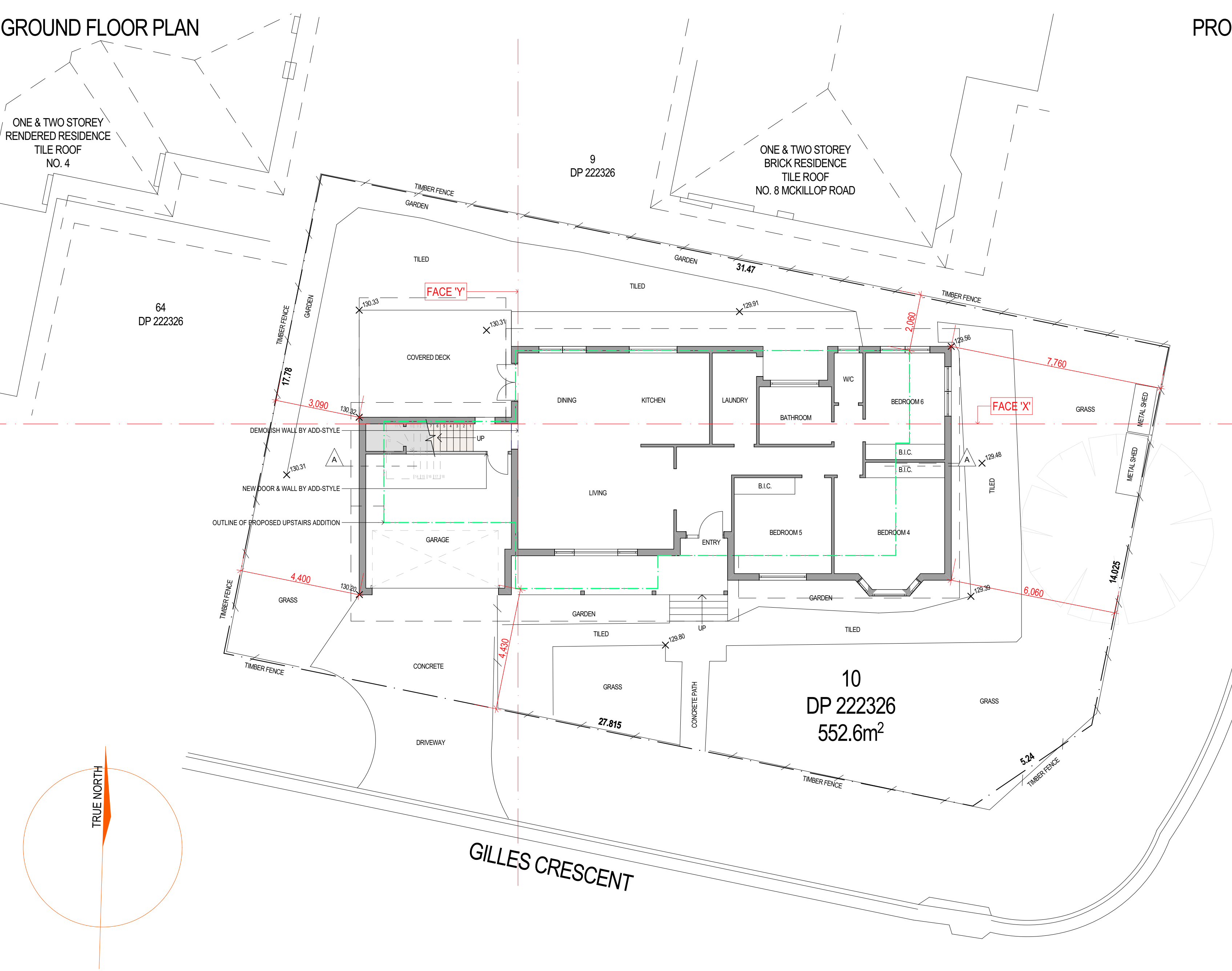
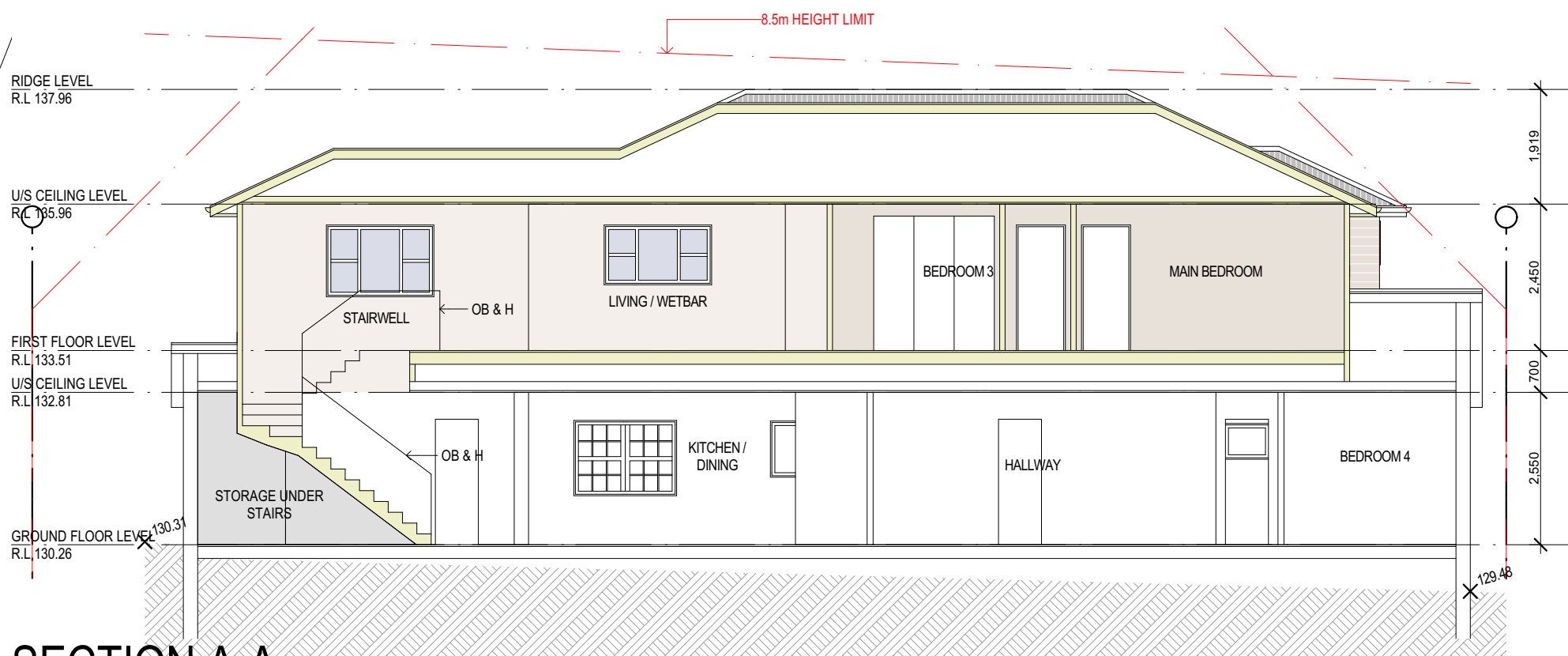
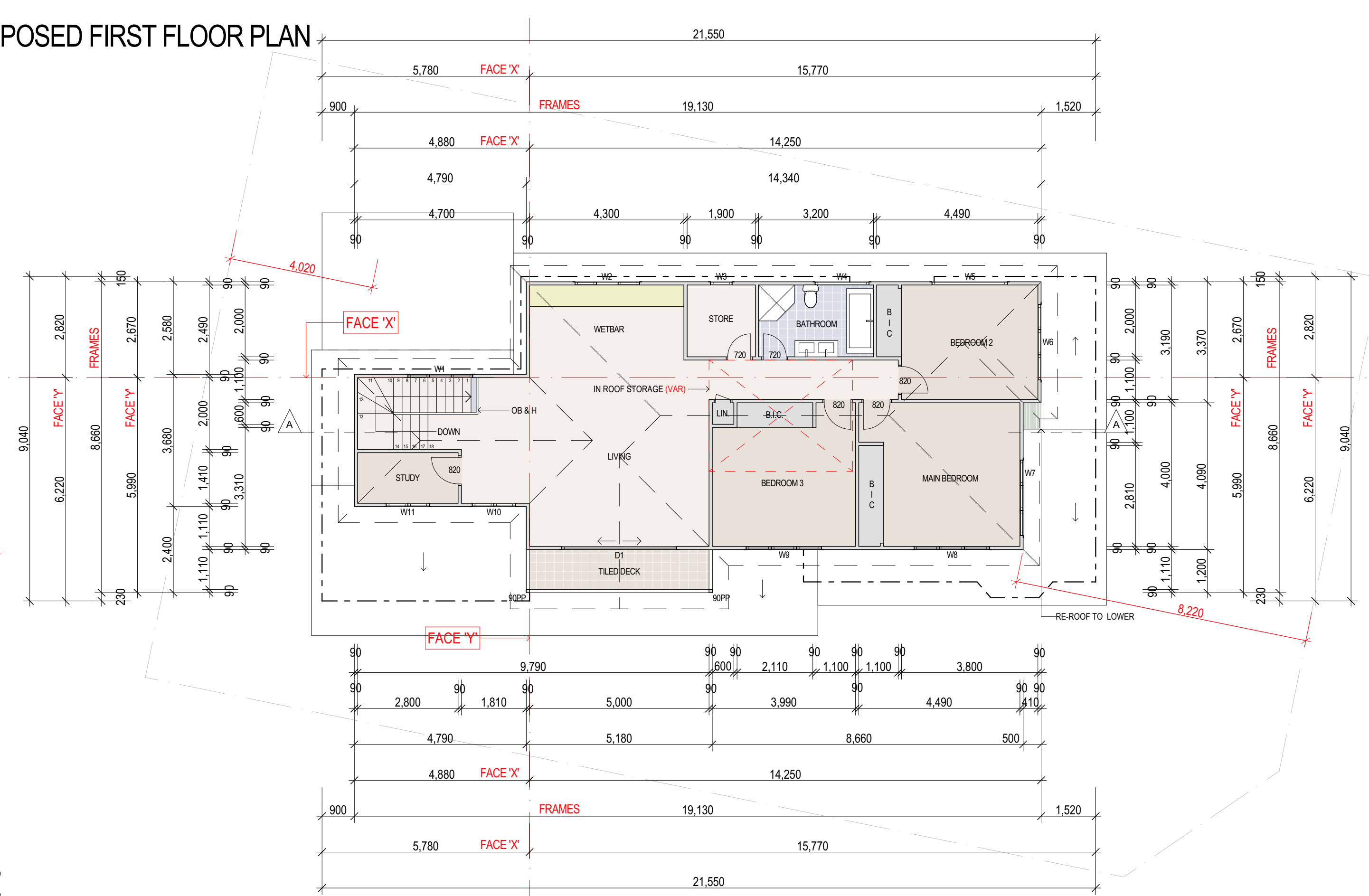


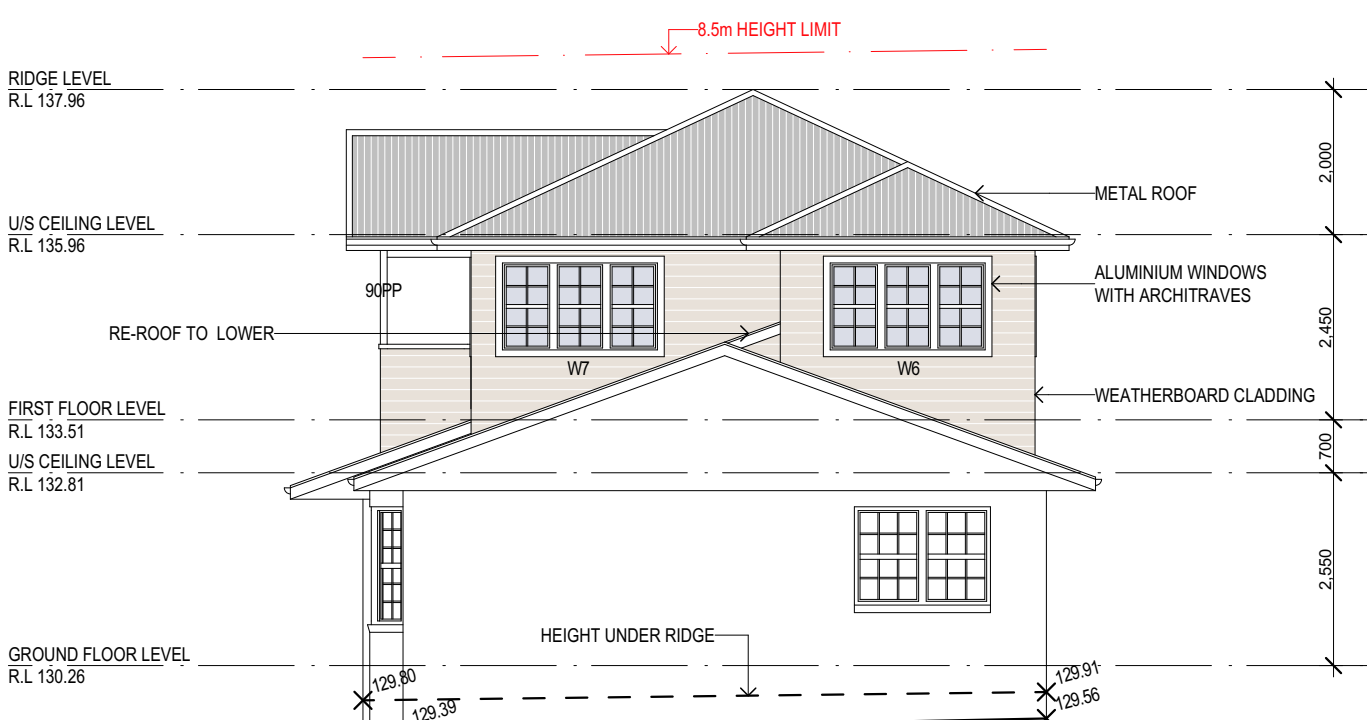
GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



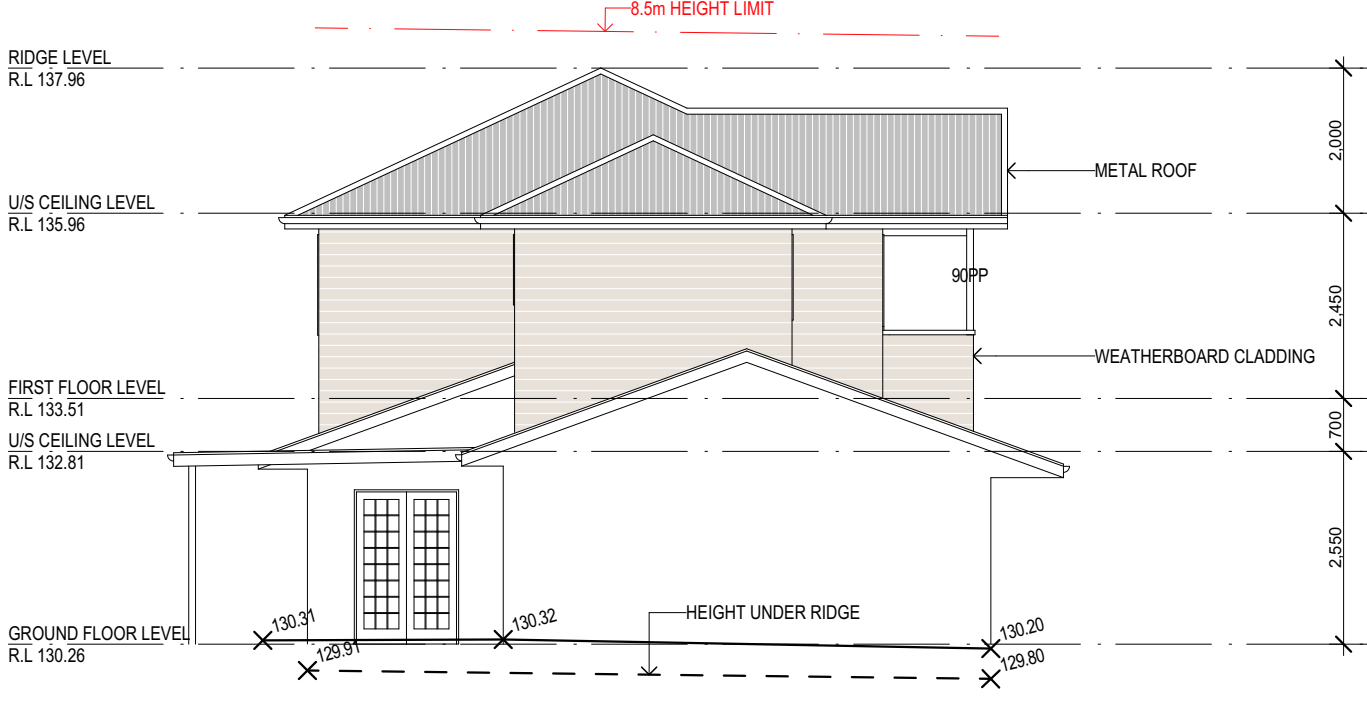
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SECTION A-A

OPEN SPACE CALCULATIONS

SITE AREA	552.6 sqm
GROSS FLOOR AREA	238.0 sqm
EXIST. IMPERVIOUS AREA	342.8 sqm 62%
PROPOSED IMPERVIOUS AREA	342.8 sqm 62%
EXIST. LANDSCAPED AREA	209.8 sqm 38%
PROPOSED LANDSCAPED AREA	209.8 sqm 38%
NO CHANGE TO EXISTING FOOTPRINT OR LANDSCAPE	
EXIST FLOOR SPACE	113.8 sqm 0.22 : 1
PROPOSED FLOOR SPACE	238.0 sqm 0.43 : 1

FRAMING NOTES.

ROOF PITCH	NEW: 25° EXISTING 20° TO BE CHECKED
FRAME HEIGHT	2450mm
ROOFING	METAL
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT TO LINE UP	2130mm TO LINE UP
INTERNAL DOOR	2110mm
B.I.C DOOR OPENING HEAD HEIGHT	2110mm TO LINE UP
DOOR AND WINDOW NIBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD	880mm WIDE UNLESS

LEGEND & GENERAL NOTES

(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
B.O	BY OTHERS
90PP	90 x 90 PRIMED POST
S.L	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W / C	TOILET SUITE (WATER CLOSET)
B I C	BUILT IN CUPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT. #	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP&S	DOWNPIPE AND SPREADER

ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.

SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC

SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE

BASIX REQUIREMENTS

40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.

BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.

EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION.

FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).

ALL WINDOWS HAVE IMPROVED ALUMINIUM WINDOWS.

W3, W8, W9, W10, W11 & D1 TO HAVE U-VALUE NO GREATER THAN 6.44 AND SHGC OF 0.75)

W1, W2, W3, W4, W5, W6 & W7 TO HAVE U-VALUE NO GREATER THAN 6.39 AND SHGC OF 0.56)

ARTIST'S IMPRESSION

FOR ILLUSTRATION PURPOSES ONLY.
NOT TO BE READ AS A WORKING DRAWING

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0152

ADD-STYLE HOME ADDITIONS

Upstairs Specialists

5019 CONDOMINE ST MANLY VALE 2095
PHONE: (02) 9907 9055
EMAIL: info@addstyle.com.au

PROJECT TITLE:
Proposed Additions at:
2 GILLES CRESCENT
BEACON HILL NSW 2100

JOB REVIEW 2	EMAIL DATE	00/00/00
JOB REVIEW 1	EMAIL DATE	00/00/00

C	For Council	17/02/25	KH
B	For Council	22/01/25	KH
A	For Plan Meeting	21/01/25	KH

DRAWN BY:	KH	CHECKED BY:	CW
SCALE:	1:100		

TITLE:	PLANS, ELEVATIONS AND SECTIONS		
DRAWING NO.	4543 DA 1	ISSUE	C