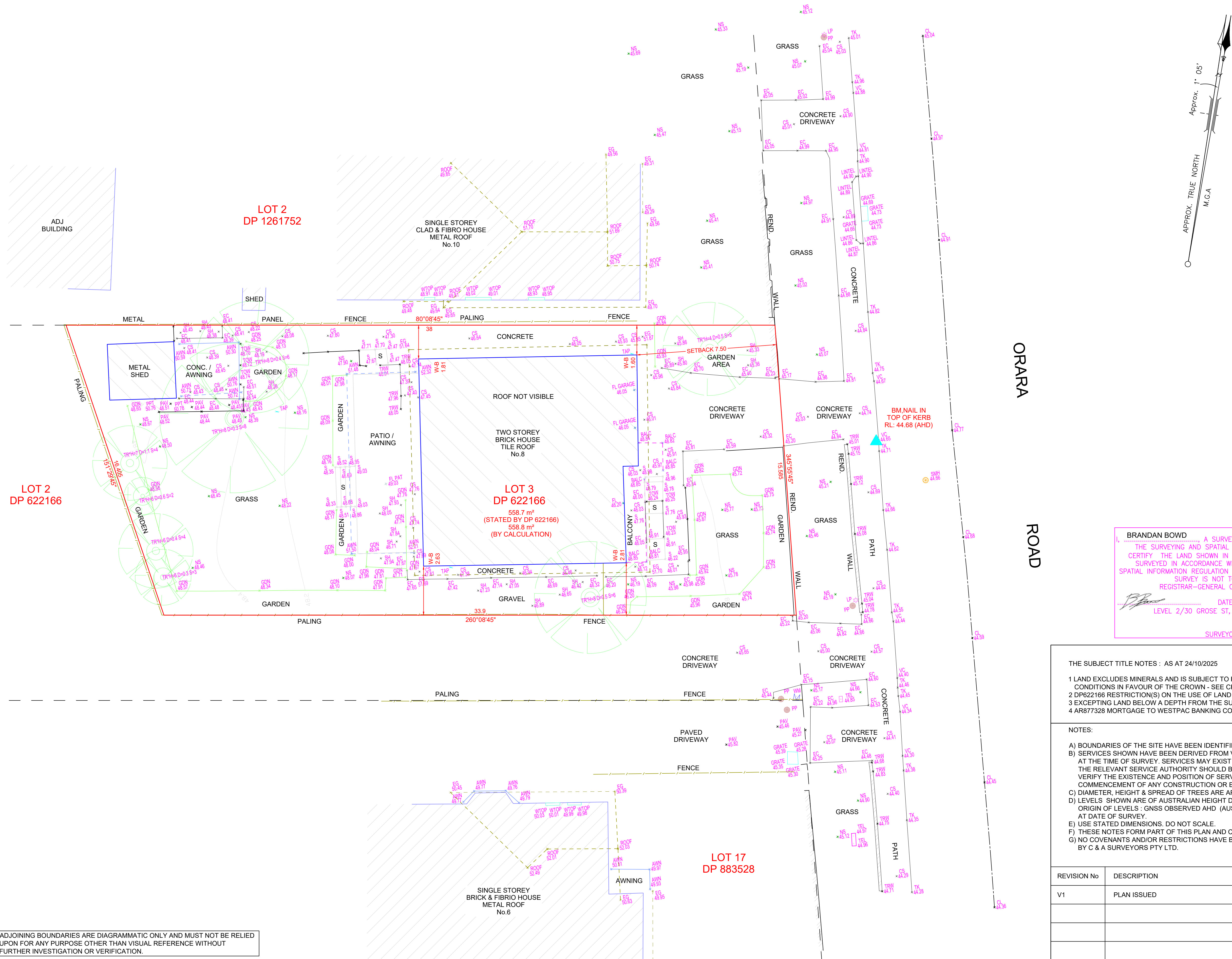


- LEGEND:**
- AHD AUSTRALIAN HEIGHT DATUM
 - AWN AWNING
 - A-B AWNING TO BOUNDARY
 - BL-B BALCONY TO BOUNDARY
 - BM BENCH MARK
 - BOW BOTTOM OF WALL
 - CL CENTRE LINE
 - CONC CONCRETE
 - CS CONCRETE SURFACE
 - D/H/S DIAMETER/HEIGHT/SPREAD
 - D DOOR
 - EB EDGE OF BITUMEN
 - EC EDGE OF CONCRETE
 - EG EAVE & GUTTER
 - EP ELECTRICAL BOX
 - FL FLOOR LEVEL
 - GDN GARDEN
 - HYD HYDRANT
 - KO KERB OUTLET
 - LH LAMP HOLE
 - LIP LIP OF KERB
 - NS NATURAL SURFACE
 - PAV PAVERS
 - PP POWER POLE
 - PR PLANTER
 - PPT PARAPET
 - RL REDUCED LEVEL
 - S STEPS
 - S-B SHED TO BOUNDARY
 - SL SURFACE LEVEL
 - SILL WINDOW SILL
 - SIP SEWER INSPECTION POINT
 - SMH SEWER MAN HOLE
 - SV STOP VALE
 - TB TOP OF BANK
 - TEL TELSTRA PIT
 - TK TOP OF KERB
 - TOW/TW TOP OF WALL
 - TRW TOP OF RETAINING WALL
 - VC VEHICLE CROSSING
 - W-B WALL TO BOUNDARY
 - WM WATER METER
 - WTOP TOP OF WINDOW

ADJOINING BOUNDARIES ARE DIAGRAMMATIC ONLY AND MUST NOT BE RELIED UPON FOR ANY PURPOSE OTHER THAN VISUAL REFERENCE WITHOUT FURTHER INVESTIGATION OR VERIFICATION.

BRANDAN BOWD
I, A SURVEYOR REGISTERED UNDER
THE SURVEYING AND SPATIAL INFORMATION ACT 2002.
CERTIFY - THE LAND SHOWN IN THIS PLAN/SKETCH WAS
SURVEYED IN ACCORDANCE WITH THE SURVEYING AND
SPATIAL INFORMATION REGULATION 2024, SECTION 46, THE
SURVEY IS NOT TO BE LODGED WITH THE
REGISTRAR-GENERAL OR A PUBLIC AUTHORITY.
DATE: 4-11-2025
LEVEL 2/30 GROSE ST, PARRAMATTA NSW 2150
C & A SURVEYORS
SURVEYOR ID NO. SU009122

THE SUBJECT TITLE NOTES : AS AT 24/10/2025

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 DP622166 RESTRICTION(S) ON THE USE OF LAND
- 3 EXCEPTING LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES
- 4 AR877328 MORTGAGE TO WESTPAC BANKING CORPORATION

NOTES:

A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY

B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.

D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS : GNSS OBSERVED AHD (AUSGEOD 2020 V2024.10.2) AT DATE OF SURVEY.

E) USE STATED DIMENSIONS. DO NOT SCALE.

F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.

G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

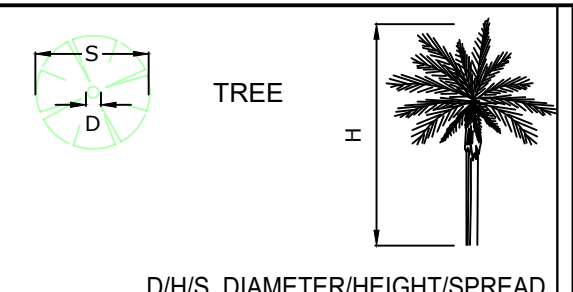
REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	3/11/25

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**DETAIL & BOUNDARY IDENTIFICATION
SURVEY OF
LOT 3 IN DP 622166, LOCATED AT
NO.8, ORARA ROAD, ALLAMBIE HEIGHTS.**

- S — S — APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER DBYD RECORDS
- W — W — APPROXIMATE LOCATION OF BURIED WATER MAIN (W/M) BY SYDNEY WATER DBYD RECORDS
- E — E — ELECTRIC LINE
- FENCE LINE
- TELSTRA PIT
- STOP VALVE
- POWER POLE
- WATER METER
- HYDRANT



INSTRUCTING PARTY:		CARLY TRACEY		SURVEYED BY: FH		DATUM: AHD	
LGA: NORTHERN BEACHES		AREA BDY DP: 558.7 m²		DRAWN BY: SS		CHECKED BY: DR	
SURVEY DATE: 27/10/2025		AREA BY CALC: 558.8 m²		SCALE: 1:100@A1		REF.NO: 37768-25 DET ID	
DATE DRAWN: 3/11/2025		CONTOUR INTERVAL: 0.2 m		REV No: V1		SHEET: 1 OF 1	