOTES:**

PARTITION SETOUT PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS INCLUDING:

REFLECTED CEILING PLANS - REFER A2400 SERIES DRGS.  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRGS.  
 A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRGS.

ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.

**LEGEND**

-WTS.01	WALL TYPE 3.01
-	REFER WALL TYPES SCHEDULE - REFER A6300 SERIES DRGS.
COS:	CHECK ON SITE.
UNO:	UNLESS NOTED OTHERWISE.

- NOTES:**
- WT4.00 FOR ALL UNIT INTERNAL PARTITION WALLS UNO.
  - ALL DOOR SETOUT DIMENSIONS TO HINGE SIDE OF DOOR.
  - REFER TO A2100 SERIES GAS FOR DOOR TAGS/ TYPES.
  - REFER TO A-SCH4008 DOOR SCHEDULE FOR STRUCTURAL OPENING SIZE.
  - REFER TO A6300 SERIES WINDOW SCHEDULE FOR WINDOW TYPES/ DETAIL.
  - REFER TO A6100 SERIES BALUSTRADE SCHEDULE FOR BALUSTRADE TYPES/ DETAIL.
  - ALLOW FOR FC SHEETING IN ALL WALLS ALONG RECYCLING BIN ROOM AREAS.

01 - PSP Roof Level  
 1:100

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk.	Description
Pt	14/06/2019	EM	BL/RS	For Coordination
Tot	12/08/2019	EM	RS/DN	For Tender
A	02/02/2020	MJ	RS	For Construction Certificate 1
B	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description

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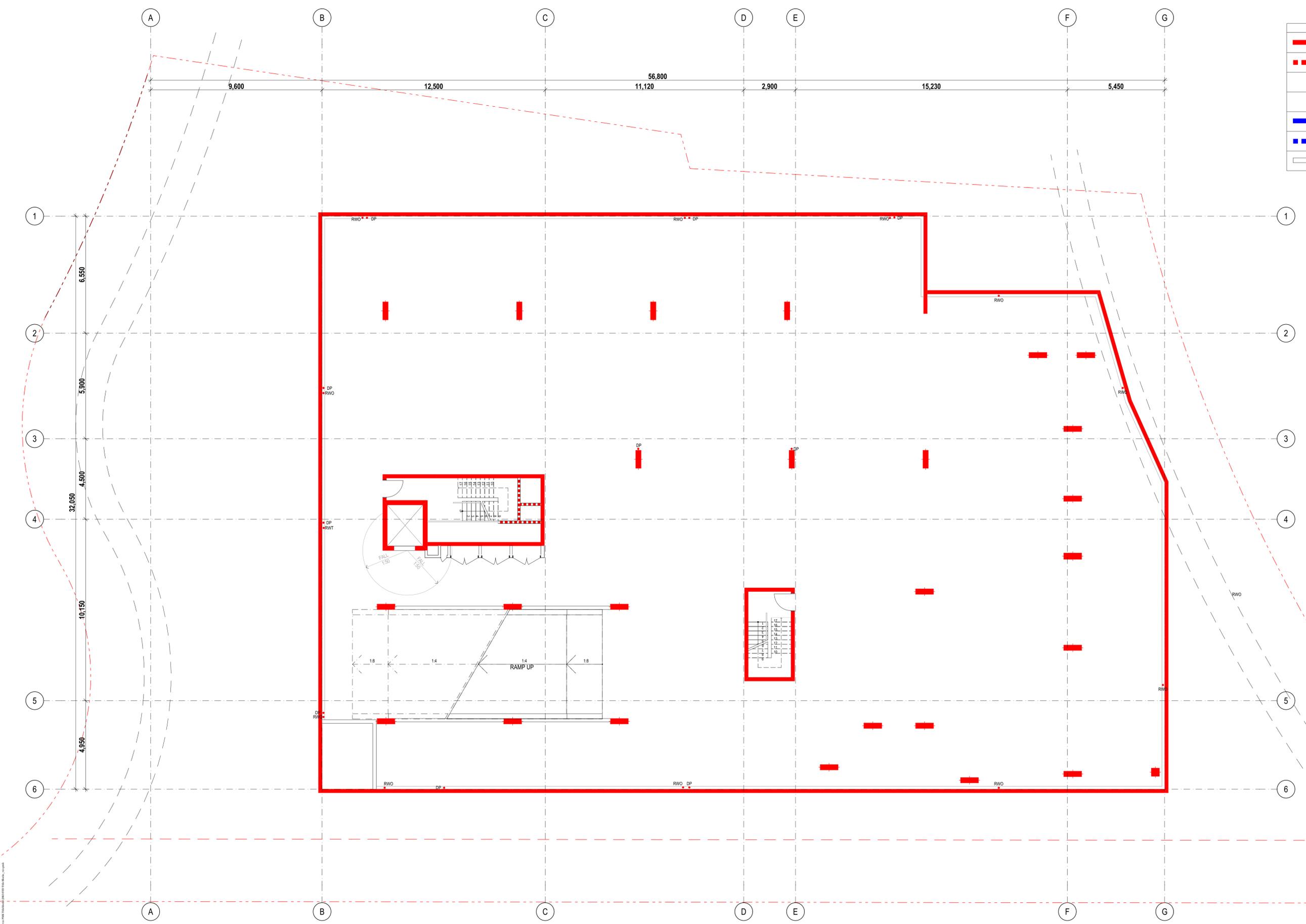
Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: MJ  
 Checked By: \*\*\* Not in Use \*\*\*\*\*  
 Date: 25/06/2021  
 Scale:

Drawing Series: Partition Setout Plans  
 Drawing Name: PSP Roof Plan

Drawing Number: **A2306**  
 Revision: **B**

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: PSP Roof Level  
 Date: 25/06/2021  
 Scale: 1:100  
 Author: MJ  
 Checker: \*\*\* Not in Use \*\*\*\*\*  
 Title: PSP Roof Level  
 Status: For Construction Certificate 1  
 Project Number: 11268  
 Project Name: Warriewood Apts  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing Series: Partition Setout Plans  
 Drawing Name: PSP Roof Plan  
 Drawing Number: A2306  
 Revision: B



	LOAD BEARING	NON LOAD BEARING
	FRL 120/120/120	
		FRL - /120/120
	FRL 90/90/90	
		FRL - /90/90
	FRL 60/60/60	
		FRL - /60/60
	FRL -/-	FRL -/-

**LEGEND**  
 FRL REQUIREMENTS ARE TO BE AS PER TABLE 3 AND 3.9 OF THE BCA.

**CARPARK**  
 120mins to separate the car park from other areas (inc walls and floors from residential portions). Note in accordance with BCA Table 3.9, the FRLs of elements within the sprinkler protected car park can be reduced, typically to 60mins.

**RESIDENTIAL vs Carpark** FRL120/120/120

**RESIDENTIAL**  
 90mins for residential units, 60min non loadbearing  
 90mins for shafts in residential areas  
 90mins for floors dividing residential from residential

**Residential vs Residential** FRL90/90/90

**GENERAL**  
 Requirements for doors to be minimum FRL-60/30 for fire stair shafts, apartment front doors, doors to other rooms in enclosed areas and in unenclosed areas where on a dead end route (e.g. where egress from an apartment necessitates passing by the door of a riser etc).

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
00	7/05/2020	DN	DN/RS	For Construction
01	01/07/2020	DN	DN/MK	For Construction
02	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

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 David Randerson 8542

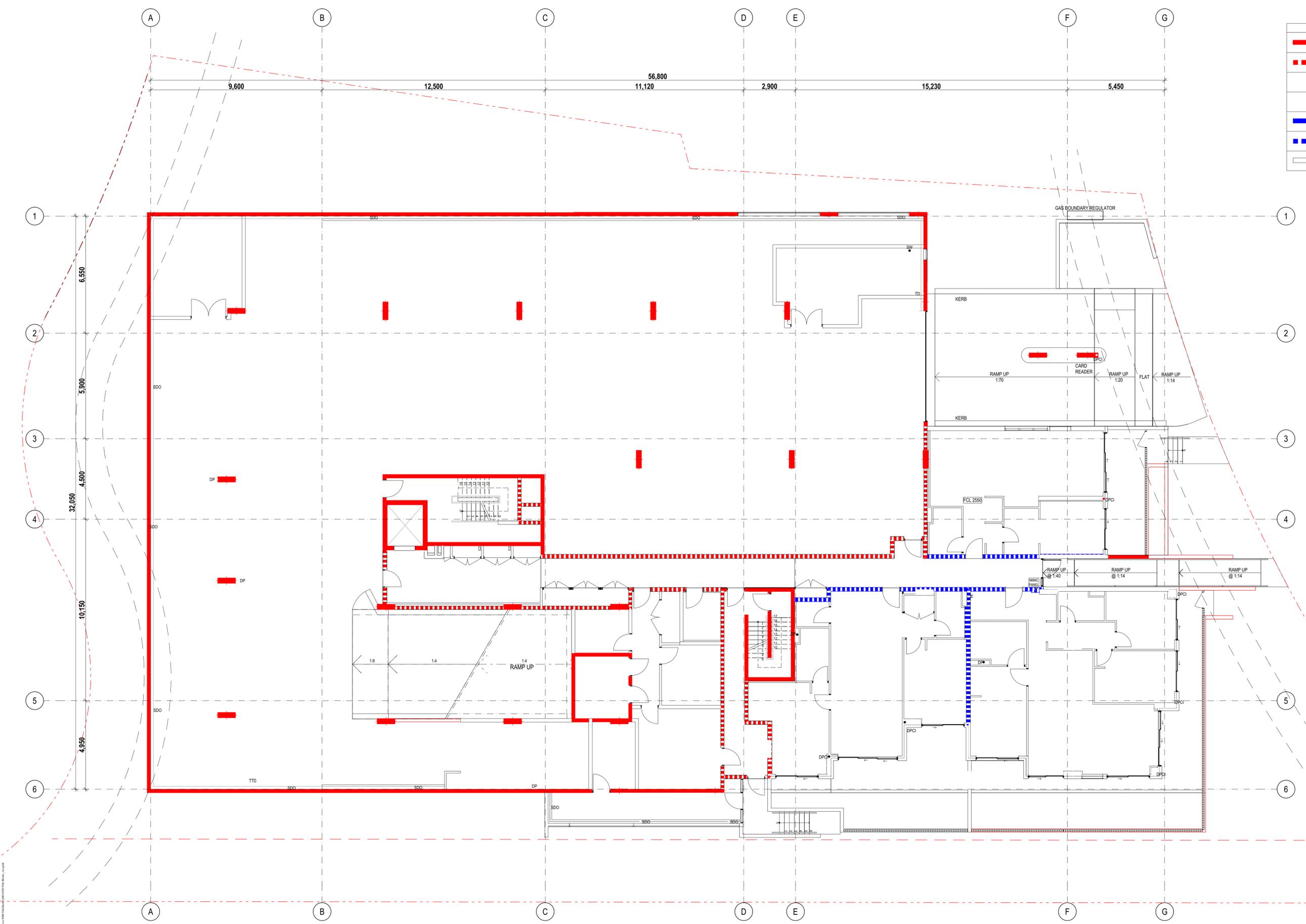


Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: DN  
 Checked By: DN  
 Date: 25/06/2021  
 Scale:

Drawing Series: FCP Basement Plan  
 Drawing Name:  
 Drawing Number: **A2311**  
 Revision: **02**

Fire Compartmentation Plans



	LOAD BEARING	NON LOAD BEARING
	FRL 120/120/120	
		FRL - /120/120
	FRL 90/90/90	
		FRL - /90/90
	FRL 60/60/60	
		FRL - /60/60
	FRL -/-	FRL -/-

**LEGEND**  
 FRL REQUIREMENTS ARE TO BE AS PER TABLE 3 AND 3.9 OF THE BCA.

**CARPARK**  
 120min to separate the car park from other areas (inc walls and floors from residential within the portions). Note in accordance with BCA Table 3.9, the FRLs of elements within the sprinkler protected car park can be reduced, typically to 60mins.

**Residential vs Carpark** FRL120/120/120

**RESIDENTIAL**  
 90min for residential units, 60min non loadbearing  
 90mins for shafts in residential areas  
 90mins for floors dividing residential from residential

**Residential vs Residential** FRL90/90/90

**GENERAL**  
 Requirements for doors to be minimum FRL-60/30 for fire stair shafts, apartment front doors, doors to other rooms in enclosed areas and in unenclosed areas where on a dead end route (e.g. where egress from an apartment necessitates passing by the door of a riser etc).

Builder/Contractor shall verify job-dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job-dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
00	7/05/2020	DN	DN/RS	For Construction
01	01/07/2020	DN	DN/MK	For Construction
02	13/10/2020	DN	DN	Walls to services riser along Stair A updated to -/120/120
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

**WARRIEWOOD DESIGN**

**PDSGROUP**

**IGS**

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 Koos de Keijzer 5767  
 David Randerson 8542



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Fire Compartmentation Plans  
 Drawing Name: FCP Ground Level

Drawing Number: **A2312**  
 Revision: **03**

Drawn By: DN  
 Checked By: DN  
 Date: 25/06/2021  
 Scale:



	LOAD BEARING	NON LOAD BEARING
	FRL 120/120/120	
		FRL - /120/120
	FRL 90/90/90	
		FRL - /90/90
	FRL 60/60/60	
		FRL - /60/60
	FRL -/-	FRL -/-

**LEGEND**  
 FRL REQUIREMENTS ARE TO BE AS PER TABLE 3 AND 3.9 OF THE BCA.

**CARPARK**  
 120min to separate the car park from other areas (inc walls and floors from residential portions). Note in accordance with BCA Table 3.9, the FRLs of elements within the sprinkler protected car park can be reduced, typically to 60mins.

Residential vs Carpark FRL 120/120/120

**RESIDENTIAL**  
 90min for residential units, 60min non loadbearing  
 90mins for shafts in residential areas  
 90mins for floors dividing residential from residential

Residential vs Residential FRL 90/90/90

**GENERAL**  
 Requirements for doors to be minimum FRL -/60/30 for fire stair shafts, apartment front doors, doors to other rooms in enclosed areas and in unenclosed areas where on a dead end route (e.g. where egress from an apartment necessitates passing by the door of a riser etc).

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
00	7/05/2020	DN	DN/RS	For Construction
01	6/07/2020	DN	DN/MK	For Construction
02	13/10/2020	DN	DN	Walls to services riser along Stair A updated to -/120/120
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

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Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: DN  
 Checked By: DN  
 Date: 25/06/2021  
 Scale:

Drawing Series: FCP Level 1  
 Drawing Name: Fire Compartmentation Plans  
 Drawing Number: **A2313**  
 Revision: **03**



	LOAD BEARING	NON LOAD BEARING
	FRL 120/120/120	
		FRL - /120/120
	FRL 90/90/90	
		FRL - /90/90
	FRL 60/60/60	
		FRL - /60/60
	FRL -/-	FRL -/-

**LEGEND**  
 FRL REQUIREMENTS ARE TO BE AS PER TABLE 3 AND 3.9 OF THE BCA.

**CARPARK**  
 120min to separate the car park from other areas (inc walls and floors from residential portions). Note in accordance with BCA Table 3.9, the FRLs of elements within the sprinkler protected car park can be reduced, typically to 60mins.

Residential vs Carpark FRL 120/120/120

**RESIDENTIAL**  
 90min for residential units, 60min non loadbearing  
 90mins for shafts in residential areas  
 90mins for floors dividing residential from residential

Residential vs Residential FRL 90/90/90

**GENERAL**  
 Requirements for doors to be minimum FRL -60/30 for fire stair shafts, apartment front doors, doors to other rooms in enclosed areas and in unenclosed areas where on a dead end route (e.g. where egress from an apartment necessitates passing by the door of a riser etc).

Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
00	7/05/2020	DN	DN/RS	For Construction
01	07/07/2020	DN	DN/MK	For Construction
02	13/10/2020	DN	DN	Walls to services riser along Stair A updated to -/120/120
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

**WBB DESIGN**

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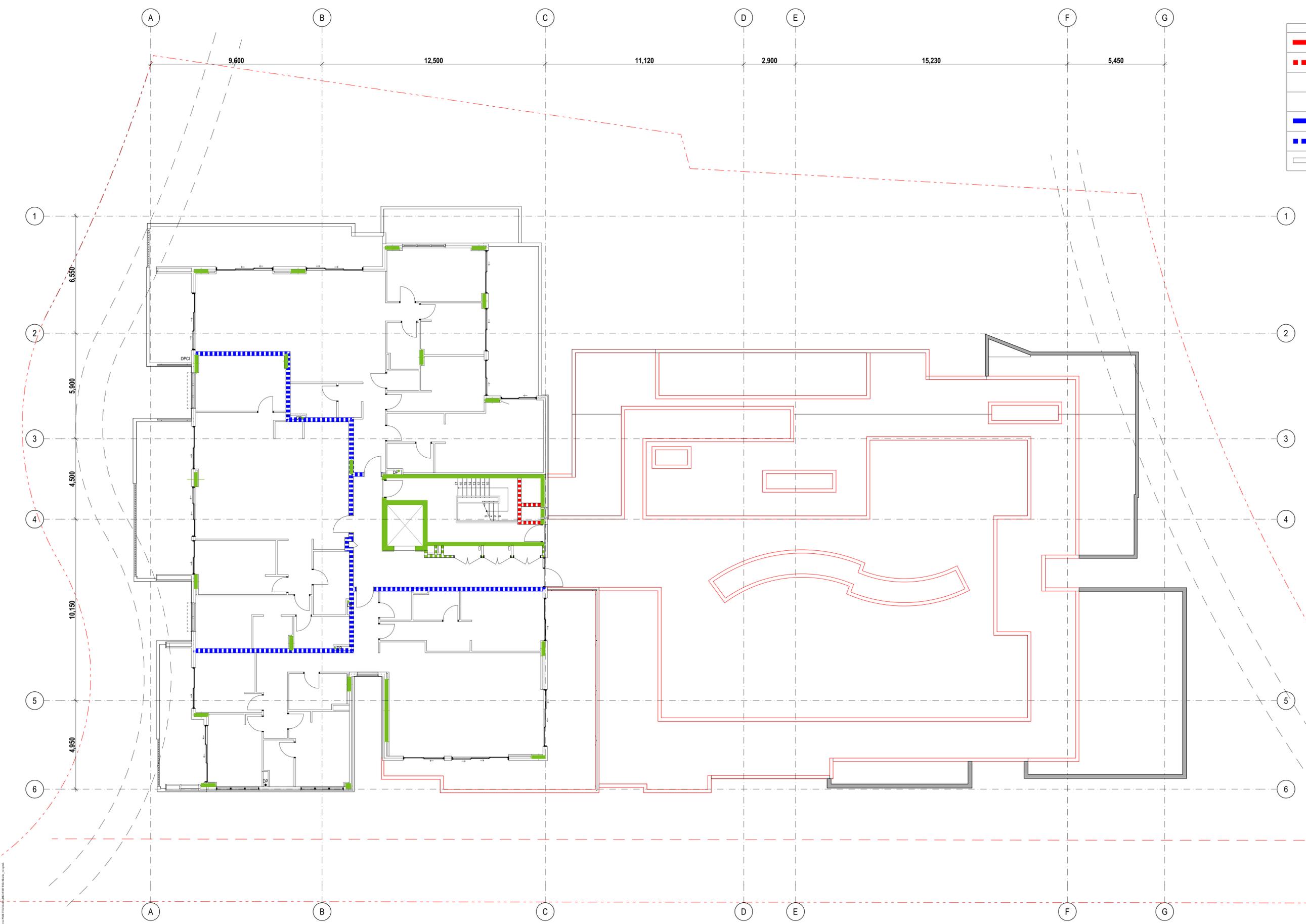


Project Name Warriewood Apts  
 Project Number 11268  
 Project Address 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series  
 Drawing Name  
 Drawing Number **A2314**  
 Revision **03**

Fire Compartmentation Plans  
 FCP Level 2

Drawn By DN  
 Checked By  
 Date 25/06/2021  
 Scale



	LOAD BEARING	NON LOAD BEARING
	FRL 120/120/120	
		FRL - /120/120
	FRL 90/90/90	
		FRL - /90/90
	FRL 60/60/60	
		FRL - /60/60
	FRL -/-	FRL -/-

**LEGEND**  
 FRL REQUIREMENTS ARE TO BE AS PER TABLE 3 AND 3.9 OF THE BCA.

**CARPARK**  
 120min to separate the car park from other areas (inc walls and floors from residential portions). Note in accordance with BCA Table 3.9, the FRLs of elements within the sprinkler protected car park can be reduced, typically to 60mins.

Residential vs Carpark FRL 120/120/120

**RESIDENTIAL**  
 90min for residential units, 60min non loadbearing  
 90mins for shafts in residential areas  
 90mins for floors dividing residential from residential

Residential vs Residential FRL 90/90/90

**GENERAL**  
 Requirements for doors to be minimum FRL -60/30 for fire stair shafts, apartment front doors, doors to other rooms in enclosed areas and in unenclosed areas where on a dead end route (e.g. where egress from an apartment necessitates passing by the door of a riser etc).

Builder/Contractor shall verify job-dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job-dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
00	7/05/2020	DN	DN/RS	For Construction
01	07/07/2020	DN	DN/MK	For Construction
02	13/10/2020	DN	DN	Walls to services riser along Stair A updated to -/120/120
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

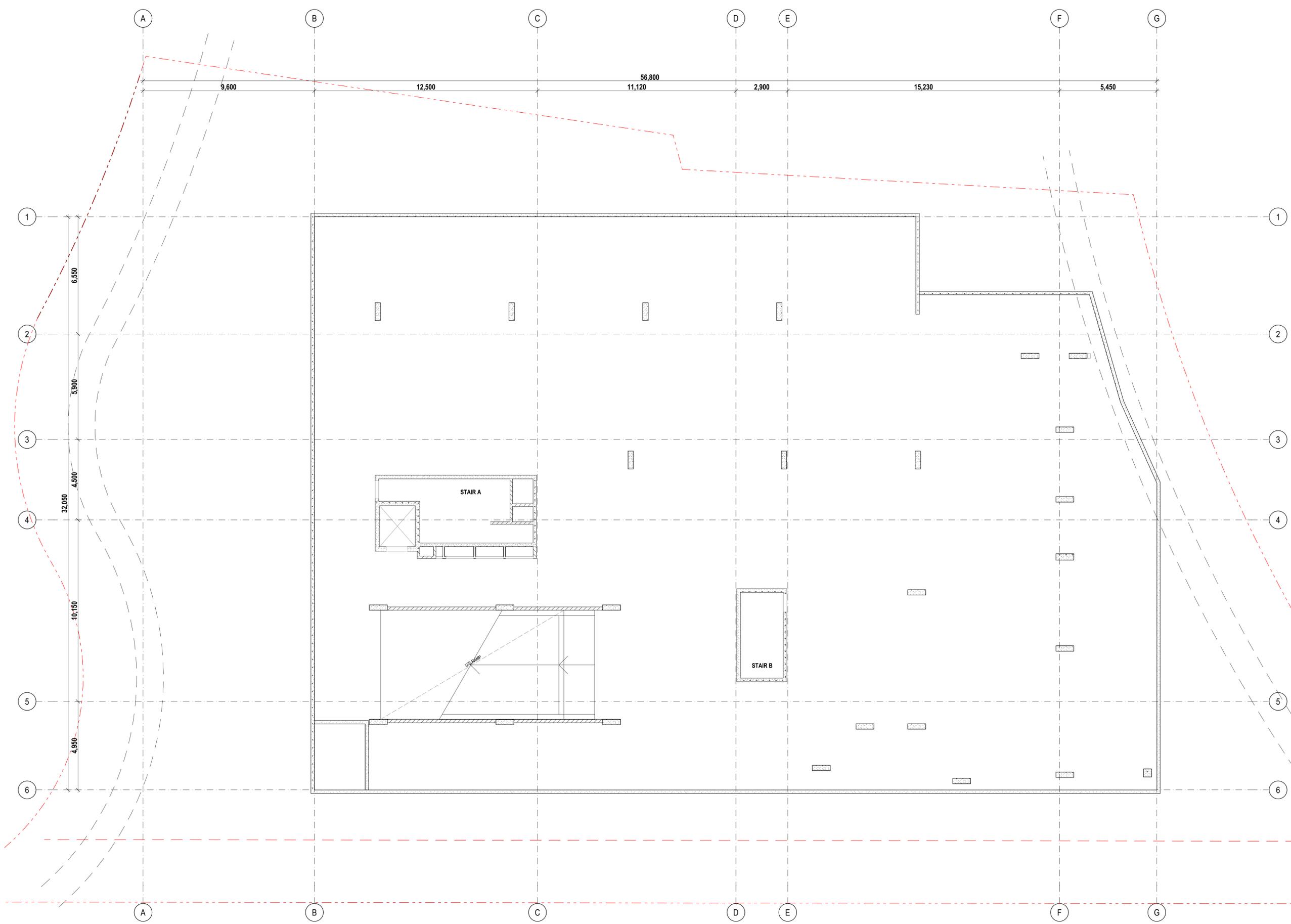


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 David Randerson 8342



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Fire Compartmentation Plans  
 Drawing Name: FCP Level 3  
 Drawing Number: A2315  
 Revision: 03  
 Drawn By: DN  
 Checked By: DN  
 Date: 25/06/2021  
 Scale:



**NOTES:**  
 REFLECTED CEILING PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS.  
 REFER CEILING TYPES SCHEDULE DRAWING A6201  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRG'S.  
 A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRG'S.  
 ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR LEVEL

CEILING FINISHES SCHEDULE	
	2700mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm moisture resistant plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	Under slab thermal insulation. - fully sealed, confirm final extent with Consultant's report. Refer also 805ff living below.
	Soffit lining - Aluminium cladding on framing to u/s conc. slab flush finished, finish as sched'd. EF-10
	Off-form concrete soffit - paint finish as sched'd. EF-09
	Bathroom above, insulation as required
	A/C grill extent

- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- (1) FRAMED FLOOR STRUCTURE, INSULATION, F.C SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
  - (2) SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBOARD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
  - (3) FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBOARD LINING, PAINT FINISH AS SCHED'D.
  - (4) UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - (5) VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - (6) UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
  - (7) METAL SCREENS - CONCEALED FIXING TO U/S WALL OHANG.

Builder/Contractor shall verify job-dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job-dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
P1	14/06/2019	EM	BL/RS	For Coordination
P2	19/07/2019	BL/EM	RS/DN	For Coordination
P3	19/07/2019	EM/BL	RS/DN	For AC location coordination only
P4	20/07/2019	EM/BL	RS/DN	For Coordination
To1	10/08/2019	EM/BL	RS/DN	For Tender
A	31/04/2020	DN	RS	For Coordination
00	25/05/2020	DN	DN	For Construction
01	13/07/2020	DN	DN	As Clouded, insulation removed
02	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

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 Koos de Keijzer 5767  
 David Randerson 8342



Project Name	Warriewood Apts	Drawing Series	Reflected Ceiling Plans
Project Number	11268	Drawing Name	RCP Basement Level
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2401
Drawn By	DN	Revision	02
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

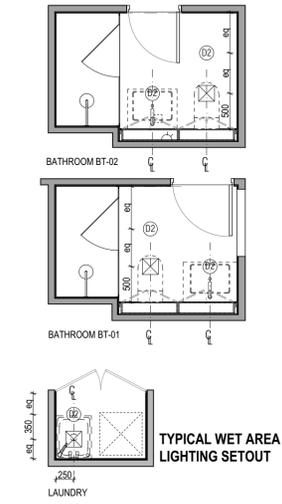
Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: Reflected Ceiling Plans, RCP Basement Level  
 Date: 25/06/2021  
 Scale: 1:100  
 Author: DKO Architecture  
 Checker: DN  
 Title: Reflected Ceiling Plans



**NOTES:**  
 REFLECTED CEILING PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS.  
 REFER CEILING TYPES SCHEDULE DRAWING A6201  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANT'S DRG'S.  
 AC & DUCTING LAYOUT TO MECHANICAL CONSULTANT'S DRG'S.  
 ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR LEVEL

CEILING FINISHES SCHEDULE	
	2700mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm moisture resistant plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	Under slab thermal insulation. - fully sealed, confirm final extent with Consultant's report. Refer also Softf lining below.
	Softf lining - Fibre cement sheeting on framing to u/s conc. slab. Express joints, paint finish EF-10
	Off-form concrete soffit - paint finish as sched'd. EF-09
	Bathroom above, insulation as required
	A/C grill extent

- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- (1) FRAMED FLOOR STRUCTURE, INSULATION, F.C SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
  - (2) SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBOARD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
  - (3) FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBOARD LINING, PAINT FINISH AS SCHED'D.
  - (4) UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - (5) VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - (6) UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
  - (7) METAL SCREENS - CONCEALED FIXINGS TO US WALL OHANG.



Rev.	Issue Date	By	Chk	Description
P1	14/06/2019	EM	BL/RS	For Coordination
P2	12/07/2019	BL/EM	RS/DN	For Coordination
P3	19/07/2019	BL/BL	RS/DN	For AC location coordination only
P4	29/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	31/04/2020	DN	RS	For Coordination
00	25/05/2020	DN	DN	For Construction
01	30/06/20	DN	DN	Balkony lights removed
02	2/07/2020	DN	DN	Insulation removed along basement
03	9/09/2020	DN	DN	Finishes added to balconies General revision due to wall and column adjustment Wall lights added along terraces and balconies. Lobby lighting, sensors, fire, speakers layout coordination with electrical drawings

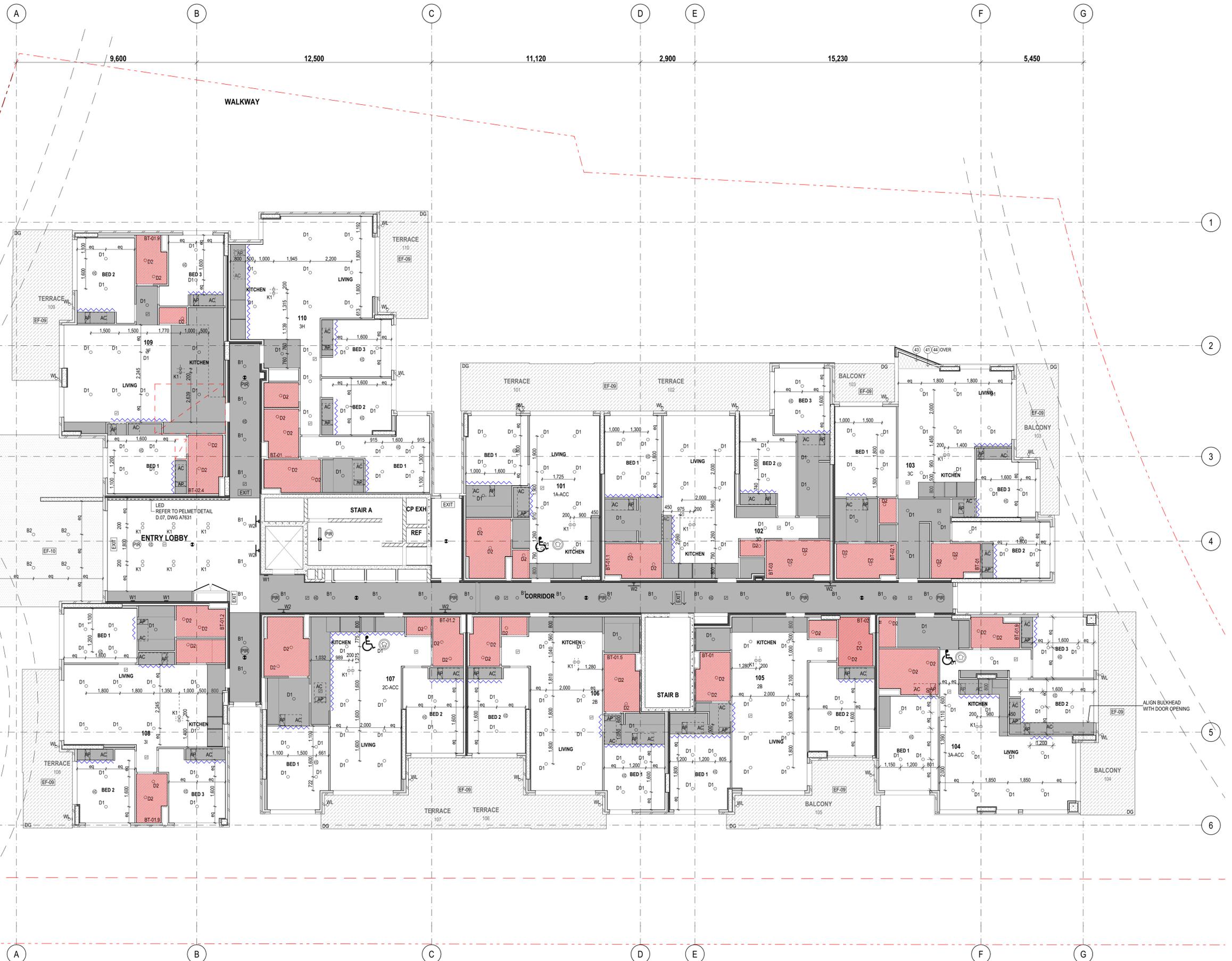
Rev.	Issue Date	By	Chk	Description
04	15/09/2020	MJ	DN	Unit 002 extend of bulkhead to match Kitchen layout
05	9/10/2020	MJ	DN	Unit 002 Revised ceiling to allow to avoid beam over Kitchen area. Corridor ceiling revised to 2400. Width along Kitchen bulkheads added
06	13/11/2020	MJ	DN	Light setout, Bedrooms, Typical wet area as clouded
07	25/11/2020	MJ	DN	Ki Lighting location revised, Downlights reduced in 002 Living, Bulkhead revised in 003
08	25/06/2021	MJ	DN	Works as Executed

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Project Name	Warriewood Apts	Drawing Series	Reflected Ceiling Plans
Project Number	11268	Drawing Name	RCP Ground Level
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2402
Drawn By	MJ	Revision	08
Checked By	DN		
Date	25/06/2021		
Scale			



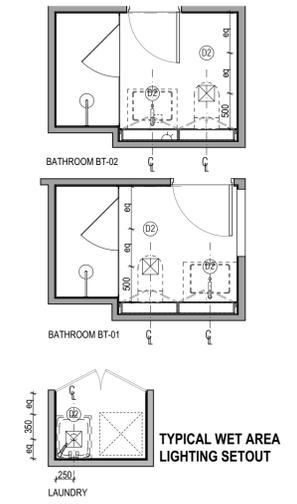


**NOTES:**  
 REFLECTED CEILING PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS.  
 REFER CEILING TYPES SCHEDULE DRAWING A6201  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANTS DRG'S.  
 A/C & DUCTING LAYOUT TO MECHANICAL CONSULTANTS DRG'S.  
 ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR LEVEL

**CEILING FINISHES SCHEDULE**

	2700mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm moisture resistant plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	Under slab thermal insulation. - fully sealed, confirm final extent with Consultant's report. Refer also Soffit lining below.
	Soffit lining - Fibre cement sheeting on framing to u/s conc. slab. Express joints, paint finish. EF-10
	Off-form concrete soffit - paint finish as sched'd. EF-09
	Bathroom above, insulation as required
	A/C grill extent

- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- (1) FRAMED FLOOR STRUCTURE, INSULATION, F.C SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
  - (2) SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBOARD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
  - (3) FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBOARD LINING, PAINT FINISH AS SCHED'D.
  - (4) UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - (5) VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - (6) UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
  - (7) METAL SCREENS - CONCEALED FIXINGS TO U/S WALL OHANG.



Builder/Contractor shall verify job dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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P1	14/06/2019	EM	BL/RS	For Coordination
P2	12/07/2019	BL/EM	RS/DN	For Coordination
P3	19/07/2019	BL/EM	RS/DN	For AC location coordination only
P4	29/07/2019	EM/BL	RS/DN	For Coordination
Tot	12/08/2019	EM/BL	RS/DN	For Tender
A	31/04/2020	DN	RS	For Coordination
00	25/05/2020	DN	DN	For Construction
01	30/06/20	DN	DN	Balcory lights removed
02	21/07/2020	DN	DN	Finishes added to balconies
03	09/09/2020	DN	DN	Wall lights added along terraces and balconies. Lobby lighting, sensors, fire, speakers layout coordination with electrical drawings

Rev.	Issue Date	By	Chk	Description
04	15/09/2020	MJ	DN	Unit 101,102,104 extend of bulkhead to match Kitchen layout, 109 bulkhead adjusted
05	12/10/2020	MJ	DN	Width along Kitchen bulkheads added
06	13/11/2020	MJ	DN	Light setup, Bedrooms, Typical wet area. Main entry lobby ceiling revert to EF-10 and fix lights added as shoaled
07	25/11/2020	MJ	DN	Lighting location revised, 109 downlight added to corridor Bed 2. Downlights reduced in 104 Living and 107 WIR and 110 Laundry, A/C and Grill location revised in 102
08	25/06/2021	MJ	DN	Works as Executed

Consultants

**PDSGROUP**

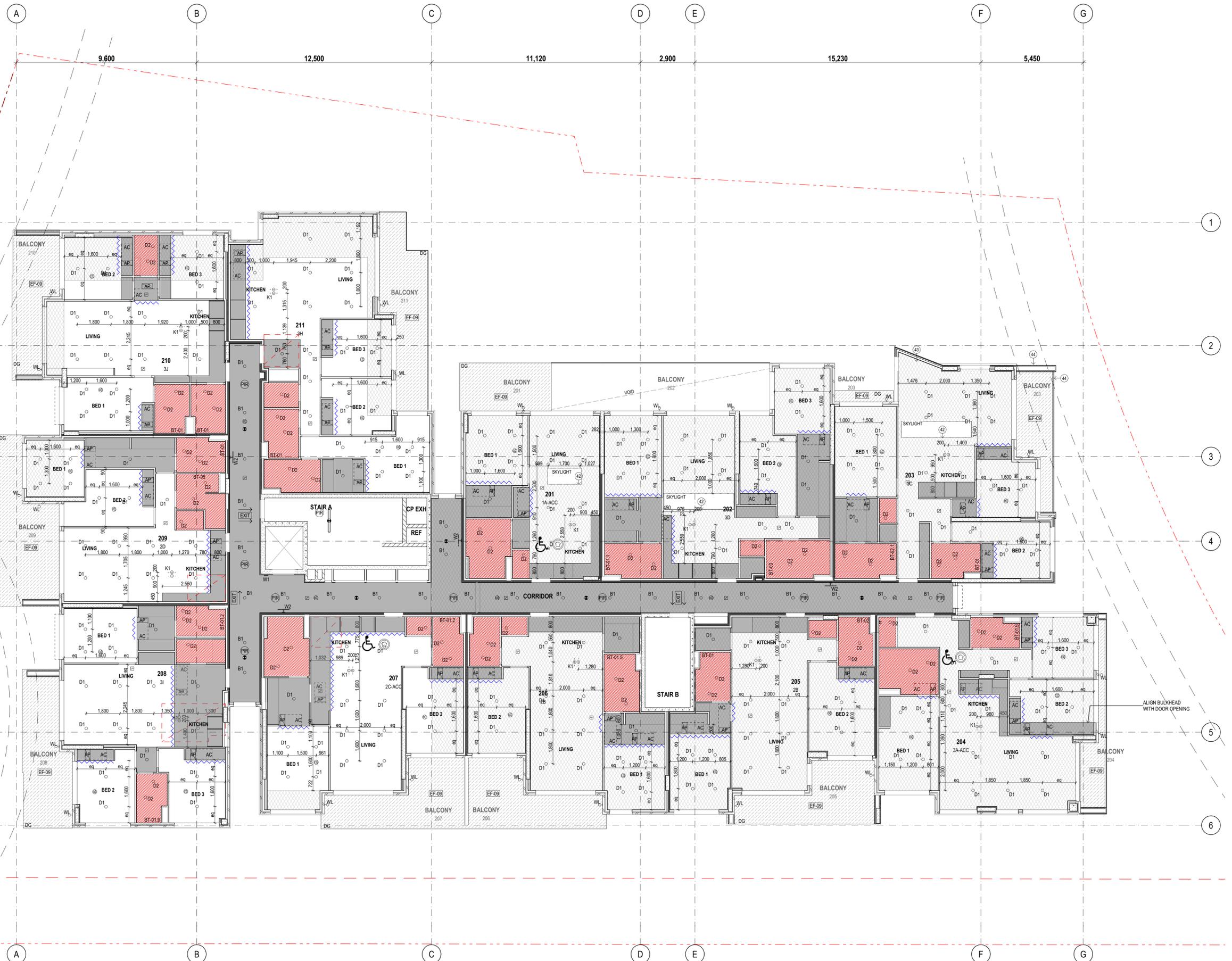
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 Koos de Keijzer 5767  
 David Randerson 8342

Project Name	Warriewood Apts	Drawing Series	Reflected Ceiling Plans
Project Number	11268	Drawing Name	RCP Level 1
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2403
Drawn By	MJ	Revision	08
Checked By	DN		
Date	25/06/2021		
Scale			

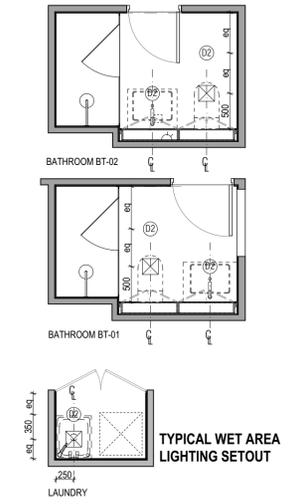
Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: Reflected Ceiling Plans, RCP Level 1  
 Date: 25/06/2021  
 Scale: As Shown  
 Author: MJ  
 Checker: DN  
 Title: Reflected Ceiling Plans



**NOTES:**  
 REFLECTED CEILING PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS.  
 REFER CEILING TYPES SCHEDULE DRAWING A6201  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANTS DRG'S.  
 AC & DUCTING LAYOUT TO MECHANICAL CONSULTANTS DRG'S.  
 ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR LEVEL

CEILING FINISHES SCHEDULE	
	2700mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm moisture resistant plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	Under slab thermal insulation. - fully sealed, confirm final extent with Consultant's report. Refer also Soffit lining below.
	Soffit lining - Fibre cement sheeting on framing to u/s conc. slab. Express joints, paint finish EF-10
	Off-form concrete soffit - paint finish as sched'd. EF-09
	Bathroom above, insulation as required
	A/C grill extent

- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- (1) FRAMED FLOOR STRUCTURE, INSULATION, F.C SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
  - (2) SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBOARD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
  - (3) FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBOARD LINING, PAINT FINISH AS SCHED'D.
  - (4) UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - (5) VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - (6) UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
  - (7) METAL SCREENS - CONCEALED FIXINGS TO U/S WALL OHANG.



Rev.	Issue Date	By	Chk	Description
P1	14/06/2019	EM	BL/RS	For Coordination
P2	12/07/2019	BL/DM	RS/DN	For Coordination
P3	19/07/2019	BL/DM	RS/DN	For AC location coordination only
P4	29/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	31/04/2020	DN	RS	For Coordination
00	25/05/2020	DN	DN	For Construction
01	23/06/2020	DN	DN	For Construction
02	30/06/2020	DN	DN	Balcony lights removed; Finishes added to balconies; General revision due to wall and column adjustment

Rev.	Issue Date	By	Chk	Description
03	09/09/2020	DN	DN	Wall lights added along terraces and balconies. Lobby lighting, sensors, fire, speakers layout coordination with electrical drawings. Revised soffit lining along portals
04	15/09/2020	MJ	DN	Unit 201, 202, 204, 209 extend of bulkhead to match Kitchen layout, 201-4 downlights in Bed 1
05	13/10/2020	MJ	DN	As Coupled, Width along Kitchen bulkheads added
06	13/11/2020	MJ	DN	Light setout, Bedrooms, Typical wet area as coupled
07	25/11/2020	MJ	DN	Ki Lighting location revised, 203 downlight added in corridor B2, Downlights reduced in 204 Living and 207 WR, 211 downlight removed in store, A/C and Grill location revised in 202, 203 and 204. Balcony Soffit revised to EF-09
08	25/06/2021	MJ	DN	Works as Executed



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Project Name	Warriewood Apts	Drawing Series	Reflected Ceiling Plans
Project Number	11268	Drawing Name	RCP Level 2
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A2404
Drawn By	MJ	Revision	08
Checked By	DN		
Date	25/06/2021		
Scale			



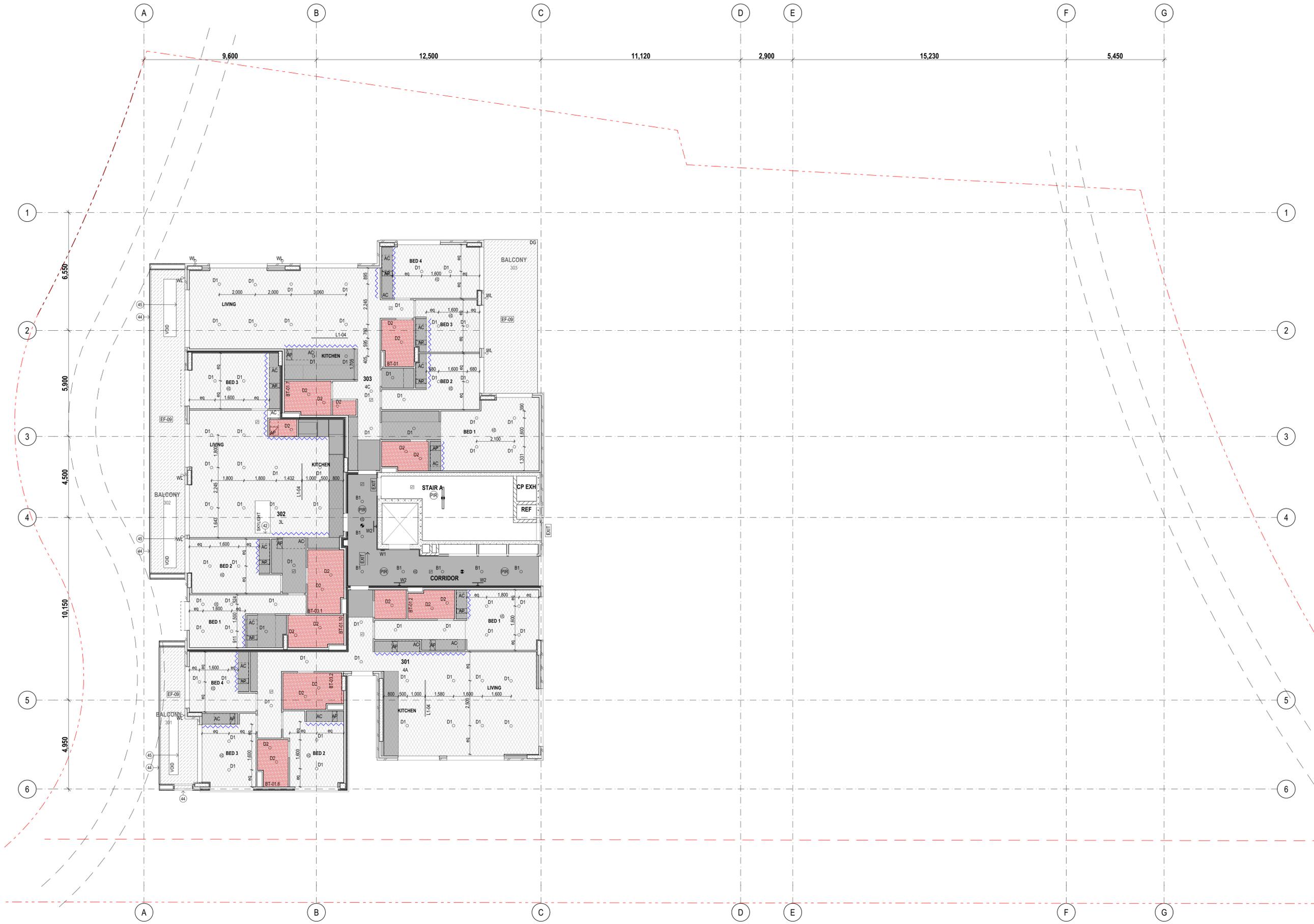
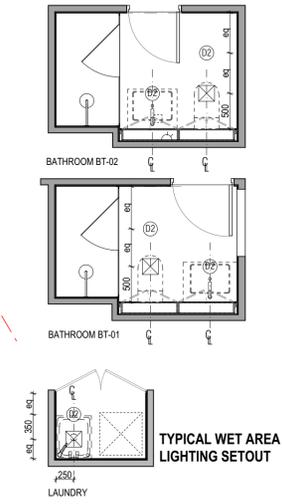
**NOTES:**  
 REFLECTED CEILING PLANS SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS.  
 REFER CEILING TYPES SCHEDULE DRAWING A6201  
 LIGHTING LAYOUT TO ELECTRICAL CONSULTANTS DRG'S.  
 AC & DUCTING LAYOUT TO MECHANICAL CONSULTANTS DRG'S.  
 ALL DISCREPANCY SHALL BE REPORTED BACK TO ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR LEVEL

**CEILING FINISHES SCHEDULE**

	2700mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm moisture resistant plasterboard ceiling, paint finish. F-42
	2400mm ceiling height (UNO) - 13mm plasterboard ceiling, paint finish. F-42
	Under slab thermal insulation. - fully sealed, confirm final extent with Consultant's report. Refer also Soffit lining below.
	Soffit lining - Fibre cement sheeting on framing to u/s conc. slab. Express joints, paint finish EF-10
	Off-form concrete soffit - paint finish as sched'd. EF-09
	Bathroom above, insulation as required
	A/C grill extent

**REFLECTED CEILING PLAN KEYNOTES LEGEND**

- (41) FRAMED FLOOR STRUCTURE, INSULATION, F.C.SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
- (42) SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
- (43) FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBD LINING, PAINT FINISH AS SCHED'D.
- (44) UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
- (45) VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
- (46) UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
- (47) METAL SCREENS - CONCEALED FIXING TO U/S WALL OHANG.



Builder/Contractor shall verify job-dimensions before any job commences.  
 Figured dimensions take precedence over drawings and job-dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
P1	14/06/2019	EM	BL/RS	For Coordination
P2	19/07/2019	BL/EM	RS/DN	For Coordination
P3	19/07/2019	EM/BL	RS/DN	For AC location coordination only
P4	29/07/2019	EM/BL	RS/DN	For Coordination
To1	10/08/2019	EM/BL	RS/DN	For Tender
A	31/04/2020	DN	RS	For Coordination
00	25/05/2020	DN	DN	For Construction
01	23/06/2020	DN	DN	For Construction
02	30/06/20	DN	DN	Balcony lights removed Finishes added to balconies General revision due to wall and column adjustment

Rev.	Issue Date	By	Chk	Description
03	9/09/2020	DN	DN	Wall lights added along terraces and balconies. Lobby lighting, sensors, fire, speakers layout coordination with electrical drawings. Revised soffit lining along portals
04	13/09/2020	DN	DN	As Clouded balcony Soffit revised to EF-09
05	13/10/2020	DN	DN	As Clouded, Width along Kitchen bulkheads added
06	13/12/2020	DN	DN	Light setout, Bedrooms, Typical wet area as clouded
07	30/11/2020	DN	DN	Corridor ceiling @ 2.4m high
08	25/11/2020	DN	DN	Downlights in wet areas revised to D2, 301+1 downlight in Laundry, 303-downlights added in storage, Bed 2 entry hall and entry above Bed 4
09	15/12/2020	DN	DN	As clouded-302 Laundry wall setout revised, 301 and 303 ceiling level revised
10	25/06/2021	DN	DN	Works as Executed

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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8342



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Reflected Ceiling Plans  
 Drawing Name: RCP Level 3  
 Drawing Number: A2405  
 Revision: 10





**NOTES:**  
 ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.  
 ALL BOUNDARY INFORMATION TO BE CONFIRMED BY SURVEYOR BEFORE COMMENCING WORK ON SITE.  
 REFER TO SURVEY DRAWINGS AND REPORTS FOR ALL INFORMATION RELATING TO EXISTING SITE CONDITION.  
 REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:  
 - STRUCTURAL DRAWINGS  
 - ALL SERVICES DRAWINGS  
 - ACOUSTIC REPORT  
 - BASIX & NATHERS CERTIFICATES  
 - BCA REPORT  
 - FIRE ENGINEERING REQUIREMENTS  
 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
 - OTHER REPORTS  
 DIMENSION ARE NOT TO BE SCALED OFF DRAWINGS

**FINISHES SUBJECT TO S4.55 APPROVAL**  
**EXTERNAL FINISHES LEGEND**  
 REFER TO EXTERNAL FINISHES SCHEDULE

- EF 01 COLORBOND METAL SHEET CLADDING  
 COLOUR: COLORBOND 'BASALT'
- EF 15 SOLID ALUMINIUM CLADDING  
 COLOUR: COLORBOND 'WINDSPRAY'
- EF 02 SKIM COAT RENDER AND PAINT FINISH  
 COLOR: MID GREY
- EF 03 SKIM COAT RENDER AND PAINT FINISH  
 COLOR: LIGHT GREY
- EF 04 SKIM COAT RENDER AND PAINT FINISH  
 COLOR: WHITE
- EF 05 HORIZONTAL BATTEN SCREEN AS DETAILED
- EF 06 ~~SKIM COAT RENDER AND PAINT FINISH~~  
 COLOR: WHITE
- EF 13 ALUMINIUM DOORS & WINDOWS  
 COLOUR: BLACK
- EF 14 VERTICAL FLAT BAR BALUSTRADE AS DETAILED



01 - South Elevation  
 1:100



02 - West Elevation  
 1:100

Rev.	Issue Date	By	Chk	Description
P1	12/07/2019	BL/DM	RS/DN	For Coordination
P2	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
B	1/04/2020	MJ/DN	RS/DN	For Coordination
00	8/05/2020	DN/MJ	RS	For Construction
01	4/06/2020	MJ	DN	For Construction
02	15/07/2020	MJ	DN	As Clouded, slab downturn removed; wall material amended
03	2/09/2020	MJ	DN	Ground level conditions adjusted; Top of Walls revised; Portal on south elevation revised; Fence levels along South Western boundaries revised
04	20/10/2020	MJ	DN	Window Subhead removed; Louvers added - as clouded

Rev.	Issue Date	By	Chk	Description
05	18/11/2020	MJ	DN	As clouded- Revised as per Wall type WT4.12 shown in drawing A2304
06	25/06/2021	MJ	DN	Works as Executed

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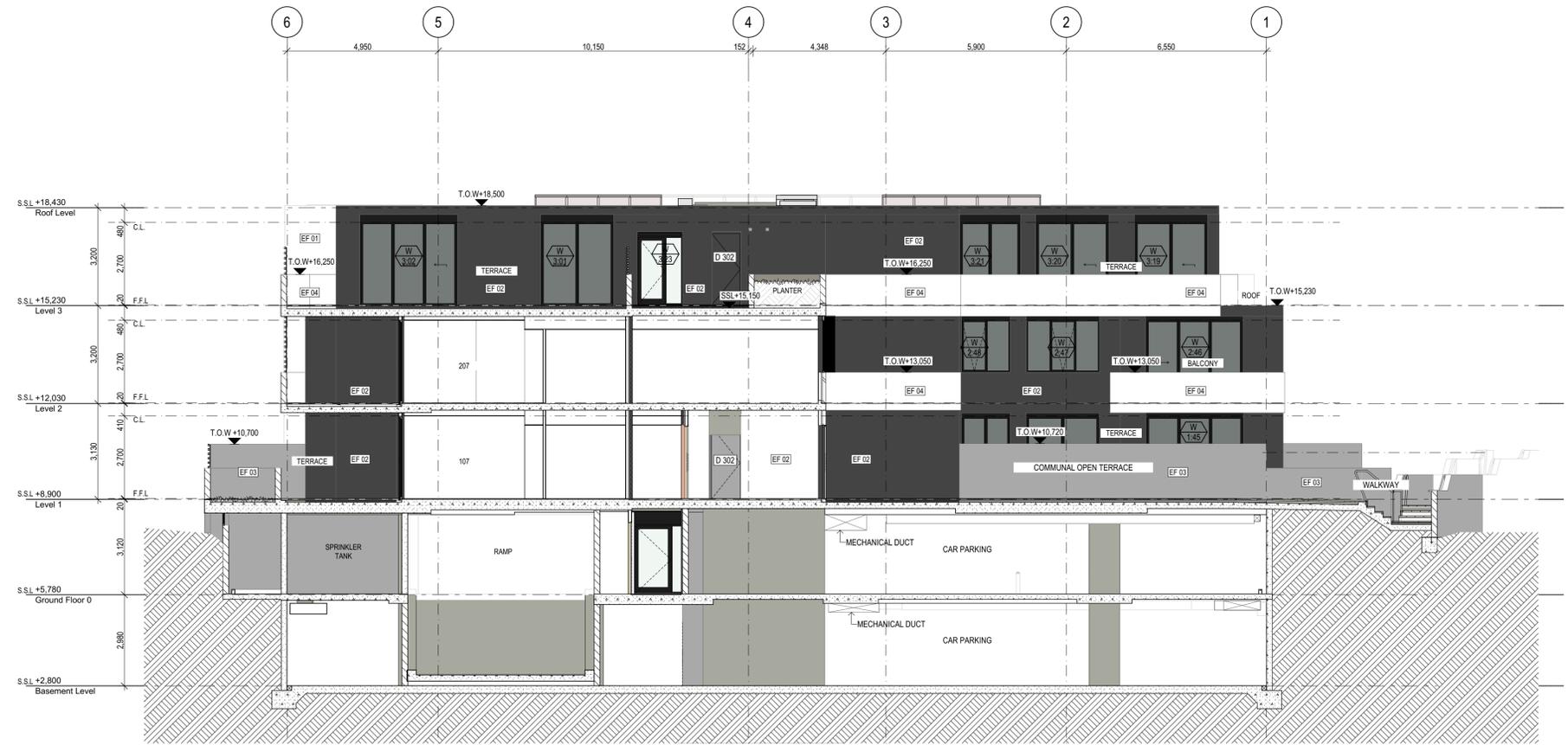
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Project Name	Warriewood Apts	Drawing Series	Building Elevations
Project Number	11268	Drawing Name	South & West Elevations
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A3002</b>
Drawn By	MJ	Revision	<b>06</b>
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

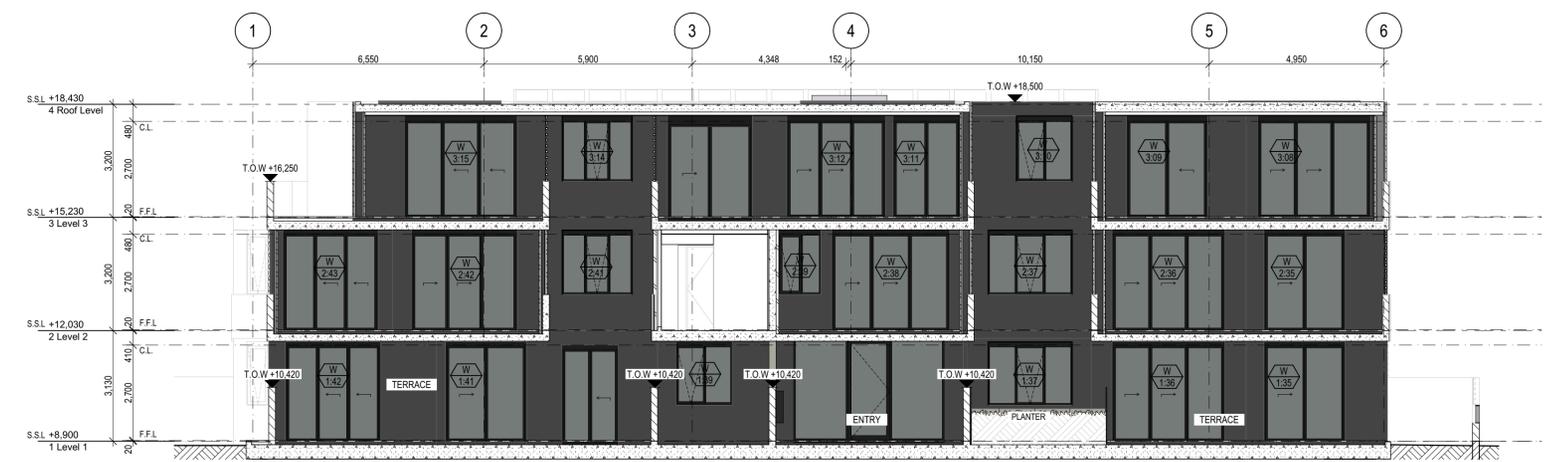
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 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
 - OTHER REPORTS  
 DIMENSION ARE NOT TO BE SCALED OFF DRAWINGS

**FINISHES SUBJECT TO S4.55 APPROVAL**  
**EXTERNAL FINISHES LEGEND**  
 REFER TO EXTERNAL FINISHES SCHEDULE

- EF 01 COLORBOND METAL SHEET CLADDING  
 COLOUR: COLORBOND 'BASALT'
- EF 02 SOLID ALUMINIUM CLADDING  
 COLOUR: COLORBOND 'WINDSPRAY'
- EF 03 SKIM COAT RENDER AND PAINT FINISH  
 COLOR: MID GREY
- EF 04 SKIM COAT RENDER AND PAINT FINISH  
 COLOR: LIGHT GREY
- EF 05 SKIM COAT RENDER AND PAINT FINISH  
 COLOR: WHITE
- EF 06 HORIZONTAL BATTEN SCREEN AS DETAILED
- EF 07 ~~SKIM COAT RENDER AND PAINT FINISH  
 COLOR: WHITE~~
- EF 08 ALUMINIUM DOORS & WINDOWS  
 COLOUR: BLACK
- EF 09 VERTICAL FLAT BAR BALUSTRADE AS DETAILED



A - SE1 South Elevation  
 1:100



A - NE1 North Elevation  
 1:100

Rev.	Issue Date	By	Chk	Description
00	22/05/2020		RS/DN	For Construction
01	4/06/2020	MJ	DN	For Construction
02	11/06/2020	MJ	DN	For Construction
03	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
00	22/05/2020		RS/DN	For Construction
01	4/06/2020	MJ	DN	For Construction
02	11/06/2020	MJ	DN	For Construction
03	25/06/2021	MJ	DN	Works as Executed

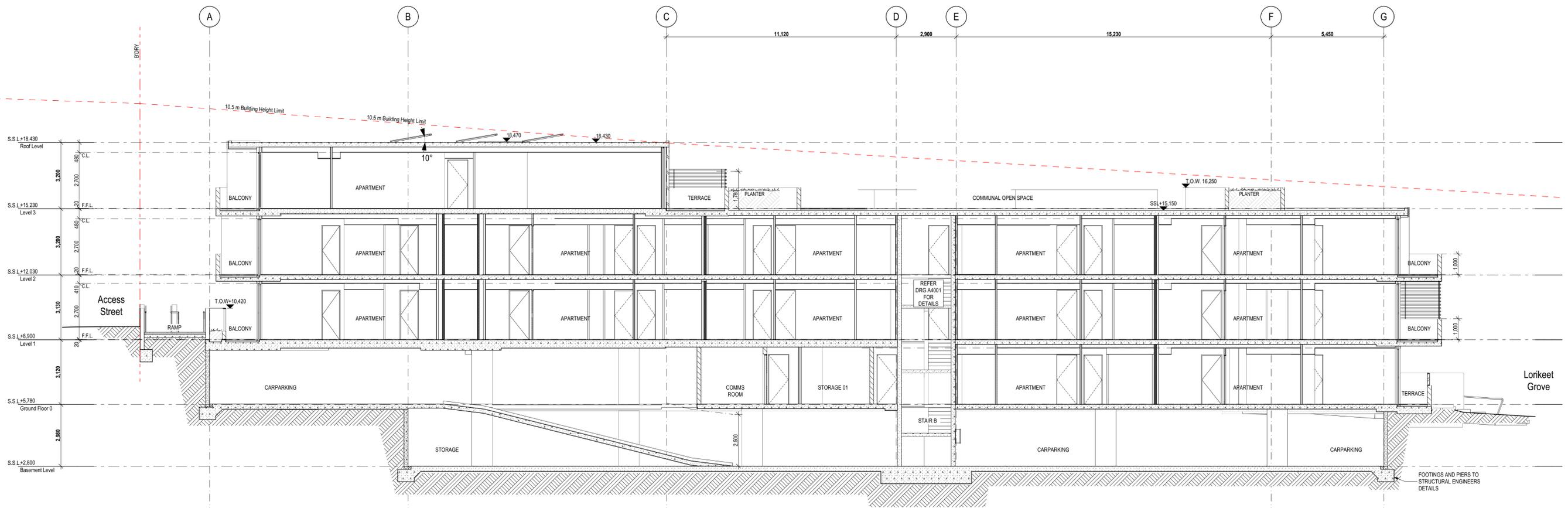
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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8542

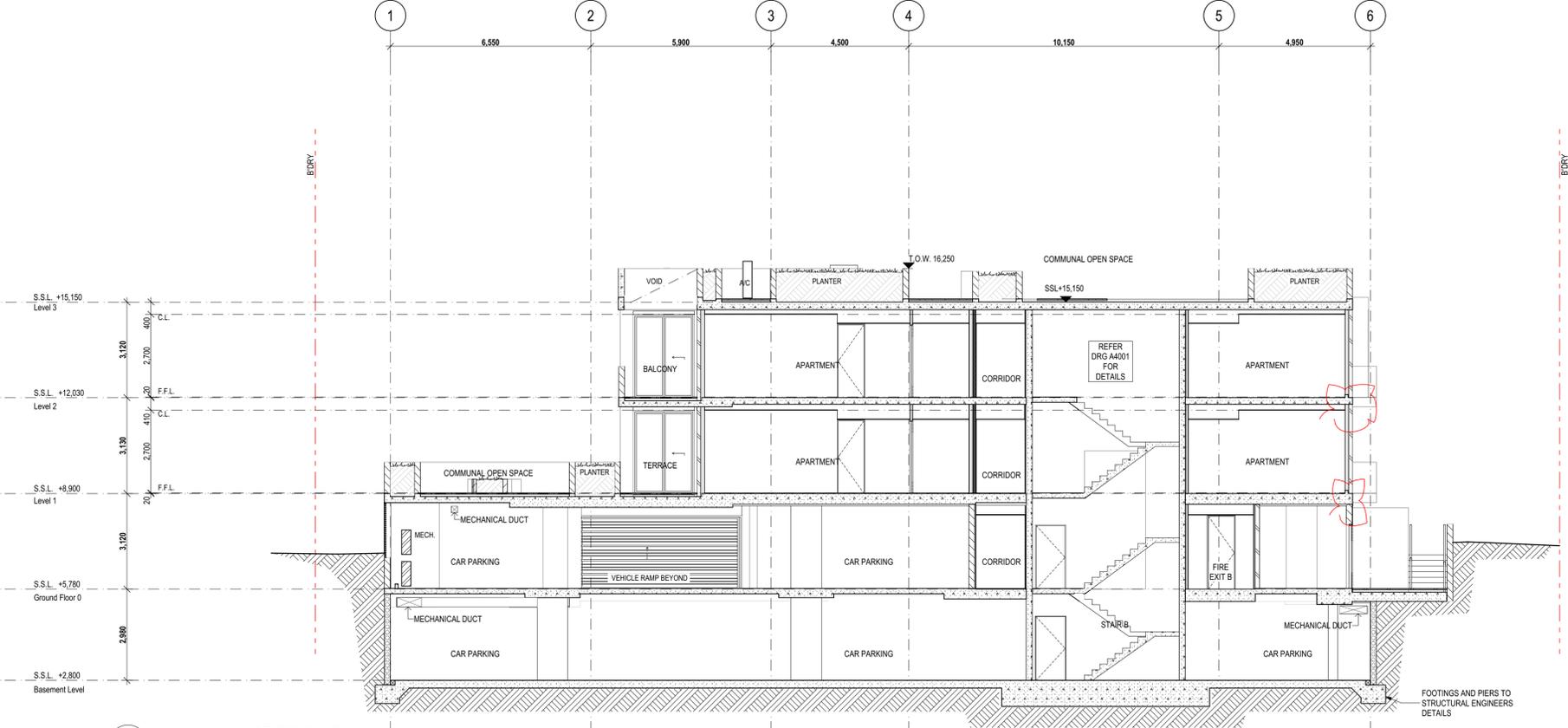


Project Name	Warriewood Apts	Drawing Series	Building Elevations
Project Number	11268	Drawing Name	Miscellaneous Elevations
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A3003</b>
Drawn By	MJ	Revision	<b>03</b>
Checked By			
Date	25/06/2021		
Scale			

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: A - SE1 South Elevation, 1:100  
 Date: 25/06/2021  
 Author: MJ  
 Checker: DN  
 Title: Architectural Section  
 Scale: 1:100  
 Project Number: 11268  
 Drawing Number: A3003  
 Revision: 03  
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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8542



01 SECTION A  
1:100



02 SECTION B  
1:100

- NOTES:**
- ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.
  - ALL BOUNDARY INFORMATION TO BE CONFIRMED BY SURVEYOR BEFORE COMMENCING WORK ON SITE.
  - REFER TO SURVEY DRAWINGS AND REPORTS FOR ALL INFORMATION RELATING TO EXISTING SITE CONDITION.
  - REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.
  - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.
  - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
    - STRUCTURAL DRAWINGS
    - ALL SERVICES DRAWINGS
    - ACOUSTIC REPORT
    - BASIS & MATTERS CERTIFICATES
    - BCA REPORT
    - FIRE ENGINEERING REQUIREMENTS
    - ACCESSIBILITY REPORT
    - BUSHFIRE ASSESSMENT REPORT
    - OTHER REPORTS
- DIMENSION ARE NOT TO BE SCALED OFF DRAWINGS

- EXTERNAL FINISHES LEGEND**
- REFER TO EXTERNAL FINISHES SCHEDULE
- EF 01 COLORBOND METAL SHEET CLADDING COLOUR: COLORBOND BASALT
  - EF 05 SOLID ALUMINIUM CLADDING COLOUR: COLORBOND WINDSPRAY
  - EF 02 SKIM COAT RENDER AND PAINT FINISH COLOUR: MID GREY
  - EF 03 SKIM COAT RENDER AND PAINT FINISH COLOUR: LIGHT GREY
  - EF 04 SKIM COAT RENDER AND PAINT FINISH COLOUR: WHITE
  - EF 06 HORIZONTAL BATTEN SCREEN AS DETAILED
  - EF 08 ~~SKIM COAT RENDER AND PAINT FINISH COLOUR: WHITE~~ NOT IN USE
  - EF 13 ALUMINIUM DOORS & WINDOWS COLOUR: BLACK
  - EF 14 VERTICAL FLAT BAR BALUSTRADE AS DETAILED

Builder/Contractor shall verify job dimensions before any job commences.  
Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
P1	21/06/2019	BL	RS/DN	For Coordination
P2	12/07/2019	BL/EM	RS/DN	For Coordination
P3	29/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	5/09/2020	MJ	RS	For Construction Certificate 1
B	1/04/2020	MJ/DN	RS/DN	For Coordination
00	2/06/2020	MJ/DN	DN/RS	For Construction
01	21/06/2021	MJ/DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

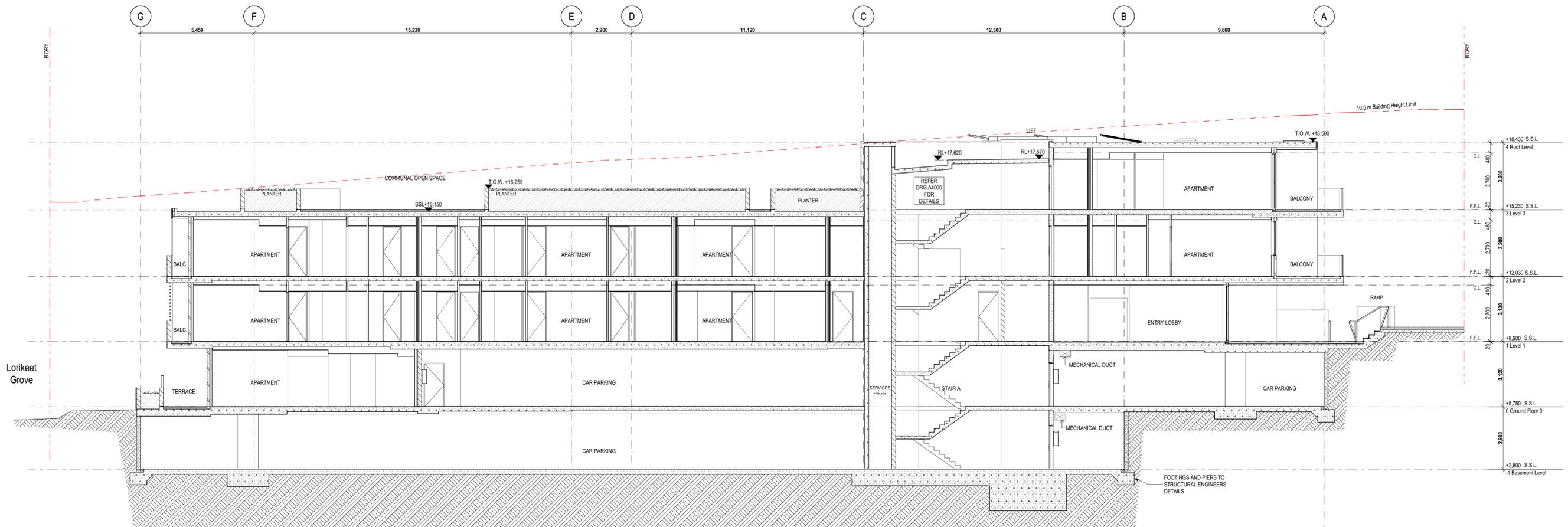
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**IGS**

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Kos de Keijzer 5767  
David Randerson 8342



Project Name	Warriewood Apts	Drawing Series	Building Sections
Project Number	11268	Drawing Name	Section A & B
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A3101
Drawn By	MJ/DN	Revision	01
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			



01 SECTION C  
1:100

- NOTES:**
- ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.
  - ALL BOUNDARY INFORMATION TO BE CONFIRMED BY SURVEYOR BEFORE COMMENCING WORK ON SITE.
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  - REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.
  - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.
  - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
    - STRUCTURAL DRAWINGS
    - ALL SERVICES DRAWINGS
    - ACOUSTIC REPORT
    - BASIX & MATHERS CERTIFICATES
    - BCA REPORT
    - FIRE ENGINEERING REQUIREMENTS
    - ACCESSIBILITY REPORT
    - BUSHFIRE ASSESSMENT REPORT
    - OTHER REPORTS
- DIMENSION ARE NOT TO BE SCALED OFF DRAWINGS

- EXTERNAL FINISHES LEGEND**
- REFER TO EXTERNAL FINISHES SCHEDULE
- EF 01 COLORBOND METAL SHEET CLADDING  
COLOUR: COLORBOND BASALT
  - EF 15 SOLID ALUMINIUM CLADDING  
COLOUR: COLORBOND WINDSPRAY
  - EF 02 SKIM COAT RENDER AND PAINT FINISH  
COLOUR: MID GREY
  - EF 03 SKIM COAT RENDER AND PAINT FINISH  
COLOUR: LIGHT GREY
  - EF 04 SKIM COAT RENDER AND PAINT FINISH  
COLOUR: WHITE
  - EF 05 HORIZONTAL BATTEN SCREEN AS DETAILED
  - EF 06 ~~SKIM COAT RENDER AND PAINT FINISH~~  
**NOT IN USE**
  - EF 13 ALUMINIUM DOORS & WINDOWS  
COLOUR: BLACK
  - EF 14 VERTICAL FLAT BAR BALUSTRADE AS DETAILED

Rev.	Issue Date	By	Chk	Description
Pt	12/07/2019	BL/EM	RS/DN	For Coordination
Pa	20/07/2019	EM/BL	RS/DN	For Coordination
To1	12/08/2019	EM/BL	RS/DN	For Tender
A	5/02/2020	MJ	RS	For Construction Certificate 1
B	1/04/2020	MJ/DN	RS/DN	For Coordination
00	11/06/2020	MJ/DN	DN/RS	For Construction
01	25/06/2021	MJ/DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

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David Randerson 8542



Project Name	Warriewood Apts	Drawing Series	Building Sections
Project Number	11268	Drawing Name	Section C
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A3102
Drawn By	MJ/DN	Revision	01
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

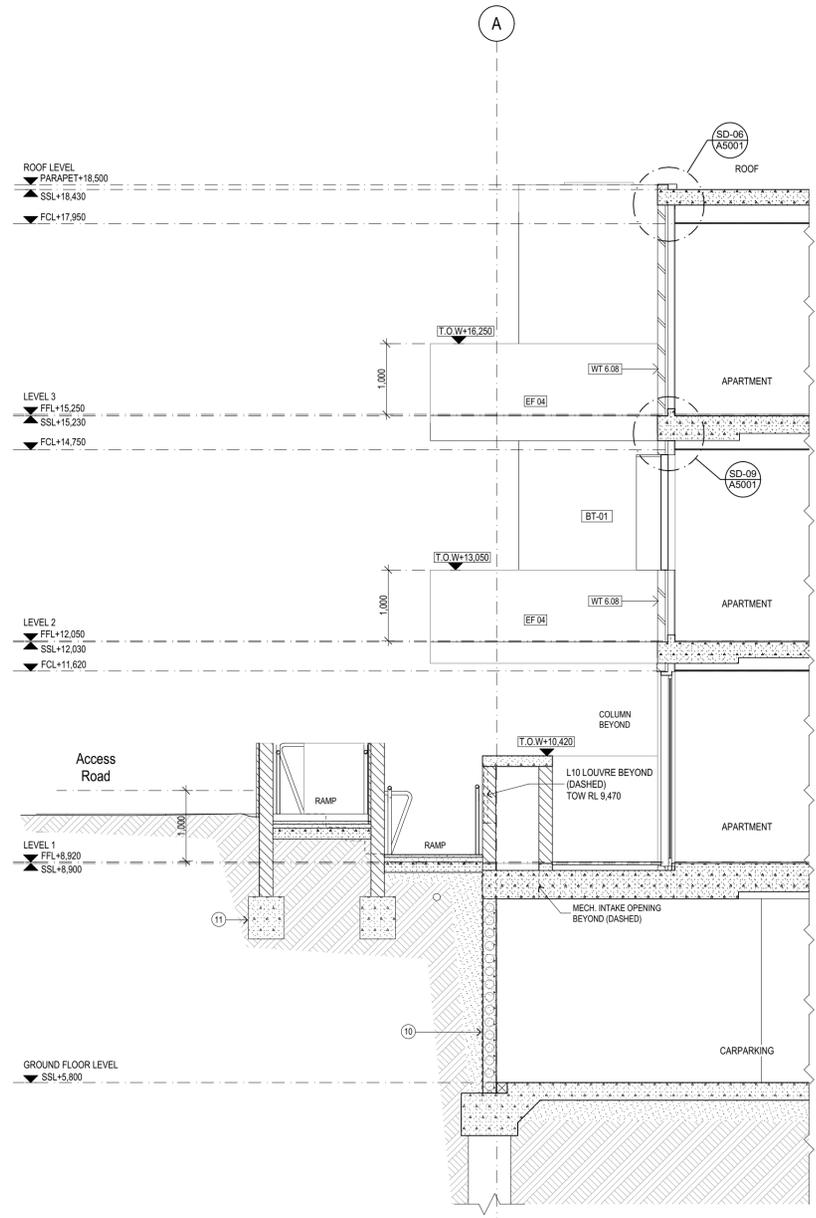
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- GAP KEYNOTES LEGEND**
- 01 LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
  - 02 G.L. SET MIN. 150mm BELOW F.L. / LOUVRE GRILLE SILLS.
  - 03 PAVED DRIVEWAY ~~NOT IN USE~~ MAX. 1:20 FALL, 1000mm WIDE.
  - 04 ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
  - 05 CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

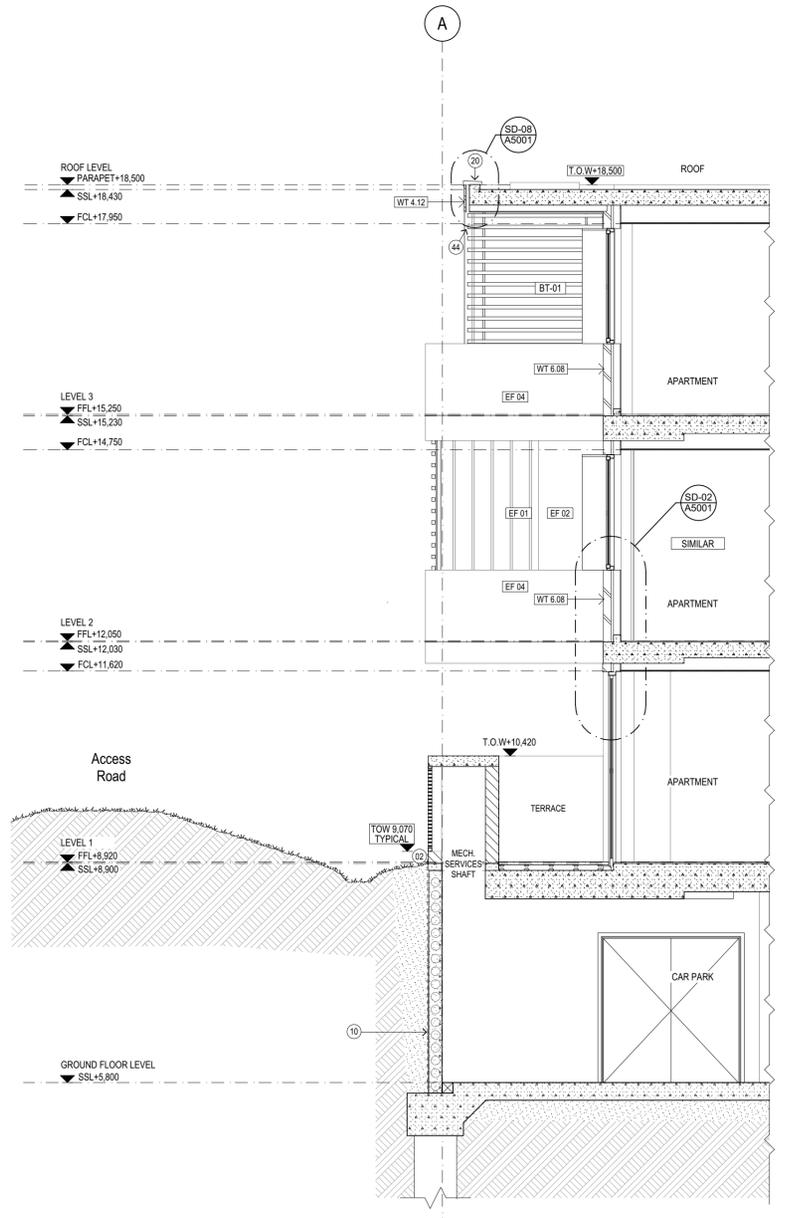
- 10 BASEMENT & SUB GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENGS DETAIL.
- 11 STRIP FOOTINGS, RAMPS & ON GROUND SLABS TO STRUCT. ENG DETAIL.
- 12 MECH. RISER WITH PLANTER ABOVE
- 14 BASE FIXED SCREENS TO STRUCT. ENG'S DETAIL.

- 20 PARAPET CAPPING, POWDERCOAT FINISH.
- 21 FRAMED ROOF BELOW, FLAT SHEET ROOFING OVER BASE BOARD AT 2° FALL, COLORBOND FINISH.
- 22 CONC. ROOF SET TO MIN. 1:100 FALLS TO RWQ, W/PROOF MEMBRANE OVER.
- 23 O/F CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
- 24 CONC. LIFT ROOF SLAB SET TO 2° FALL, W/PROOF MEMBRANE OVER.

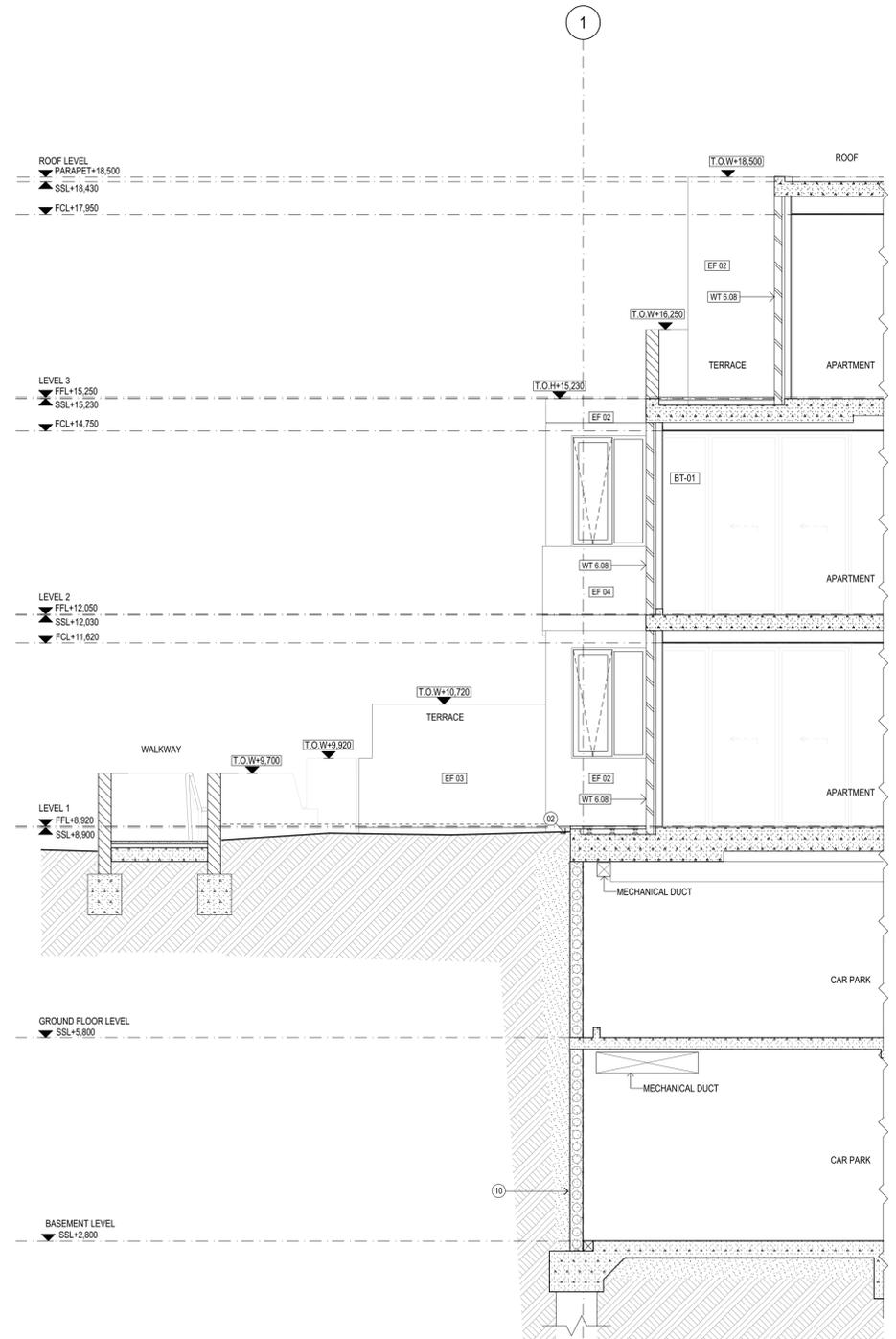
- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- 41 FRAMED FLOOR STRUCTURE, INSULATION, F.C. SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
  - 42 SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
  - 43 FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBD LINING, PAINT FINISH AS SCHED'D.
  - 44 UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - 45 VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - 46 UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C. SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
  - 47 METAL SCREENS - CONCEALED FIXING TO UIS WALL OHANG.



FS-01 - FS-01 Facade Section 1:50



FS-02 - FS-02 Facade Section 1:50



FS-03 - FS-03 Facade Section 1:50

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Rev.	Issue Date	By	Chk.	Description
P1	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	25/05/2020	ML	DN	For Construction
01	11/06/2020	ML	DN	For Construction
02	13/07/2020	ML	DN	As Clouded, Facade detail updated
03	21/09/2020	ML	DN	Ground levels conditions and top of walls adjusted
04	11/10/2020	ML	DN	Mechanical Louvers TOW revised as clouded
05	19/10/2020	ML	DN	Detail marker added - Detail 09
06	18/11/2020	ML	DN	Mechanical Louver Loss TOW revised
07	25/06/2021	ML	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description
01	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	25/05/2020	ML	DN	For Construction
01	11/06/2020	ML	DN	For Construction
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 David Randerson 8542



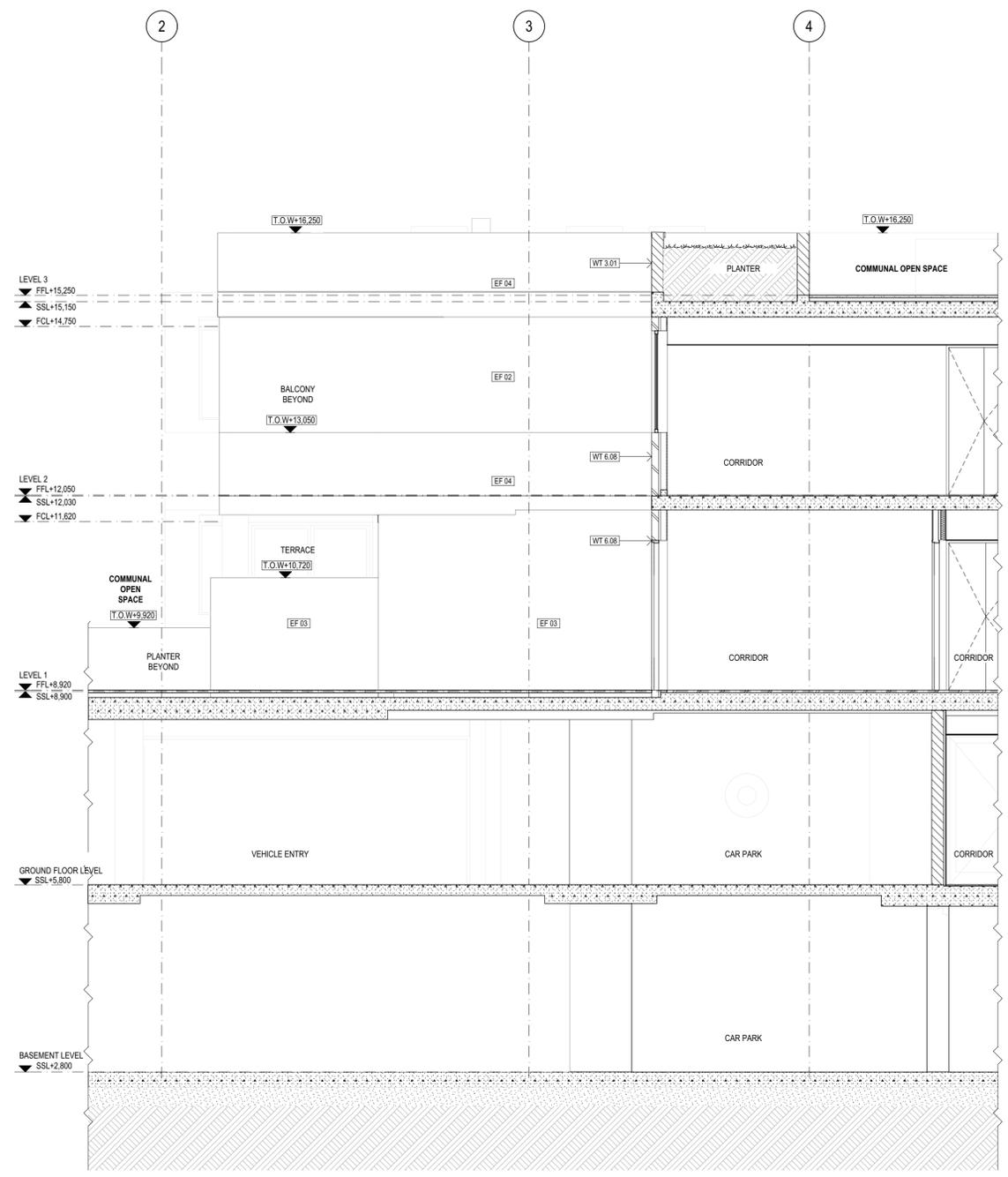
Project Name	Warriewood Apts	Drawing Series	Building Sections
Project Number	11268	Drawing Name	Facade Sections 01
Project Address	31 Warriewood Road, Warriewood, NSW 2102		
Drawn By	ML	Drawing Number	A3103
Checked By	***	Revision	07
Date	25/06/2021		
Scale			

- GAP KEYNOTES LEGEND**
- 01 LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
  - 02 G.L. SET MIN. 150mm BELOW F.L. / LOUVERED GRILLE SILLS.
  - 03 PAVED ~~TO USE~~ **NOT IN USE** MAX. 1:20 FALL, 1000mm WIDE.
  - 04 ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
  - 05 CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

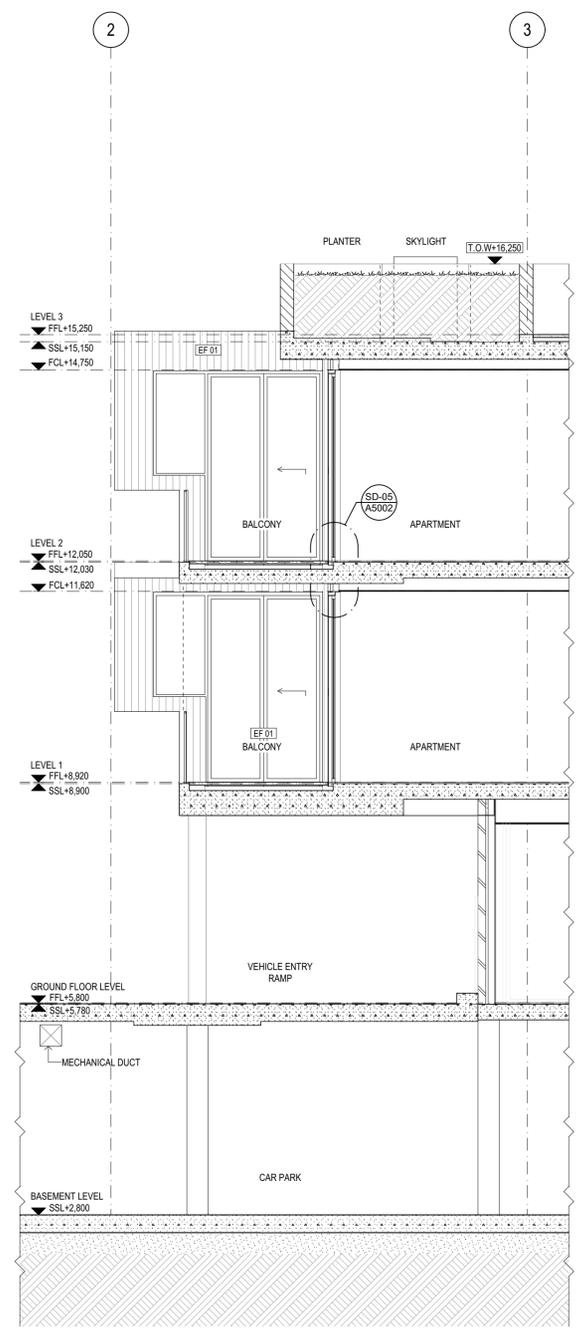
- 10 BASEMENT & SUB GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENG'S DETAIL.
- 11 STRIP FOOTINGS, RAMPS & ON GROUND SLABS TO STRUCT. ENG DETAIL.
- 12 -
- 13 MECH. RISER WITH PLANTER ABOVE
- 14 BASE FIXED SCREENS TO STRUCT. ENG'S DETAIL.

- 20 PARAPET CAPPING, POWDERCOAT FINISH.
- 21 FRAMED ROOF BELOW, FLAT SHEET ROOFING OVER BASE BOARD AT 2° FALL, COLORBOND FINISH.
- 22 CONC. ROOF SET TO MIN. 1:100 FALLS TO RWQ, W/PROOF MEMBRANE OVER.
- 23 O/F CAST INTO CONC. HOB TO COMPLY WITH AS 4654.2. SPOUT & FLASHINGS FABRICATED FROM MATCHING WALL CLADDING SET 100mm PROUD OF WALL.
- 24 CONC. LIFT ROOF SLAB SET TO 2° FALL, W/PROOF MEMBRANE OVER.

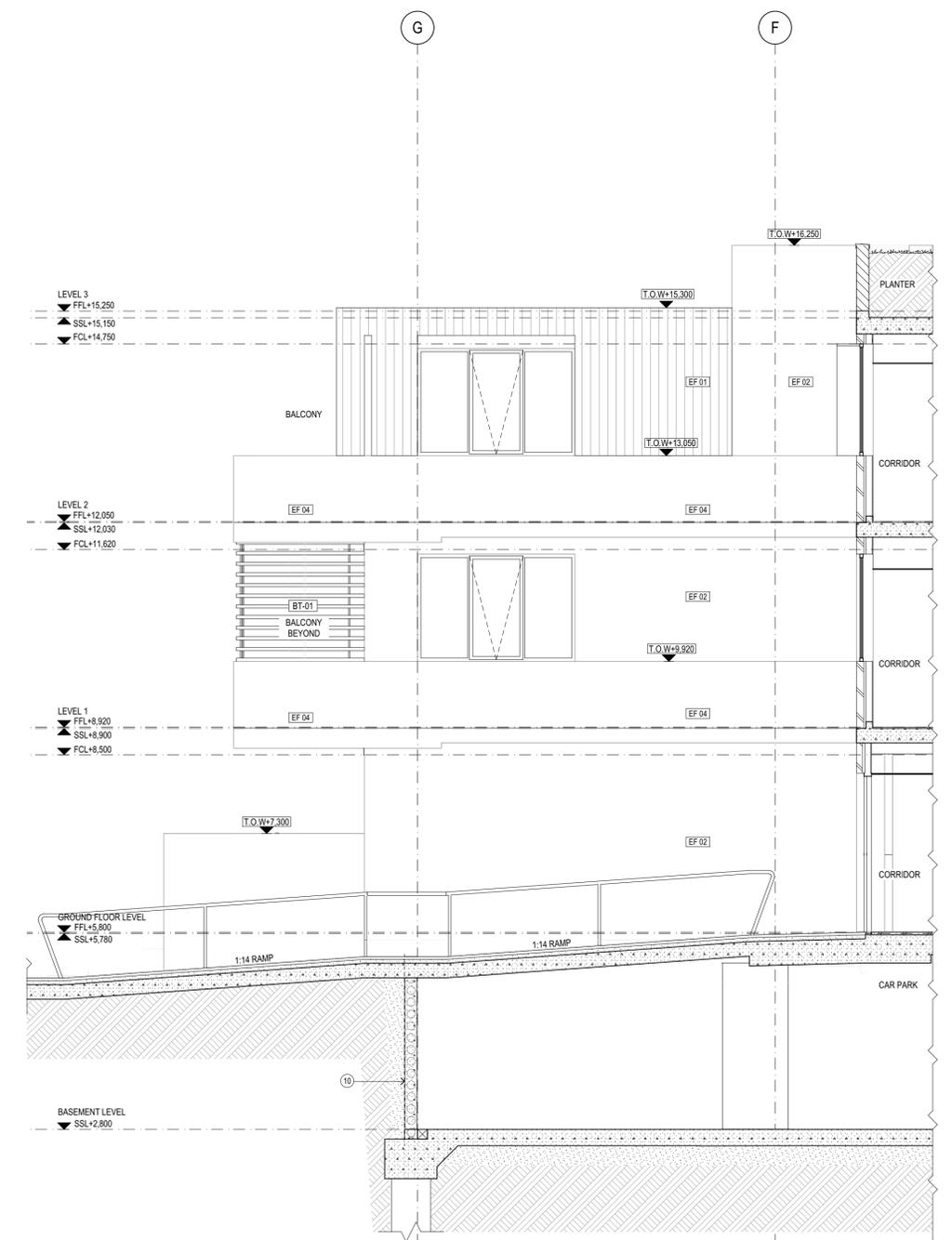
- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- 41 FRAMED FLOOR STRUCTURE, INSULATION, F.C. SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHEDD.
  - 42 SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHEDD.
  - 43 FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBD LINING, PAINT FINISH AS SCHEDD.
  - 44 UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - 45 VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - 46 UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C. SHEET, FLUSH FINISH, PAINT FINISH AS SCHEDD.
  - 47 METAL SCREENS - CONCEALED FIXING TO UIS WALL OHANG.



FS-04 FS-04 Facade Section  
1:50



FS-05 FS-05 Facade Section  
1:50



FS-06 FS-06 Facade Section  
1:50

Rev.	Issue Date	By	Chk.	Description
Pt	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	25/05/2020	ML	DN	For Construction
01	11/06/2020	ML	DN	For Construction
02	12/07/2020	ML	DN	As Cloned, Facade detail updated
03	15/07/2020	ML	DN	As Cloned, slab downstair removed, wall material amended
04	17/07/2020	ML	DN	As Cloned, Sliding door updated
05	2/09/2020	ML	DN	Step removed along Cantilever
06	8/09/2020	ML	DN	Detail number removed, Adjusted Sliding door/window head along balconies
07	25/06/2021	ML	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description
01	20/07/2019	EM/BL	RS/DN	For Coordination
02	12/08/2019	EM/BL	RS/DN	For Tender
03	25/05/2020	ML	DN	For Construction
04	11/06/2020	ML	DN	For Construction
05	12/07/2020	ML	DN	As Cloned, Facade detail updated
06	15/07/2020	ML	DN	As Cloned, slab downstair removed, wall material amended
07	17/07/2020	ML	DN	As Cloned, Sliding door updated
08	2/09/2020	ML	DN	Step removed along Cantilever
09	8/09/2020	ML	DN	Detail number removed, Adjusted Sliding door/window head along balconies
10	25/06/2021	ML	DN	Works as Executed

Consultants

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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8542



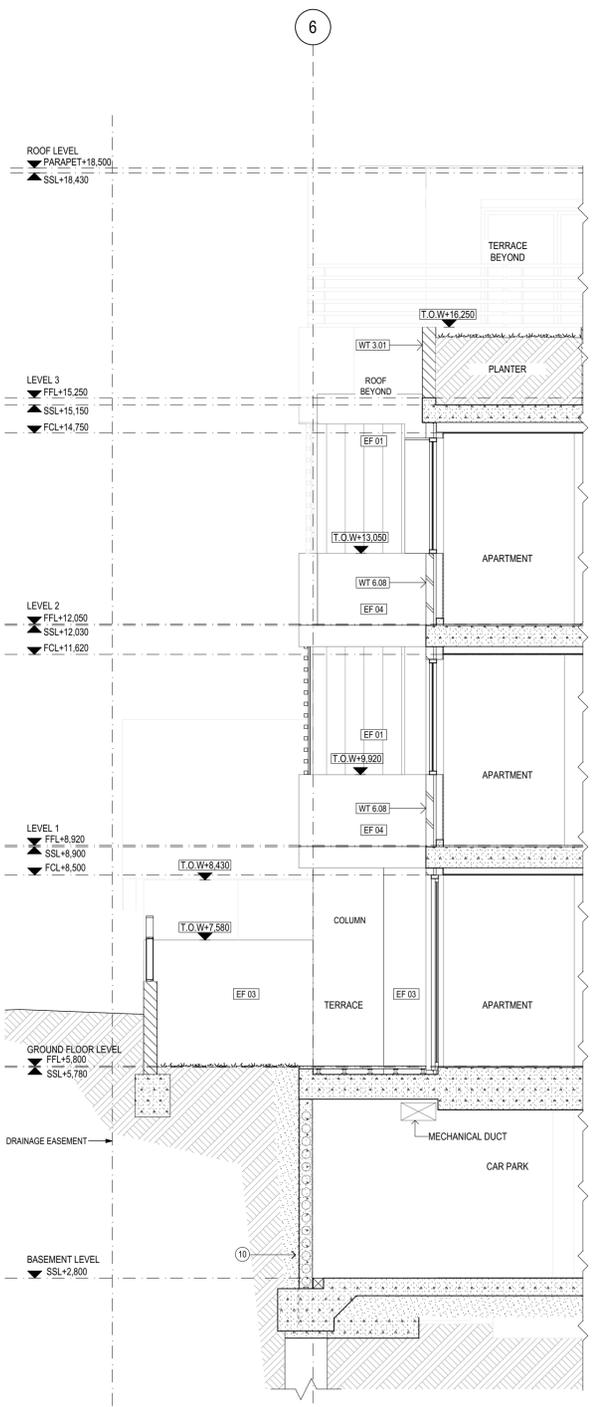
Project Name	Warriewood Apts	Drawing Series	Building Sections
Project Number	11268	Drawing Name	Facade Sections 02
Project Address	31 Warriewood Road, Warriewood, NSW 2102		
Drawn By	ML	Drawing Number	A3104
Checked By	***	Revision	07
Date	25/06/2021		
Scale			

- GAP KEYNOTES LEGEND**
- 01 LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
  - 02 G.L. SET MIN. 150mm BELOW F.L. / LOUVRÉD GRILLE SILLS.
  - 03 PAVED ~~NOT IN USE~~ MAX. 1:20 FALL, 100mm WIDE.
  - 04 ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
  - 05 CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

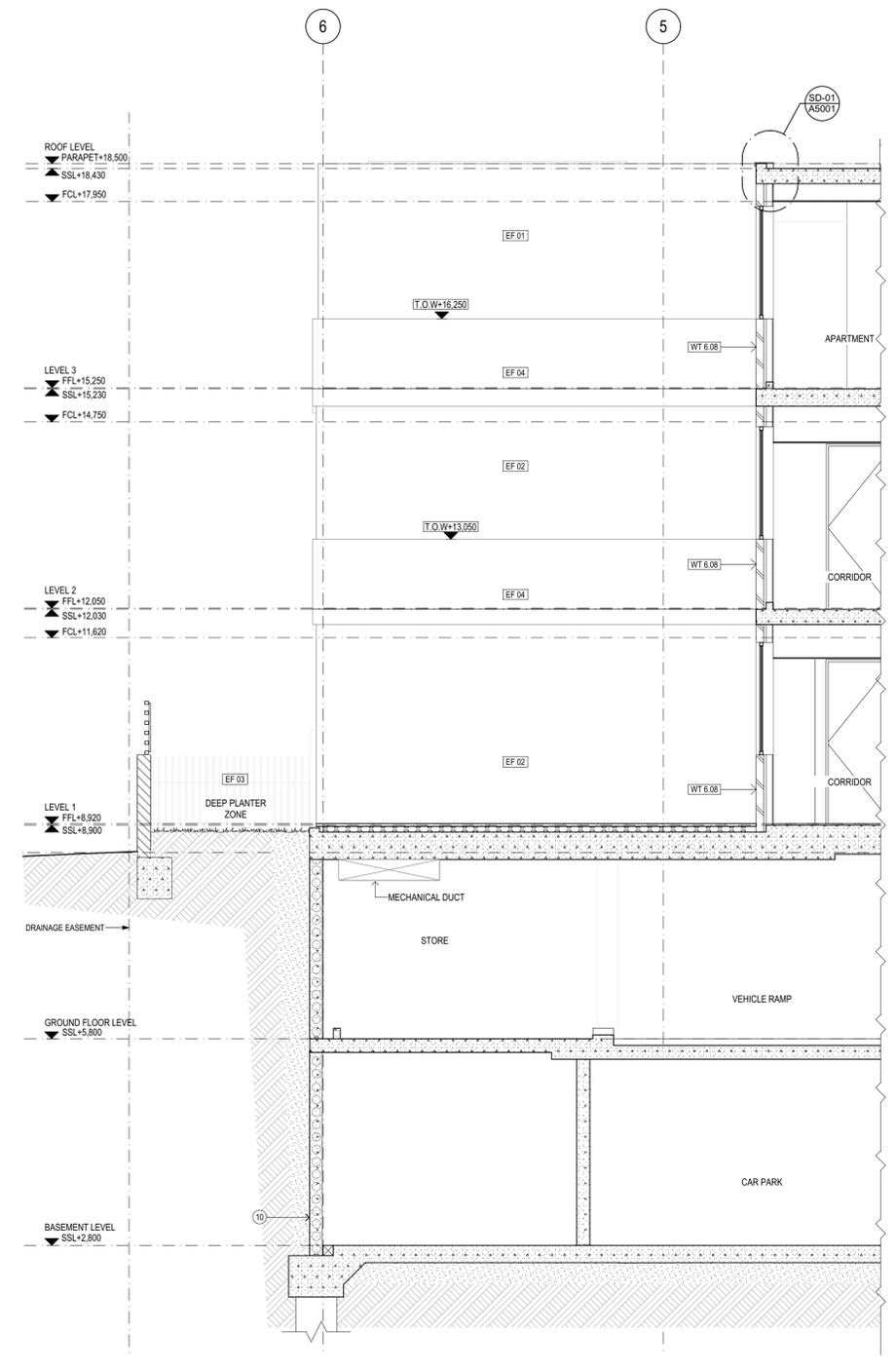
- 10 BASEMENT & SUB GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENGS DETAIL.
- 11 STRIP FOOTINGS, RAMPS & ON GROUND SLABS TO STRUCT. ENG DETAIL.
- 12 -
- 13 MECH. RISER WITH PLANTER ABOVE
- 14 BASE FIXED SCREENS TO STRUCT. ENGS DETAIL.

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- 21 FRAMED ROOF BELOW, FLAT SHEET ROOFING OVER BASE BOARD AT 2° FALL, COLORBOND FINISH.
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- 24 CONC. LIFT ROOF SLAB SET TO 2° FALL, W/PROOF MEMBRANE OVER.

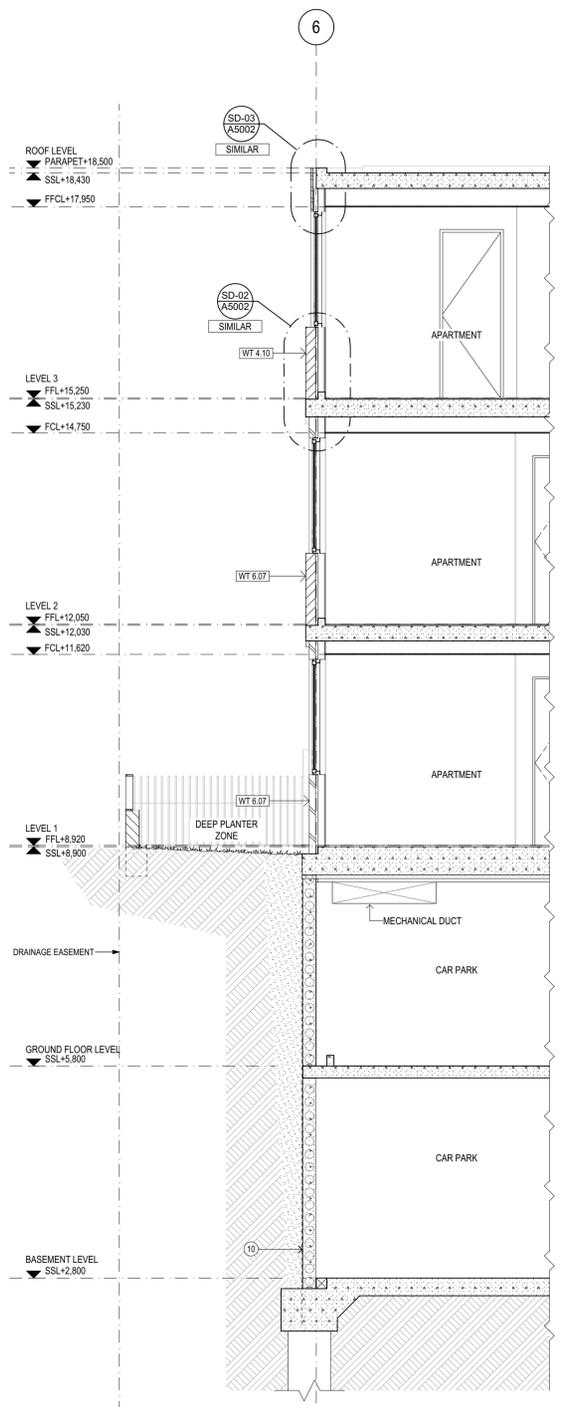
- REFLECTED CEILING PLAN KEYNOTES LEGEND**
- 41 FRAMED FLOOR STRUCTURE, INSULATION, F.C. SHEET SOFFIT, FLUSH FINISHED, PAINT FINISH AS SCHED'D.
  - 42 SKYLIGHT SHAFTS - INSULATED, 13mm PLASTERBD LINING ON FURRING CHANNELS, PAINT FINISH AS SCHED'D.
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  - 44 UNDERSIDE OF METAL WALL CLADDING RETURN AT OPENINGS & BALCONIES.
  - 45 VERTICAL FACE OF OFF-FORM CONCRETE STRUCTURE - FINISH TO MATCH SOFFIT.
  - 46 UNDERSIDE OF WALL CLADDING WITH INTERNAL FACE LINED WITH F.C. SHEET, FLUSH FINISH, PAINT FINISH AS SCHED'D.
  - 47 METAL SCREENS - CONCEALED FIXING TO UIS WALL OHANG.



FS-07 Facade Section 1:50



FS-08 Facade Section 1:50



FS-09 Facade Section 1:50

Rev.	Issue Date	By	Chk	Description
Pt	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	25/05/2020	ML	DN	For Construction
01	11/06/2020	ML	DN	For Construction
02	13/07/2020	ML	DN	As Clouled, Facade detail updated
03	21/09/2020	ML	DN	Ground levels conditions and top of walls adjusted
04	26/06/2021	ML	DN	Works as Executed

Builder/Contractor shall verify job dimensions before any job commences.  
Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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Rev.	Issue Date	By	Chk	Description
Pt	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	25/05/2020	ML	DN	For Construction
01	11/06/2020	ML	DN	For Construction
02	13/07/2020	ML	DN	As Clouled, Facade detail updated
03	21/09/2020	ML	DN	Ground levels conditions and top of walls adjusted
04	26/06/2021	ML	DN	Works as Executed

Consultants

**PDSGROUP**

**IGS**

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Kees de Keijzer 5767  
David Randerson 8342

**DKO**

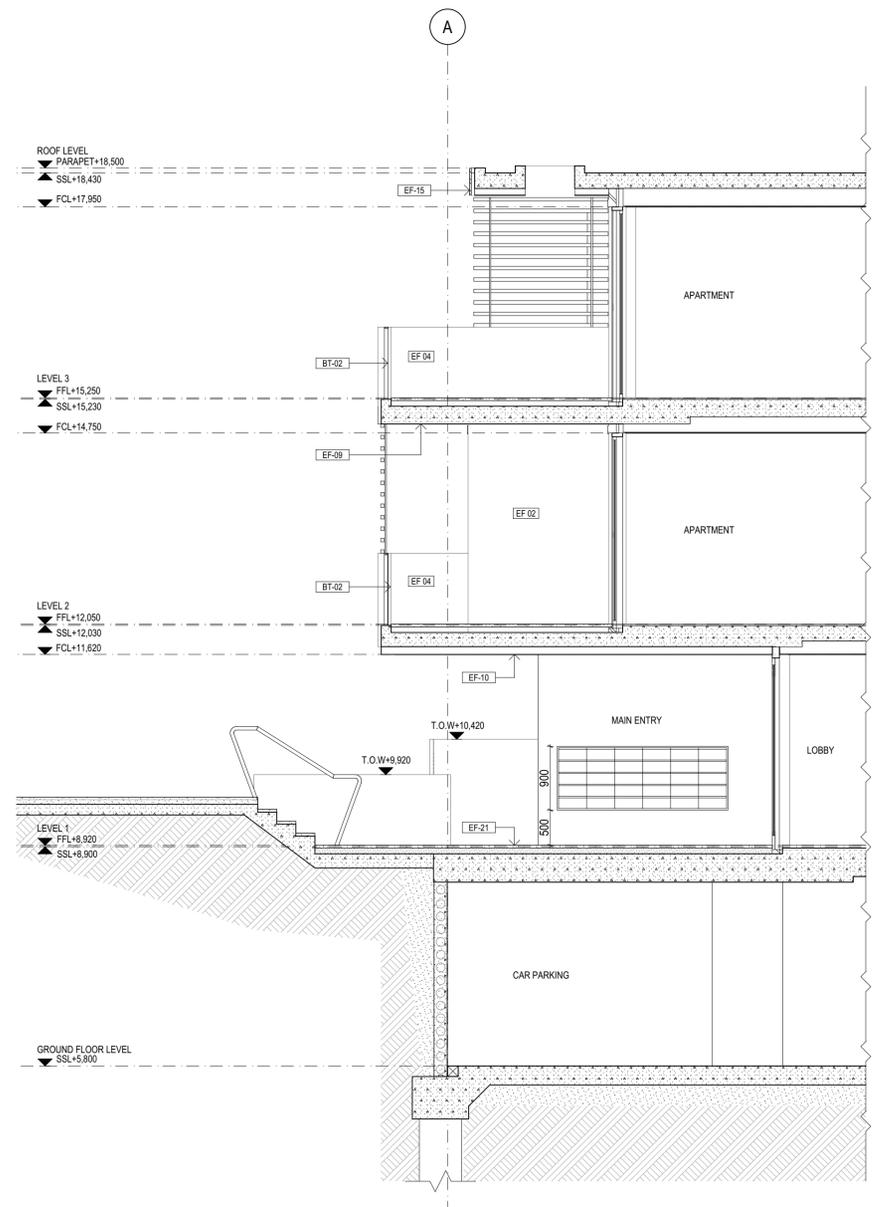
Project Name	Warriewood Apts	Drawing Series	Building Sections
Project Number	11268	Drawing Name	Facade Sections 03
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A3105
Drawn By	ML	Revision	04
Checked By	***		
Date	25/06/2021		
Scale			

- GAP KEYNOTES LEGEND**
- 01 LANDSCAPED ZONE - REFER LANDSCAPE ARCHITECT.
  - 02 G.L. SET MIN. 150mm BELOW F.L. / LOUVERED GRILLE SILLS.
  - 03 PAVED ~~TO USE~~ **NOT IN USE** T.O FALL, 1000mm WIDE.
  - 04 ENSURE EVEN TRANSITION TO EXISTING PAVED SURFACES.
  - 05 CONC. CROSSOVER TO LOCAL AUTHORITY REQUIREMENTS.

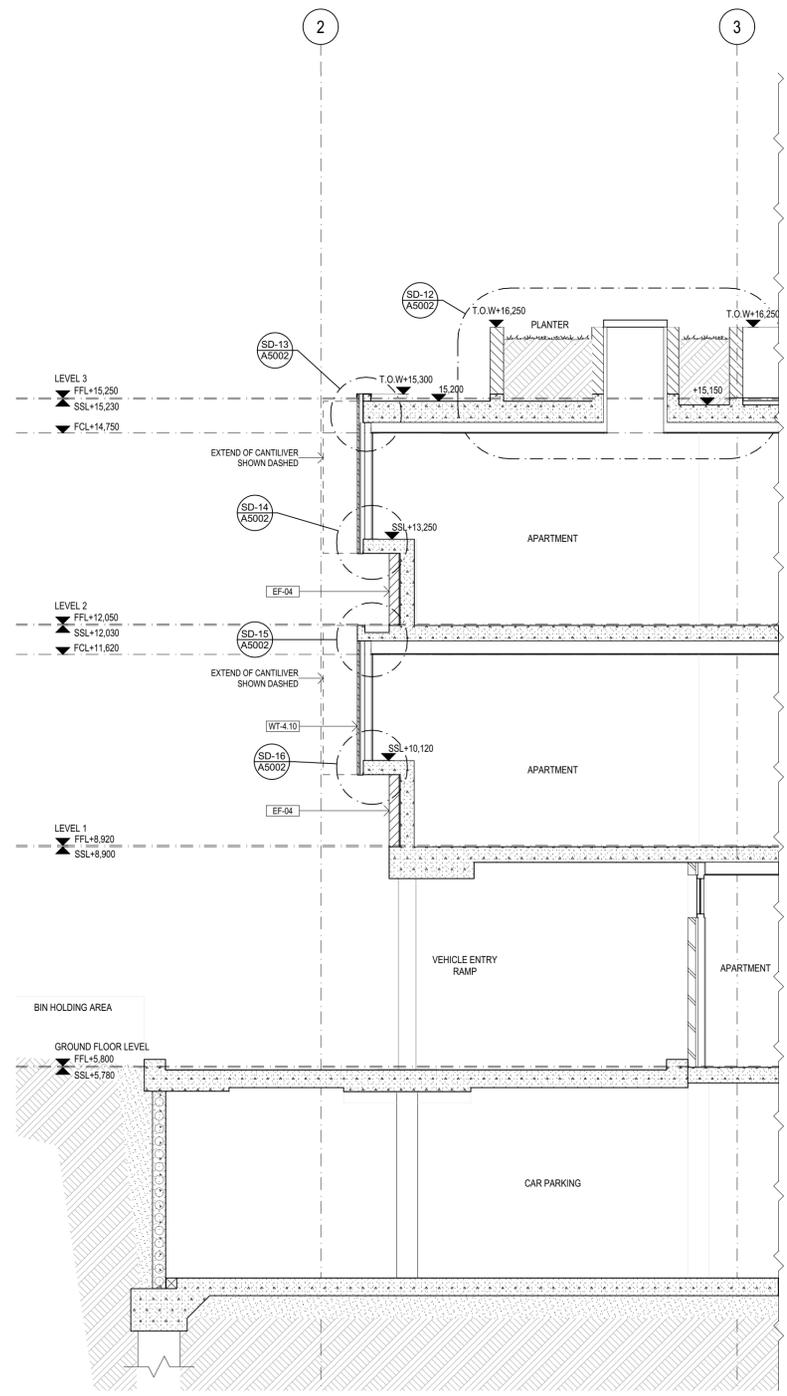
- 10 BASEMENT & SUB GROUND W/PROOFING & DRAINAGE REQUIREMENTS TO STRUCT. & HYDRAULIC ENG'S DETAIL.
- 11 STRIP FOOTINGS, RAMPS & ON GROUND SLABS TO STRUCT. ENG DETAIL.
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  - 43 FRAMED CEILING / ROOF STRUCTURE, INSULATION, 13mm PLASTERBD LINING, PAINT FINISH AS SCHED'D.
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  - 47 METAL SCREENS - CONCEALED FIXING TO UIS WALL OHANG.



FS-10 FS-10 Facade Section  
1:50



FS-11 FS-11 Facade Section  
1:50

Rev.	Issue Date	By	Chk	Description
00	15/07/2020	MJ	DN	As Cloned, slab downturn removed; wall material amended
01	17/07/2020	MJ	DN	As Cloned, Cantilever detail updated
02	8/09/2020	MJ	DN	Updated Section FS-11, section details added
03	18/11/2020	MJ	DN	Main entry lobby ceiling revert to EF-10
04	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

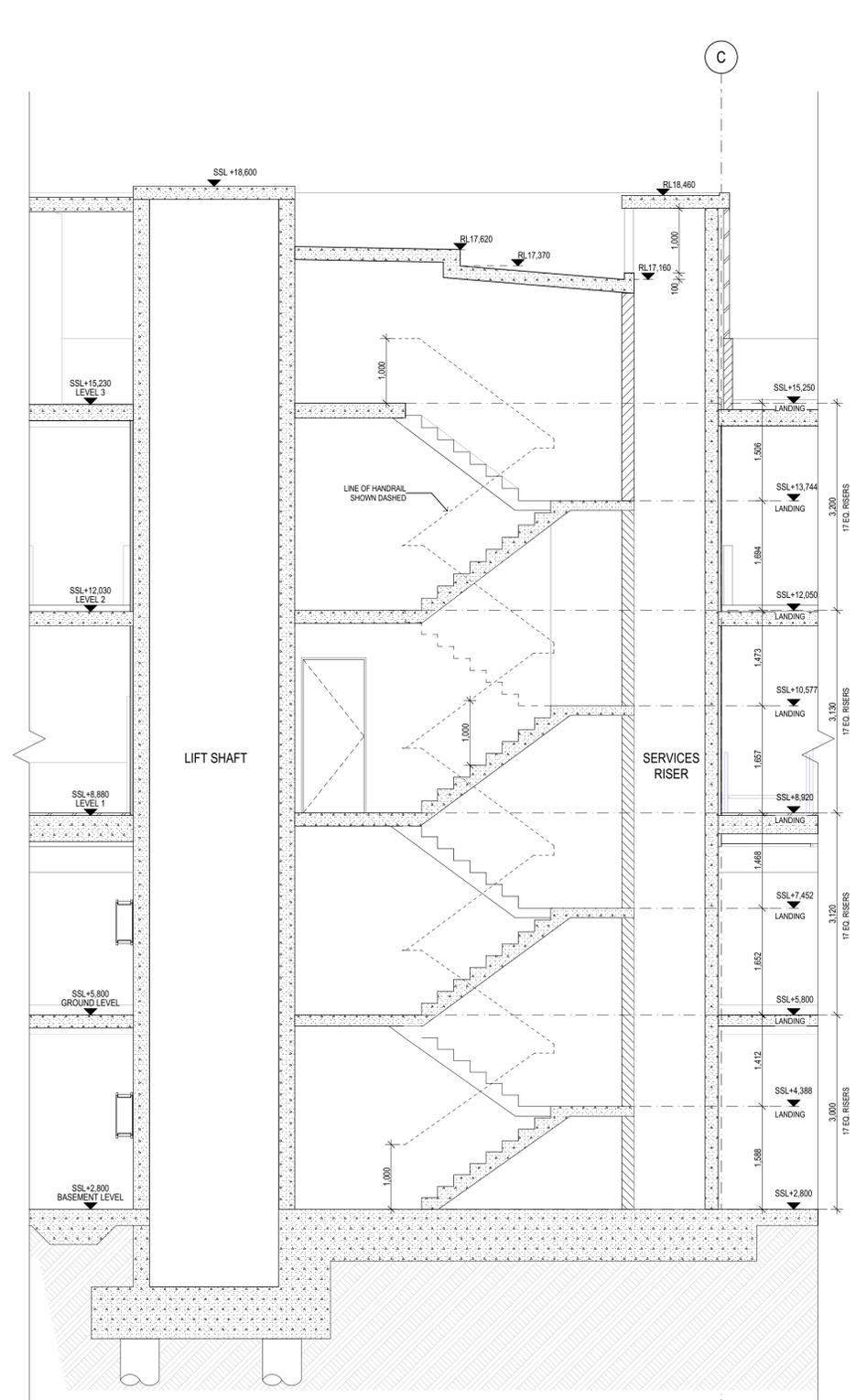
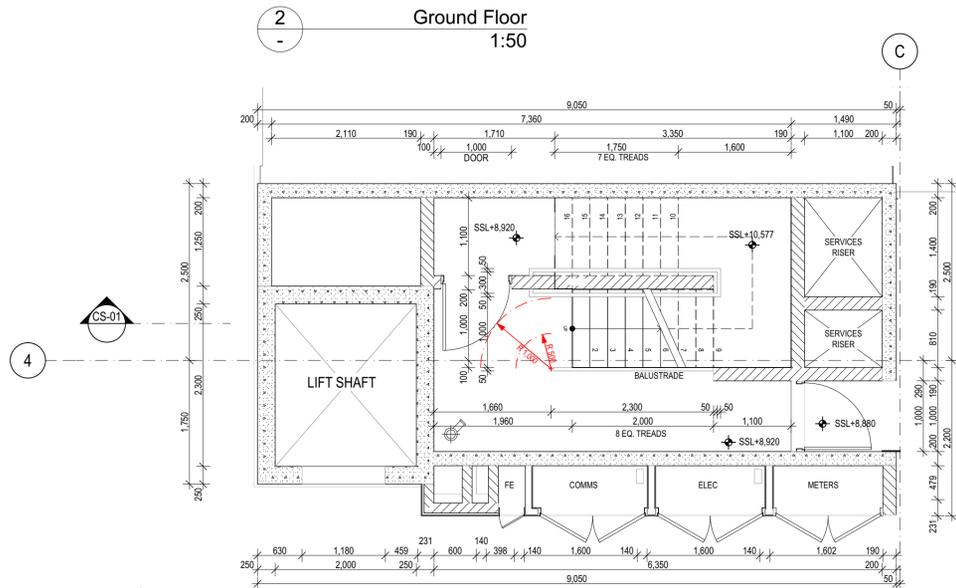
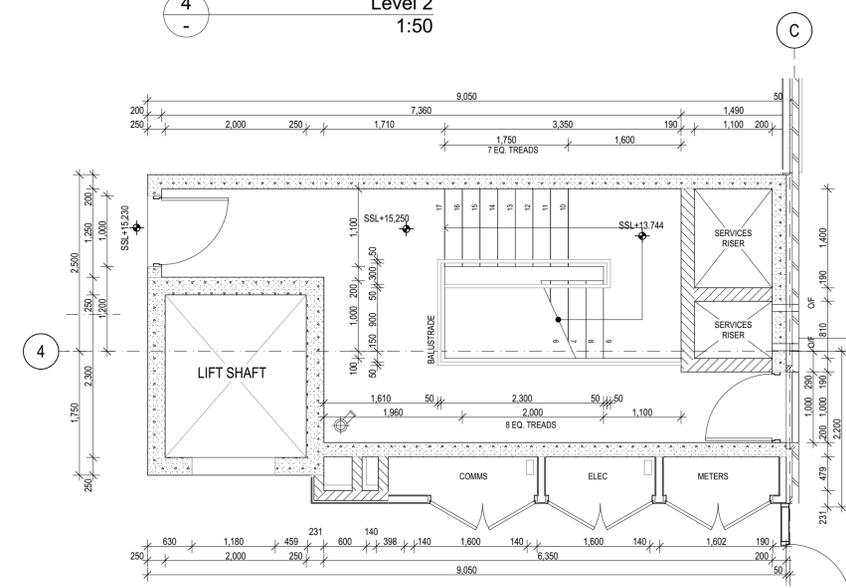
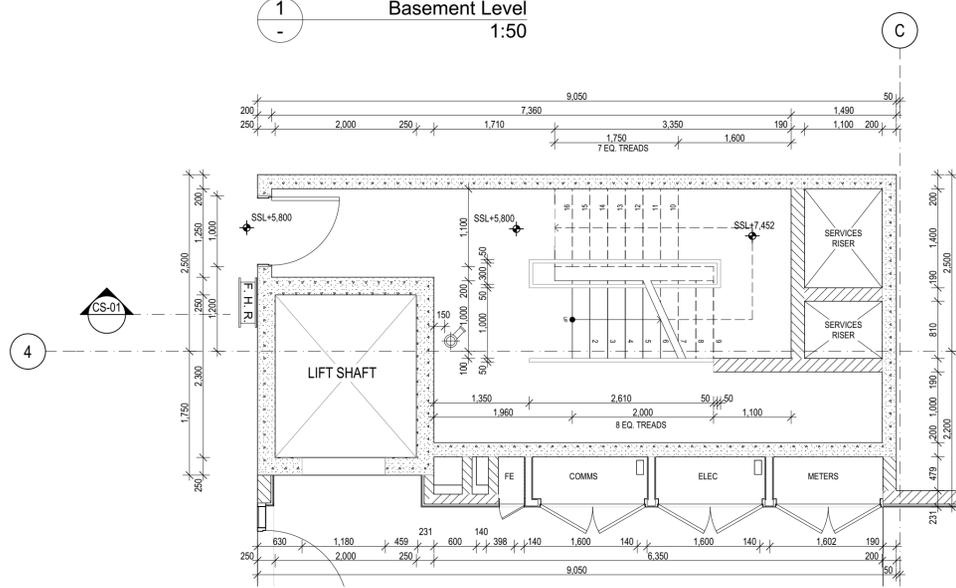
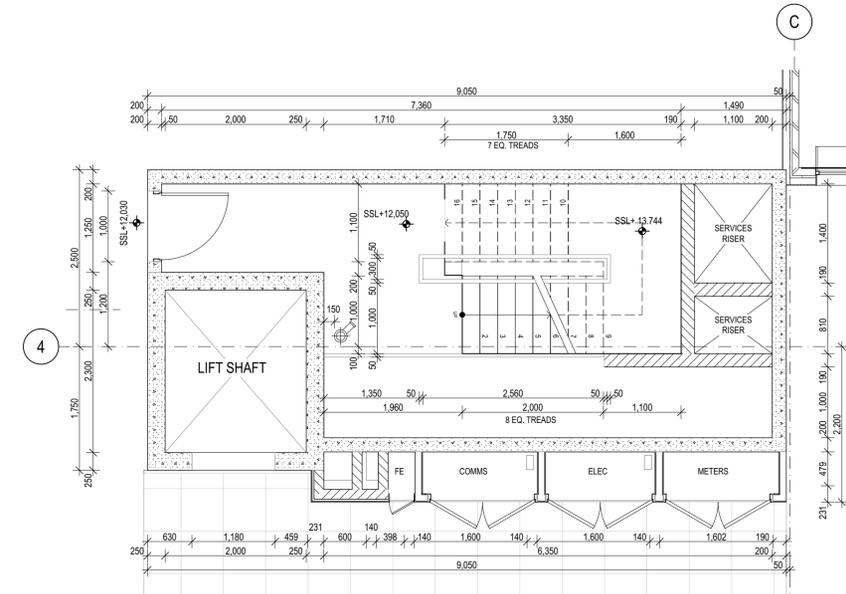
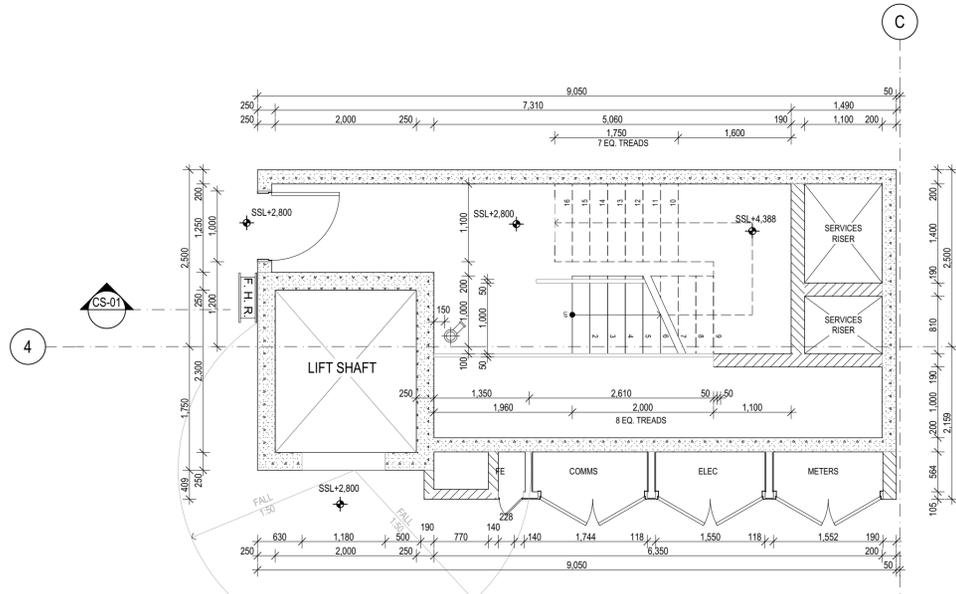
Consultants

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NSW: Nominated Architects  
Koos de Keijzer 5767  
David Randerson 8542



Project Name	Warriewood Apts	Drawing Series	Building Sections
Project Number	11268	Drawing Name	Facade Sections 04
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A3106
Drawn By	MJ	Revision	04
Checked By			
Date	25/06/2021		
Scale			

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: FS-10, FS-11  
 Date: 25/06/2021  
 Scale: 1:50  
 Author: MJ  
 Checker: DN  
 Title: Architectural Facade Section  
 Project Manager: David Randerson  
 Project Engineer: Koos de Keijzer  
 Project Architect: David Randerson  
 Project Designer: MJ  
 Project Drafter: MJ  
 Project Checker: DN  
 Project Approver: MJ  
 Project Client: DKO Architecture (NSW) Pty Ltd



**CORE STAIRS - GENERAL NOTES:**  
 ALL STAIR WIDTHS TO BE 1000mm MIN CLEAR BETWEEN HANDRAILS OR OTHER OBSTRUCTIONS.  
 HANDRAILS TO BE 900mm ABOVE FFL.  
 BALUSTRADES TO BE 1000mm ABOVE FFL.  
 STAIR NOSINGS - PROVIDE SLIP RESISTANT SURFACE AS PER NCC - D2.13 & 14.  
 TGS - TACTILE GROUND SURFACE INDICATORS - AS PER AS 1428.4 - 2009.

**STAIR SETUP**  
 SHOP DRAWINGS TO BE SUPPLIED BY CONTRACTOR AND APPROVED IN WRITING PRIOR TO MANUFACTURE OF STAIR COMPONENTS. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT FOR CLARIFICATION.

**LIFT CORE**  
 BUILDER TO CO ORDINATE SLAB & WALL CUTOUTS, RECESSES & CAST IN ITEMS - CONFIRM ALL WITH LIFT MANUFACTURER.

**BUILDING SERVICES**  
 FIRE & MECHANICAL SERVICES & EQUIPMENT SETOUTS & PENETRATIONS WITHIN STAIR SHAFTS ARE INDICATIVE ONLY.  
 SERVICES CONSULTANT TO CONFIRM EXTENT PRIOR TO CONSTRUCTION.

Builder/Contractor shall verify job dimensions before any job commences.  
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Rev.	Issue Date	By	Chk	Description
P1	12/07/2019	BL/JM	RS/DN	For Coordination
P2	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	29/04/2020	MJ/DN	RS/DN	For Construction
01	4/06/2020	MJ/DN	DN/RS	For Construction
02	19/06/2020	MJ/DN	DN	Landing SSL corrected as clouded
03	9/07/2020	MJ/DN	DN	As Clouded, intermedia landing adjusted
04	24/07/2020	DN	DN	As Clouded, Lift overman level amended
05	27/08/2020	MJ	MJ	Service riser walls revised to r40mm Blockwork
06	1/10/2020	MJ	DN	As clouded-Update Roof along Stair A

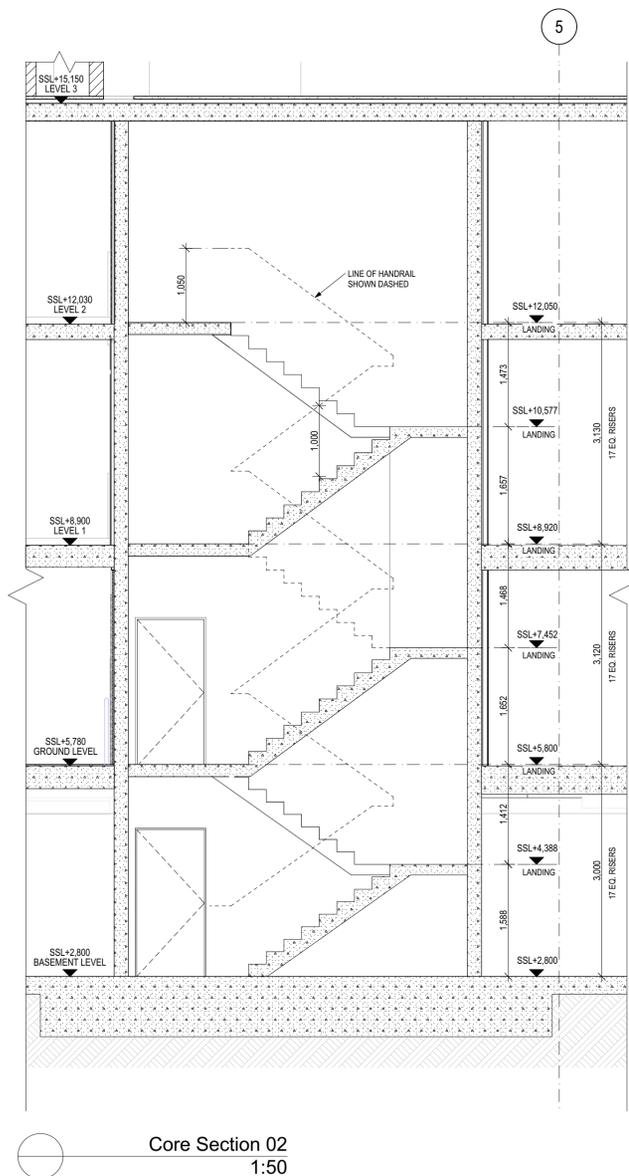
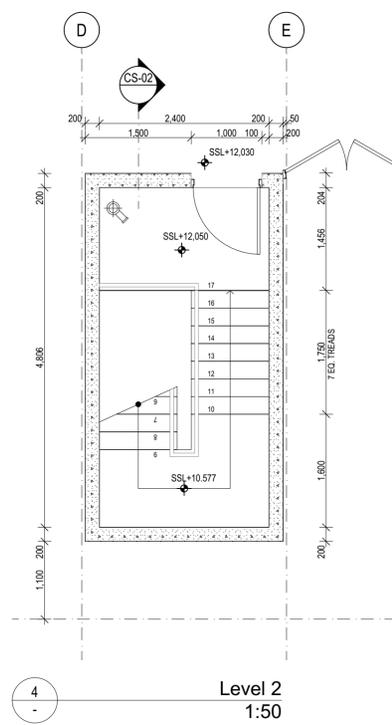
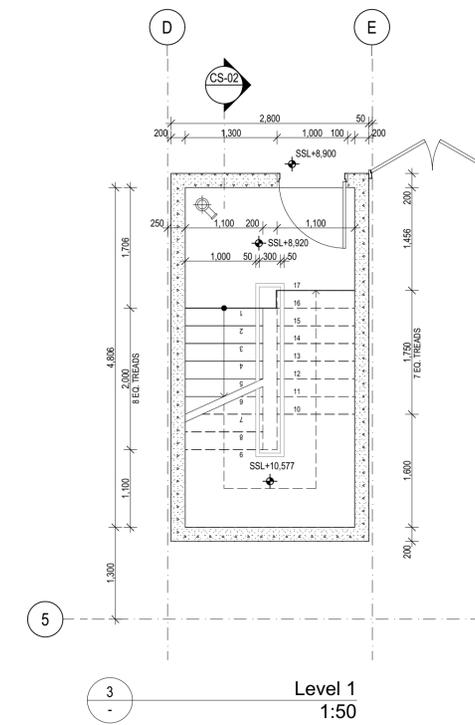
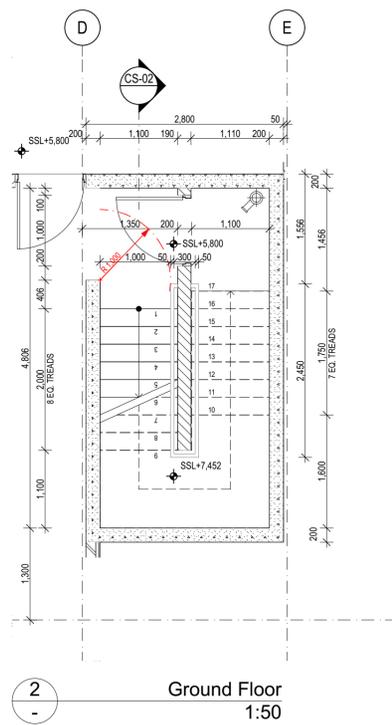
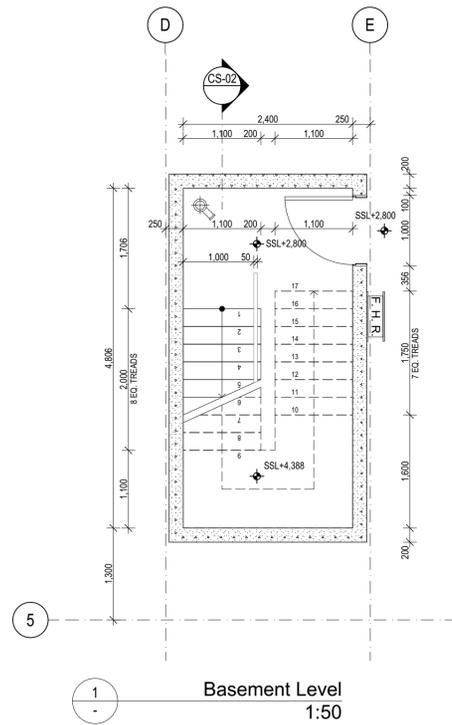
Rev.	Issue Date	By	Chk	Description
07	25/06/2021	MJ	DN	Works as Executed



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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8342



Project Name	Warriewood Apts	Drawing Series	Core Plans
Project Number	11268	Drawing Name	Lift and Stair Core A
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A4001
Drawn By	MJ	Revision	07
Checked By	DN		
Date	25/06/2021		
Scale			



**CORE STAIRS - GENERAL NOTES:**  
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 TGS1 - TACTILE GROUND SURFACE INDICATORS - AS PER AS 1428.4 - 2009.

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Rev.	Issue Date	By	Chk	Description
P1	12/07/2019	BL/EM	RS/DN	For Coordination
P2	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	29/04/2020	MJ	RS/DN	For Construction
01	07/07/2020	MJ	RS/DN	For Construction
02	10/06/2020	SAJ	DN	For Construction
02	10/06/2020	MJ/DN	DN	Landing SSL corrected as clouded
03	9/07/2020	MJ/DN	DN	As Clouded, intermedia landing adjusted
04	26/06/2021	MJ/DN	DN	Works as Executed

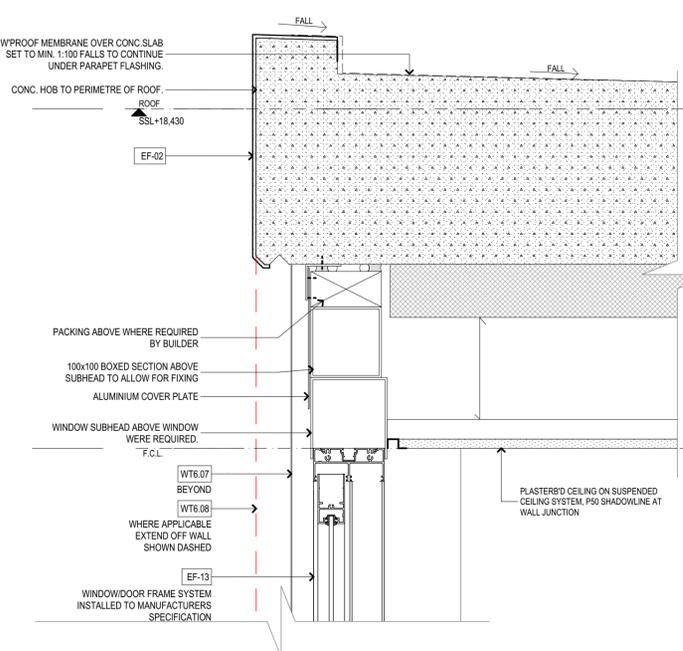
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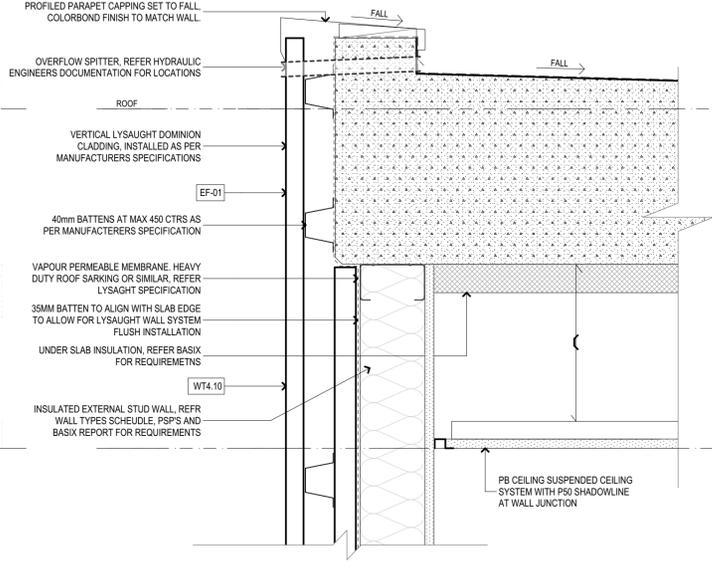
DKO Architecture (NSW) Pty Ltd  
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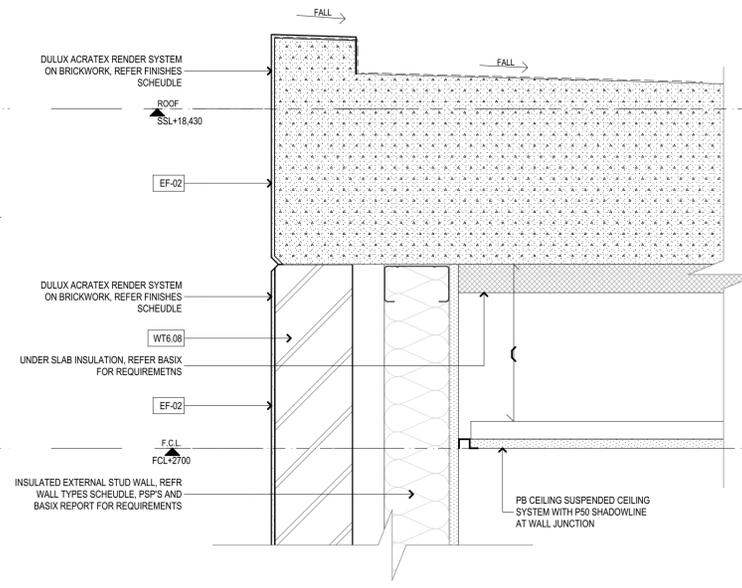
Project Name	Warriewood Apts	Drawing Series	Core Plans
Project Number	11268	Drawing Name	Stair Core B
Project Address	31 Warriewood Road, Warriewood, NSW 2102		
Drawn By	MJ/DN	Drawing Number	A4002
Checked By	*** Not in Use *****	Revision	04
Date	25/06/2021		
Scale			



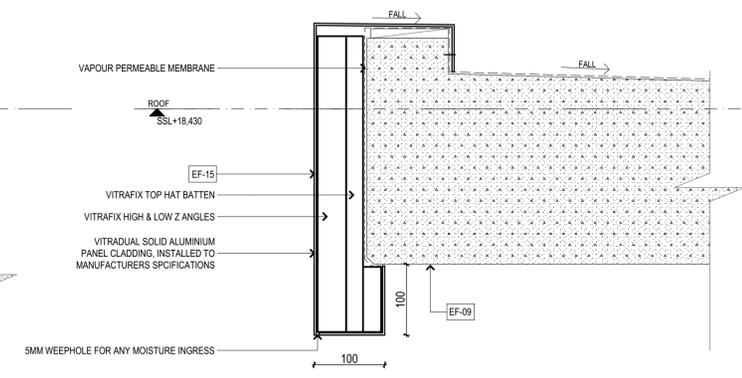
SD-01 Detail - Roof Edge Subhead  
1:5



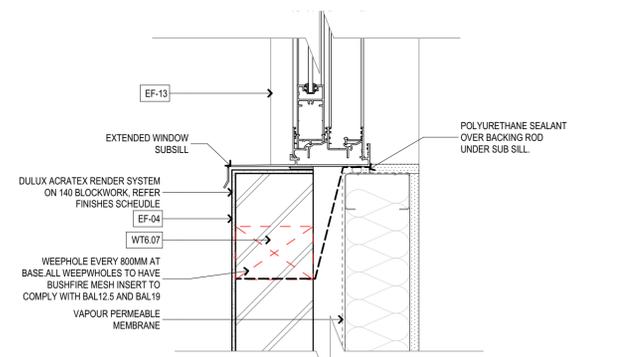
SD-03 ROOF EDGE METAL PARAPET  
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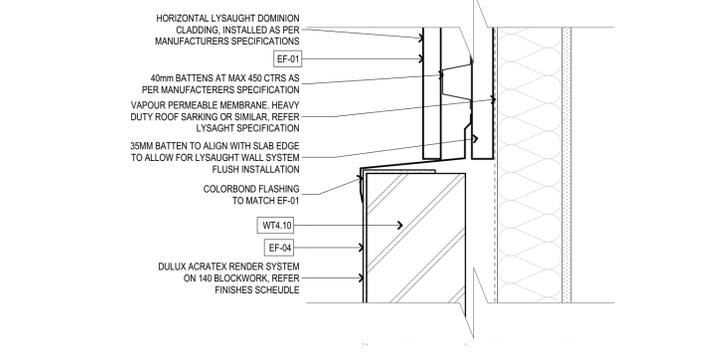
SD-06 DETAIL-ROOF EDGE MASONRY  
1:5



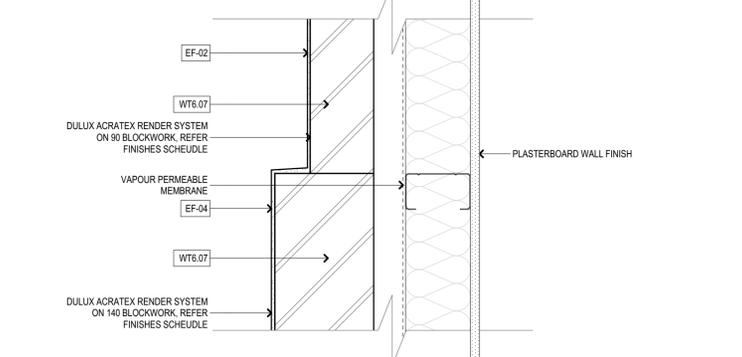
SD-08 DETAIL-BALCONY ROOF  
1:5



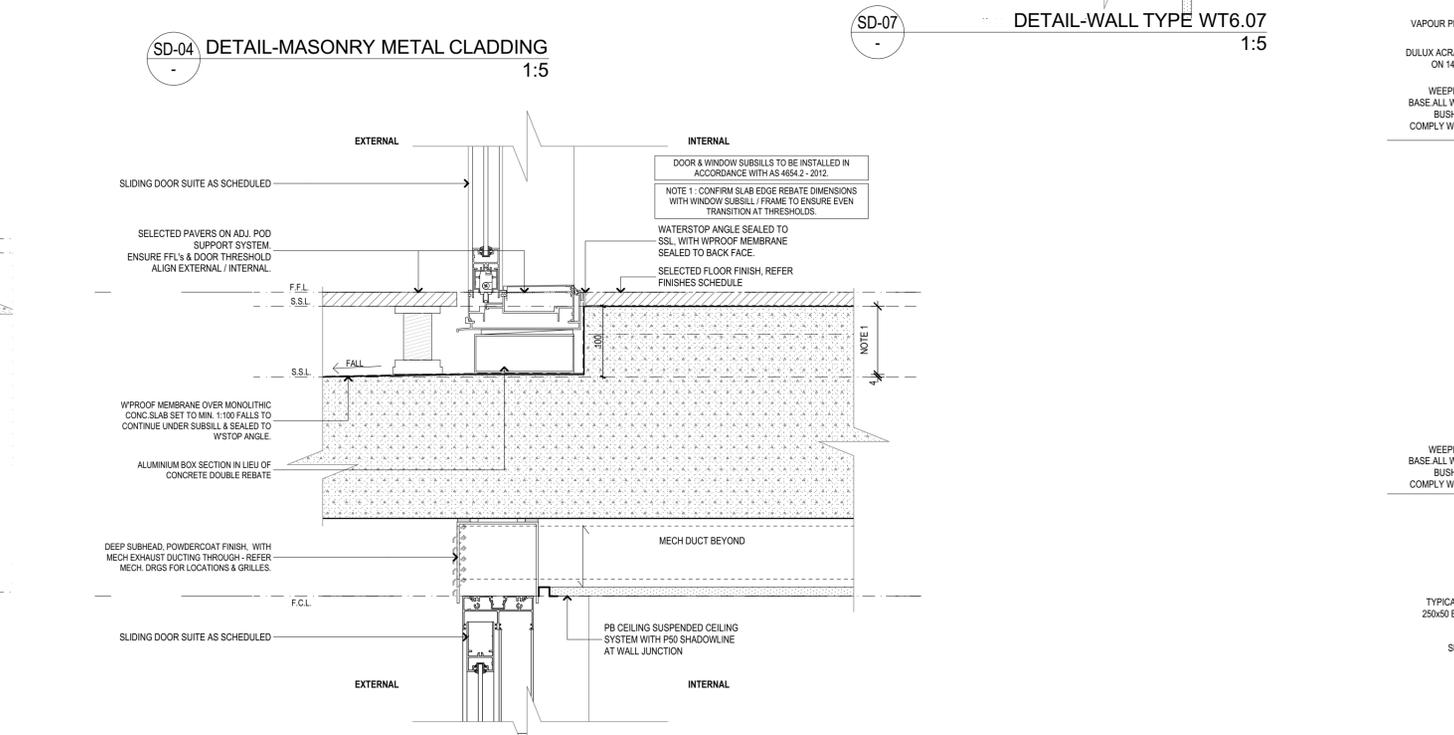
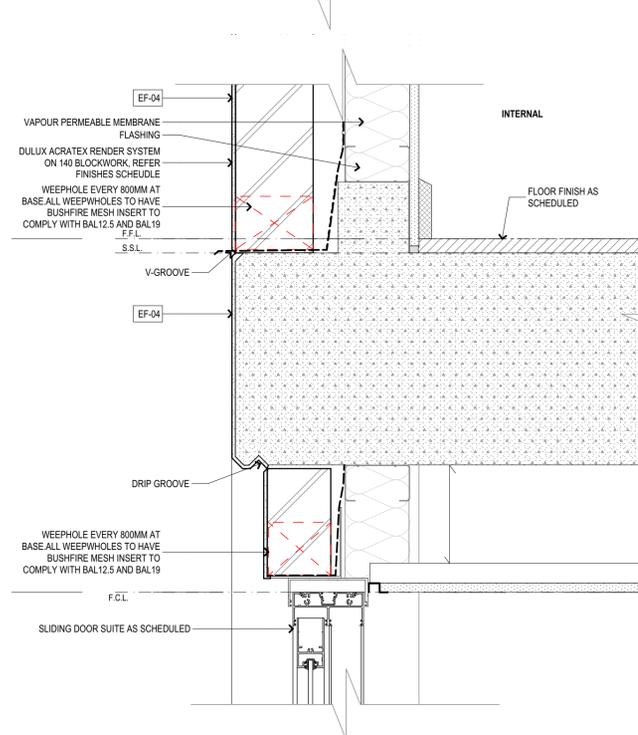
SD-02 DETAIL-WINDOW SILL & SLAB EDGE  
1:5



SD-04 DETAIL-MASONRY METAL CLADDING  
1:5



SD-07 DETAIL-WALL TYPE WT6.07  
1:5



SD-09 DETAIL-TYPICAL SUNHOOD  
1:5

Rev.	Issue Date	By	Chk	Description
Pt	20/07/2019	BL/AR	RS/DN	For Coordination
T01	12/08/2019	BL/AR	RS/DN	For Tender
00	13/07/2020	DN	DN	For Construction
01	10/09/2020	DN	DN	Updated details-Additional Notes, Window sunhood added
02	10/10/2020	DN	DN	Updated details-Window Subhead, additional details
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
Pt	20/07/2019	BL/AR	RS/DN	For Coordination
T01	12/08/2019	BL/AR	RS/DN	For Tender
00	13/07/2020	DN	DN	For Construction
01	10/09/2020	DN	DN	Updated details-Additional Notes, Window sunhood added
02	10/10/2020	DN	DN	Updated details-Window Subhead, additional details
03	25/06/2021	DN	DN	Works as Executed

Consultants

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**IGS**

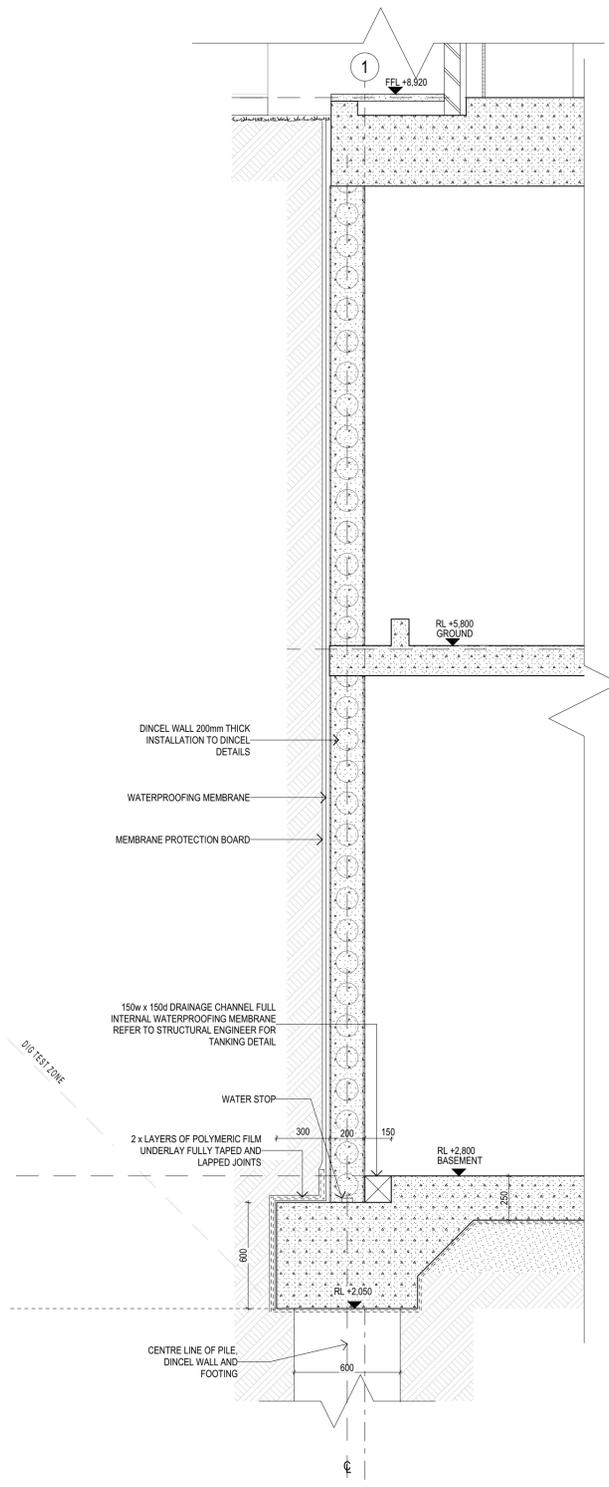
DKO Architecture (NSW) Pty Ltd  
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info@dko.com.au  
www.dko.com.au  
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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8342

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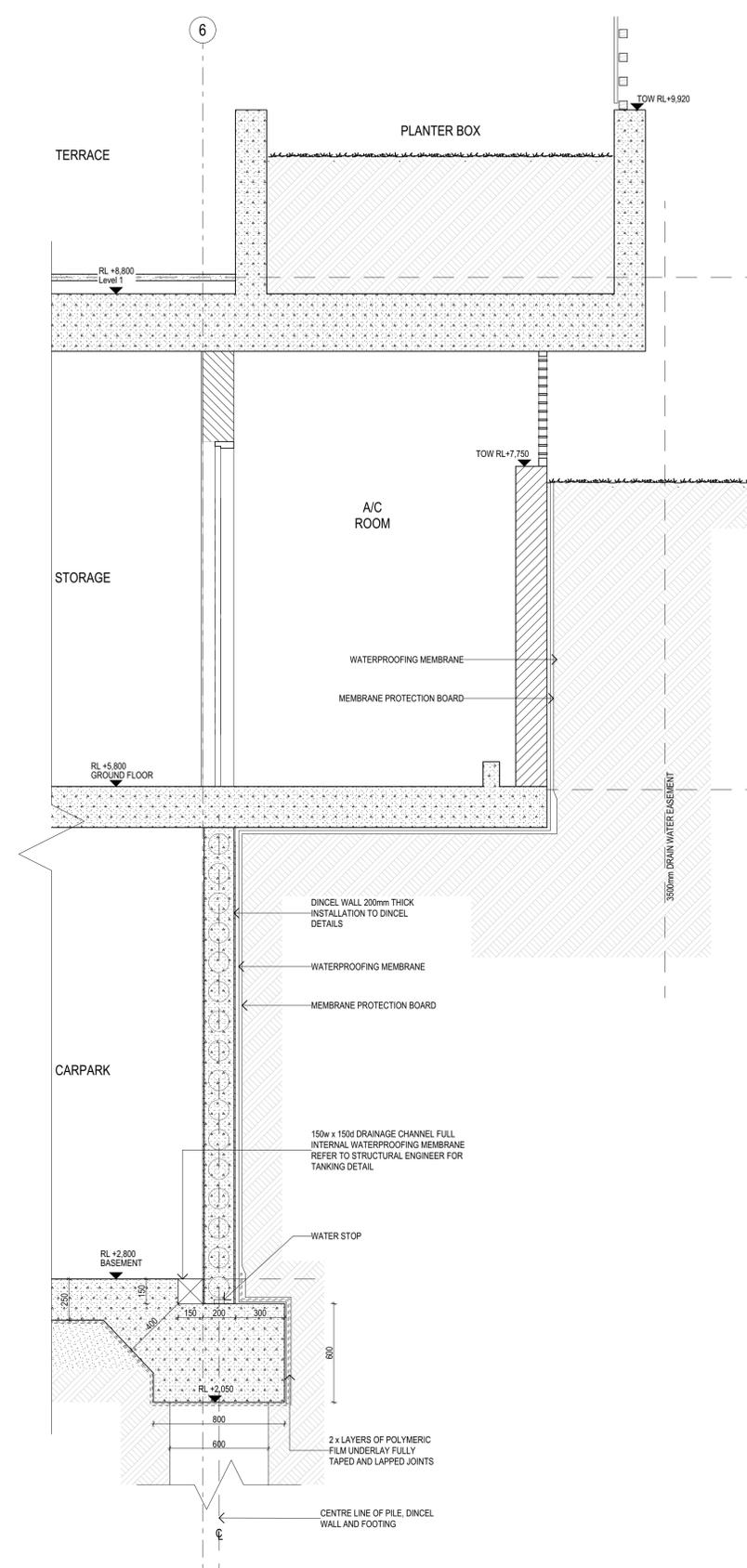
Project Name	Warriewood Apts	Drawing Series	Facade Details
Project Number	11268	Drawing Name	Facade Details 01
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A5001
Drawn By	DN	Revision	03
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

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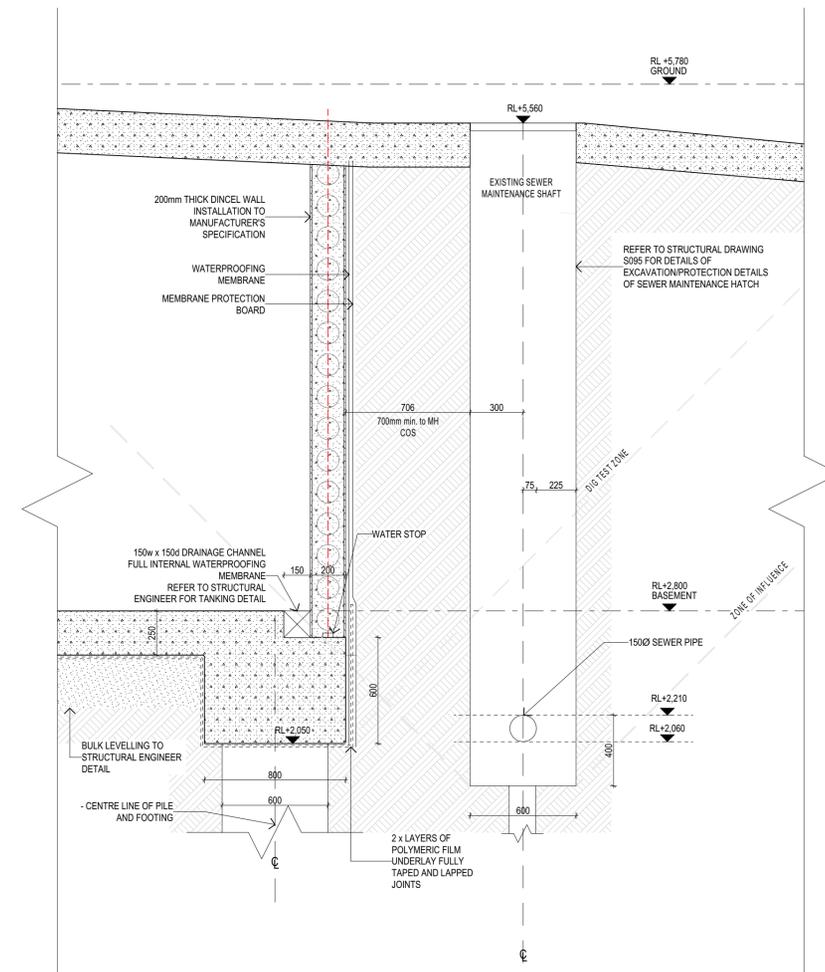




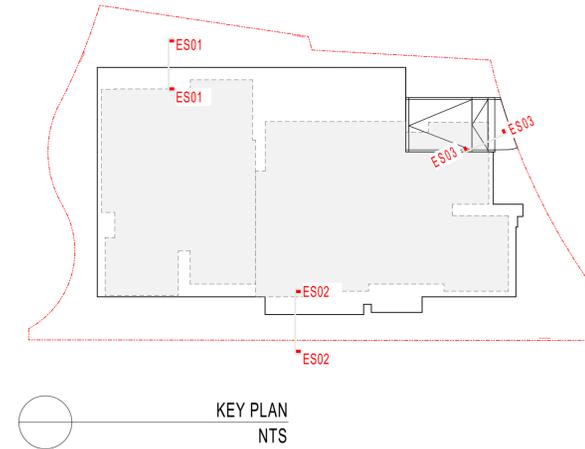
ES01 Basement Edge Section  
1:20



ES02 Basement Edge Section  
1:20



ES03 Basement Edge Section  
1:20



**NOTE:**  
FOOTING DETAIL AND DIMENSION REFER TO STRUCTURAL ENGR DRAWING.  
REFER ALSO TO DIFFERENT FOOTING CONDITIONS SKETCH BY NOVATI DATED 31.03.2020

Rev.	Issue Date	By	Chk	Description
00	20/04/2020	MJ/DN	RS/DN	For Construction
01	21/09/2020	MJ/DN	DN	Updated Sections, Top of walls revised, Coordinated drawings
02	25/06/2021	MJ/DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
00	20/04/2020	MJ/DN	RS/DN	For Construction
01	21/09/2020	MJ/DN	DN	Updated Sections, Top of walls revised, Coordinated drawings
02	25/06/2021	MJ/DN	DN	Works as Executed

Consultants

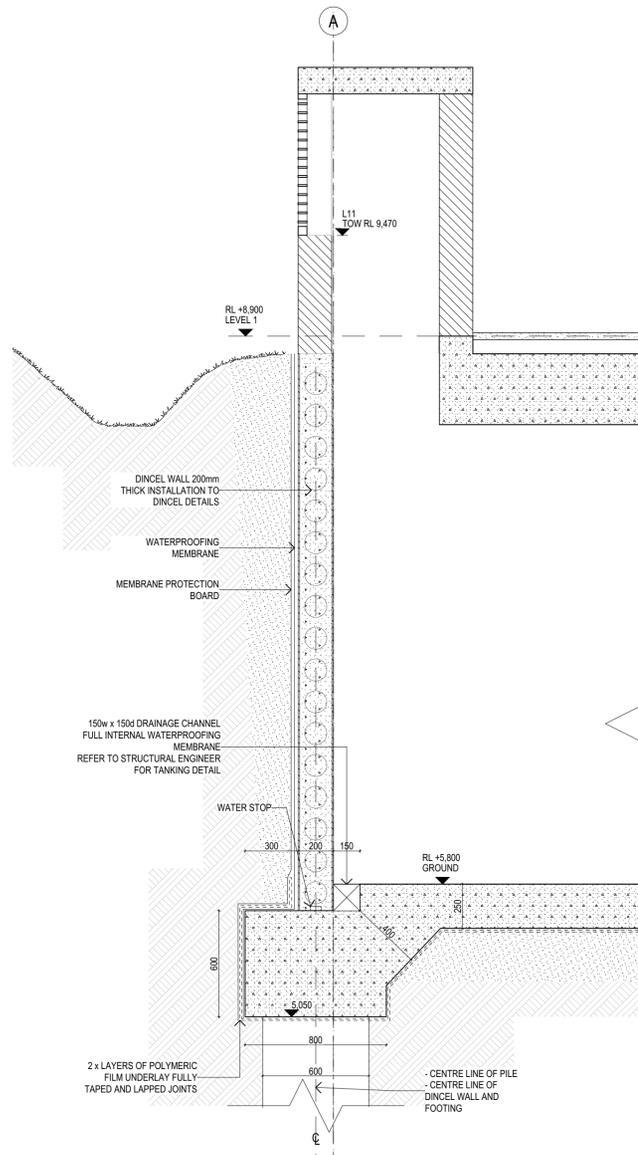
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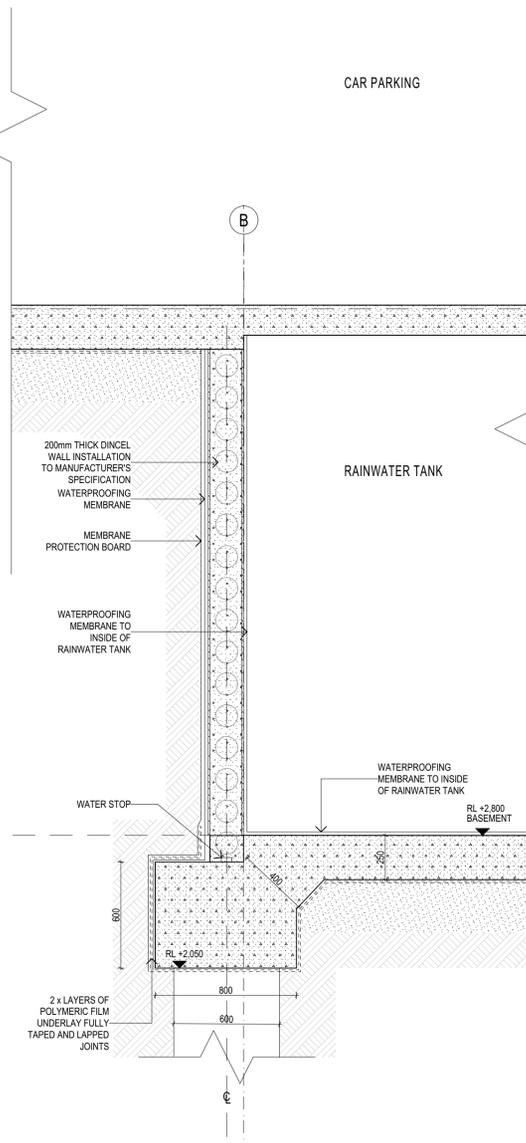
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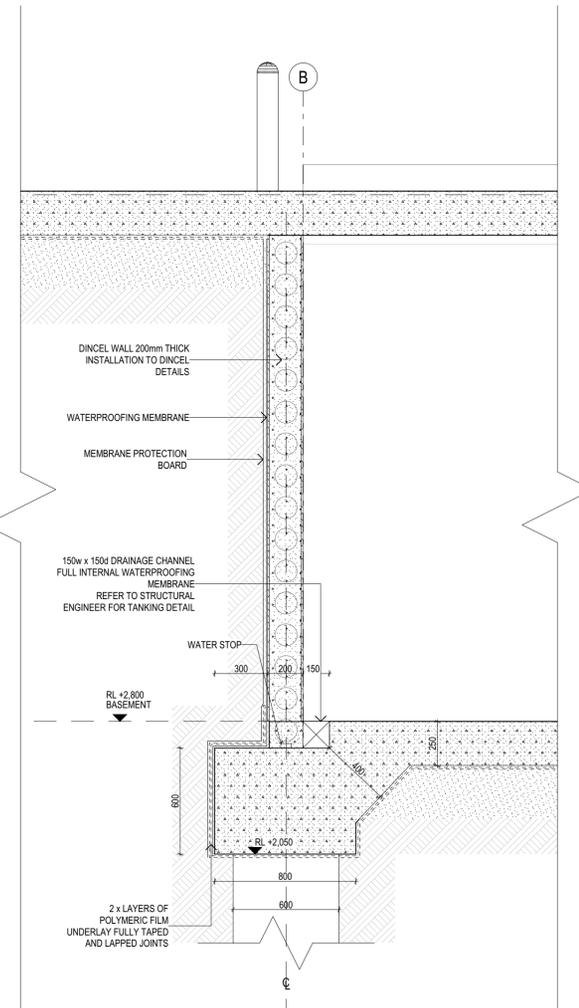
Project Name	Warriewood Apts	Drawing Series	Basement Details
Project Number	11268	Drawing Name	Basement Detail
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A5101</b>
Drawn By	MJ/DN	Revision	<b>02</b>
Checked By			
Date	25/06/2021		
Scale			



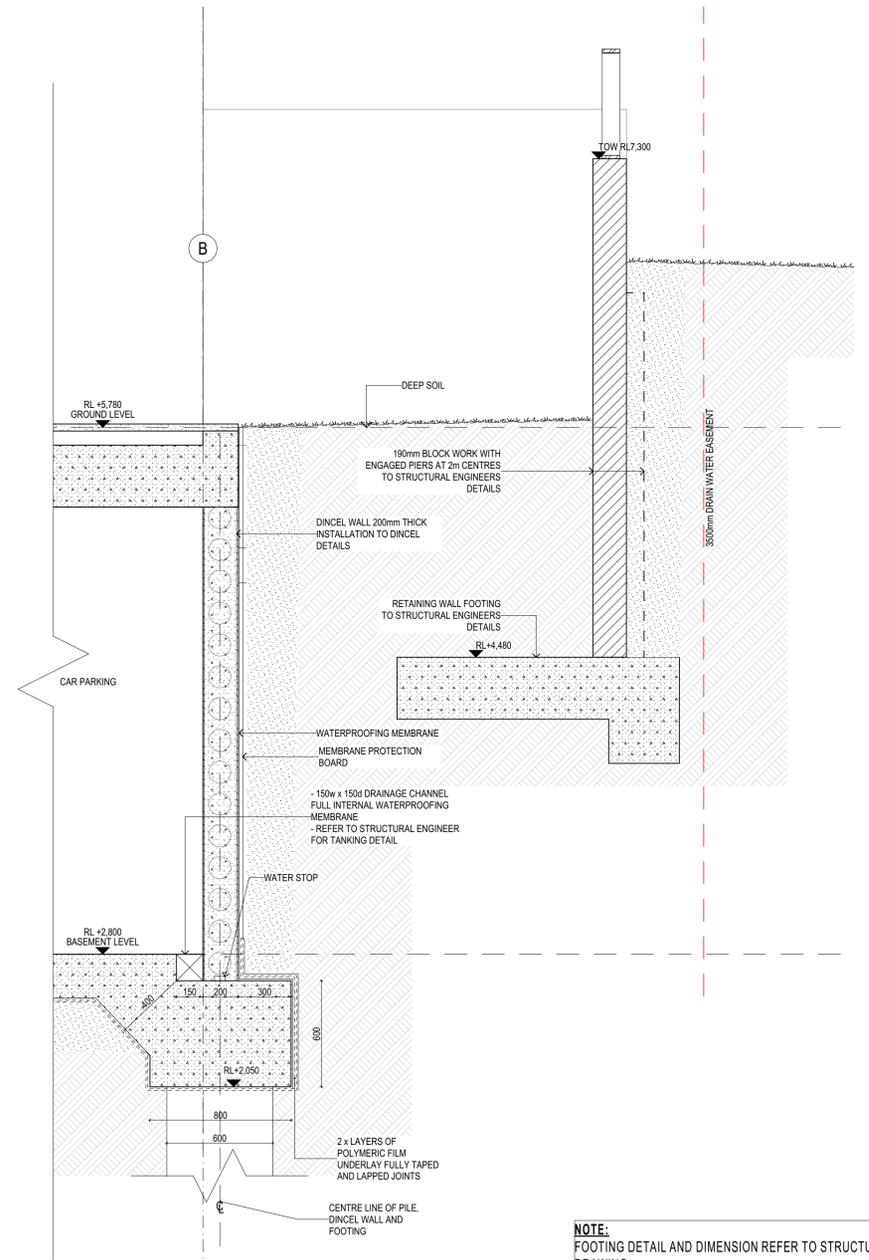
ES04 Basement Edge Section  
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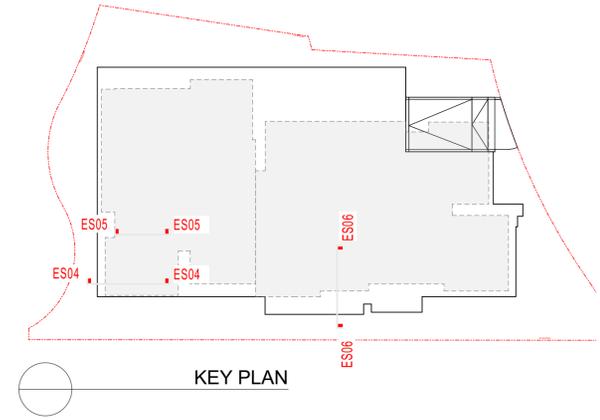
ES04 Basement Edge Section  
1:20



ES05 Basement Edge Section  
1:20



ES06 Basement Edge Section  
1:20



**NOTE:**  
FOOTING DETAIL AND DIMENSION REFER TO STRUCTURAL ENGR DRAWING.  
REFER ALSO TO DIFFERENT FOOTING CONDITIONS SKETCH BY NOVATI DATED 31.03.2020

Rev.	Issue Date	By	Chk	Description
00	20/04/2020	MJ/DN	RS/DN	For Construction
01	11/06/2020	DN	DN	For Construction
02	2/09/2020	DN	DN	Updated Sections, Top of walls revised, Coordinated drawings
03	1/10/2020	DN	DN	Mechanical Louvre L11 TOW level revised
04	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
00	20/04/2020	MJ/DN	RS/DN	For Construction
01	11/06/2020	DN	DN	For Construction
02	2/09/2020	DN	DN	Updated Sections, Top of walls revised, Coordinated drawings
03	1/10/2020	DN	DN	Mechanical Louvre L11 TOW level revised
04	25/06/2021	DN	DN	Works as Executed

Consultants

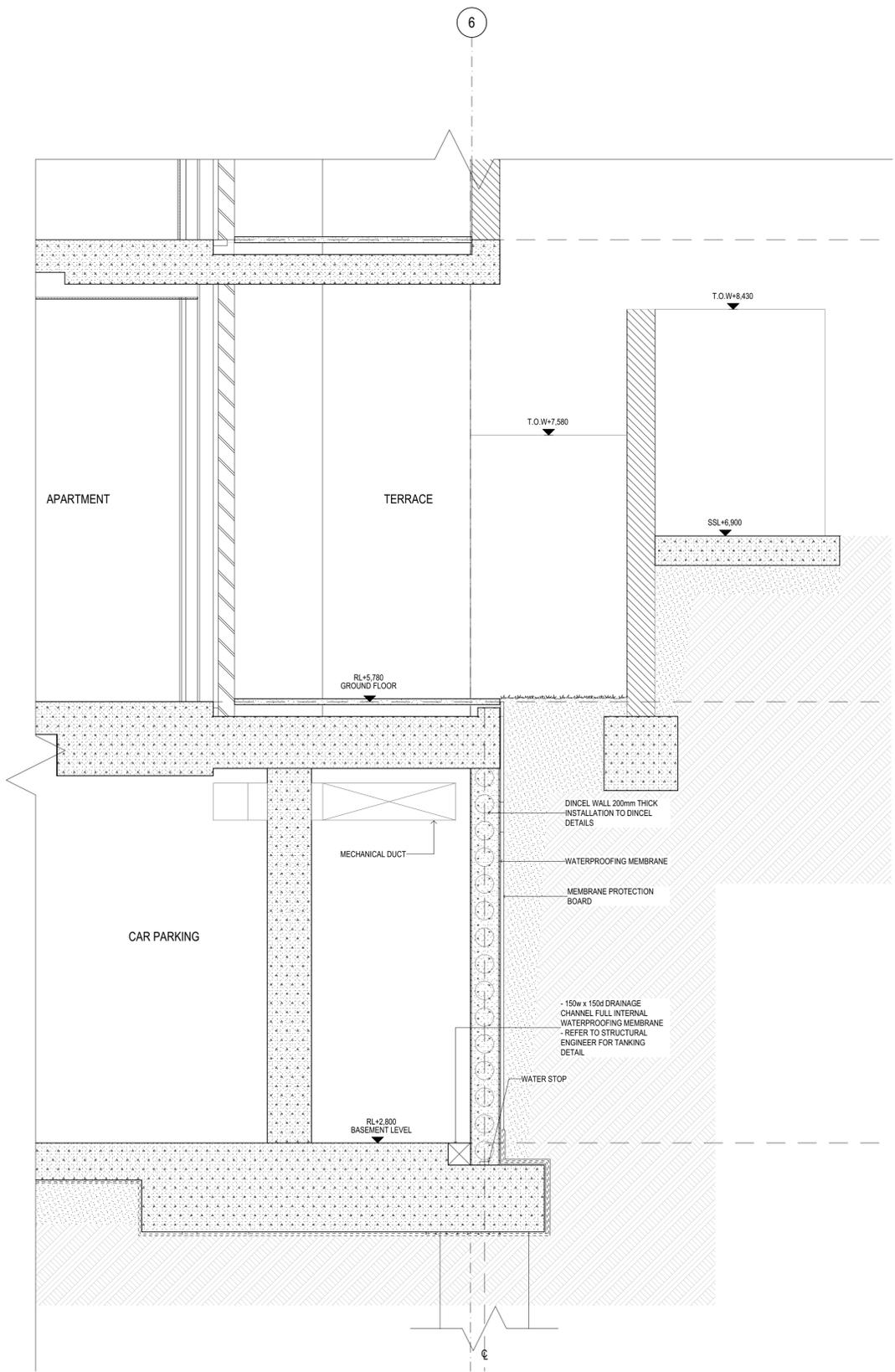
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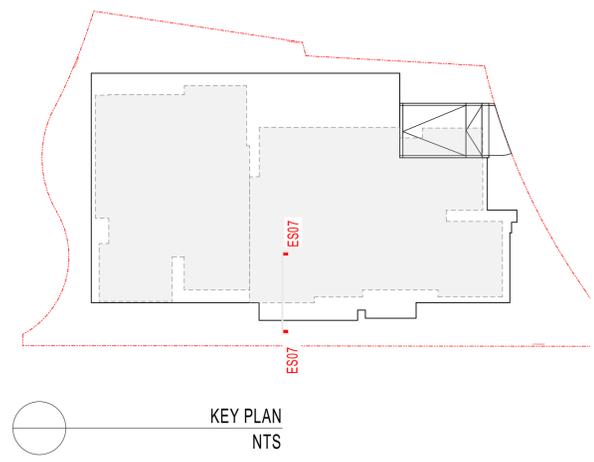
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www.dko.com.au  
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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8342

**DKO**

Project Name	Warriewood Apts	Drawing Series	Basement Details
Project Number	11268	Drawing Name	Basement Detail
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A5102</b>
Drawn By	DN	Revision	<b>04</b>
Checked By			
Date	25/06/2021		
Scale			



ES07 Basement Edge Section  
1:20



Builder/Contractor shall verify job dimensions before any job commences.  
Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Issue Date	By	Chk	Description
00	25/05/2020	MJ	DN	For Construction
01	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

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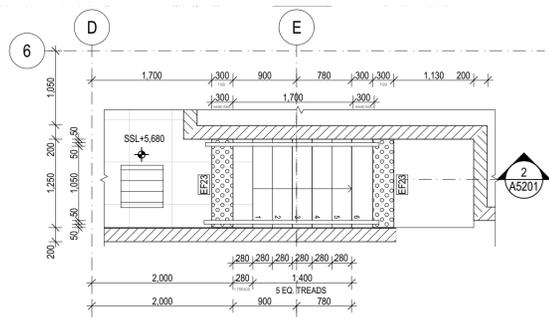
**IGS**

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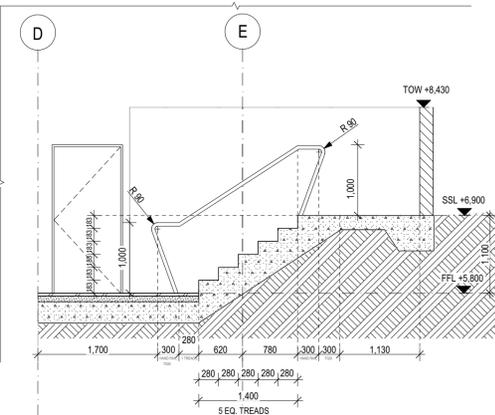
**DKO**

Project Name: Warriewood Apts  
Project Number: 11268  
Project Address: 31 Warriewood Road, Warriewood, NSW 2102  
Drawn By: MJ  
Checked By: MJ  
Date: 25/06/2021  
Scale:

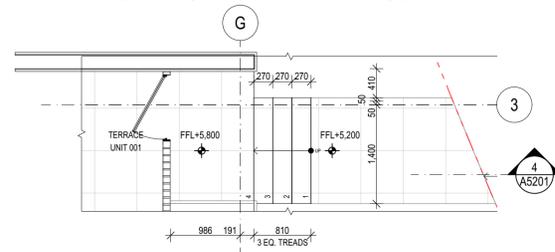
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Drawing Name: Basement Detail  
Drawing Number: **A5103**  
Revision: **01**



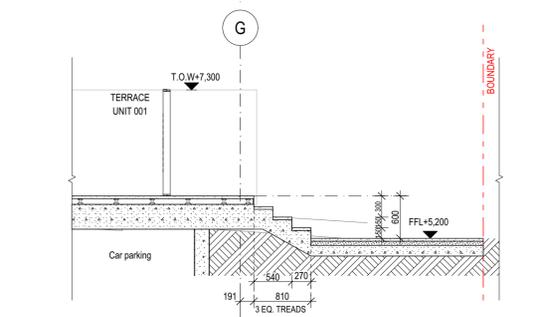
1 PLAN-EXTERNAL STAIR 01  
1:50



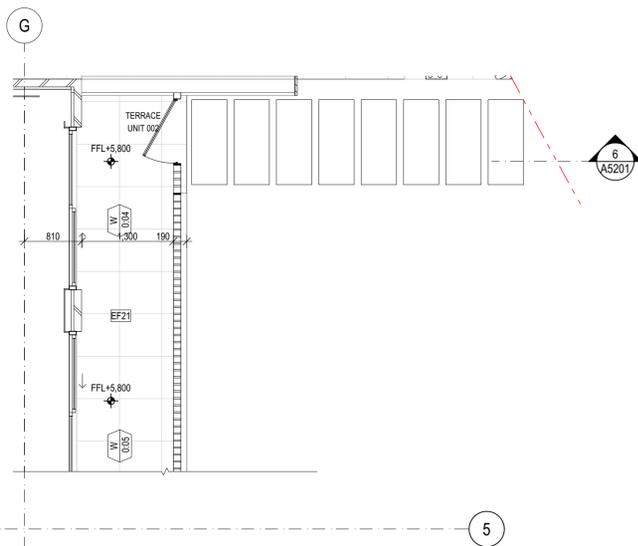
2 SECTION - EXTERNAL STAIR 01  
1:50



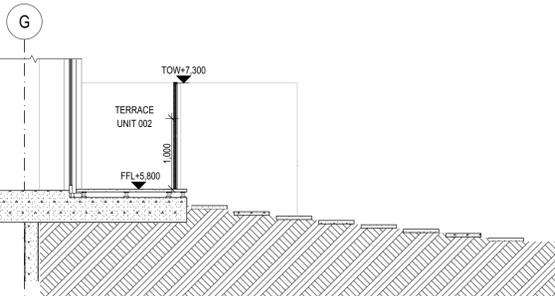
3 PLAN - APARTMENT 001 STAIR  
1:50



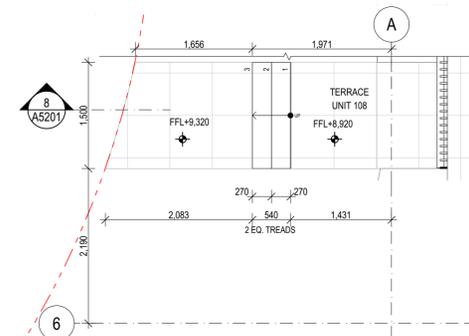
4 SECTION - APARTMENT 001 STAIR  
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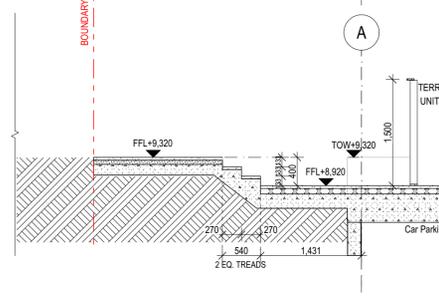
5 PLAN - APARTMENT 002 STAIR  
1:50



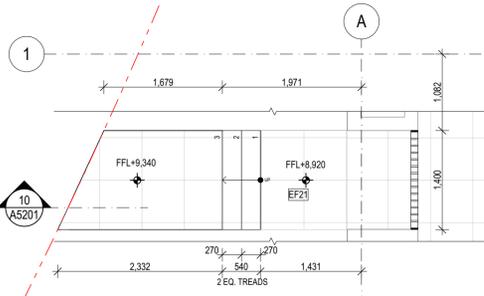
6 SECTION - APARTMENT 002 STAIR  
1:50



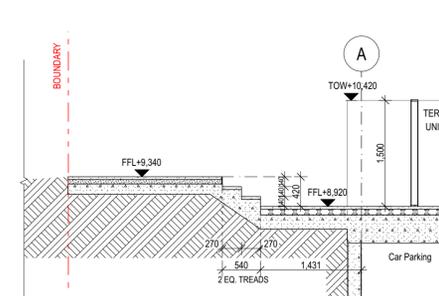
7 PLAN - APARTMENT 108 STAIR  
1:50



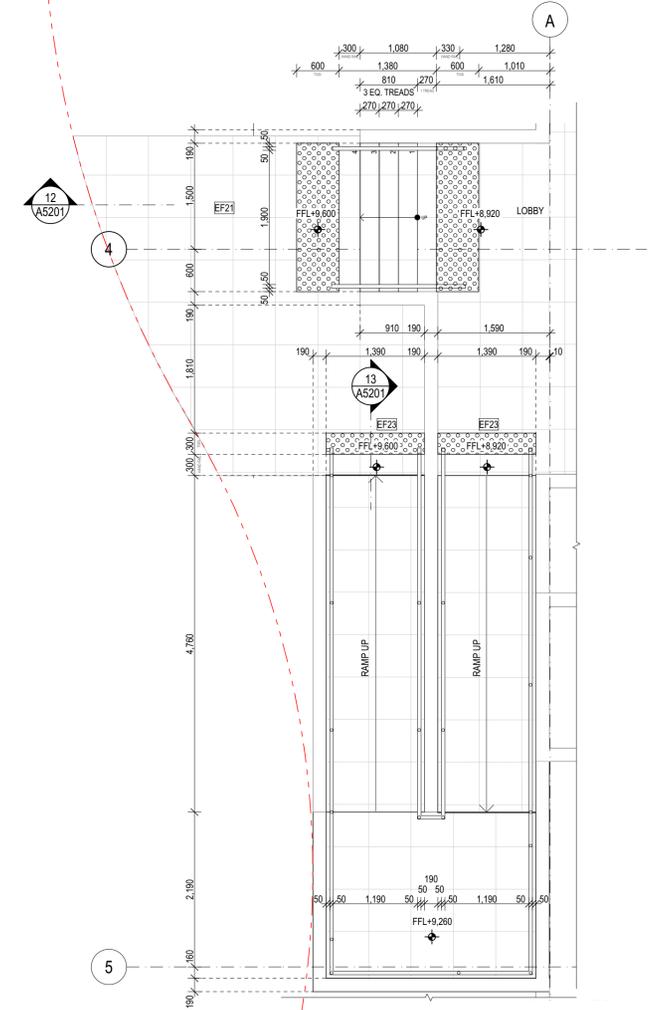
8 SECTION - APARTMENT 108 STAIR  
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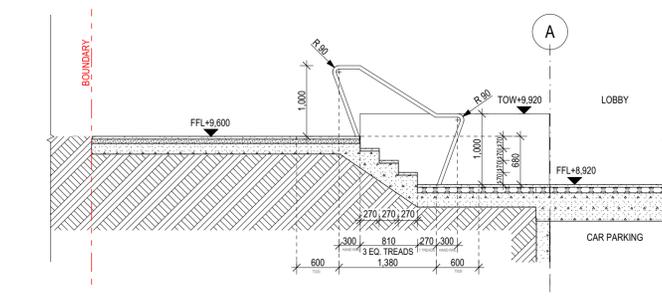
9 PLAN - APARTMENT 109 STAIR  
1:50



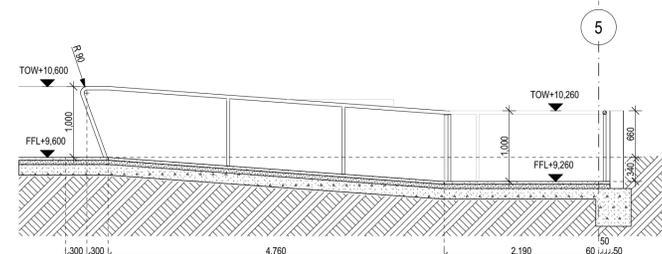
10 SECTION - APARTMENT 109 STAIR  
1:50



11 PLAN - MAIN ENTRY STAIR AND RAMP  
1:50



12 SECTION - MAIN ENTRY STAIR  
1:50



13 SECTION - MAIN ENTRY RAMP  
1:50

**NOTES:**  
 ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.  
 REFER TO DEVELOPMENT DETERMINATION DA20180607 AND ALL ASSOCIATED CONDITIONS OF CONSENT  
 ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR BEFORE COMMENCING WORK ON SITE.  
 REFER TO SURVEY DRAWINGS AND REPORT FOR ALL INFORMATION RELATING TO EXISTING SITE DATA & CONDITIONS.  
 REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH  
 - STRUCTURAL DRAWINGS  
 - ALL SERVICES DRAWINGS  
 - ACOUSTIC REPORT  
 - BASIX & NATHERS  
 - BCA REPORT  
 - FIRE ENGINEERING REQUIREMENTS  
 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
 - ALL OTHER REPORTS  
 ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION  
 ALL TGS TO COMPLY TO AS1428.1 AND AS1428.4  
 CONSTRUCTION OF EXITS, PATHS OF TRAVEL, STAIRWAYS AND RAMPS TO COMPLY WITH NCC 2019 VOL. 1 PART D AND REFERENCED STANDARDS

Rev.	Issue Date	By	Chk	Description
00	01/05/2020	MJ	RS/DN	For Construction
01	25/05/2020	MJ	DN	For Construction
02	18/06/2020	MJ	DN	For Construction
03	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
01	25/06/2021	MJ	DN	Works as Executed

Consultants

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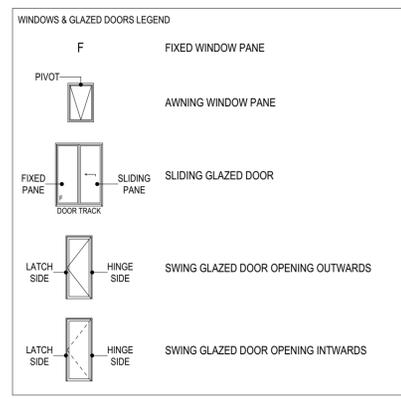
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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8342

**DKO**

Project Name	Warriewood Apts	Drawing Series	Details
Project Number	11268	Drawing Name	Steps and Ramps Detail 01
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A5201</b>
Drawn By	MJ	Revision	<b>03</b>
Checked By			
Date	25/06/2021		
Scale			

<b>WINDOW TYPE</b>	Type 01	Type 01A	Type 02	Type 02A	Type 03	Type 03A
<b>ELEVATION</b>						
<b>QUANTITY</b>	9	7	5	4	9	11
<b>NOTES</b>	W1.11 W2.11 W3.02, W3.15 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W1.27, W1.30 W2.27, W2.30 E3.17	W3.03, W3.17 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W1.36, W1.45 W2.36, W2.46 W3.08	W0.11 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W1.02, W1.24 W2.02, W2.24	W0.02 W2.08 W3.18 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W1.04 W2.04, W2.38	W0.09 W1.28, W1.31 W2.28, W2.40 W3.19, W3.20 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W0.12	W0.10, W0.07 W1.01, W1.16, W1.22, W1.29, W1.46 W2.01, W2.16, W2.22, W2.29 W3.01
<b>WINDOW TYPE</b>	Type 04	Type 04A	Type 05	Type 06A	Type 07	Type 07A
<b>ELEVATION</b>						
<b>QUANTITY</b>	10	7	1	2	2	3
<b>NOTES</b>	W0.03, W0.04, W0.05 W1.17 W2.17 W3.09 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W1.12, W1.41 W2.12 W3.04	W1.03, W1.08, W1.35, W1.37 W2.03, W2.08, W2.35	W0.08	MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W2.42 W3.12	W3.13 MECHANICAL LOUVRE ALONG SUBHEAD IN WINDOWS W3.22	W1.06 W2.06 W3.21
<b>WINDOW TYPE</b>	Type 08A	Type 09	Type 10	Type 11	Type 12	Type 12A
<b>ELEVATION</b>						
<b>QUANTITY</b>	1	2	6	5	21	2
<b>NOTES</b>	W3.11	W1.42 W2.43	W1.10, W1.43 W2.10, W2.48, W2.49 W3.10	W1.23, W1.26 W2.23, W2.26, W2.39	W1.07, W1.13, W1.15, W1.19, W1.21, W1.25, W1.33, W1.34 W2.07, W2.13, W2.15, W2.19, W2.21, W2.25, W2.31, W2.33, W2.34, W2.37, W2.47 W3.06, W3.07	W1.09 W2.09
<b>WINDOW TYPE</b>	Type 12B	Type 12C	Type 13	Type 14	Type 15	Type 16
<b>ELEVATION</b>						
<b>QUANTITY</b>	1	1	5	2	1	4
<b>NOTES</b>	W3.18	W0.01	W1.14, W1.32 W2.14, W2.32 W3.05	W1.44 W2.45	W2.50	W1.20 W2.20, W2.41 W3.14
<b>WINDOW TYPE</b>	Type 17	Type 18	Type 19	Type 19A	Type 20	Type 22
<b>ELEVATION</b>						
<b>QUANTITY</b>	3	1	3	3	1	1
<b>NOTES</b>	W0.06 W1.18 W2.18	W2.44	W1.05, W1.47 W2.05	W1.39, W1.40, W1.48	W1.38	W3.23



- ALL WINDOWS DEPICTED FROM EXTERNAL SIDE
- WINDOW SYSTEM BASED ON CAPRAL 419 FLUSHLINE RANGE
- ALL GLAZING CLEAR MINIMUM 6.38mm THICK LAMINATED, EXCEPT WHERE NOTED
- ALLOW FOR ALL SEALS AND WEATHERSTRIPS
- ALLOW FOR ALL WINDOW HARDWARE AND FLYSCREENS
- ALL WINDOWS AND DOORSETS TO BE KEY LOCKABLE
- ALLOW FOR FLYSCREENS TO ALL WINDOWS (INTEGRATED)
- ALLOW FOR MECHANICAL EXHAUST LOUVRE TO TOP OF BALCONY SLIDING DOORS & WINDOWS. WITHIN DEEP TOP HEAD. REFER TO MECHANICAL DRAWINGS FOR LOCATION
- PROVIDE RESTRICTION TO WINDOW OPENINGS IN ACCORDANCE WITH BCA CLAUSE D2.24
- REFER TO EXTERNAL FINISHES SCHEDULE FOR FRAME FINISHES.
- ALL SHOP DRAWINGS TO BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO MANUFACTURE
- OVERALL DIMENSIONS ARE THE STRUCTURAL DIMENSIONS
- CONFIRM DIMENSIONS ON SITE PRIOR TO MANUFACTURE
- WHERE NOMINATED, PROVIDE ACOUSTIC SEALS AROUND THE FULL PERIMETER OF OPENABLE FRAMES & THE FRAME TO BE SEALED INTO THE BUILDING USING A FLEXIBLE SEALANT.
- WHERE NOMINATED, PROVIDE 75mm HIGH WHITE TRANSLUCENT HORIZONTAL VISION PANEL (VP) STRIP, UNDERSIDE AT 900-1000mm ABOVE FFL TO COMPLY WITH AS1428.1.
- REFER TO AND COMPLY WITH:
  - BASIX & ABSA CERTIFICATES
  - BCA SECTION J-V3 COMPLIANCE REPORT
  - ACOUSTIC SPECIFICATION
  - FIRE ENGINEERING REPORT / FEEDBACK
- REFER TO FACADE DETAILS SERIES A5000 FOR DETAILS
- MECH. PENETRATIONS AS PER MECH. ENGINEER. ENSURE FULLY SEALED JUNCTIONS WITH BACK PANEL.
- INSULATED ALUMINIUM BACKPAN BEHIND LOUVRES TO COMPLY WITH THE R-VALUE REQUIREMENTS OF THE ENERGY REPORT AND FULLY SEALED TO FRAME.
- GLAZING CONTRACTOR TO PROVIDE ALL ALUMINIUM COVER PLATES TO LINTEL BEAMS, COLUMN, DOWNPIPES AS INDICATED
- GLAZING SAMPLE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL.

Builder/Contractor shall verify job-dimensions before any job commences  
Figured dimensions take precedence over drawings and job-dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant

Rev.	Issue Date	By	Chk	Description
Pt	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	18/06/2020	MJ	DN	For Construction
01	4/09/2020	MJ	DN	Revised window schedule
02	6/10/2020	MJ	DN	Revised Window Schedule
03	8/10/2020	MJ	DN	Window numbers, SSI's and PCL's added
04	12/10/2020	MJ	DN	Windows with Mechanical louvers along subhead noted
05	25/06/2021	MJ	DN	Works as Executed

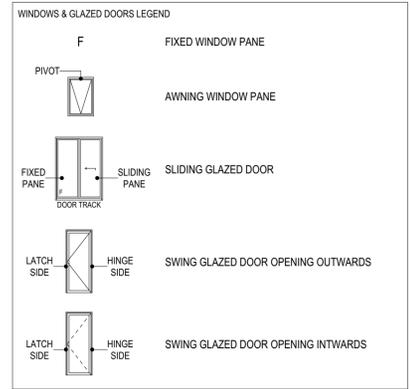
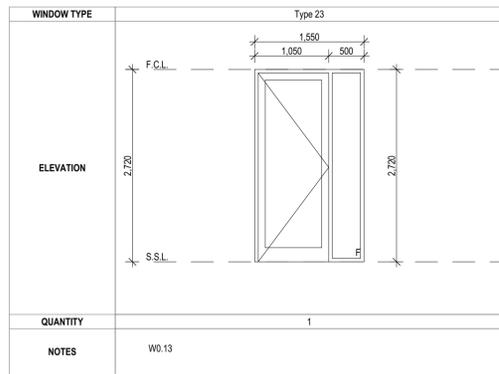
Rev.	Issue Date	By	Chk	Description
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02	12/08/2019	EM/BL	RS/DN	For Tender
03	18/06/2020	MJ	DN	For Construction
04	4/09/2020	MJ	DN	Revised window schedule
05	6/10/2020	MJ	DN	Revised Window Schedule
06	8/10/2020	MJ	DN	Window numbers, SSI's and PCL's added
07	12/10/2020	MJ	DN	Windows with Mechanical louvers along subhead noted
08	25/06/2021	MJ	DN	Works as Executed



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NSW: Nominated Architects  
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David Randerson 8342



Project Name	Warriewood Apts	Drawing Series	Drawn Schedules
Project Number	11268	Drawing Name	Window Schedule 01
Project Address	33 Warriewood Road, Warriewood, NSW 2102	Drawing Number	A6001
Drawn By	MJ	Revision	05
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			



- ALL WINDOWS DEPICTED FROM EXTERNAL SIDE.
- WINDOW SYSTEM BASED ON CAPRAL 419 FLUSHLINE RANGE
- ALL GLAZING CLEAR MINIMUM 6.38mm THICK LAMINATED, EXCEPT WHERE NOTED:
- ALLOW FOR ALL SEALS AND WEATHERSTRIPS
- ALLOW FOR ALL WINDOW HARDWARE AND FLYSCREENS
- ALL WINDOWS AND DOORSETS TO BE KEY LOCKABLE
- ALLOW FOR FLYSCREENS TO ALL WINDOWS (INTEGRATED)
- ALLOW FOR MECHANICAL EXHAUST LOUVRE TO TOP OF BALCONY SLIDING DOORS & WINDOWS. WITHIN DEEP TOP HEAD. REFER TO MECHANICAL DRAWINGS FOR LOCATION
- PROVIDE RESTRICTION TO WINDOW OPENINGS IN ACCORDANCE WITH BCA CLAUSE D2.24
- REFER TO EXTERNAL FINISHES SCHEDULE FOR FRAME FINISHES.
- ALL SHOP DRAWINGS TO BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO MANUFACTURE
- OVERALL DIMENSIONS ARE THE STRUCTURAL DIMENSIONS
- CONFIRM DIMENSIONS ON SITE PRIOR TO MANUFACTURE
- WHERE NOMINATED, PROVIDE ACOUSTIC SEALS AROUND THE FULL PERIMETER OF OPENABLE FRAMES & THE FRAME TO BE SEALED INTO THE BUILDING USING A FLEXIBLE SEALANT.
- WHERE NOMINATED, PROVIDE 75mm HIGH WHITE TRANSLUCENT HORIZONTAL VISION PANEL (VP) STRIP, UNDERSIDE AT 900-1000mm ABOVE FFL TO COMPLY WITH AS1428.1
- REFER TO AND COMPLY WITH:
  - BASIX & ABSA CERTIFICATES
  - BCA SECTION J-JV3 COMPLIANCE REPORT
  - ACOUSTIC SPECIFICATION
  - FIRE ENGINEERING REPORT / FEEDBACK
- REFER TO FACADE DETAILS SERIES A5000 FOR DETAILS
- MECH. PENETRATIONS AS PER MECH. ENGINEER. ENSURE FULLY SEALED JUNCTIONS WITH BACK PANEL.
- INSULATED ALUMINIUM BACKPAN BEHIND LOUVRES TO COMPLY WITH THE R-VALUE REQUIREMENTS OF THE ENERGY REPORT AND FULLY SEALED TO FRAME.
- GLAZING CONTRACTOR TO PROVIDE ALL ALUMINIUM COVER PLATES TO LINTEL BEAMS, COLUMN, DOWNPIPES AS INDICATED
- GLAZING SAMPLE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL.

Rev.	Issue Date	By	Chk	Description
00	18/06/2020	MJ	DN	For Construction
01	4/09/2020	MJ	DN	Revised window schedule
02	6/10/2020	MJ	DN	Revised Window Schedule
03	8/10/2020	MJ	DN	Window numbers, SSL's and FCL's added
04	25/06/2021	MJ	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

**WBB DESIGN**

**PDSGROUP**

**IGS**

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Project Name	Warriewood Apts	Drawing Series	Drawn Schedules
Project Number	11268	Drawing Name	Window Schedule 02
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A6002</b>
Drawn By	MJ	Revision	<b>04</b>
Checked By			
Date	25/06/2021		
Scale			

Printed on 25/06/2021 at 10:42 AM  
 Project: 11268 - Warriewood Apts  
 Drawing: Window Schedule 02  
 Scale: 1:100  
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LEVEL	NUMBER	TYPE	APARTMENT	O/A WIDTH	O/A HEIGHT	NOTES
Ground Floor 0						
01	Type 12C	001	2,400.0	2,400.0		
02	Type 02A	001	3,350.0	2,760.0		
03	Type 04	001	2,300.0	2,760.0		
04	Type 04	002	2,300.0	2,760.0		
05	Type 04	002	2,300.0	2,760.0		
06	Type 17	002	3,100.0	2,760.0		
07	Type 03A	002	2,400.0	2,760.0		
08	Type 05	002	2,000.0	2,760.0		
09	Type 03	002	2,400.0	2,760.0		
10	Type 03A	003	2,400.0	2,760.0		
11	Type 02	003	3,350.0	2,760.0		
12	Type 03	003	2,400.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
13	Type 23	CORRIDOR	1,550.0	2,420.0		
L01	Louvre		4,600.0	1,800.0		Refer to Mechanical Engineers Drawings for Details
L02	Louvre		4,000.0	2,000.0		Refer to Mechanical Engineers Drawings for Details
L03	Louvre	BIN ROOM	600.0	300.0		Refer to Mechanical Engineers Drawings for Details
L04	Louvre	AC CONDENSER ROOM	5,930.0	900.0		Refer to Mechanical Engineers Drawings for Details
L05	Louvre	AC CONDENSER ROOM	3,590.0	700.0		Refer to Mechanical Engineers Drawings for Details
L06	Louvre	AC CONDENSER ROOM	1,200.0	400.0		Refer to Mechanical Engineers Drawings for Details
L07	Louvre	AC CONDENSER ROOM	2,480.0	2,650.0		Refer to Mechanical Engineers Drawings for Details
L20	Louvre	002	1,200.0	100.0		Refer to Mechanical Engineers Drawings for Details
L21	Louvre	001	1,200.0	100.0		Refer to Mechanical Engineers Drawings for Details
Level 1						
01	Type 03A	101	2,400.0	2,750.0		
02	Type 02	101	3,350.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
03	Type 04A	102	2,300.0	2,750.0		
04	Type 02A	102	3,350.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
05	Type 19	102	1,600.0	2,750.0		
06	Type 07A	102	2,000.0	2,750.0		
07	Type 12	102	2,400.0	1,630.0		
08	Type 04A	103	2,300.0	2,750.0		
09	Type 12A	103	2,400.0	2,750.0		
10	Type 10	103	1,600.0	1,630.0		
11	Type 01	103	3,200.0	2,750.0		
12	Type 04	103	2,300.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
13	Type 12	103	2,400.0	1,630.0		
14	Type 13	CORRIDOR	1,200.0	1,630.0		
15	Type 12	104	2,400.0	1,630.0		
16	Type 03A	104	2,400.0	2,750.0		
17	Type 04	104	2,300.0	2,750.0		
18	Type 17	104	3,100.0	2,750.0		
19	Type 12	104	2,400.0	1,630.0		
20	Type 16	104	2,000.0	1,630.0		
21	Type 12	104	2,400.0	1,630.0		
22	Type 03A	105	2,400.0	2,750.0		
23	Type 11	105	1,200.0	1,630.0		
24	Type 02	105	3,350.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
25	Type 12	105	2,400.0	1,630.0		
26	Type 11	106	1,200.0	1,630.0		
27	Type 01	106	3,200.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
28	Type 03	106	2,400.0	2,750.0		
29	Type 03A	107	2,400.0	2,750.0		
30	Type 01	107	3,200.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
31	Type 03	107	2,400.0	2,750.0		
32	Type 13	CORRIDOR	1,200.0	1,630.0		
33	Type 12	108	2,400.0	1,630.0		
34	Type 12	108	2,400.0	1,630.0		
35	Type 04A	108	2,300.0	2,750.0		
36	Type 01A	108	3,200.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
37	Type 04A	108	2,400.0	2,750.0		
38	Type 20	CORRIDOR	4,250.0	2,720.0		
39	Type 19A	109	1,600.0	2,750.0		
40	Type 19A	109	1,600.0	2,750.0		
41	Type 04	109	2,300.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
42	Type 09	109	2,700.0	2,750.0		
43	Type 10	109	1,600.0	1,630.0		
44	Type 14	110	1,100.0	1,630.0		
45	Type 01A	110	3,200.0	2,750.0		Mechanical Louvre along Subhead-Setout by others
46	Type 03A	110	2,400.0	2,750.0		
47	Type 19	110	1,600.0	2,750.0		
48	Type 19A	110	1,600.0	2,750.0		
L08	Louvre		2,000.0	1,200.0		Refer to Mechanical Engineers Drawings for Details
L09	Louvre		2,000.0	1,200.0		Refer to Mechanical Engineers Drawings for Details
L10	Louvre		2,000.0	800.0		Refer to Mechanical Engineers Drawings for Details
L11	Louvre		2,000.0	800.0		Refer to Mechanical Engineers Drawings for Details
L22	Louvre		1,200.0	100.0		Refer to Mechanical Engineers Drawings for Details
Level 2						
01	Type 03	201	2,400.0	2,760.0		
02	Type 02	201	3,350.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
03	Type 04A	202	2,300.0	2,760.0		
04	Type 02A	202	3,350.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
05	Type 19	202	1,600.0	2,760.0		
06	Type 07A	202	2,000.0	2,760.0		
07	Type 12	202	2,400.0	1,630.0		
08	Type 04A	203	2,300.0	2,760.0		
09	Type 12A	203	2,400.0	2,760.0		
10	Type 10	203	1,600.0	1,630.0		
11	Type 01	203	3,200.0	2,760.0		
12	Type 04	203	2,300.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
13	Type 12	203	2,400.0	1,630.0		
14	Type 13	CORRIDOR	1,200.0	1,700.0		
15	Type 12	204	2,400.0	1,630.0		
16	Type 03A	204	2,400.0	2,760.0		
17	Type 04	204	2,300.0	2,760.0		
18	Type 17	204	3,100.0	2,760.0		
19	Type 12	204	2,400.0	1,630.0		
20	Type 16	204	2,000.0	1,630.0		
21	Type 12	204	2,400.0	1,630.0		
22	Type 03A	205	2,400.0	2,760.0		
23	Type 11	205	1,200.0	1,850.0		
24	Type 02	205	3,350.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
25	Type 12	205	2,400.0	1,630.0		
26	Type 11	206	1,200.0	1,630.0		
27	Type 01	206	3,200.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
28	Type 03	206	2,400.0	2,760.0		
29	Type 03A	207	2,400.0	2,760.0		
30	Type 01	207	3,200.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
31	Type 12	207	2,400.0	1,630.0		
32	Type 13	CORRIDOR	1,200.0	1,630.0		
33	Type 12	208	2,400.0	1,630.0		
34	Type 12	208	2,400.0	1,630.0		
35	Type 04A	208	2,300.0	2,760.0		
36	Type 01A	208	3,200.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
37	Type 12	208	2,400.0	1,630.0		

LEVEL	NUMBER	TYPE	APARTMENT	O/A WIDTH	O/A HEIGHT	NOTES
Level 3						
38	Type 02A	209	3,350.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
39	Type 11	209	1,200.0	1,630.0		
40	Type 03	209	2,400.0	2,760.0		
41	Type 16	210	2,000.0	1,630.0		
42	Type 06A	210	3,000.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
43	Type 09	210	2,700.0	2,760.0		
44	Type 18	210	1,600.0	1,630.0		
45	Type 14	211	1,100.0	1,630.0		
46	Type 01A	211	3,200.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
47	Type 12	211	2,400.0	1,630.0		
48	Type 10	211	1,600.0	1,630.0		
49	Type 10	211	1,600.0	1,630.0		
50	Type 15	CORRIDOR	900.0	1,630.0		
L23	Louvre	204	1,200.0	100.0		Refer to Mechanical Engineers Drawings for Details
Level 3						
01	Type 03A	301	2,400.0	2,760.0		
02	Type 01	301	3,200.0	2,760.0		
03	Type 01A	301	3,200.0	2,760.0		
04	Type 04	301	2,300.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
05	Type 13	301	1,200.0	1,630.0		
06	Type 12	301	2,400.0	1,630.0		
07	Type 12	301	2,400.0	1,630.0		
08	Type 01A	301	3,200.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
09	Type 04	301	2,300.0	2,760.0		
10	Type 10	302	1,600.0	1,700.0		
11	Type 08A	302	1,900.0	2,760.0		
12	Type 06A	302	2,800.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
13	Type 07	302	2,400.0	2,760.0		
14	Type 16	302	2,000.0	1,630.0		
15	Type 01	303	3,200.0	2,760.0		
16	Type 01A	303	3,200.0	2,760.0		
17	Type 01	303	3,200.0	2,760.0		Mechanical Louvre along Subhead-Setout by others
18	Type 12B	303	2,400.0	970.0		
19	Type 03	303	2,400.0	2,760.0		
20	Type 03	303	2,400.0	2,760.0		
21	Type 07A	303	2,000.0	2,760.0		
22	Type 07	303	2,000.0	2,760.0		
23	Type 22	CORRIDOR	1,650.0	2,400.0		

Project: Warrivewood Apts, 33 Warrivewood Road, Warrivewood, NSW 2102  
 Drawing: A6003-06  
 Date: 25/06/2021  
 Scale: \*\*\* Not in Use \*\*\*\*\*  
 Drawing Number: A6003-06  
 Revision:

Rev.	Issue Date	By	Chk	Description
P1	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	18/06/2020	MJ	DN	For Construction
01	4/09/2020	MJ	DN	Revised window schedule
02	6/10/2020	MJ	DN	Revised Window Schedule
03	8/10/2020	MJ	DN	Window Type 12 height revised to 1050mm
04	12/10/2020	MJ	DN	Windows with Mechanical louvers along subhead noted
05	18/11/2020	MJ	DN	Level 1 Louvres Lo8 & Lo9 height revised
06	25/06/2021	MJ	DN	Works as Executed

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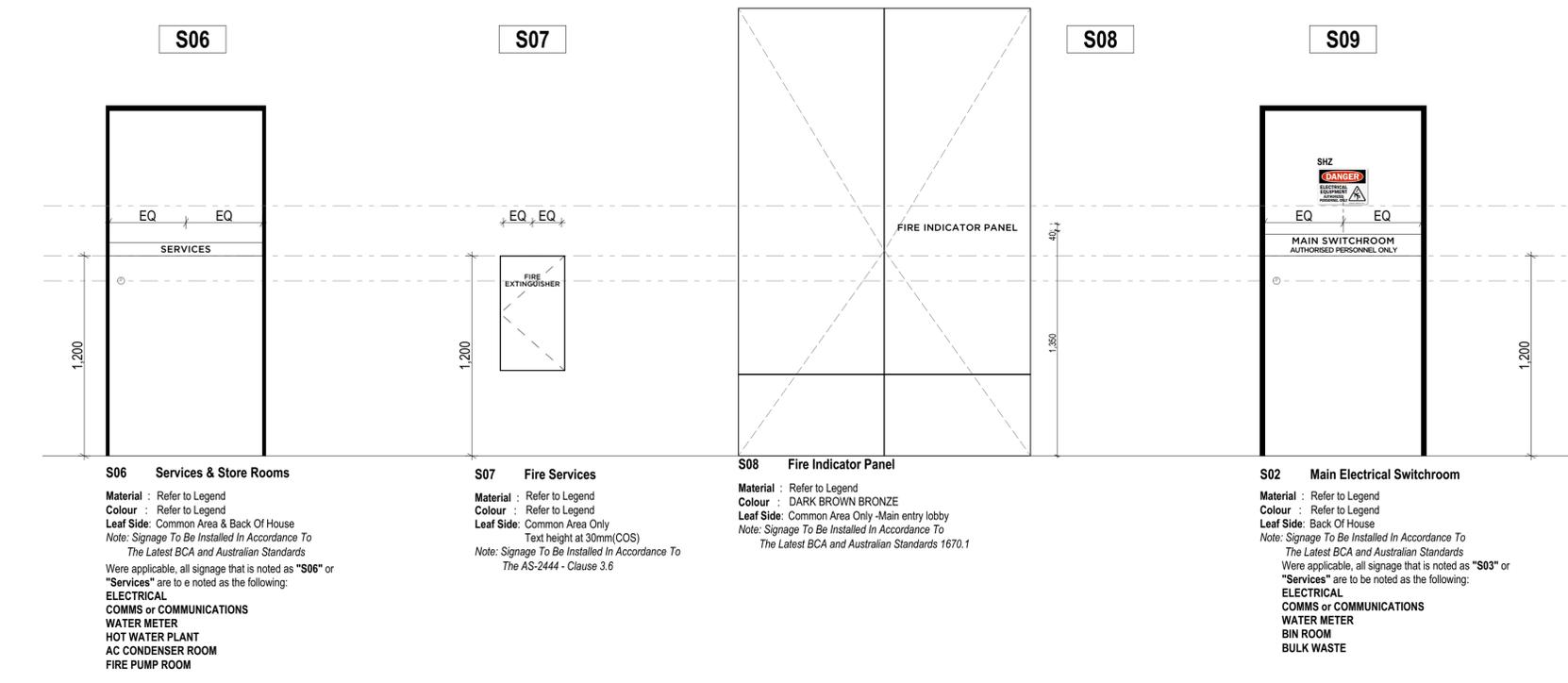
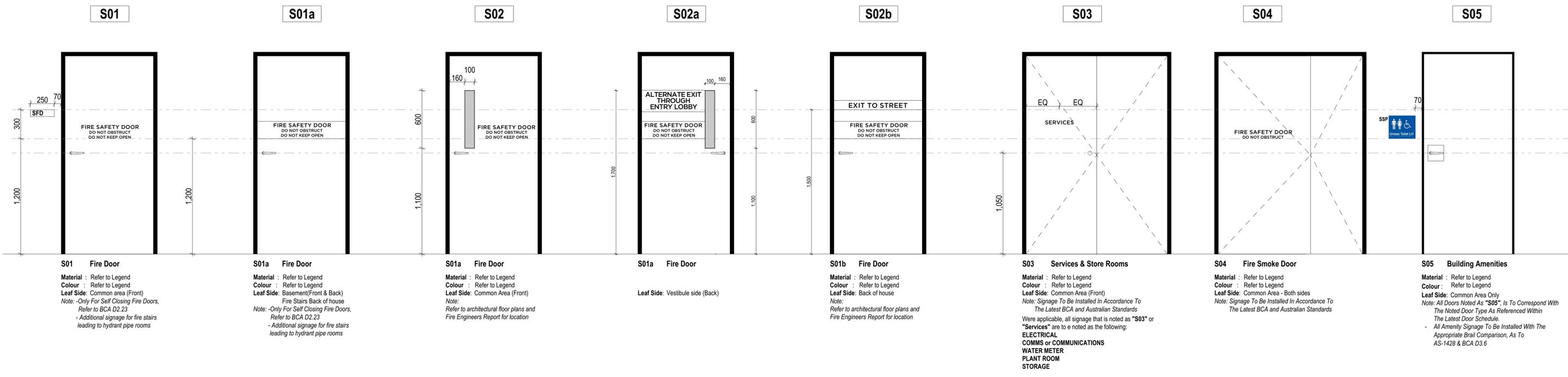


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Project Name	Warrivewood Apts	Drawing Series	Drawn Schedules
Project Number	11268	Drawing Name	Window Schedule 03
Project Address	33 Warrivewood Road, Warrivewood, NSW 2102		
Drawn By	MJ	Drawing Number	A6003
Checked By	*** Not in Use *****	Revision	06
Date	25/06/2021		
Scale			





**DOOR SIGNAGE**

**TEXT TYPE: "GOTHAM MEDIUM"**

**TEXT LAYOUT**

50  
40  
30,35  
20

**TEXT** ← FER TEXT REQUIREMENTS

**TEXT** ← MAIN TEXT

**TEXT** ← SECONDARY TEXT

**SIGNAGE TYPE/FINISH:**  
ALL FIRE DOORS:  
INDIVIDUAL ALUMINIUM LETTERING POWDERCOATED COLOUR: PF-31 'LEXICON HALP'  
ALL SERVICE DOORS:  
INDIVIDUAL ALUMINIUM LETTERING POWDERCOATED COLOUR: 'DARK BROWN BRONZE'

**APARTMENT ENTRY SIGNAGE**  
INDIVIDUAL ALUMINIUM LASER CUT LETTERING POWDERCOATED COLOUR: 'DARK BROWN BRONZE' PIN FIXED 30mm

**101**

**SSP SANITARY PICTOGRAM SIGNAGE**  
WHITE INK LETTERING AND GRAPHICS SCREEN PRINTED (ETCHING) ON BLUE POWDERCOATED ALUMINIUM SIGN.

**BRaille** → Unisex Toilet LH

RH OR LH TO INDICATE A RIGHT OR LEFT TRANSFER ONTO WC PAN

**SHZ HAZARD SIGNAGE**  
PROPRIETARY SIGNAGE

**DANGER**  
ELECTRICAL EQUIPMENT AUTHORIZED PERSONNEL ONLY

**SFD FIRE DOOR OFFENCES RELATING SIGNAGE**

250  
220  
15  
15  
70  
15  
22  
100  
15  
2.5

**OFFENCES RELATING TO FIRE EXITS**

Rev.	Issue Date	By	Chk	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clouded
03	27/04/2021	DN	DN	Revised Font - Gotham Medium, As Clouded
04	12/05/2021	DN	DN	As Clouded
05	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clouded
03	27/04/2021	DN	DN	Revised Font - Gotham Medium, As Clouded
04	12/05/2021	DN	DN	As Clouded
05	25/06/2021	DN	DN	Works as Executed

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Koos de Keijzer 5767  
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**DKO**

Project Name	Warriewood Apts	Drawing Series	Drawn Schedules
Project Number	11268	Drawing Name	Statutory Signage Types
Project Address	31 Warriewood Road, Warriewood, NSW 2102		
Drawn By		Drawing Number	<b>A6010</b>
Checked By		Revision	<b>05</b>
Date	25/06/2021		
Scale			

Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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dko.com.au  
ABN 61 439 783 636

**Date:** 25/06/2021  
**Issue:** For Construction

**Project: Address:** Warriewood Apts  
**Client:**  
**Project Number:** 11268  
**Location:** Sydney

### Revisions

(Revisions Highlighted)

### Rev

00  
01  
02  
03

### Issue

For Construction  
Revised as clouded  
Door- D210 Corridor Carpark added. D302a - Vision panel in door. D404- 850 clear opening.  
Door- D303 As clouded, D219 as ordered @ 2.4m high

## GENERAL NOTES

1. Refer to 'WINDOW SCHEDULE' for door/window combinations
2. Dimensions given in this schedule are approximate only. Final dimensions to be confirmed on site.
3. Refer to Electrical Engineers documentation for security requirements and electronic control details
4. Refer to Mechanical Engineers documentation for ventilation requirements including door grilles & undercut requirements
5. Suitability & Compatibility of all hardware to be confirmed prior to order or installation
6. All hardware installation to comply with all Regulatory Authorities
7. All fully glazed doors and sidelights without a transom to have 75mm min. tall contrasting line of decals running through full width of glazing between 900mm and 200mm above floor level
8. All glazed assemblies to comply with AS2047 & AS1288
9. All doors in path of travel to a required exit or forming part of a required exit are to have door hardware that is readily openable from the side facing a person seeking egress without the use of a key by a single handed downward pushing action on a single device located between 900mm and 1200mm above floor level
10. All inward swinging toilet doors within 1200mm of a W.C pan to have lift off hinges || Also all doors to Accessible Bathrooms to have lift-off hinges
11. This schedule is to be read in conjunction with Door Hardware Schedule by others
12. Shop drawings to be provided for review by Architect
13. All solid core double doors to have rebated edge
14. This schedule is to be read in conjunction with Exterior Finishes and Interior Finishes Schedules
15. This schedule is to be read in conjunction with Fire Engineering Report by others. Any discrepancies to be referred to Architect for clarification
16. All External Doors to include concealed threshold seal equal to Raven RP70. Leaf to be externally rated.
17. Quantities to be checked and confirmed by contractor



## Door Leaf and Frame Type

1-SC	Flush panel solid core
2-HC	Flush panel cellular core
3-FD	Flush panel fire door - Comply with AS 1530.4, AS/NZ 1905, and AS/NZ 1905.1, tested and provide Certificate of Compliance.
4-AL	Glazed Door - Aluminium Frame. Refer window schedule
5	Glazed Door - Steel frame. Refer window schedule
6	Glazed Door - Frameless. Refer window schedule
7	Panel lift door
8-SC	Bi-fold door
9	Flush panel fire door - Perforated metal clad door
10	Flush panel solid core - Perforated metal clad door
11	Pyropanel Life Safety Door System - Fire Rated Assembly/System, tested and provide Certificate of Compliance; or equivalent and approved.
12	Metal frame louvre Door - Refer to Architecture drawings for details
13	Proprietary

## Door Operation

PIV	Pivot Door
COH	Concealed Offset Hinge (Refer to Joinery Details)
SL	Sliding
SW	Swing
DSW	Double Swing
PL	Panel Lift
RO	Roller Shutter
SD	Sectional Door
BI	Bi-Fold

## Finishes

EF-XX	Refer Exterior Finishes Schedule
PF-XX	Refer Interior Finishes Schedule
Common area door finish colour - refer to Interior Finishes Schedule	
All apartment internal door finish colour - refer to Interior Finishes Schedule	

## Materials / Finishes

AL	Aluminium Extruded Section
GS	Galvanised Steel
PM	Pressed Metal
SS	Stainless Steel
IE	Solid Core Timber/Interior Enamel Paint
JN	Joinery
GI	Galvanised Iron
EE	Solid Core Timber / Exterior Enamel Paint
PC	Powdercoat

## Door Numbering

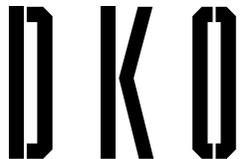
Door Type

### NOTE:

N1	Door leaf - thickness and composition by door contractor
	Door assembly as installed on site to fully comply with fire-rating and acoustic and thermal requirements
N2	Dimensions - Verify on site
SO	Structural Opening
Y	Applies
FER	Fire Engineering Report

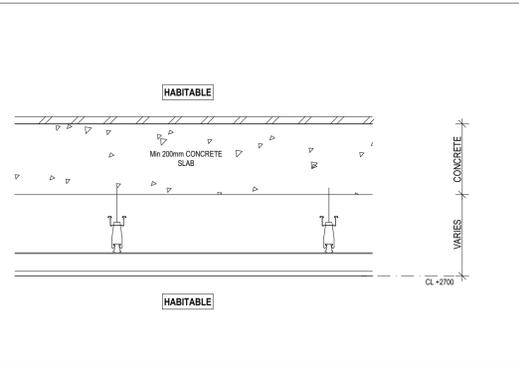
## DKO DOOR SCHEDULE TYPES

Door Type	Location	Door leaf type	Wallhole Height	Wallhole Width	Leaf Thickness	Leaf Finish	Frame Type	Frame Finish	Fire Rated	Hinge	Lock	Closer	Door Stop	Card Reader	Seals	Master Key	Electric Strike	Privacy Lock	Reed Switch	Weather Seal	Remarks
<b>SERVICES</b>																					
D 201	Comms Cupboard	1-SC	2,400	1,550	45	IE	PM	IE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 202	Electrical Cupboard	1-FD	2,400	1,550	45	IE	PM	IE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 203	Meters Cupboard	1-SC	2,400	1,550	45	IE	PM	IE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 204	Meters Cupboard	1-SC	2,400	1,800	45	IE	PM	IE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 205	Storage Cupboard	1-SC	2,400	1,500	45	IE	PM	IE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 206	Storage	1-SC	2,100	2,000	45	IE	PM	IE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 207	Comms Cupboard	1-SC	2,100	800	45	IE	PM	IE	-/-	SW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 208	Electrical Cupboard	1-SC	2,100	800	45	IE	PM	IE	-/-	SW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 209	Meters Cupboard	1-SC	2,100	800	45	IE	PM	IE	-/-	SW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 210	Corridor-Carpark	3-FD	2,400	1,000	45	IE	PM	IE	-/120/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 218	Comms Room	1-SC	2,100	1,000	45	IE	PM	IE	-/-	SW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 219	Main Switch Room	3-FD	2,400	1,000	45	IE	PM	IE	-/120/30	SW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 220	Fire Pump Room	3-FD	2,100	1,000	45	EE	PM	EE	-/120/30	SW	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 221	Corridor-Plant	1-SC	2,400	1,000	45	IE	PM	IE	-/120-30	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage							
D 223	Acc. Bathroom	1-SC	2,400	1,000	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 224	Corridor-Carpark	3-FD	2,100	1,000	45	IE	PM	IE	-/120/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 225	H.W.P Room	1-SC	2,100	1,000	45	EE	PM	EE	-/-	SW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
<b>EGRESS</b>																					
D 301	Fire Stair Egress	3-FD	2,100	1,000	45	IE	PM	IE	-/60/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 302	Fire Stair Egress	3-FD	2,100	1,000	45	IE	PM	IE	-/60/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 302	Fire Stair Egress	3-FD	2,400	1,000	45	IE	PM	IE	-/60/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 302a	Fire Stair Egress	3-FD	2,400	1,000	45	IE	PM	IE	-/60/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Vision Panel in Door, Statutory Signage
D 303	Fire Smoke Door	3-FD	2,400	1,600	45	IE	PM	IE	-/60/30	SW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Asymmetrical Door, leaf on one side to have min. leaf clearance of 850mm to comply with AS1428. Allow for Door Hold open magnets.
<b>APARTMENT</b>																					
D 401	Apartment Entry	3-FD	2,400	1,000	45	IE	PM	IE	-/60/30	SW	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 402	Internal Door	2-HC	2,400	900	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 402	Internal Door	2-HC	2,400	956	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 403	Apartment Wet Area	2-HC	2,400	900	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 404	Apartment Wet Area	2-HC	2,400	850	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 406	Internal Door Adaptable	2-HC	2,400	1,000	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 407	Wet Area Adaptable	2-HC	2,400	1,000	35	IE	PM	IE	-/-	SW	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>GENERAL</b>																					
D 702	Bin Room	1-FD	2,100	1,800	45	EE	PM	EE	-/-	DSW	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 703	Bulky Waste Room	1-FD	2,100	2,000	45	EE	PM	EE	-/-	DSW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Statutory Signage
D 704	Storage	1-SC	2,100	1,000	45	EE	PM	EE	-/-	SW	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D 802	Garage Door		2,400	6,200							<input type="checkbox"/>	---	---	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	By Supplier

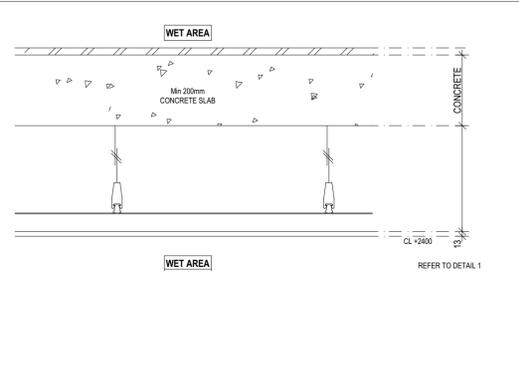


**CEILING SYSTEMS**

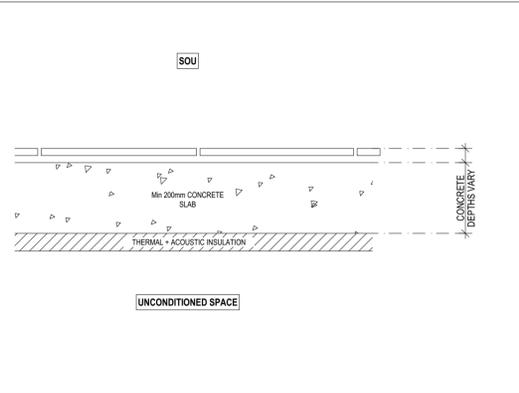
<b>CT-01</b>	<b>CEILING TYPE 01</b>
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	INTERNAL FLOOR BETWEEN HABITABLE AREAS WITH CARPET/UNDERLAY, TIMBER/ACOUSTIC UNDERLAY
<b>CONSTRUCTION DESCRIPTION</b>	- CARPET BUILD UP - MIN 200mm CONCRETE SLAB - 13mm THICK PLASTERBOARD SUSPENDED CEILING - MIN 80mm AIRGAP FROM UNDERSIDE OF SLAB TO PLASTERBOARD
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	$R_{w} + C_{tr} 50$ AND $L_{w} + C_{tr} 52$
<b>NOTE</b>	



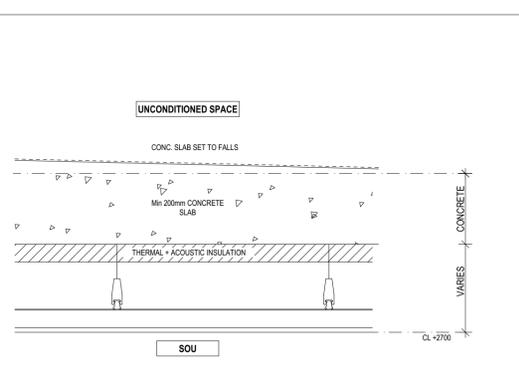
<b>CT-02</b>	<b>CEILING TYPE 03</b>
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	INTERNAL FLOOR BETWEEN WET AREAS
<b>CONSTRUCTION DESCRIPTION</b>	- MIN 200mm CONCRETE SLAB - 13mm THICK PLASTERBOARD SUSPENDED CEILING - MIN 80mm AIRGAP FROM UNDERSIDE OF SLAB TO PLASTERBOARD
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	IMPACT NOISE - $L_{w} + C_{tr} 52$ AIRBORNE NOISE - $R_{w} + C_{tr} 50$
<b>NOTE</b>	WALL JOINTS (INTERNAL & EXTERNAL), STJP WALL AND FLOOR TILES 2 - 3MM SHORT OF EDGES AND FILL WITH RESILIENT CAULKING COMPOUND SIMILAR TO HB FULLER MANUFACTURE



<b>CT-03</b>	<b>CEILING TYPE 04</b>
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	SOU OVER EXTERNAL BALCONY OR UNCONDITIONED SPACE
<b>CONSTRUCTION DESCRIPTION</b>	- MIN 200mm CONCRETE SLAB - PAINT TO UNDERSIDE OF SLAB WHERE EXPOSED.
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	N/A
<b>NOTE</b>	

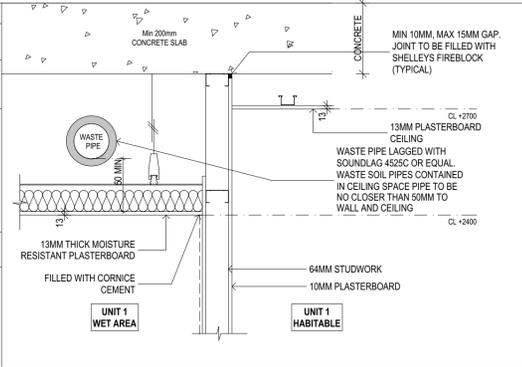


<b>CT-04</b>	<b>CEILING TYPE 05</b>
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	EXTERNAL ROOF OVER SOU
<b>CONSTRUCTION DESCRIPTION</b>	- WATERPROOFING MEMBRANE - MIN 200MM CONCRETE SLAB - 13MM PLASTERBOARD SUSPENDED CEILING
<b>MINIMUM FIRE</b>	90/90/30
<b>ACOUSTIC RATING</b>	$L_{w} + C_{tr} 52$ AND $IIC 50$
<b>MINIMUM R - VALUE</b>	R 3.5
<b>NOTE</b>	

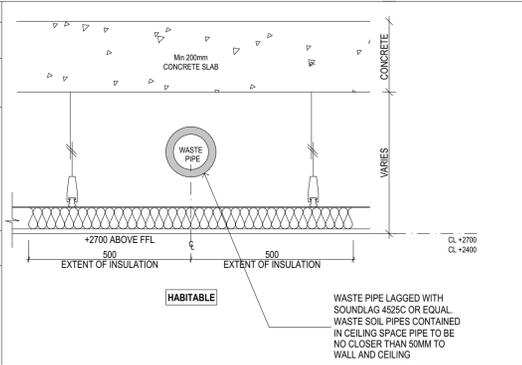


**CEILING DETAILS**

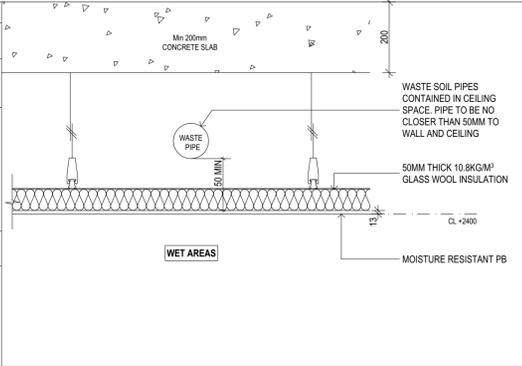
<b>DETAIL 01</b>	
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	SECTIONAL ELEVATION OF WALL / CEILING REQUIREMENTS FOR BATHROOM / LAUNDRY
<b>CONSTRUCTION DESCRIPTION</b>	- MIN 200mm CONCRETE SLAB - 50MM THICK GLASS WOOL INSULATION - 10mm THICK MOISTURE RESISTANT PLASTERBOARD CEILING ON HANGERS - WASTE PIPE A MIN 50mm FROM WALL & CEILING
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	$R_{w} + C_{tr} 50$ AND $IIC 50$
<b>NOTE</b>	



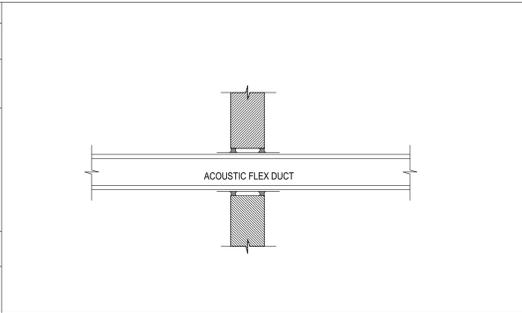
<b>DETAIL 02</b>	
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	TREATMENT OF WASTE PIPES OUTSIDE WET AREAS
<b>CONSTRUCTION DESCRIPTION</b>	- MIN 200mm CONCRETE SLAB - 50MM THICK GLASS WOOL INSULATION - 13mm THICK MOISTURE RESISTANT PLASTERBOARD CEILING ON HANGERS - WASTE PIPE A MIN 50mm FROM WALL & CEILING
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	$R_{w} + C_{tr} 40$
<b>NOTE</b>	LOADED VINYL JOINTS SHALL BE OVERLAPPED A MINIMUM OF 50MM AND TAPED SHUT WITH ALUMINIUM TAPE. NO GAPS ARE PERMITTED



<b>DETAIL 03</b>	
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	TREATMENT OF WASTE PIPES ABOVE BATHROOMS AND LAUNDRIES
<b>CONSTRUCTION DESCRIPTION</b>	- MIN 200mm CONCRETE SLAB - 50MM THICK GLASS WOOL INSULATION - 10mm THICK MOISTURE RESISTANT PLASTERBOARD CEILING ON HANGERS - WASTE PIPE A MIN 50mm FROM WALL & CEILING
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	$R_{w} + C_{tr} 25$
<b>NOTE</b>	LOADED VINYL JOINTS SHALL BE OVERLAPPED A MINIMUM OF 50MM AND TAPED SHUT WITH ALUMINIUM TAPE. NO GAPS ARE PERMITTED



<b>DETAIL 04</b>	
<b>FLOOR TYPE</b>	REINFORCED INSITU CONCRETE
<b>AREA OF APPLICATION</b>	FLEX DUCT PENETRATION THROUGH A WET AREA PERIMETER WALLS
<b>CONSTRUCTION DESCRIPTION</b>	- PLASTERBOARD OR MASONRY PERIMETER WALL
<b>MINIMUM FIRE</b>	90/90/90
<b>ACOUSTIC RATING</b>	$R_{w} + C_{tr} 25$
<b>NOTE</b>	



**NOTES:**  
 CEILING TYPE SCHEDULE SHALL BE READ IN CONJUNCTION WITH GENERAL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANT DRAWINGS.  
 REFER REFLECTED CEILING PLANS - A2400 SERIES DRGS.  
 REFER BASIX REPORT FOR THERMAL INSULATION REQUIREMENT.  
 ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR LEVEL.

Ceiling Type Schedule  
1:10

Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.	<b>Rev.</b>	<b>Issue Date</b>	<b>By</b>	<b>Chk</b>	<b>Description</b>
	01	12/08/2019	EM/BL	RS/DN	For Tender
	01	20/11/2020	EM/BL	DN	Revised Detail 1
	02	25/06/2021	EM/BL	DN	Works as Executed

Consultants

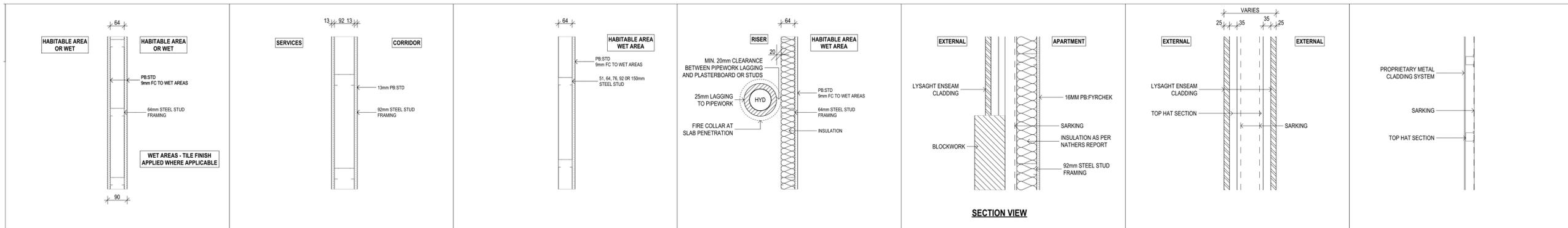


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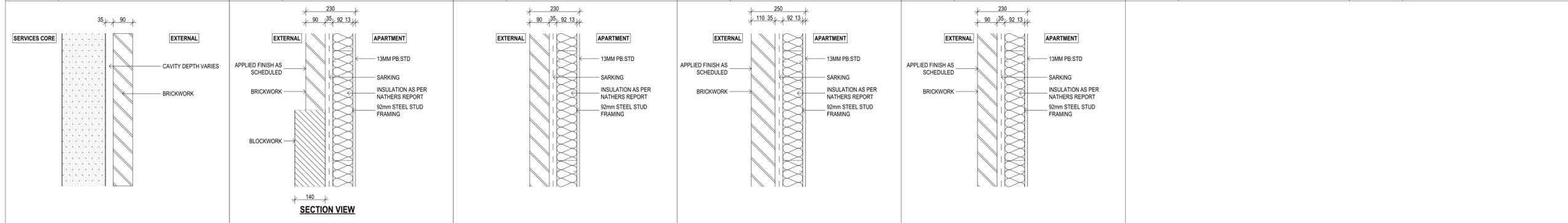


<b>Project Name</b>	Warriewood Apts	<b>Drawing Series</b>	Drawn Schedules
<b>Project Number</b>	11268	<b>Drawing Name</b>	Ceiling Type Schedule
<b>Project Address</b>	31 Warriewood Road, Warriewood, NSW 2102	<b>Drawing Number</b>	<b>A6201</b>
<b>Drawn By</b>	EM/BL	<b>Revision</b>	<b>02</b>
<b>Checked By</b>	*** Not in Use *****		
<b>Date</b>	25/06/2021		
<b>Scale</b>			

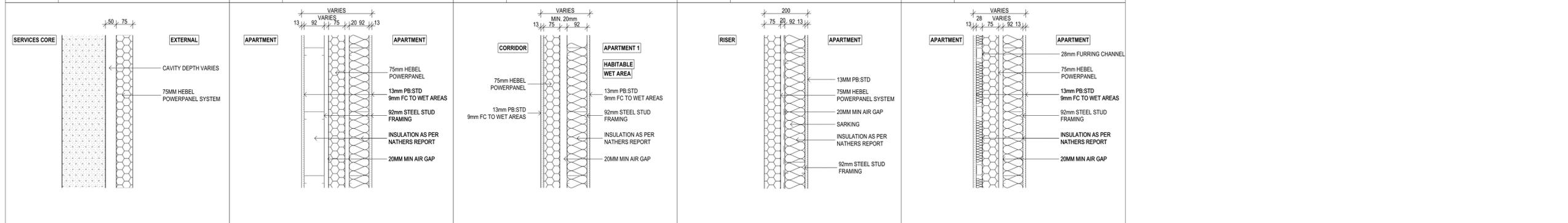




<b>WT4.00</b>	STEEL STUD WITH PLASTERBOARD LINING BOTH SIDES	<b>WT4.02</b>	STEEL STUD WITH PLASTERBOARD LINING BOTH SIDES	<b>WT4.03</b>	PLASTERBOARD LINING TO EXISTING SUBSTRATE	<b>WT4.04</b>	HABITABLE OR WET AREA RISER 13mm MR PLASTERBOARD	<b>WT4.10</b>	EXTERNAL METAL CLADDING AND STUD WALL METAL CLADDING FINISH	<b>WT4.12</b>	EXTERNAL METAL CLADDING AND STUD WALL METAL CLADDING FINISH	<b>WT4.13</b>	EXTERNAL METAL CLADDING AND STUD WALL
<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>	
<b>AREA OF APPLICATION</b>	STUD WALL WITHIN APARTMENTS OR COMMON AREAS	<b>AREA OF APPLICATION</b>	STUD WALL ALONG SERVICE RISER COMMON AREAS	<b>AREA OF APPLICATION</b>	AS APPLICABLE	<b>AREA OF APPLICATION</b>	APT INTERNAL SERVICES RISER - NOT FIRE RATED WITHIN HABITABLE AREA OR BETWEEN BATHROOM & SERVICE RISE	<b>AREA OF APPLICATION</b>	EXTERNAL TO INTERNAL	<b>AREA OF APPLICATION</b>	EXTERNAL TO EXTERNAL	<b>AREA OF APPLICATION</b>	EXTERNAL TO EXTERNAL
<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>		<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	NA R <sub>w</sub> + C <sub>w</sub> 40 WITH LAGGING R <sub>w</sub> + C <sub>w</sub> 25 UNLAGGING	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	N / A N / A
<b>NOTE</b>	* REFER FLOOR PLANS FOR WIDTH & LOCATION * REFER STRUCTURAL ENGINEERS REQUIREMENTS	<b>NOTE</b>	* REFER FLOOR PLANS FOR WIDTH & LOCATION * REFER STRUCTURAL ENGINEERS REQUIREMENTS	<b>NOTE</b>		<b>NOTE</b>	HYDRANTICS NOT TO CONNECT WITH ANY PART OF RISER CONSTRUCTION REQUIRED TO BE CERTIFIED BY THE FIRE ENGINEER AND BUILDING SURVEYOR. * REFER FLOOR PLANS FOR SETOUT * REFER STRUCTURAL ENGINEERS REQUIREMENTS * REFER TO ACOUSTIC ENGINEERS REQUIREMENTS	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH AND LOCATION.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH AND LOCATION.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH AND LOCATION.



<b>WT6.00</b>	EXTERNAL BRICKWORK	<b>WT6.07</b>	EXTERNAL BRICKWORK AND STUD WALL RENDERED FINISH	<b>WT6.07a</b>	EXTERNAL BRICKWORK AND STUD WALL RENDERED FINISH	<b>WT6.08</b>	EXTERNAL BRICKWORK AND STUD WALL RENDERED FINISH	<b>WT6.09</b>	EXTERNAL BRICKWORK AND STUD WALL RENDERED FINISH
<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>	
<b>AREA OF APPLICATION</b>	EXTERNAL TO SERVICES CORE	<b>AREA OF APPLICATION</b>	EXTERNAL TO INTERNAL	<b>AREA OF APPLICATION</b>	EXTERNAL TO INTERNAL ON FIRST LEVEL	<b>AREA OF APPLICATION</b>	EXTERNAL TO INTERNAL	<b>AREA OF APPLICATION</b>	EXTERNAL TO INTERNAL
<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A
<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH AND LOCATION.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REQUIRED TO BE CERTIFIED BY THE FIRE ENGINEER AND BUILDING SURVEYOR.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REQUIRED TO BE CERTIFIED BY THE FIRE ENGINEER AND BUILDING SURVEYOR.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REQUIRED TO BE CERTIFIED BY THE FIRE ENGINEER AND BUILDING SURVEYOR.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REQUIRED TO BE CERTIFIED BY THE FIRE ENGINEER AND BUILDING SURVEYOR.



<b>WT7.00</b>	EXTERNAL HEBEL	<b>WT7.01</b>	CSR HEBEL SYSTEM: HEB 1074 HEB 1075 HEB 1076	<b>WT7.09</b>	PROPRIETARY WALL SYSTEM: EQUAL TO - HEBEL HEB 1072	<b>WT7.11</b>	PROPRIETARY WALL SYSTEM:	<b>WT7.16</b>	PROPRIETARY WALL SYSTEM: HEB 1074 HEB 1075 HEB 1076
<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>		<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b>	
<b>AREA OF APPLICATION</b>	EXTERNAL TO SERVICES CORE	<b>AREA OF APPLICATION</b>	PARTY WALL	<b>AREA OF APPLICATION</b>	HABITABLE WET & DRY AREA TO CORRIDOR	<b>AREA OF APPLICATION</b>	PARTY WALL	<b>AREA OF APPLICATION</b>	PARTY WALL
<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 60 / 60 N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 90 / 90 R <sub>w</sub> + C <sub>r</sub> 50	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 90 / 90 R <sub>w</sub> + C <sub>r</sub> 50	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 90 / 90 R <sub>w</sub> + C <sub>r</sub> 50	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b>	FRL - / 90 / 90 R <sub>w</sub> + C <sub>r</sub> 50
<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH AND LOCATION.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REFER TO ACOUSTIC ENGINEER REQUIREMENTS	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REFER STRUCTURAL ENGINEERS REQUIREMENTS. REFER TO ACOUSTIC ENGINEER REQUIREMENTS	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH AND LOCATION.	<b>NOTE</b>	REFER FLOOR PLANS FOR WIDTH & LOCATION REFER TO ACOUSTIC ENGINEER REQUIREMENTS

Rev.	Issue Date	By	Chk	Description
P1	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	7/05/2020	DN		For Construction
01	10/07/2020	DN	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and size within apartments
02	10/09/2020	DN	DN	Plasterboard in wet areas revised to 9mm FC
03	6/10/2020	DN	DN	WT4.02 added - 92mm Steel stud framing
04	20/10/2020	DN	DN	Wall type WT6.09 added
05	19/11/2020	DN	DN	R3 insulation not required in WT7.09
06	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

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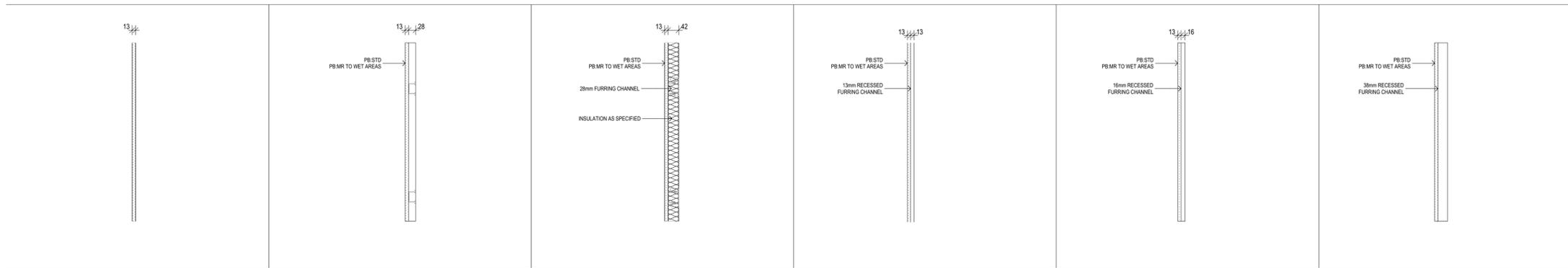
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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8542

**DKO**

Project Name	Warriewood Apts	Drawing Series	Drawn Schedules
Project Number	11268	Drawing Name	Wall Type Schedule Sheet 2
Project Address	31 Warriewood Road, Warriewood, NSW 2102	Drawing Number	<b>A6302</b>
Drawn By	DN	Revision	<b>06</b>
Checked By	*** Not in Use *****		
Date	25/06/2021		
Scale			

Project: 11268 - Warriewood Apts - Wall Type Schedule Sheet 2 - Rev 06  
 Drawing: 11268-WA-Wall Type Schedule Sheet 2 - Rev 06  
 Date: 25/06/2021 10:00 AM  
 Author: DN  
 Checker: DN  
 Project Manager: DN  
 Drawing Manager: DN  
 Scale: As Shown  
 Status: For Construction  
 Discipline: Structural  
 Version: 06



WT9.00	WT9.01	WT9.02	WT9.05	WT9.06	WT9.07
<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b> 13mm PLASTERBOARD LINING	<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b> PLASTERBOARD LINING & PROPRIETARY METAL FRAME	<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b> PLASTERBOARD LINING & PROPRIETARY METAL FRAME	<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b> PLASTERBOARD LINING & RECESSED FURRING CHANNEL	<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b> PLASTERBOARD LINING & RECESSED FURRING CHANNEL	<b>CONSTRUCTION DESCRIPTION / CSR SYSTEM No.</b> PLASTERBOARD LINING & RECESSED FURRING CHANNEL
<b>AREA OF APPLICATION</b> LINING TO EXISTING SUBSTRATE	<b>AREA OF APPLICATION</b> LINING TO EXISTING SUBSTRATE	<b>AREA OF APPLICATION</b> LINING TO EXISTING SUBSTRATE	<b>AREA OF APPLICATION</b> LINING TO EXISTING SUBSTRATE	<b>AREA OF APPLICATION</b> LINING TO EXISTING SUBSTRATE	<b>AREA OF APPLICATION</b> LINING TO EXISTING SUBSTRATE
<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b> FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b> FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b> FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b> FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b> FRL - / - / - N / A	<b>MINIMUM FIRE ACUSTIC RATING THERMAL RATING</b> FRL - / - / - N / A
<b>NOTE</b> REFER FLOOR PLANS FOR LOCATION	<b>NOTE</b> REFER FLOOR PLANS FOR LOCATION	<b>NOTE</b> REFER FLOOR PLANS FOR LOCATION	<b>NOTE</b> REFER FLOOR PLANS FOR LOCATION	<b>NOTE</b> REFER FLOOR PLANS FOR LOCATION	<b>NOTE</b> REFER FLOOR PLANS FOR LOCATION

Rev.	Issue Date	By	Chk.	Description
00	7/05/2020	DN		For Construction
01	10/07/2020	DN	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and sizes within apartments
02	10/10/2020	DN	DN	Wall type WT9.07 added
03	25/06/2021	DN	DN	Works as Executed

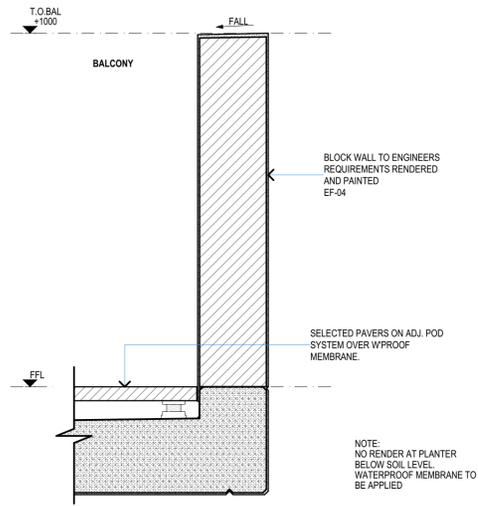
Rev.	Issue Date	By	Chk.	Description
00	7/05/2020	DN		For Construction
01	10/07/2020	DN	DN	Revised Drawings to reflect wall types changes along party walls, wall alignments, column locations and sizes within apartments
02	10/10/2020	DN	DN	Wall type WT9.07 added
03	25/06/2021	DN	DN	Works as Executed

Consultants

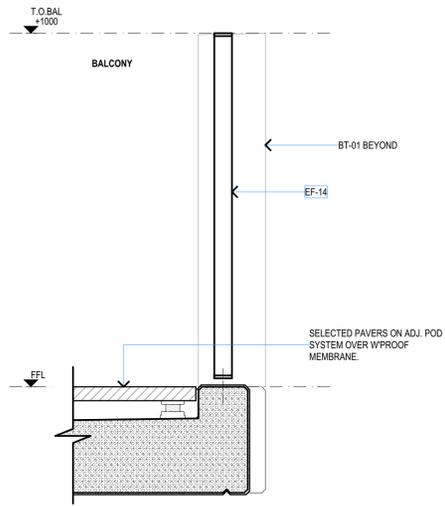
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NSW: Nominated Architects  
Kees de Keijzer 5767  
David Randerson 8542

<b>Project Name</b>	Warriewood Apts	<b>Drawing Series</b>	Drawn Schedules
<b>Project Number</b>	11268	<b>Drawing Name</b>	Wall Type Schedule Sheet 3
<b>Project Address</b>	31 Warriewood Road, Warriewood, NSW 2102	<b>Drawing Number</b>	<b>A6303</b>
<b>Drawn By</b>	DN	<b>Revision</b>	<b>03</b>
<b>Checked By</b>	DN		
<b>Date</b>	25/06/2021		
<b>Scale</b>			

Project: 11268 - Warriewood Apts  
 Drawing: A6303 - Wall Type Schedule Sheet 3  
 Date: 25/06/2021  
 Scale: As Shown  
 Author: DN  
 Checker: DN  
 Title: Wall Type Schedule Sheet 3



1 - BT-01



2 - BT-02

Builder/Contractor shall verify job-dimensions before any job-commences  
 Figured dimensions take precedence over drawings and job-dimensions.  
 All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop-drawings by the Architect/Consultant

Rev.	Issue Date	By	Chk	Description
P1	20/07/2019	EM/BL	RS/DN	For Coordination
T01	12/08/2019	EM/BL	RS/DN	For Tender
00	18/06/2020	DN	DN	For Construction
01	8/09/2020	DN	DN	Marker revised to BT-02, EF-14 location in centre of hob
02	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description
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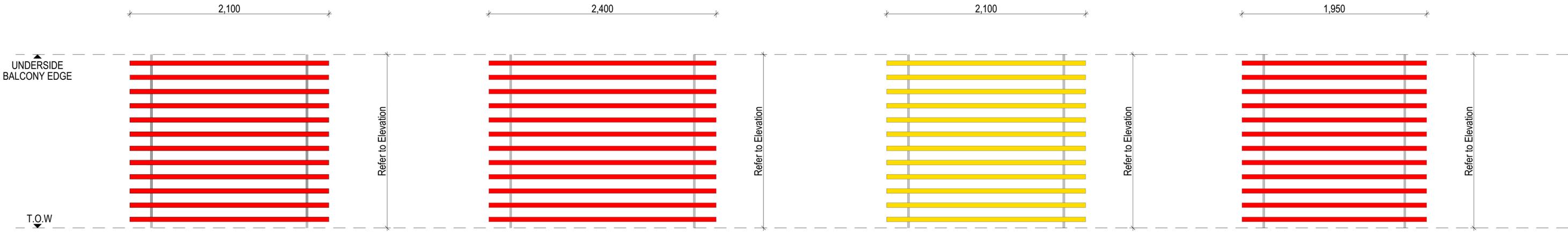
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 David Randerson 8542



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102  
 Drawn By: DN  
 Checked By: \*\*\* Not in Use \*\*\*\*\*  
 Date: 25/06/2021  
 Scale:

Drawing Series  
 Drawing Name  
 Drawing Number  
 Revision

Drawn Schedules  
 Balustrade Type Schedule  
 Drawing Number: **A6501**  
 Revision: **02**



○ ST-01 ELEVATION

○ ST-02 ELEVATION

○ ST-03 FRONT ELEVATION

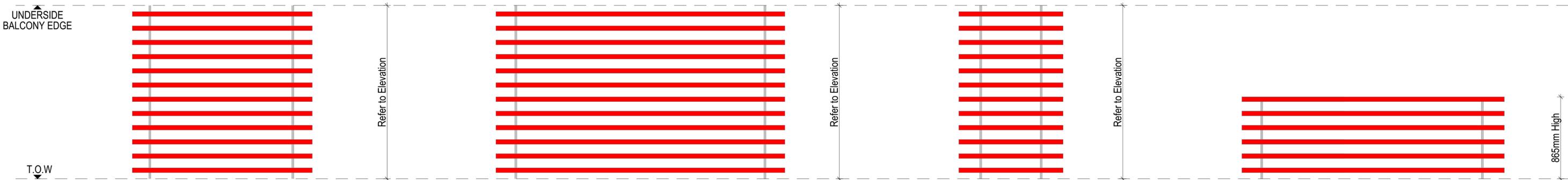
○ ST-03 SIDE ELEVATION

1,900

3,050

1,100

varies



○ ST-04 ELEVATION

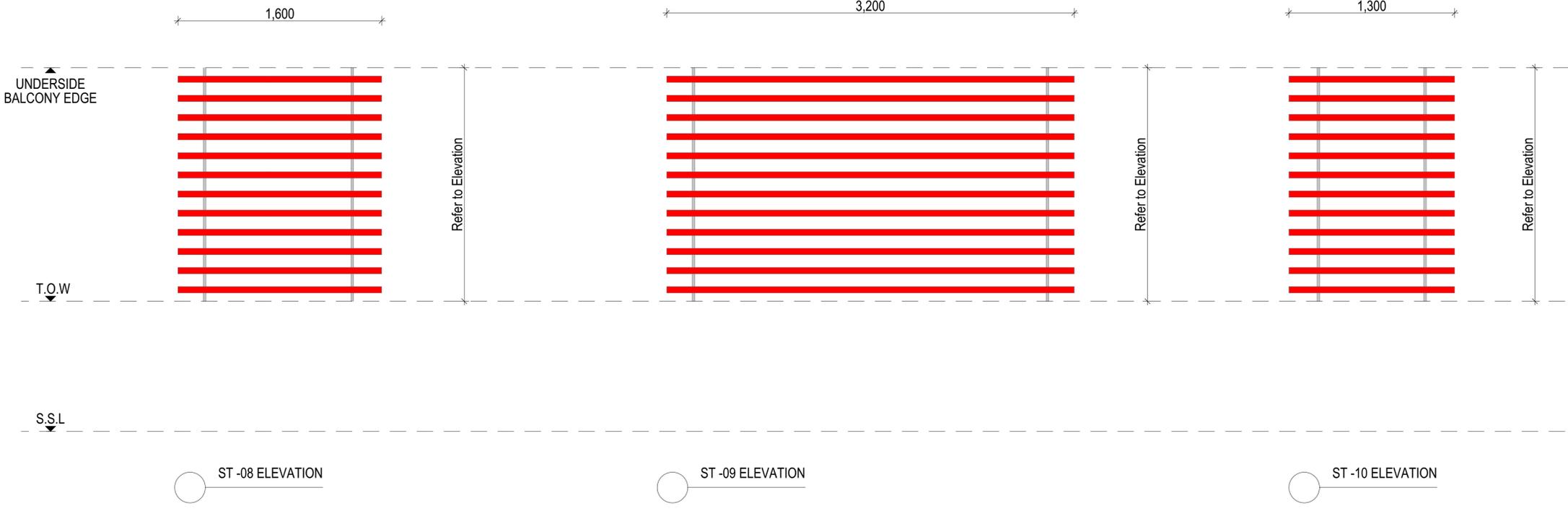
○ ST-05 ELEVATION

○ ST-06 ELEVATION

○ ST-07 ELEVATION

ST-07 - 2770mm  
ST-07a - 2030mm  
ST-07b - 1900mm  
ST-07c - 2470mm

**NOTE:**  
REFER TO GAP's & ELEVATIONS DRAWINGS FOR LOCATION & QUANTITY, ALL DIMENSIONS TO BE CHECKED ON SITE



**NOTE:**  
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Rev.	Issue Date	By	Chk	Description
00	15/09/2020	DN	DN	For Construction
01	25/09/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description



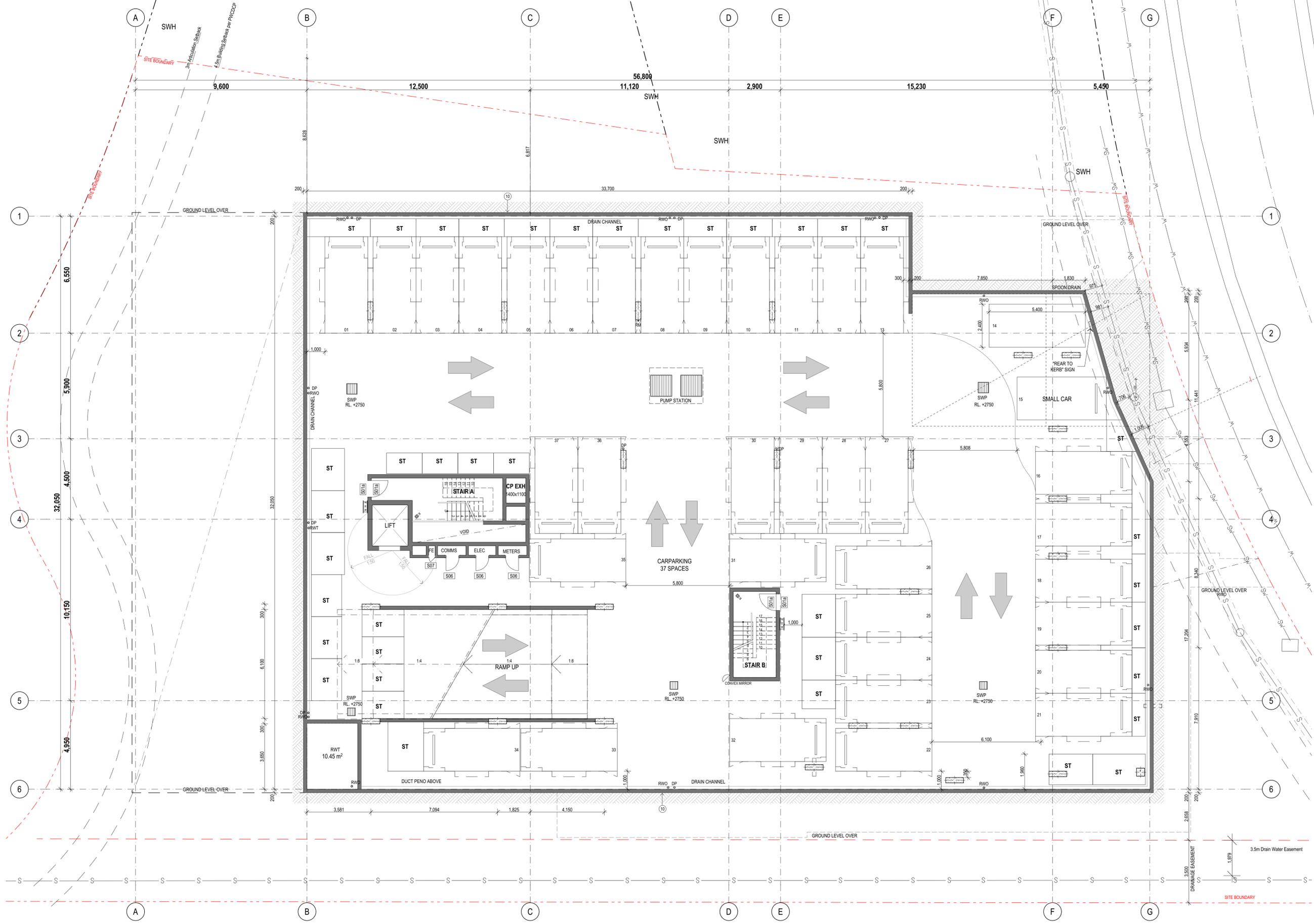
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Project Name	Warriewood Apts	Drawing Series	Drawn Schedules
Project Number	11268	Drawing Name	Screen Schedule 02
Project Address	31 Warriewood Road, Warriewood, NSW 2102		
Drawn By		Drawing Number	<b>A6602</b>
Checked By		Revision	<b>01</b>
Date	25/06/2021		
Scale			

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: Screen Schedule 02  
 Date: 25/06/2021  
 Scale: 1:100  
 Author: DKO Architecture  
 Checked: DKO Architecture  
 Date: 25/06/2021  
 Scale: 1:100

**NOTES:**  
 ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.  
 REFER TO DEVELOPMENT DETERMINATION DA2018/0607 AND ALL ASSOCIATED CONDITIONS OF CONSENT.  
 ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR BEFORE COMMENCING WORK ON SITE.  
 REFER TO SURVEY DRAWINGS AND REPORT FOR ALL INFORMATION RELATING TO EXISTING SITE DATA & CONDITIONS.  
 REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATION AND SCHEDULES.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:  
 - STRUCTURAL DRAWINGS  
 - ALL SERVICES DRAWINGS  
 - ACOUSTIC REPORT  
 - BASIX & NATHERS  
 - BCA REPORT  
 - FIRE ENGINEERING REQUIREMENTS  
 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
 - ALL OTHER REPORTS  
 ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION.



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Rev.	Issue Date	By	Chk.	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clarified
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description

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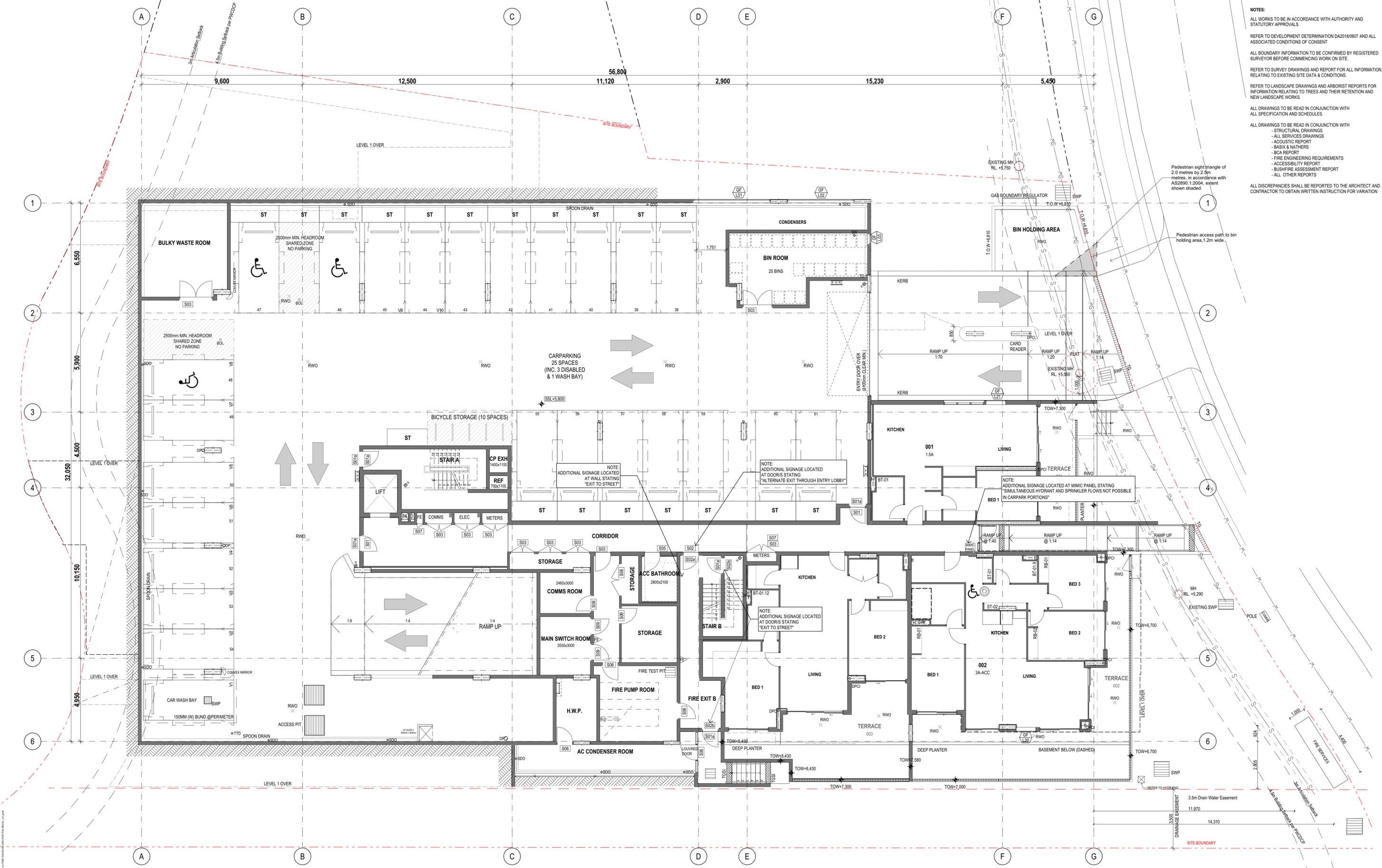
Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: [Name]  
 Checked By: [Name]  
 Date: 25/06/2021  
 Scale: [Scale]

Drawing Series: [Series]  
 Drawing Name: [Name]  
 Drawing Number: **A6801**  
 Revision: **03**

Drawn Schedules: [Schedules]  
 Basement Level Statutory Signage Plan

Project: Warriewood Apts, 31 Warriewood Road, Warriewood, NSW 2102  
 Drawing: A6801 - Basement Level Statutory Signage Plan  
 Date: 25/06/2021  
 Scale: 1:1000  
 Author: [Name]  
 Checker: [Name]  
 Date: 25/06/2021  
 Scale: 1:1000



**NOTES:**

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  - BASIX & NATHERS
  - BCA REPORT
  - FIRE ENGINEERING REQUIREMENTS
  - ACCESSIBILITY REPORT
  - BUSHFIRE ASSESSMENT REPORT
  - ALL OTHER REPORTS
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Rev.	Issue Date	By	Chk.	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clarified
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description

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 David Randerson 8342



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Drawing Name  
 Drawing Number: **A6802**  
 Revision: **03**

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Rev.	Issue Date	By	Chk.	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clarified
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clarified
03	25/06/2021	DN	DN	Works as Executed



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 Koos de Keijzer 5767  
 David Randerson 8542



Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawing Series: Level 1 Statutory Signage Plan  
 Drawing Name:  
 Drawing Number: A6803  
 Revision: 03  
 Drawn By: [Name]  
 Checked By: [Name]  
 Date: 25/06/2021  
 Scale:

Project: Warriewood Apts  
 Drawing: Level 1 Statutory Signage Plan  
 Date: 25/06/2021



**NOTES:**  
 ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.  
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Rev.	Issue Date	By	Chk.	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clarified
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk.	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Clarified
03	25/06/2021	DN	DN	Works as Executed

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Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

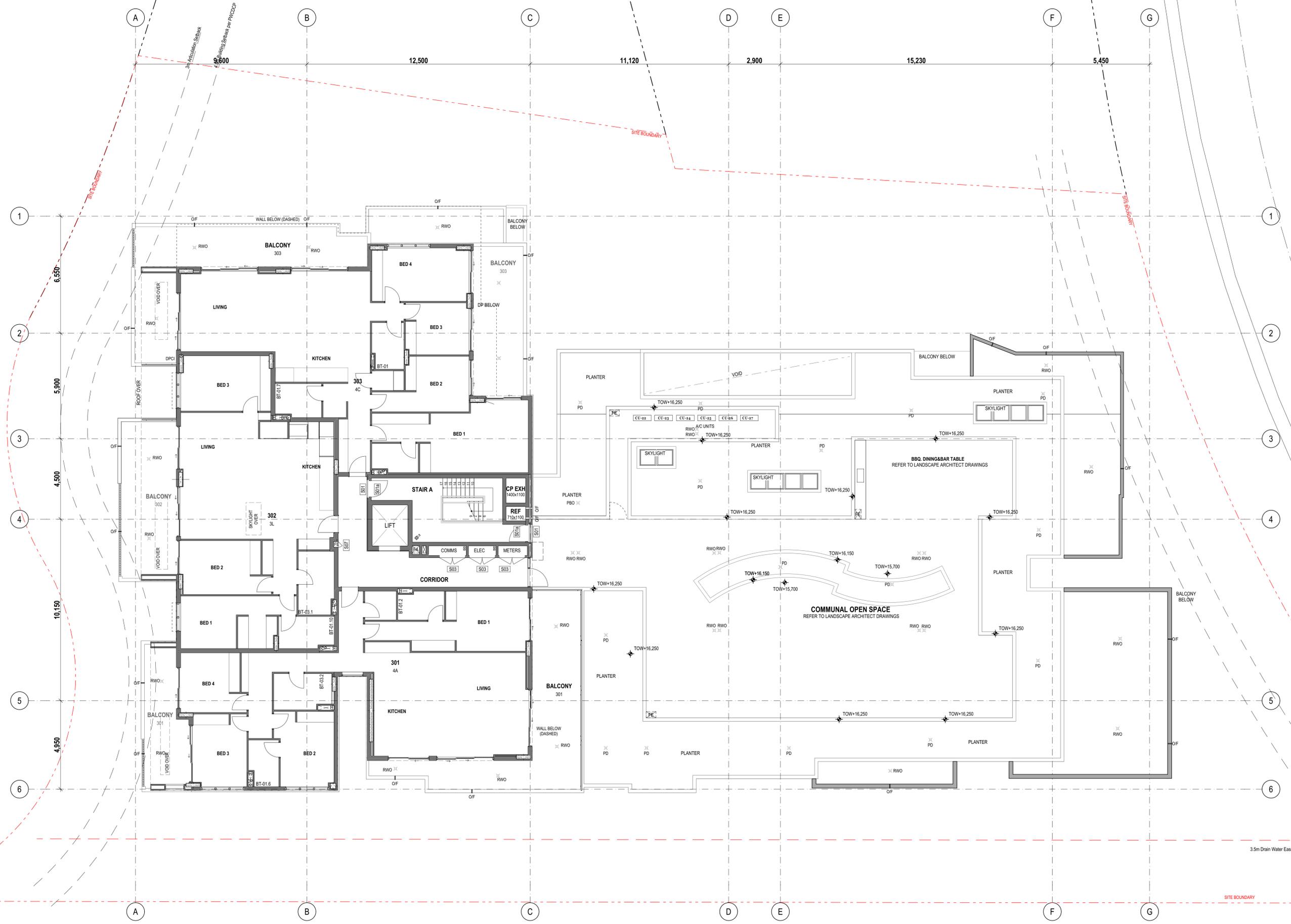
Drawn By: [Name]  
 Checked By: [Name]  
 Date: 25/06/2021  
 Scale: [Scale]

Drawing Series: [Series]  
 Drawing Name: [Name]  
 Drawing Number: **A6804**  
 Revision: **03**

Drawn Schedules: [Schedule]  
 Level 2 Statutory Signage Plan

Project: Warriewood Apts  
 Drawing: A6804  
 Date: 25/06/2021  
 Scale: 1:100

**NOTES:**  
 ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY AND STATUTORY APPROVALS.  
 REFER TO DEVELOPMENT DETERMINATION DA2018/0607 AND ALL ASSOCIATED CONDITIONS OF CONSENT  
 ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR BEFORE COMMENCING WORK ON SITE.  
 REFER TO SURVEY DRAWINGS AND REPORT FOR ALL INFORMATION RELATING TO EXISTING SITE DATA & CONDITIONS.  
 REFER TO LANDSCAPE DRAWINGS AND ARBORIST REPORTS FOR INFORMATION RELATING TO TREES AND THEIR RETENTION AND NEW LANDSCAPE WORKS.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND SCHEDULES.  
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH  
 - STRUCTURAL DRAWINGS  
 - ALL SERVICES DRAWINGS  
 - ACUSTIC REPORT  
 - BASIX & NATHERS  
 - BCA REPORT  
 - FIRE ENGINEERING REQUIREMENTS  
 - ACCESSIBILITY REPORT  
 - BUSHFIRE ASSESSMENT REPORT  
 - ALL OTHER REPORTS  
 ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CONTRACTOR TO OBTAIN WRITTEN INSTRUCTION FOR VARIATION



Rev.	Issue Date	By	Chk	Description
01	10/02/2021	DN	DN	Issued for Construction
02	20/04/2021	DN	DN	Revised as Cloned
03	25/06/2021	DN	DN	Works as Executed

Rev.	Issue Date	By	Chk	Description

Consultants

**PDSGROUP**

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 David Randerson 8342

**DKO**

Project Name: Warriewood Apts  
 Project Number: 11268  
 Project Address: 31 Warriewood Road, Warriewood, NSW 2102

Drawn By: [Name]  
 Checked By: [Name]  
 Date: 25/06/2021  
 Scale: [Scale]

Drawing Series: [Series]  
 Drawing Name: [Name]  
 Drawing Number: **A6805**  
 Revision: **03**

Drawn Schedules: Level 3 Statutory Signage Plan

Project: Warriewood Apts  
 Drawing: Level 3 Statutory Signage Plan  
 Date: 25/06/2021  
 Scale: 1:100  
 Author: [Name]  
 Checked: [Name]  
 Date: 25/06/2021  
 Scale: 1:100