


 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2018/1990
(Activation of consent must be obtained from Northern Beaches Council)



1 NORTH-WEST ELEVATION
 Scale 1:100

NOTE: EXTENT OF FINISHES ON ELEVATIONS ARE INDICATIVE ONLY



SANDSTONE CLADDING
SSC



RENDERED MASONRY
COLOUR : DARK GREY
EP1



RENDERED MASONRY
COLOUR : MID GREY 1
EP2



PAINTED BRICKWORK
COLOUR : GREY
BRK1



FACE BRICKWORK
BRK2



TIMBER CLADDING
TC1



ALUMINIUM FRAMED
WINDOWS/DOORS
GL1

For Development Application Only

LOT 2 - EXTERNAL FINISHES SCHEDULE

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.SK03 A

96-104 CABARITA ROAD AVALON BEACH

NOVEMBER 2018
MERAHI DEVELOPMENTS PTY LIMITED

ISSUED FOR DEVELOPMENT APPLICATION AMENDMENT

NOVEMBER 2018 DATE

A ISSUE

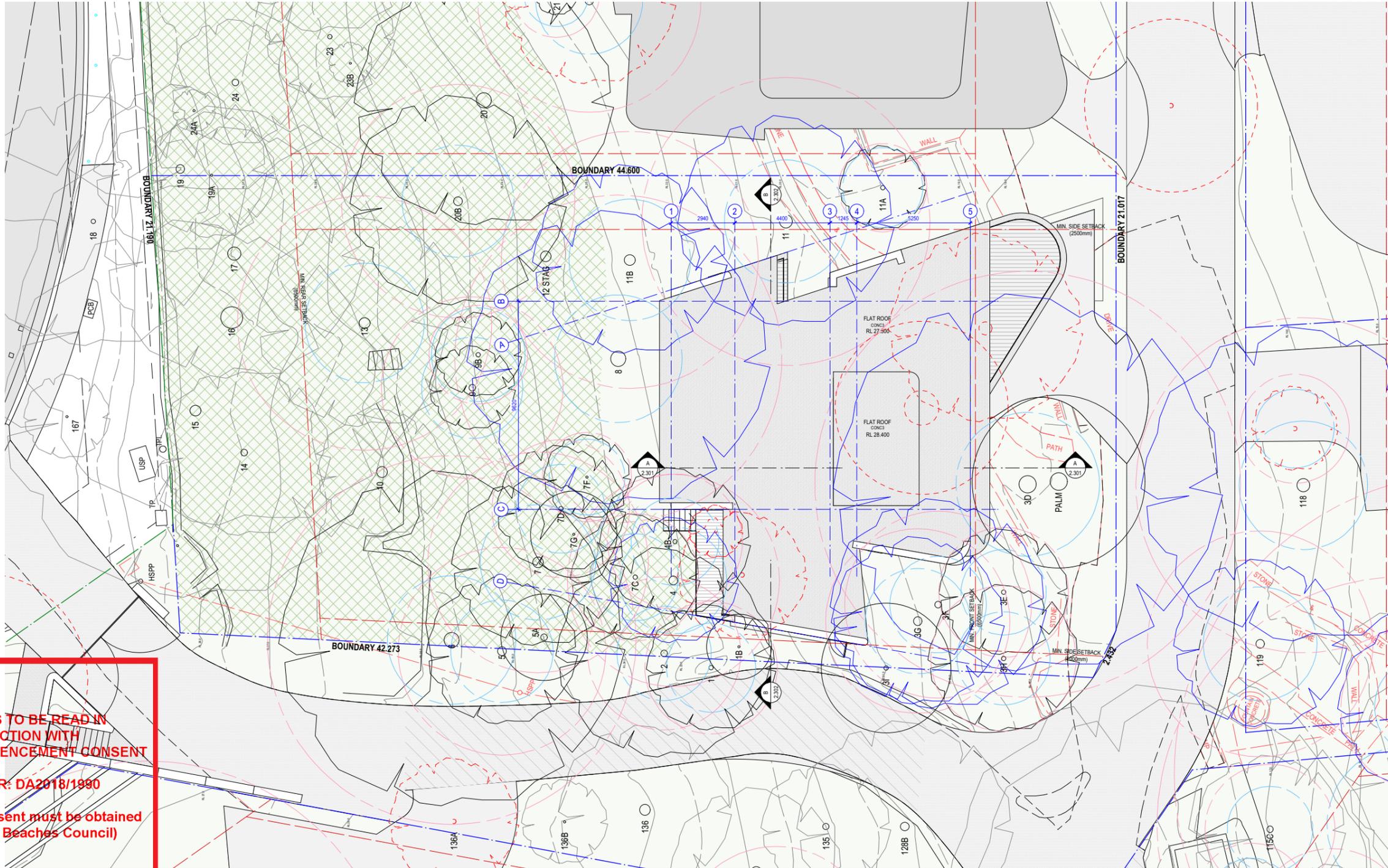
MARK HURCUM DESIGN PRACTICE ARCHITECTS

LEVEL 2 271 ALFRED STREET NORTH NORTH SYDNEY NSW 2060 FACSIMILE 02) 9955 5063 TELEPHONE 02) 9955 5608

DESIGN PRACTICE

1801 A2101 House 2 Plans Current.vwx

Tuesday, 27 November 2018




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LOT 2 - LOT / ROOF PLAN

Energy Rating		Certificate Number: 15212064
<input checked="" type="checkbox"/> single-dwelling rating		5.4 stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating 36.0 MJ/m ²	
<small>if relevant, also specify in the average across the whole development</small>	cooling 23.0 MJ/m ²	
Recessed downlights confirmation:	<input type="checkbox"/> Recessed with	<input checked="" type="checkbox"/> Recessed without
Assessor Name/Number: Ved Baheti VIC/BDAW/131521		
Assessor Signature: 	Date: 10/12/2018	

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

96-104 CABARITA ROAD AVALON BEACH

1801 A2.002 A

SCALE: 1:200
NOVEMBER 2018

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MERAKI DEVELOPMENTS PTY LIMITED		Wednesday, 28 November 2018

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1 NORTH-EAST ELEVATION
Scale 1:100



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LOT 2 - NORTH-EAST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.201 A

96-104 CABARITA ROAD AVALON BEACH

SCALE 1:100
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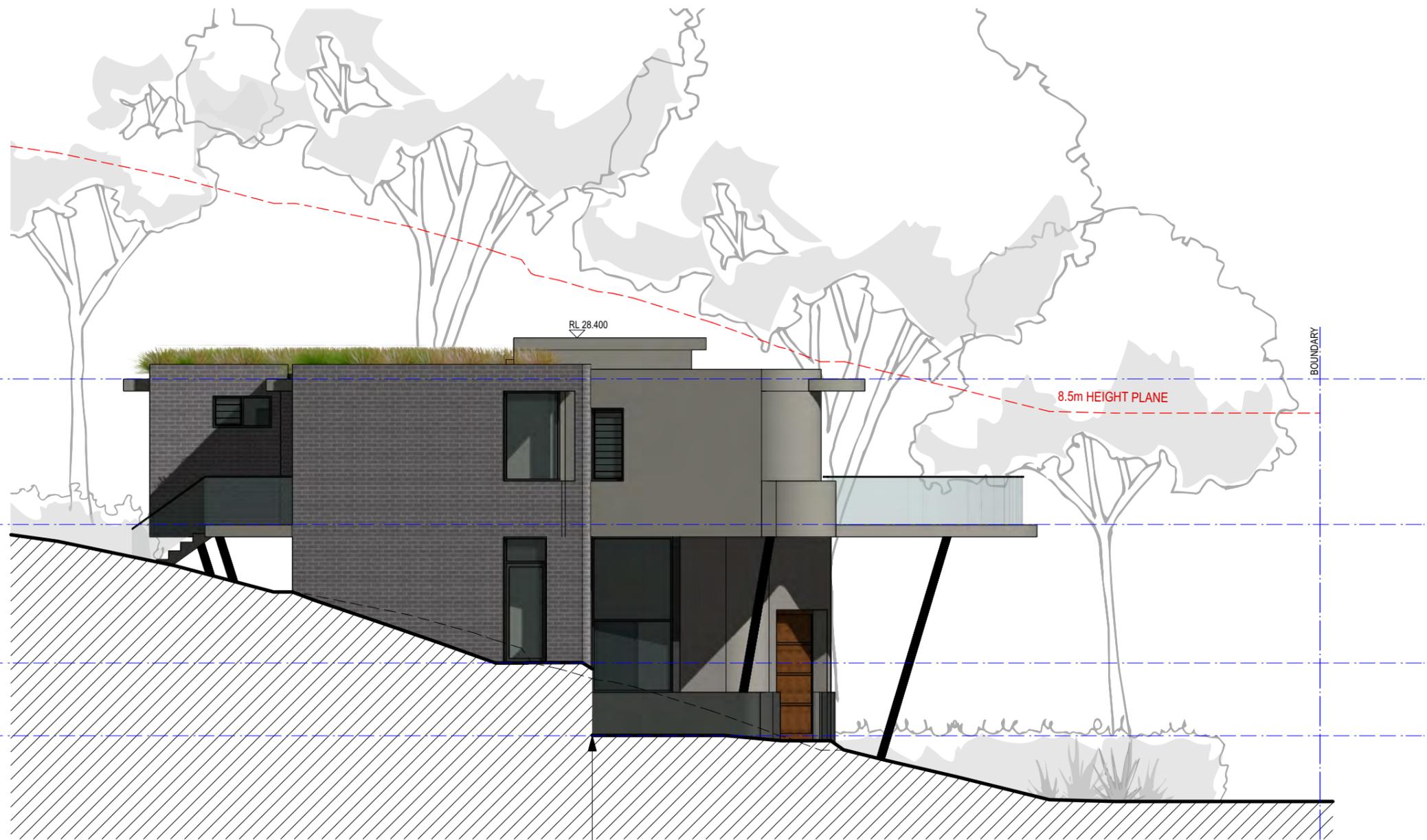
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1 SOUTH-EAST ELEVATION
Scale 1:100

NOTE: GROUND DOES NOT STEP AT THIS LOCATION
GROUND LINE BEYOND SHOWN FOR CLARITY



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LOT 2 - SOUTH-EAST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.202 A

96-104 CABARITA ROAD AVALON BEACH

SCALE 1:100
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LOT 2 - SOUTH-WEST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.203 A

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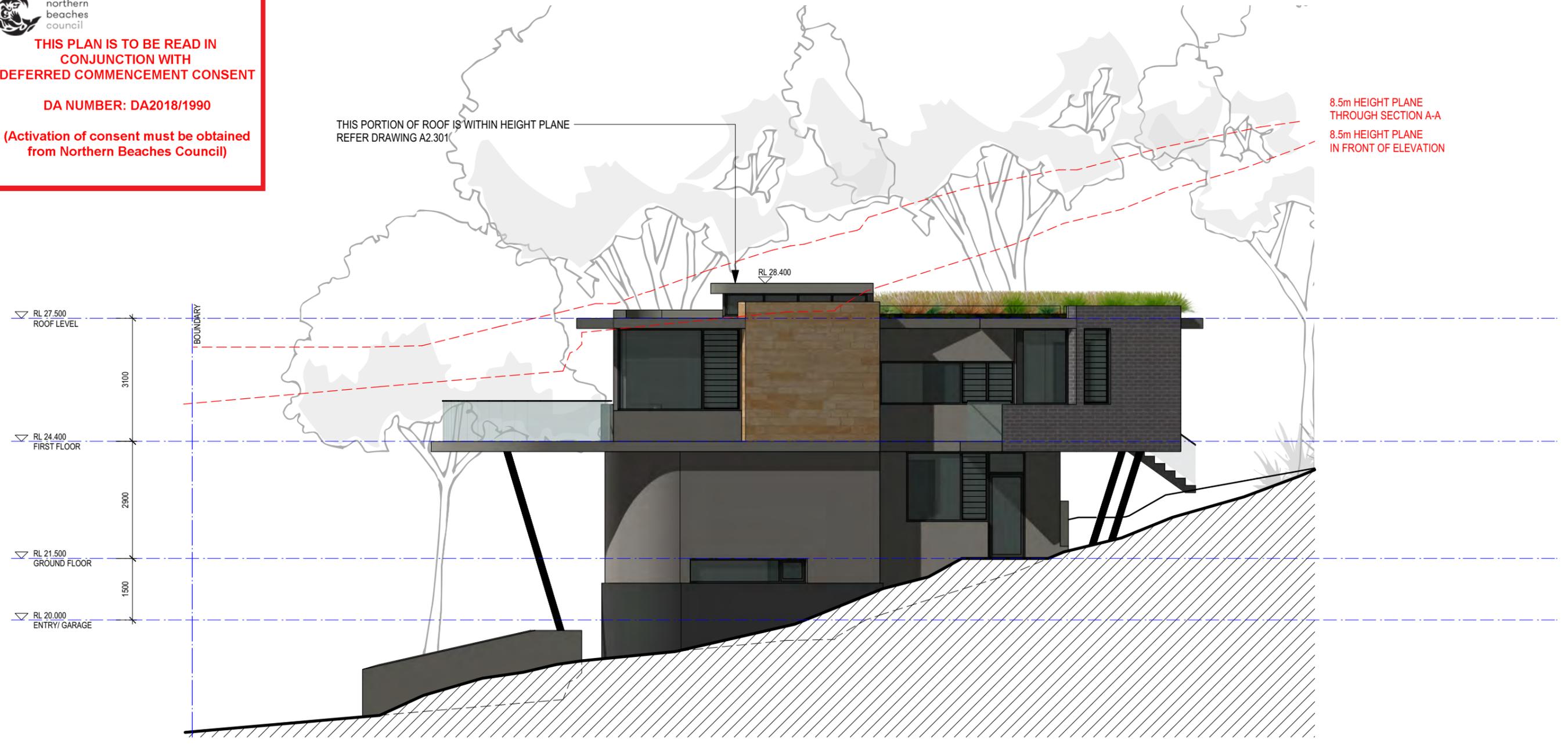
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THIS PORTION OF ROOF IS WITHIN HEIGHT PLANE REFER DRAWING A2.301

8.5m HEIGHT PLANE THROUGH SECTION A-A

8.5m HEIGHT PLANE IN FRONT OF ELEVATION



1 NORTH-WEST ELEVATION
Scale 1:100



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LOT 2 - NORTH-WEST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.204 A

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