

PROPOSED RESIDENTIAL FLAT BUILDING (S4.55 MODIFICATIONS)  
54 - 58 BEACONSFIELD STREET NEWPORT NSW



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BASIX COMMENTS

ENERGY

DESIGN ELEMENT	COMPLIANCE CRITERIA
Central hot water system	Gas instantaneous Internal & External Piping – R1.0 (~38 mm)
Cooking	Induction cooktop & electric oven
Mechanical heating and cooling	Non-ducted air-conditioning (1-Phase) for all units (Living and Bedroom). Minimum EER ratings – Cooling 3.0-3.5, Heating 3.5-4.0.
Apartment ventilation	Bathroom, laundry, and kitchen: individual fan, ducted to façade or roof – Interlocked to Light
Common area ventilation	Basement Car Park Area: Ventilation (supply and exhaust) with CO monitor + VSD Fans. Residential Waster Room: Exhaust only. Plantroom: Ventilation supply only, continuous. Ground floor lobbies, Corridors: No mechanical ventilation.
Apartment artificial lighting	LED throughout with dedicated fittings
Common area artificial lighting	Lift: LED connected to lift call button. Carpark, Residential waste room, Plantroom, Fire stairs, Ground WC, Floor lobbies, Corridors: LEDs controlled by Motion Sensors. Fire pump room: LEDs controlled by manual on/off switch.
Appliances in Apartments (minimum Energy Star rating)	Dishwashers: Minimum 4 Star Energy Rated Clothes Dyer: Minimum 2 Star Energy Rated
Photovoltaic Array	Minimum 10 kW peak PV.
Vertical transport	All Lifts with gear/less traction and VVVF motor Lift Load Capacity: >= 1001 kg but <= 1500 kg

THERMAL COMFORT

DESIGN ELEMENT	COMPLIANCE CRITERIA
Glazed Doors / Windows	All apartments require the following glazing specification: <u>Fixed and sliding windows</u> U-Value = 3.60; SHGC = 0.47 (+/- 5%) <u>Awning window</u> U-Value = 4.30; SHGC = 0.47 (+/- 5%)
External Solid Walls	R2.5 bulk insulation, to achieve a total system R-value of R1.4
Exposed Roofs/Balconies	R3.0 bulk insulation, to achieve a total minimum R-value of R3.2 Medium or light colour
Suspended Floor Slabs (Enclosed floor levels between conditioned and internal non-conditioned spaces and open to outside)	R2.0 insulation to underside of suspended concrete slabs exposed to outside and unconditioned areas.
Floors Covering	Carpet in Bedrooms Timber in Living/Dining rooms

WATER

DESIGN ELEMENT	COMPLIANCE CRITERIA
Central systems & common areas	Showers: Minimum 4 Star (+6 but <= 7.5 L/min) WELS Rated Toilets: Minimum 4 Star WELS Rated All Taps: Minimum 5 Star WELS Rated
Dwelling fixtures	Showers: Minimum 4 Star (+6 but <= 7.5 L/min) WELS Rated Toilets: Minimum 4 Star WELS Rated All Taps: Minimum 5 Star WELS Rated
Dwelling Fittings/Appliances	Washing Machine: not specified Dishwasher: Minimum 4 Star WELS Rated
Fire Sprinkler Water Test	Fire sprinkler test water is contained in a closed system
Alternative Water	Minimum 5,000L Rainwater tank to harvest roof area serving landscape irrigation and 1 car wash bay

GENERAL NOTES:

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CLIENT:  
JAK Newport Pty Ltd



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Surry Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Cover Page**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: NTS	DRAWING NO: <b>DA000</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		



54-58 Beaconsfield Street  
PROJECT SUMMARY

SITE AREA 2113.5 m2  
Zone R3

PROPOSED SCHEME

Level	Unit.No	Type	Internal Area (m2)	Terrace/ Balcony (m2)	Storage Compliance	Storage within apartment (m3)	Carpark Storage (m3)	Total Storage (m2)
GROUND	G01	3 BED	144	87	Y	14.4	4.8	19.2
	G02	3 BED	150	61	Y	19.2	4.8	24.0
	G03	3 BED	138	61	Y	12.0	4.8	16.8
LEVEL 1	101	3 BED	131	23	Y	7.2	4.8	12.0
	102	3 BED	132	109	Y	5.7	4.8	10.5
	103	3 BED	155	46	Y	6.6	4.8	11.4
	104	3 BED	162	71	Y	6.6	4.8	11.4
	105	3 BED	161	76	Y	11.4	4.8	16.2
LEVEL 2	201	3 BED	131	23	Y	7.2	4.8	12.0
	202	3 BED	128	22	Y	5.7	4.8	10.5
	203	3 BED	155	27	Y	6.6	4.8	11.4
	204	3 BED	156	27	Y	6.6	4.8	11.4
	205	3 BED	161	15	Y	11.4	7.2	18.6

LANDSCAPE PERCENTAGE AREA

Required Landscaped Area	50%	1056.8
Proposed Landscaped Area	50%	1061

COMMUNAL OPEN SPACE

Required Communal Open Space	25%	528.37
Proposed Communal Open Space	19%	398

PARKING TOTAL

Required Car Parking	2 x13 Units + 4.3 Visitor= 30
Proposed Car Parking	30( incl 4 Visitor )

CROSS VENTILATION

Required Cross Ventilation	60%	7.8
Proposed Cross Ventilation	69%	9

SOLAR COMPLIANCE CHECK

UNIT	LIVING							
	9AM	10AM	11AM	12PM	1PM	2PM	3PM	TOTAL
G01								0
G02								0
G03		Y	Y	Y				2
101								0
102	Y	Y	Y	Y	Y	Y	Y	6
103	Y	Y	Y	Y	Y	Y	Y	6
104	Y	Y	Y	Y	Y	Y	Y	6
105	Y	Y	Y	Y	Y	Y	Y	6
201	Y	Y	Y	Y	Y	Y	Y	6
202	Y	Y	Y	Y	Y	Y	Y	6
203	Y	Y	Y	Y	Y	Y	Y	6
204	Y	Y	Y	Y	Y	Y	Y	6
205	Y	Y	Y	Y	Y	Y	Y	6

<div></div> Solar Access	<div></div> Compliant
<div></div> No Solar Access	<div></div> Non-Compliant

UNIT COMPLIANT	10
TOTAL UNIT	13
Solar Compliance 76%	

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Scale Bar 1 : 200 @ A1

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RE.STREET



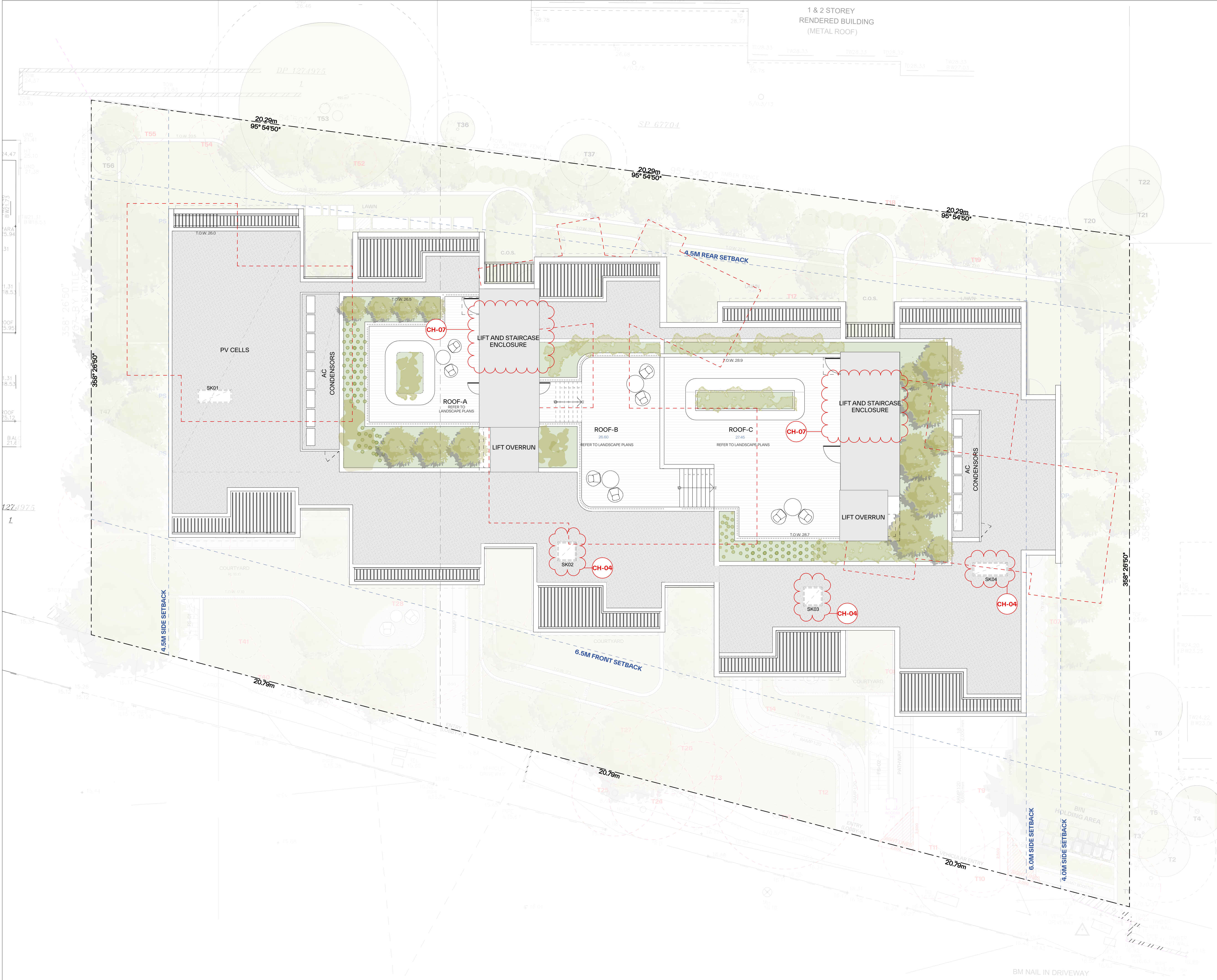
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PROJECT:  
RESIDENTIAL FLAT BUILDING - KENZA  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
Project Information

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: NTS	DRAWING NO: DA001	ISSUE: F
PROJECT NO: 2311		





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CH-07 Lift enclosure  
CH-08 Amended driveway gradient

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F	20/01/2025	\$4.95 ISSUE

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

CLIENT:  
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**pbd architects**

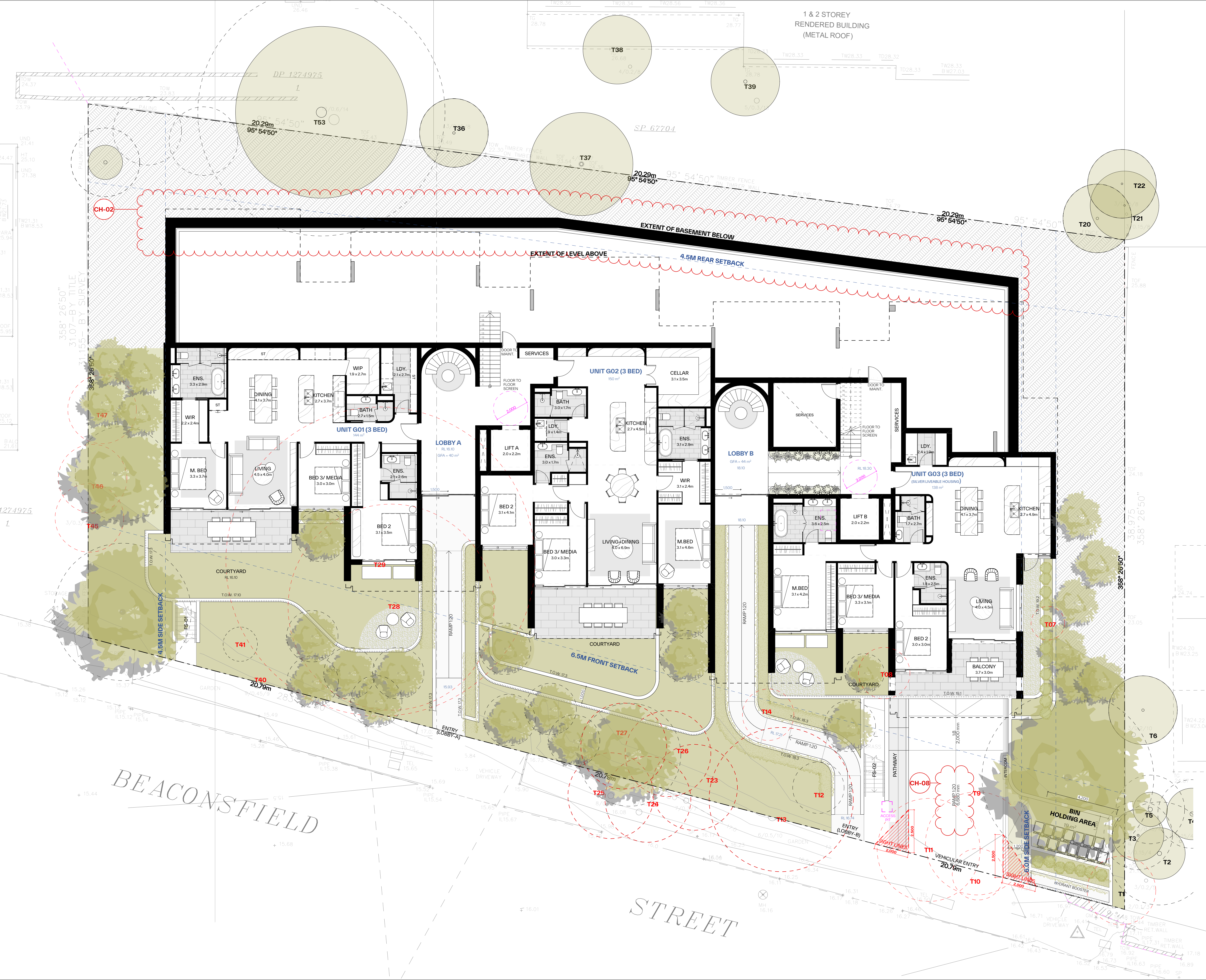
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DRAWING TITLE:  
**Site Plan**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA004</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





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**NOTE: REFER TO LANDSCAPE PLANS BY WYER & CO.**

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**RESIDENTIAL FLAT BUILDING - KENZA**  
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DRAWING TITLE:  
**Ground Floor Plan**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA100</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





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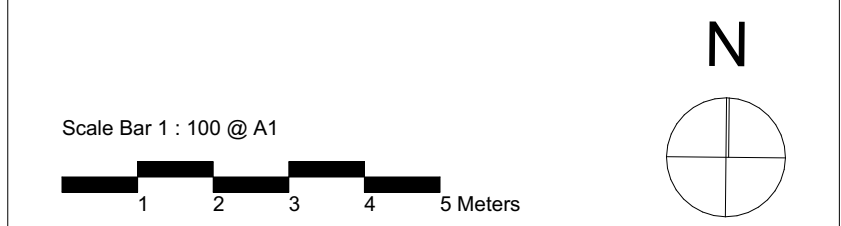
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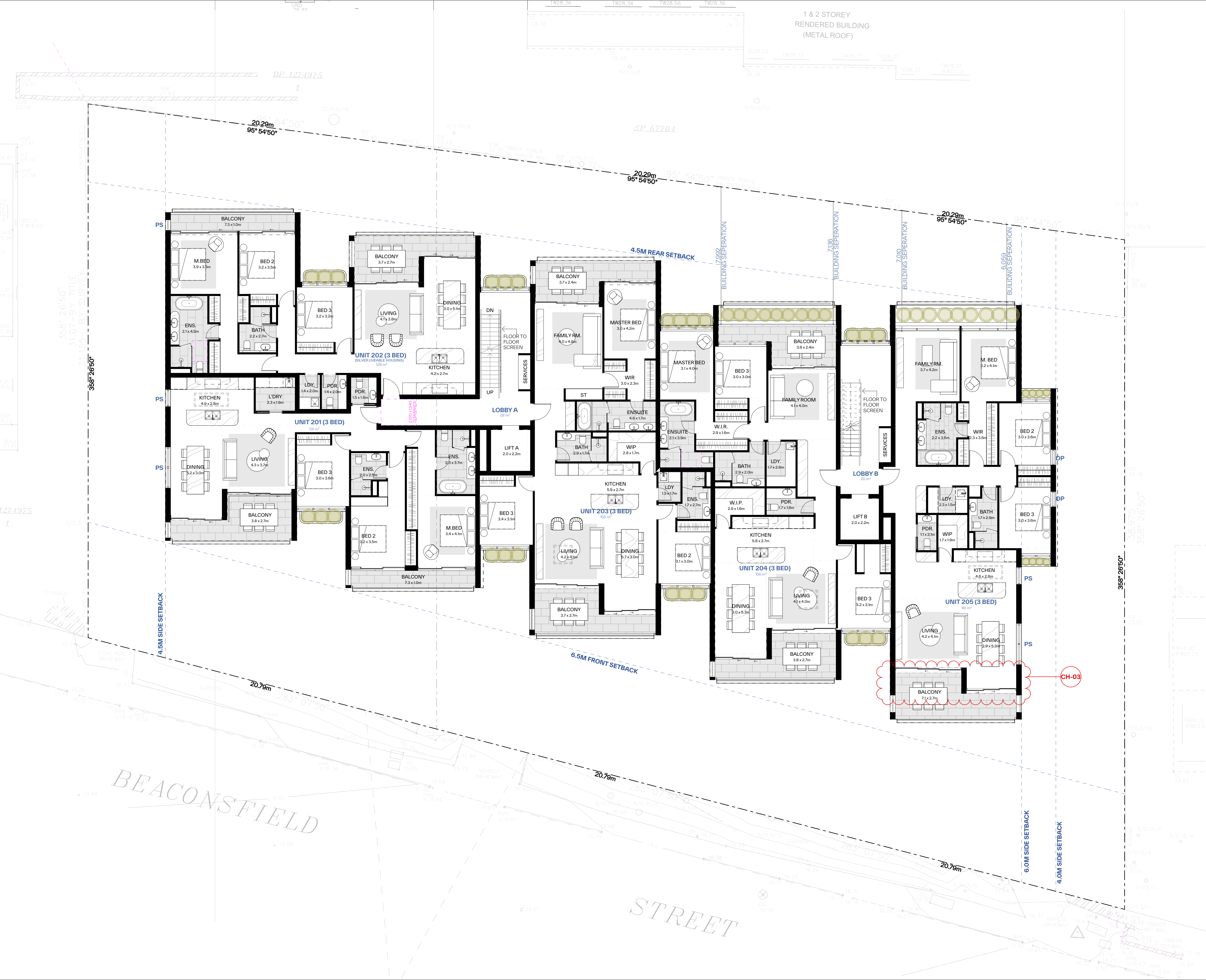
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DRAWING TITLE:  
**First Floor Plan**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA101</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





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MC METAL CLADDING  
FCE METAL FENCING (TO FUTURE SELECTION)  
PC COMPOSITE PANEL CLADDING  
PSK PRIVACY SCREEN (TO FUTURE SELECTION)  
PTX PAINT FINISH TYPEX  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RWV RENDERED FINISH/SELECTED PAINT FINISH  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

**NOTE: REFER TO LANDSCAPE PLANS BY WYER & CO.**

**LIST OF MODIFICATIONS**

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CH-07 Lift enclosure  
CH-08 Amended driveway gradient

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C	29/05/2024	AMENDED DEVELOPMENT APPLICATION
D	12/06/2024	AMENDED DEVELOPMENT APPLICATION
F	20/01/2025	\$4.55 ISSUE

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

CLIENT:  
JAK Newport Pty Ltd

**pbd architects**

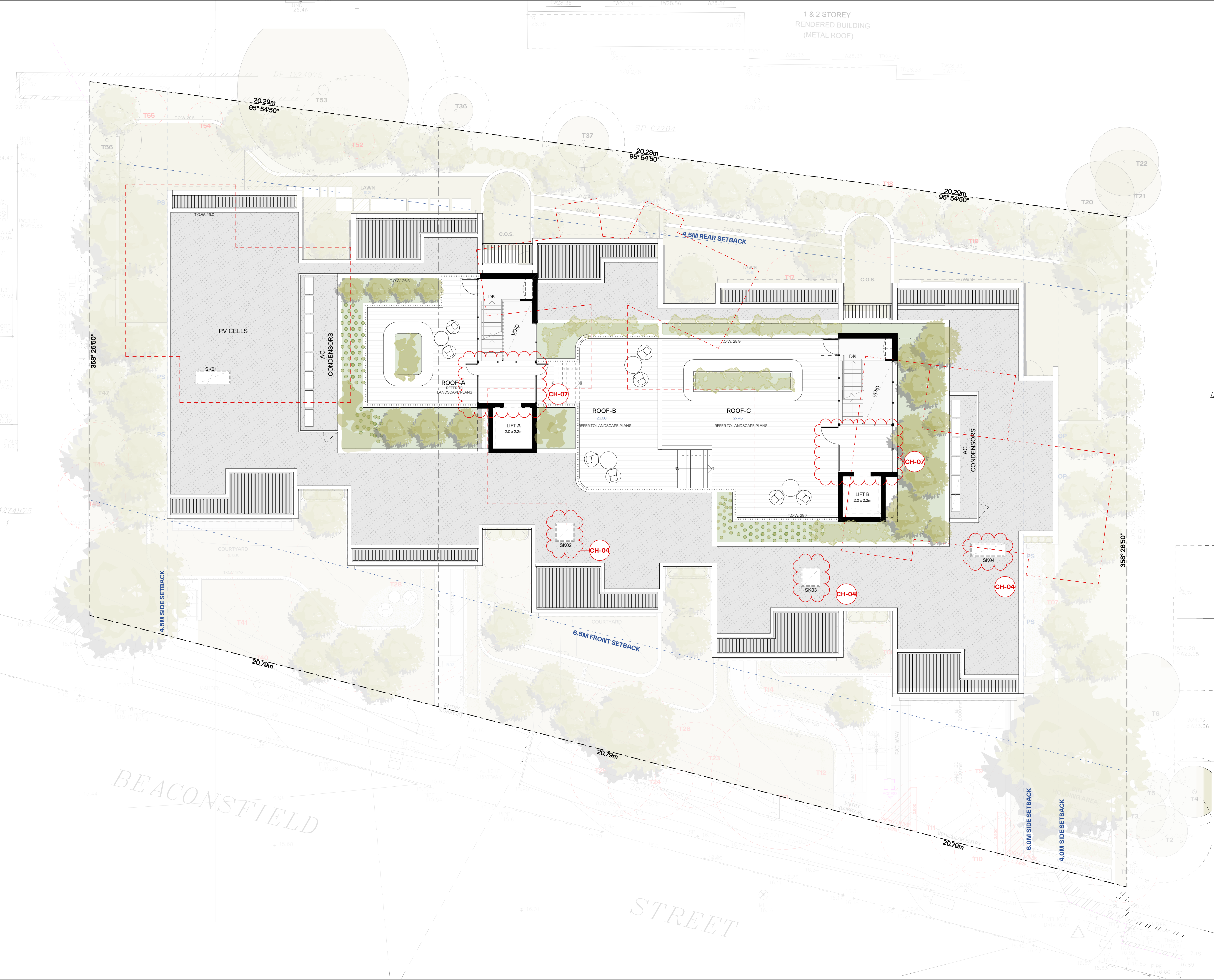
P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Surry Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Second Floor Plan**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA102</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





**GENERAL NOTES:**

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**LEGEND:**

AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HWV HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAILBOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
ST STORAGE  
HWU HOT WATER UNITS

**MATERIALS LEGEND:**

AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
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**NOTE: REFER TO LANDSCAPE PLANS BY WYER & CO.**

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E	12/07/2024	AMENDED DEVELOPMENT APPLICATION
F	20/01/2025	\$4.95 ISSUE

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

CLIENT:  
JAK Newport Pty Ltd

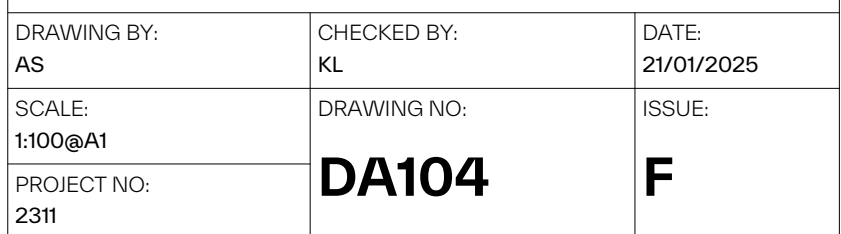
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Level 2, 52 Albion Street,  
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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Roof Plan**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA103</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		









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LEGEND:

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- AC A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- GC GARBAGE CHUTE
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- MV MECHANICAL RISER TO FUTURE DETAIL
- MB MAILBOX TO FUTURE DETAIL
- R 240L RECYCLING BIN
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNITS

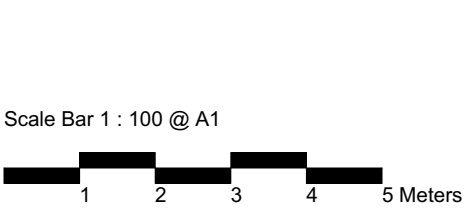
MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING (TO FUTURE DETAIL)
- CONC CONCRETE
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F	20/01/2025	S4.55 ISSUE
G - WIP	Work in Progress	Not in Transmittal Set



CLIENT:  
JAK Newport Pty Ltd



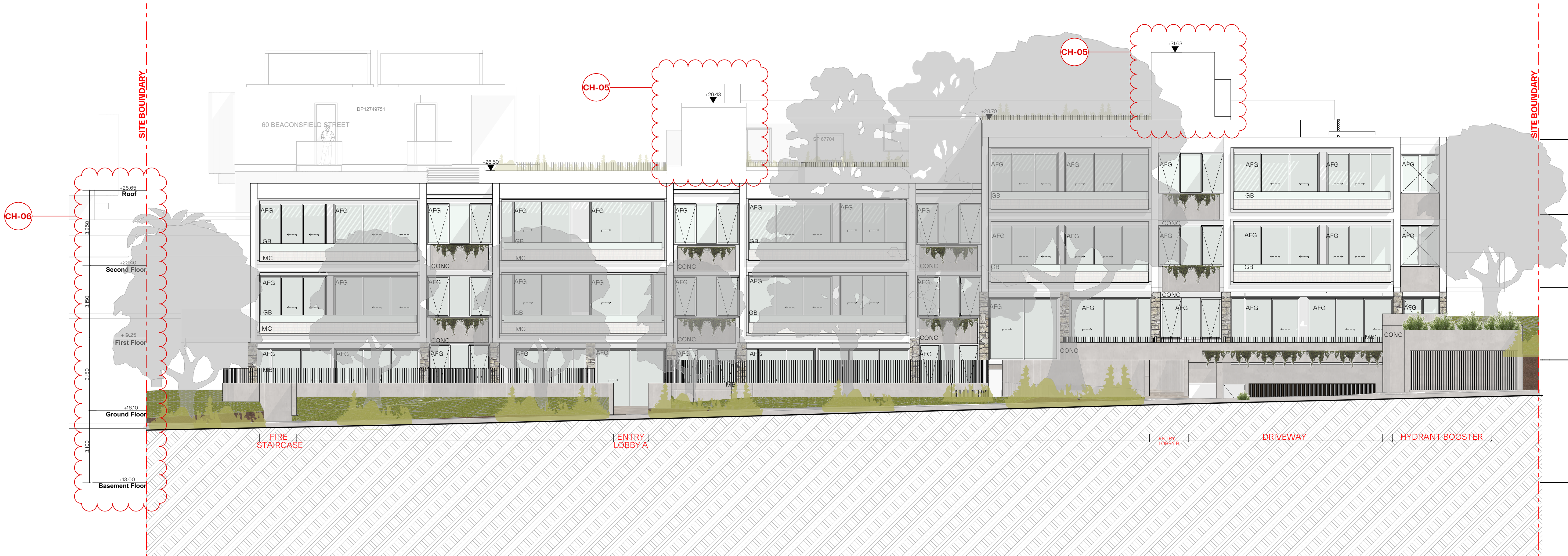
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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Elevation Sheet 1**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA200</b>	ISSUE: <b>G - WIP</b>
PROJECT NO: 2311		





South Elevation

GENERAL NOTES:

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FHR FIRE HOSE REEL  
FS FIRE STAIRS  
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R 240L RECYCLING BIN  
SK SKYLIGHT  
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HWU HOT WATER UNITS

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G - WIP	Work in Progress	Not in Transmittal Set

CLIENT:  
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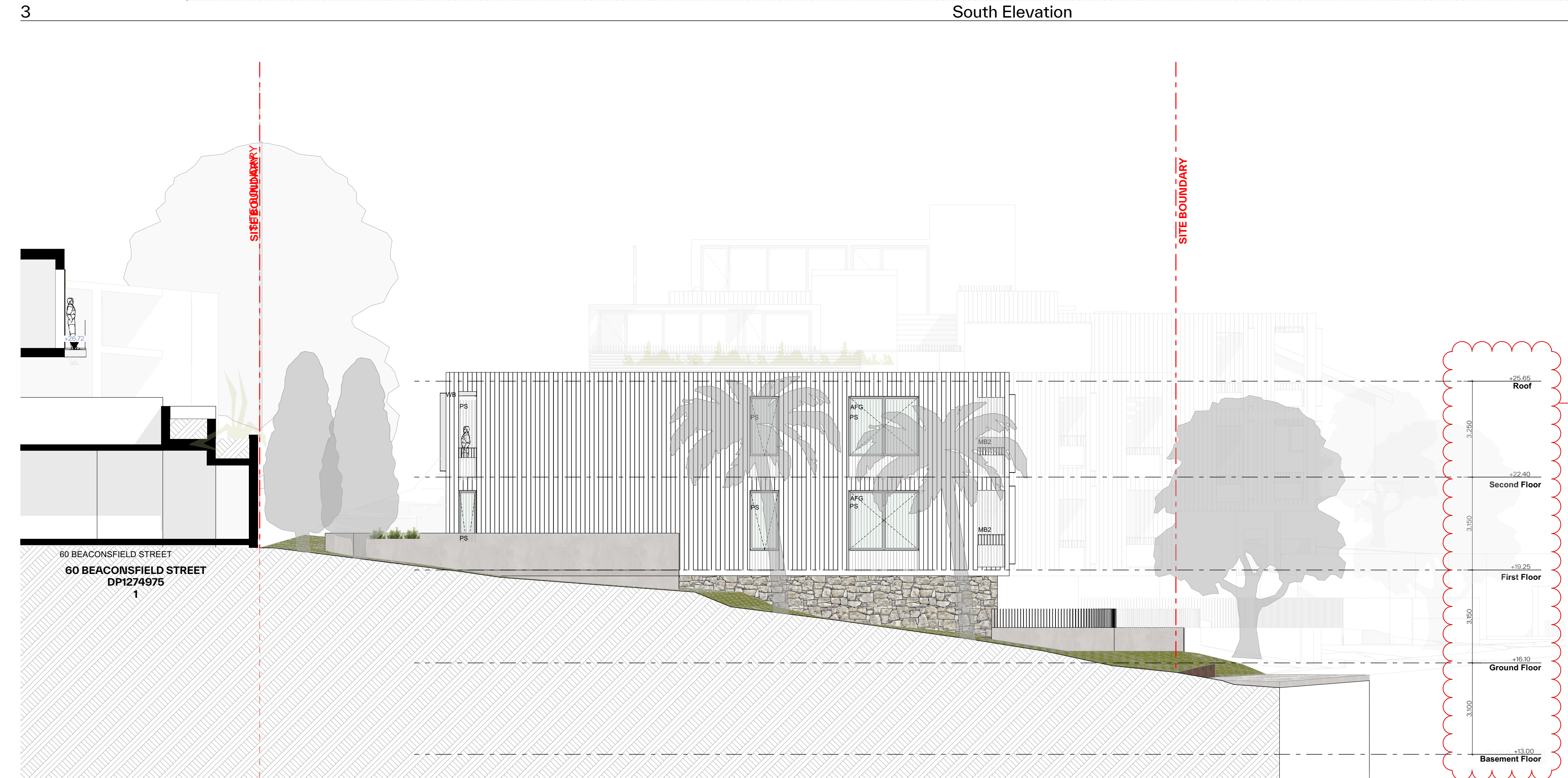
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Paul Buljevic NSW 7768

pbd  
architects

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Elevation Sheet 2**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100@A1	DRAWING NO: <b>DA201</b>	ISSUE: <b>G - WIP</b>
PROJECT NO: 2311		



West Elevation

1:100







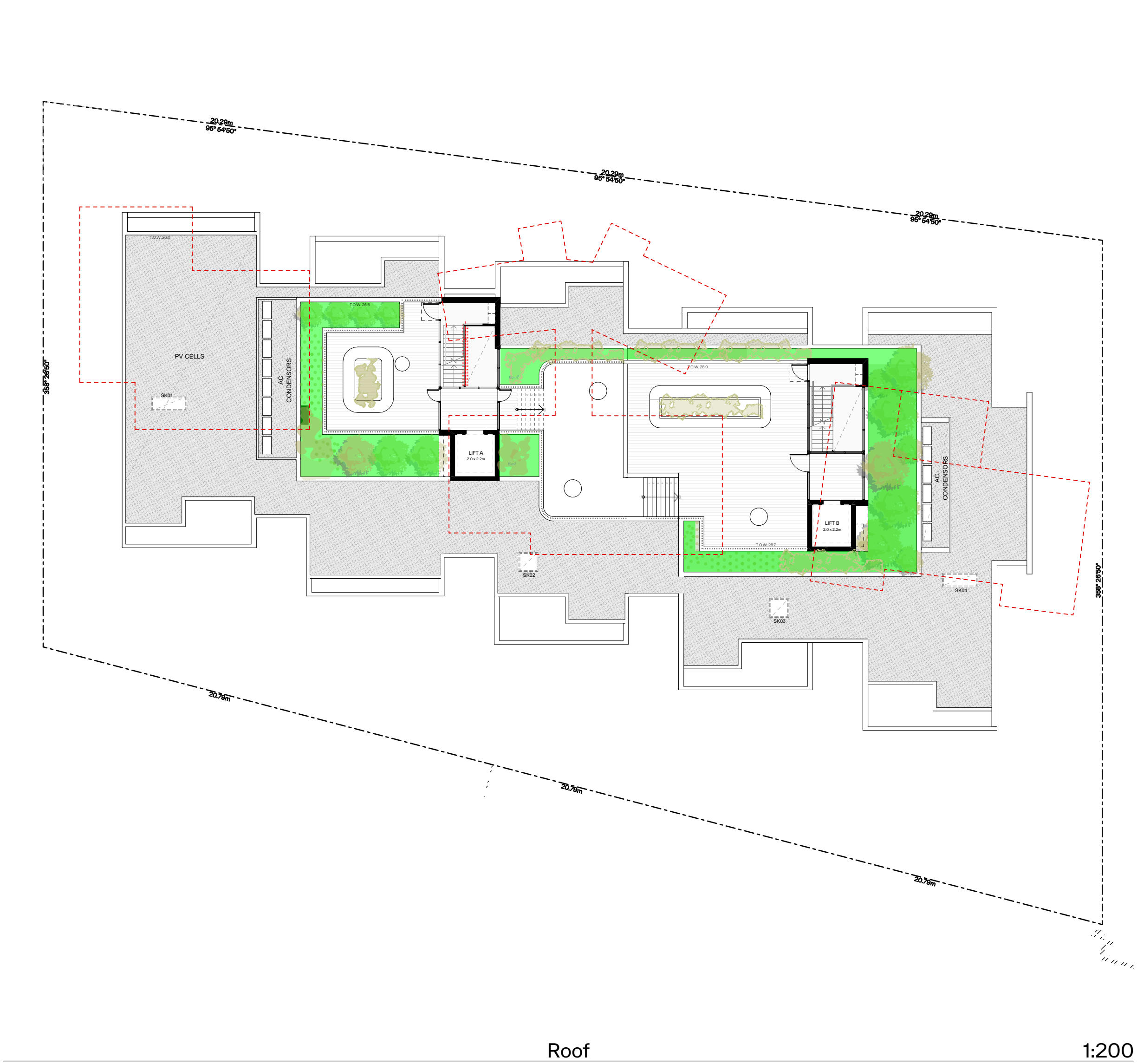






Typical Level

1:200



Roof

1:200

**PROPERTY DETAILS:**  
SITE AREA: 2,113.5m<sup>2</sup>  
ZONE: R3 MEDIUM DENSITY RESIDENTIAL

**LEGEND:**

LANDSCAPED AREA

MIN. LANDSCAPED AREA: 50%  
MIN. LANDSCAPED AREA: 1,056m<sup>2</sup>

**LANDSCAPED AREA SUMMARY**

LEVEL	First Floor	Roof	Total
AREA	956	105	1,061 m <sup>2</sup>

PROPOSED LANDSCAPED AREA: 50.2%  
PROPOSED LANDSCAPED AREA: 1061m<sup>2</sup>

- GENERAL NOTES:**
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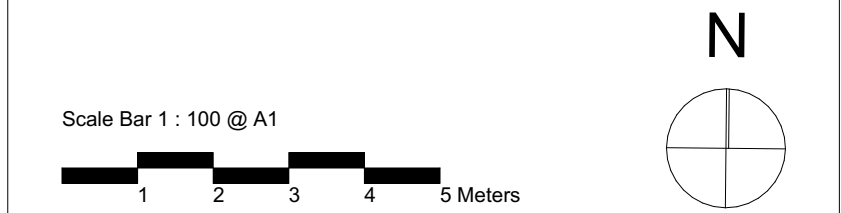
- LEGEND:**
- AW AWNING
  - AH ACCESS HATCH
  - AC A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - GC GARBAGE CHUTE
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  - MV MECHANICAL RISER TO FUTURE DETAIL
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CLIENT:  
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Level 2, 52 Albion Street,  
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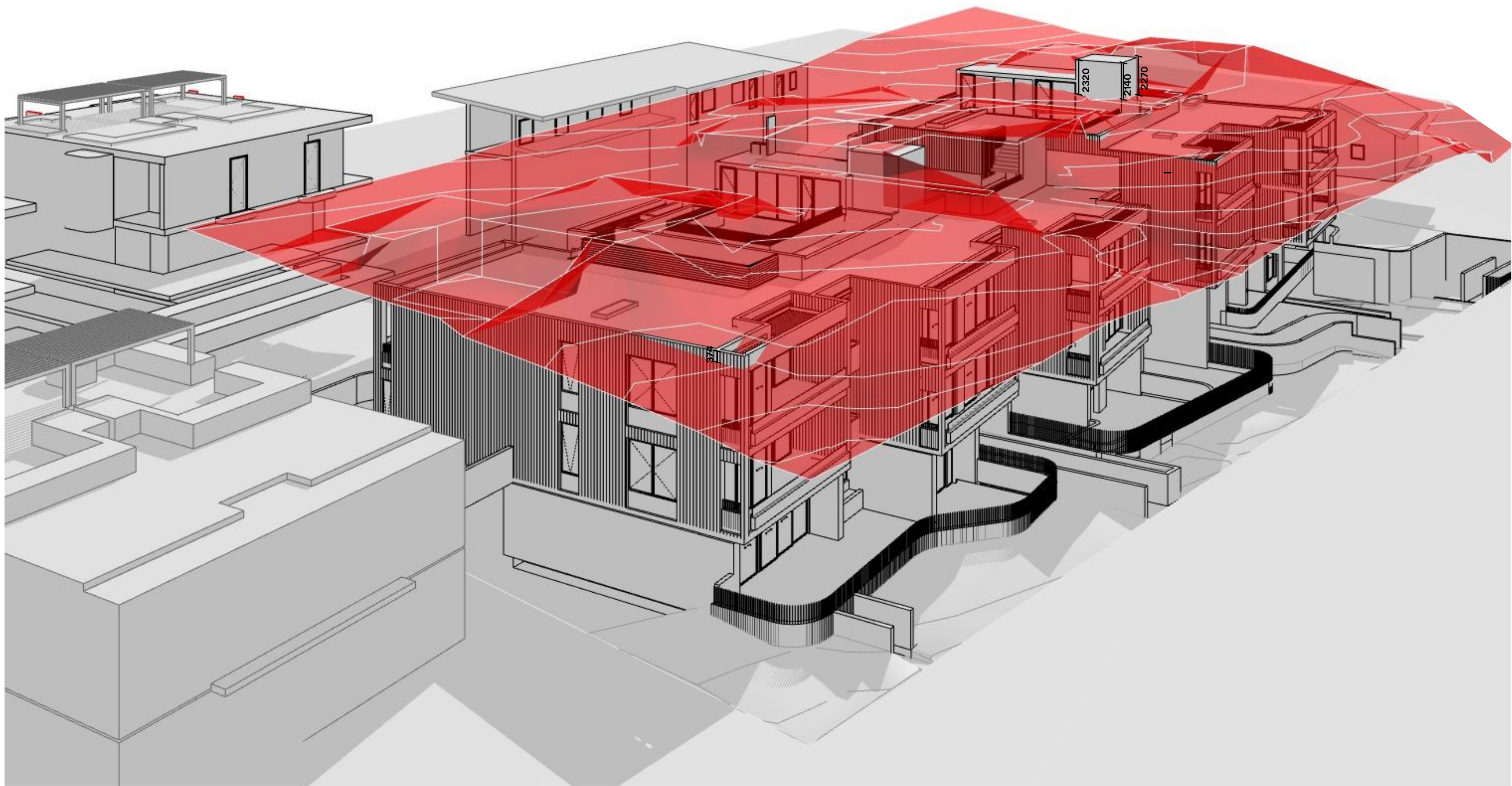
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PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

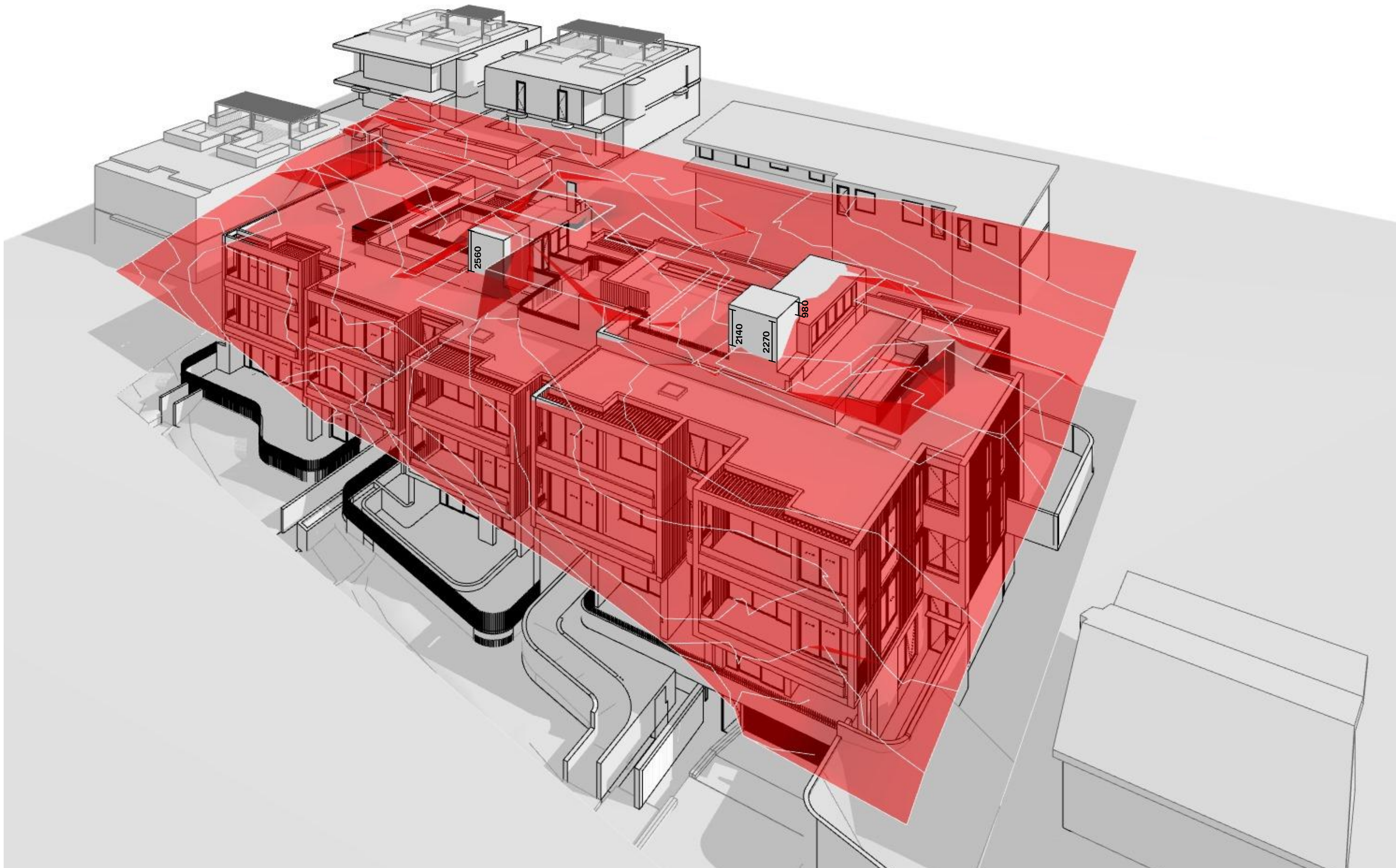
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**Landscape Area**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:200, 1:0.67@A1	DRAWING NO: <b>DA510</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





Height Limit Diagram 1



Height Limit Diagram 2

**GENERAL NOTES:**

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RW	RENDERED FINISH/SELECTED PAINT FINISH
TC	TIMBER CLADDING
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**LEGEND:**

<span style="color: red;">■</span>	HEIGHT PLANE
------------------------------------	--------------

Issue	Date	Description
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Scale Bar 1 : 100 @ A1

1

2

3

4

5 Meters

CLIENT:  
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**pbd**  
architects

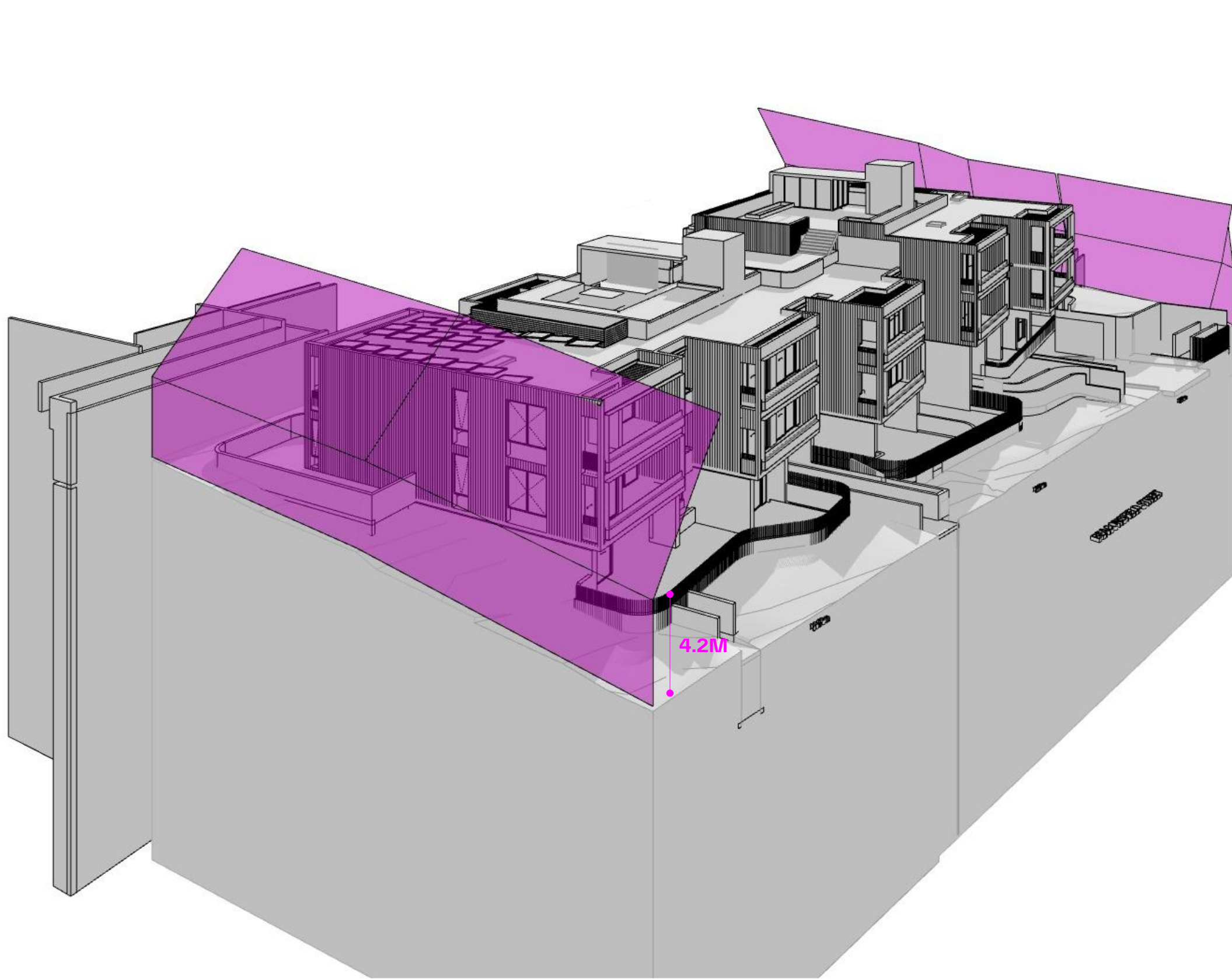
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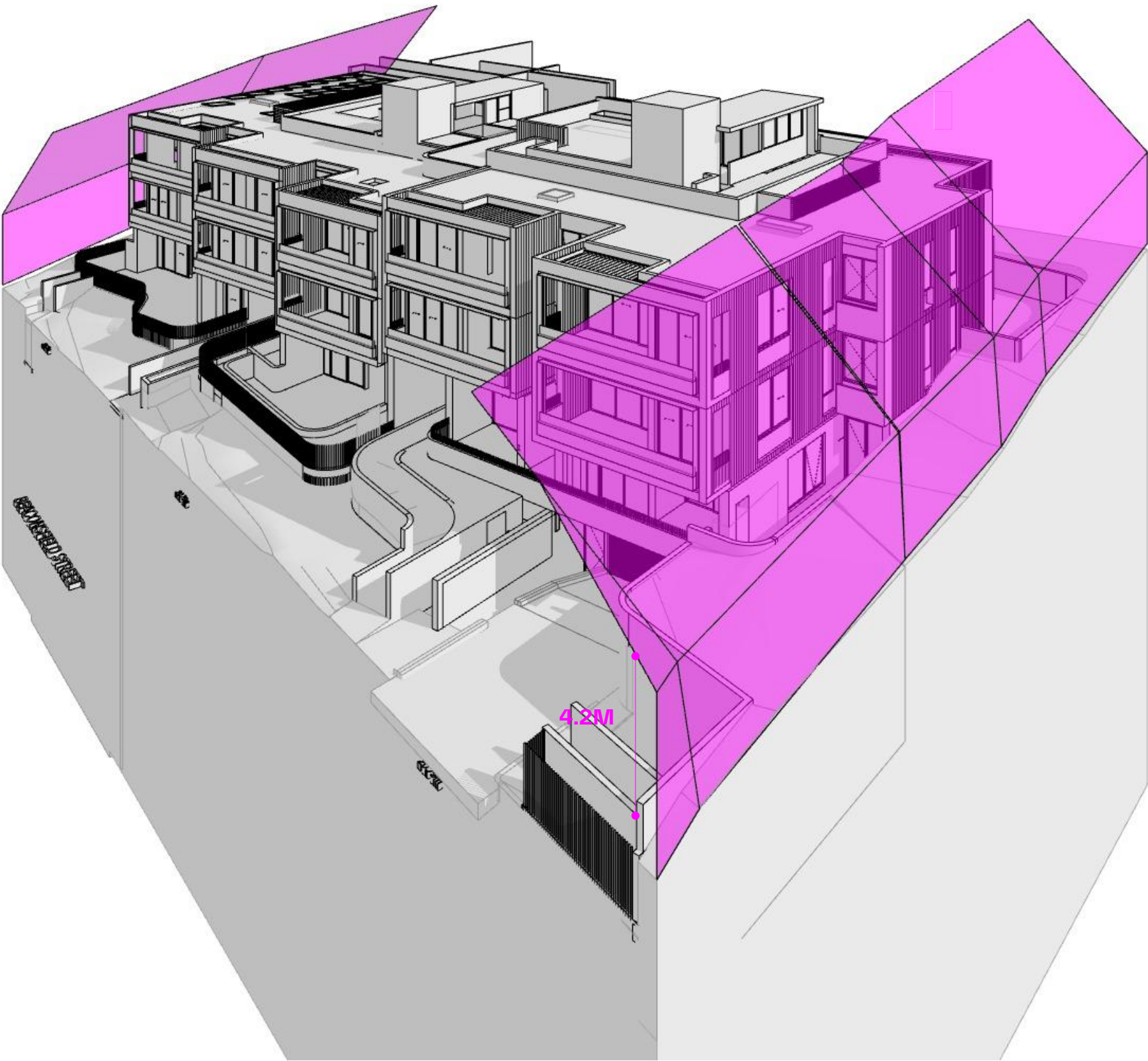
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**Height Limit Diagram**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: @A1	DRAWING NO: <b>DA520</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





01 WESTERN SIDE BOUNDARY



02 EASTERN SIDE BOUNDARY

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LEGEND:

4.2M/45° HEIGHT ENVELOPE

Issue	Date	Description
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B	7/05/2024	AMENDED DEVELOPMENT APPLICATION
C	29/05/2024	AMENDED DEVELOPMENT APPLICATION
D	12/06/2024	AMENDED DEVELOPMENT APPLICATION
F	20/01/2025	S4.55 ISSUE

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

CLIENT:  
JAK Newport Pty Ltd



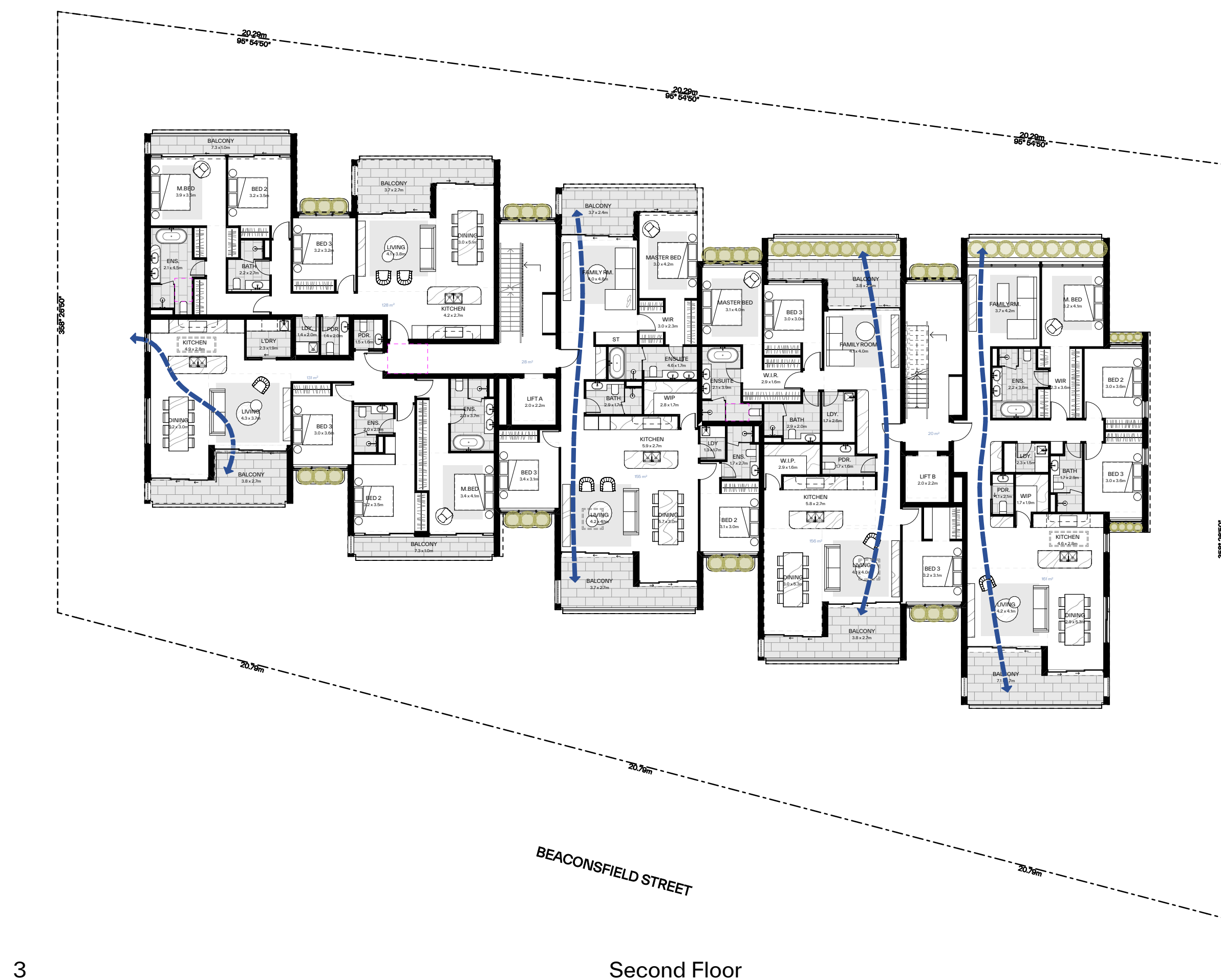
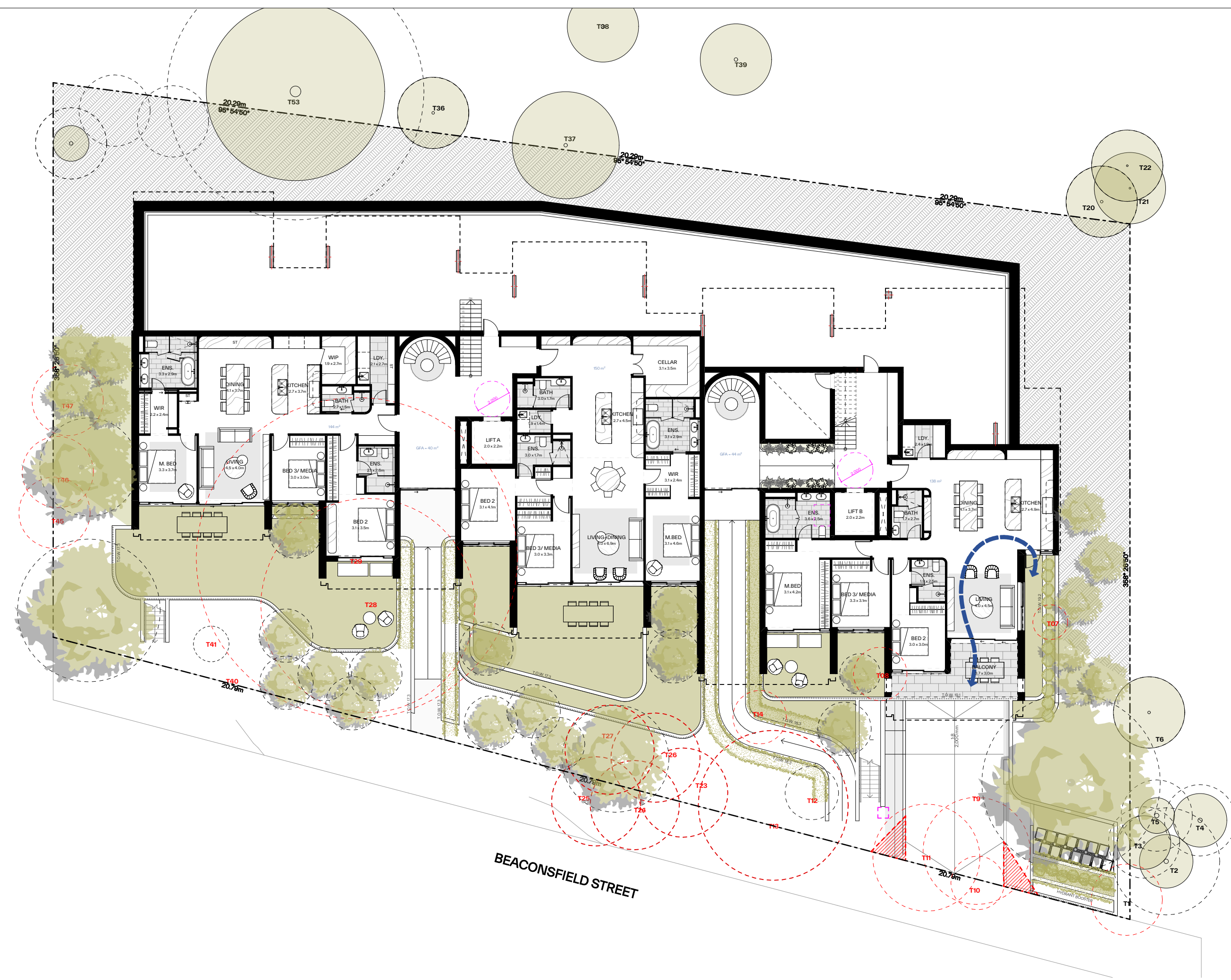
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Level 2, 52 Albion Street,  
Surry Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**4.2m Height Envelope Diagram**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: @A1	DRAWING NO: <b>DA522</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		





GENERAL NOTES:

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LEGEND:

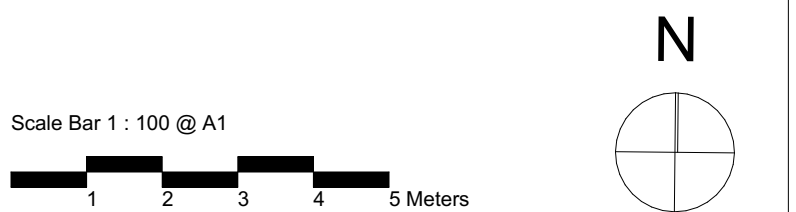
AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FC	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
HWU	HOT WATER UNITS

MATERIALS LEGEND:

AFV	ALUMINIUM FRAMED GLAZING
ALF	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNINGS (TO FUTURE DETAIL)
CB	CONCRETE
CONC	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO BC&AU)
MB	STANDARDS
MC	METAL BALUSTRADE
MC	METAL CLADDING
PC	METAL FENCING (TO FUTURE SELECTION)
PC	COMPOSITE PANEL CLADDING
PSX	PRIVACY SCREEN (TO FUTURE SELECTION)
PTX	PAINT FINISH TYPE
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

## LIST OF MODIFICATIONS

- CH-01 Internal reconfiguration to all apartments in general.
- CH-02 Extension of basement shoring wall to G/F subterranean area (providing access doors via lobbies for drainage maintenance)
- CH-03 Amendment to glazing line on south facing balconies unit 105/ 205 to improve outdoor living/ furnishability
- CH-04 Addition of skylights for unit 201/ 203/ 204/ 205
- CH-05 Lift overrun increased to 3580mm
- CH-06 Floor to floor height increased
- CH-07 Lift enclosure
- CH-08 Amended driveway gradient

[illegible]

CLIENT:  
AK Newport Pty Ltd



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Parramatta NSW 2150  
Ph 36 147 035 550  
Certified Architect:  
Paul Buljevic NSW 7768

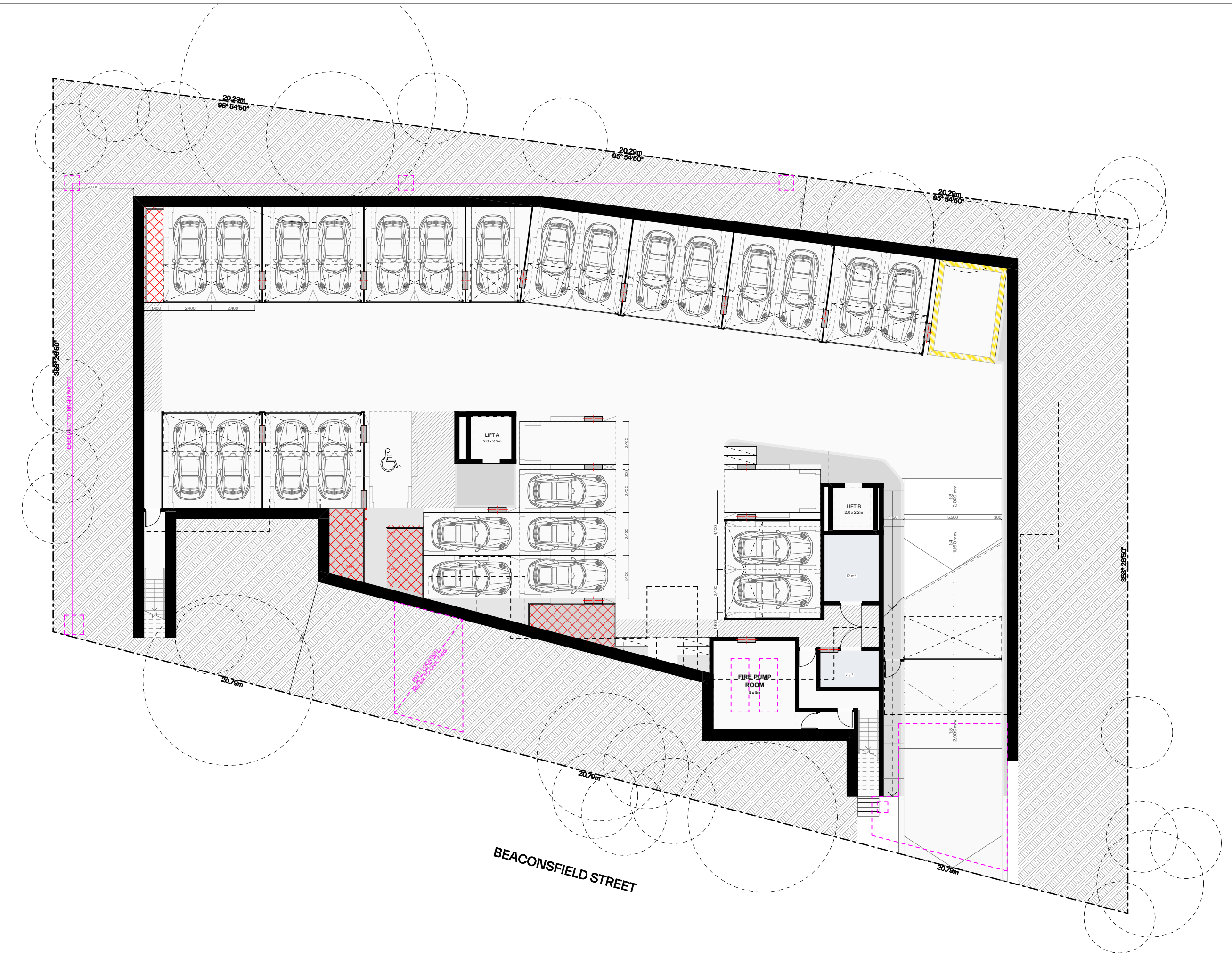
PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
4 - 58 BEACONSFIELD STREET NEWPORT NSW

RAWING TITLE:

## Cross Ventilation Diagram

DRAWING BY: S	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:100, 1:200@A1	DRAWING NO:  <b>DA530</b>	ISSUE:  <b>F</b>
PROJECT NO: 311		





1

Basement 1

1:200



2

Ground Floor Plan

1:200



3

Typical Level (First & Second Floor Plan)

1:200

#### GENERAL NOTES:

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#### LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- GC GARBAGE CHUTE
- HWV HIGHLIGHT WINDOW
- MV MECHANICAL RISER TO FUTURE DETAIL
- MB MAILBOX TO FUTURE DETAIL
- R 240L RECYCLING BIN
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNITS

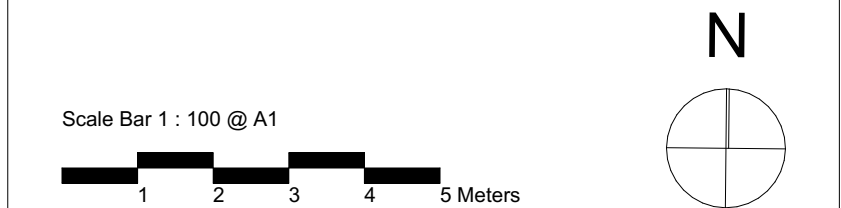
#### MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING (TO FUTURE DETAIL)
- CONC CONCRETE
- FB FACE BRICK
- GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO BCA/AUS STANDARDS)
- MB METAL BALUSTRADE
- MC METAL CLADDING
- FCE METAL FENCING (TO FUTURE SELECTION)
- PC COMPOSITE PANEL CLADDING
- PSK PRIVACY SCREEN (TO FUTURE SELECTION)
- PTX PAINT FINISH TYPEX
- RD ROLLER DOOR
- RP RIVER PEBBLES
- RW RENDERED FINISH/SELECTED PAINT FINISH
- TC TIMBER CLADDING
- VB EXTERNAL VENETIAN BLINDS

#### LIST OF MODIFICATIONS

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CLIENT:  
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Surry Hills NSW 2010

ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevac NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Storage Calculation Diagram**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: 1:200@A1	DRAWING NO: <b>DA560</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		

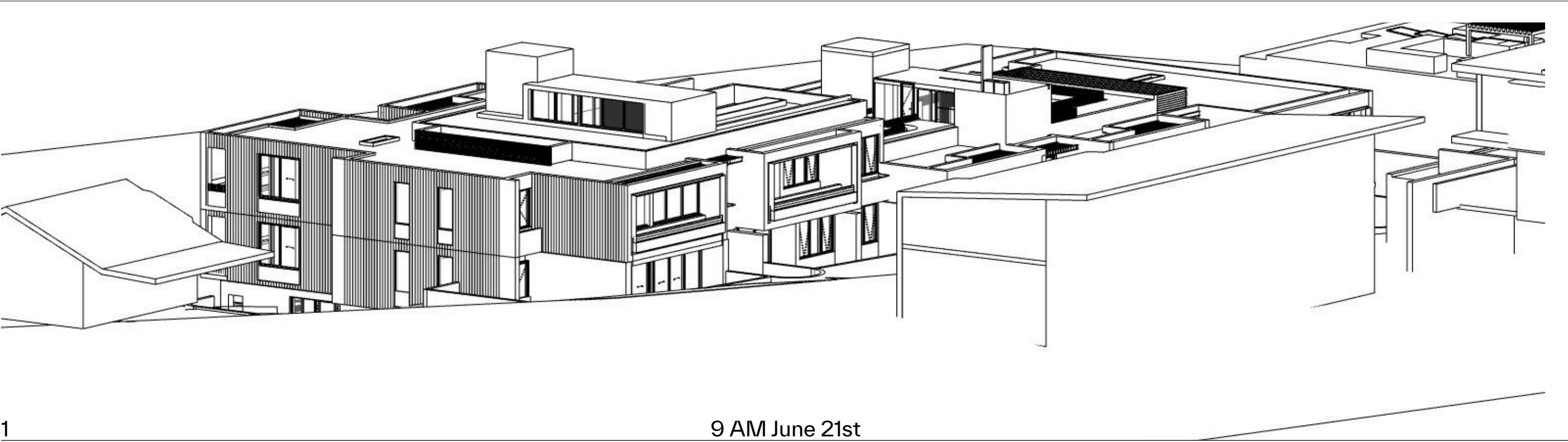
#### STORAGE - ADG REQUIREMENTS

1 BEDROOM	6m <sup>3</sup>
2 BEDROOM	8m <sup>3</sup>
3 BEDROOM	10m <sup>3</sup>

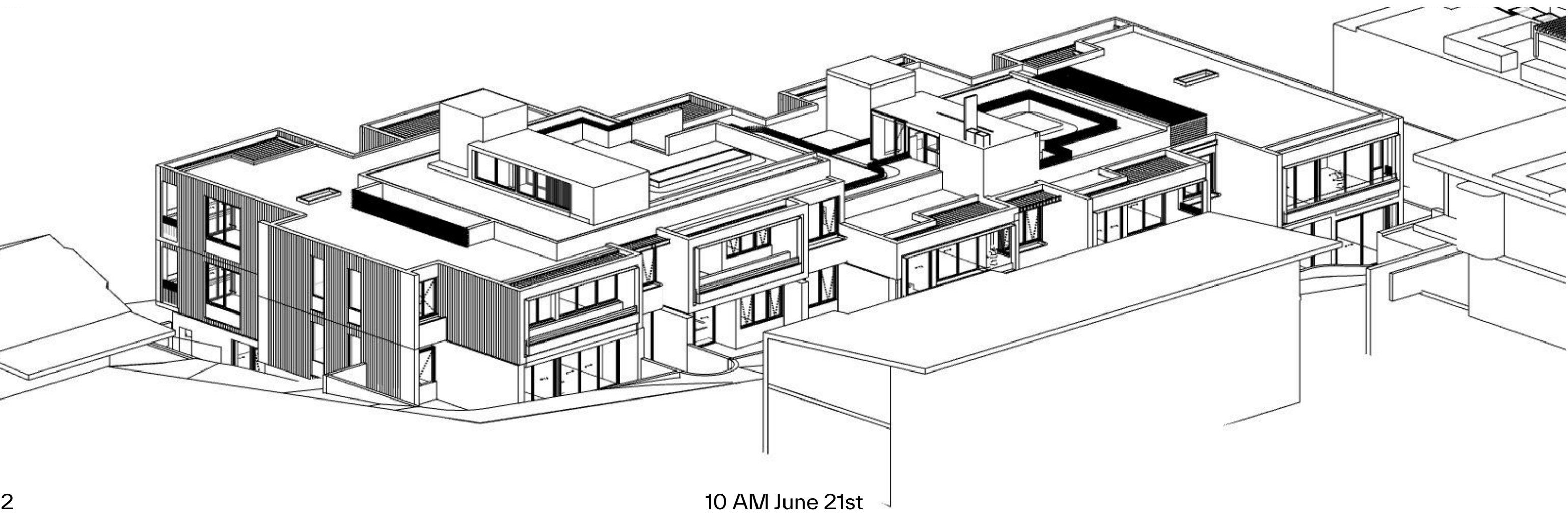
At least 50% of the required storage is to be located within the apartment

 Storage Area- Refer to DA001 for calculations





1 9 AM June 21st



2 10 AM June 21st



3 11 AM June 21st



4 12 PM June 21st

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#### LEGEND:

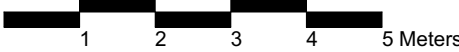
- AW AWNING
- AH ACCESS HATCH
- AC A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- GC GARBAGE CHUTE
- HW HIGHLIGHT WINDOW
- MV MECHANICAL RISER TO FUTURE DETAIL
- MB MAIL BOX TO FUTURE DETAIL
- R 240L RECYCLING BIN
- SK SKYLIGHT
- ST STORAGE
- HWU HOT WATER UNITS

#### MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING (TO FUTURE DETAIL)
- CONC CONCRETE
- FB FACE BRICK
- GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO BCA/AUS STANDARDS)
- MB METAL BALUSTRADE
- MC METAL CLADDING
- FCE METAL FENCING (TO FUTURE SELECTION)
- PC COMPOSITE PANEL CLADDING
- PSK PRIVACY SCREEN (TO FUTURE SELECTION)
- PTX PAINT FINISH TYPEX
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Scale Bar 1 : 100 @ A1



CLIENT:

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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:

**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:

**Solar Access Diagram**

DRAWING BY:

AS

SCALE:

NTS

PROJECT NO:

2311

CHECKED BY:

KL

DRAWING NO:

**DA600**

ISSUE:

**F**

DATE:

**21/01/2025**

#### SOLAR COMPLIANCE CHECK

UNIT	LIVING							TOTAL
	9AM	10AM	11AM	12PM	1PM	2PM	3PM	
G01								0
G02								0
G03	Y	Y	Y					2
101								1
102			Y	Y	Y	Y	Y	4
103			Y	Y	Y	Y	Y	4
104	Y	Y	Y	Y	Y	Y	Y	6
105	Y	Y	Y	Y	Y	Y	Y	6
201	Y	Y	Y	Y	Y	Y	Y	6
202		Y	Y	Y	Y	Y	Y	5
203		Y	Y	Y	Y	Y	Y	5
204	Y	Y	Y	Y	Y	Y	Y	6
205	Y	Y	Y	Y	Y	Y	Y	6

Solar Access

Compliant

No Solar Access

Non-Compliant

UNIT COMPLIANT

10

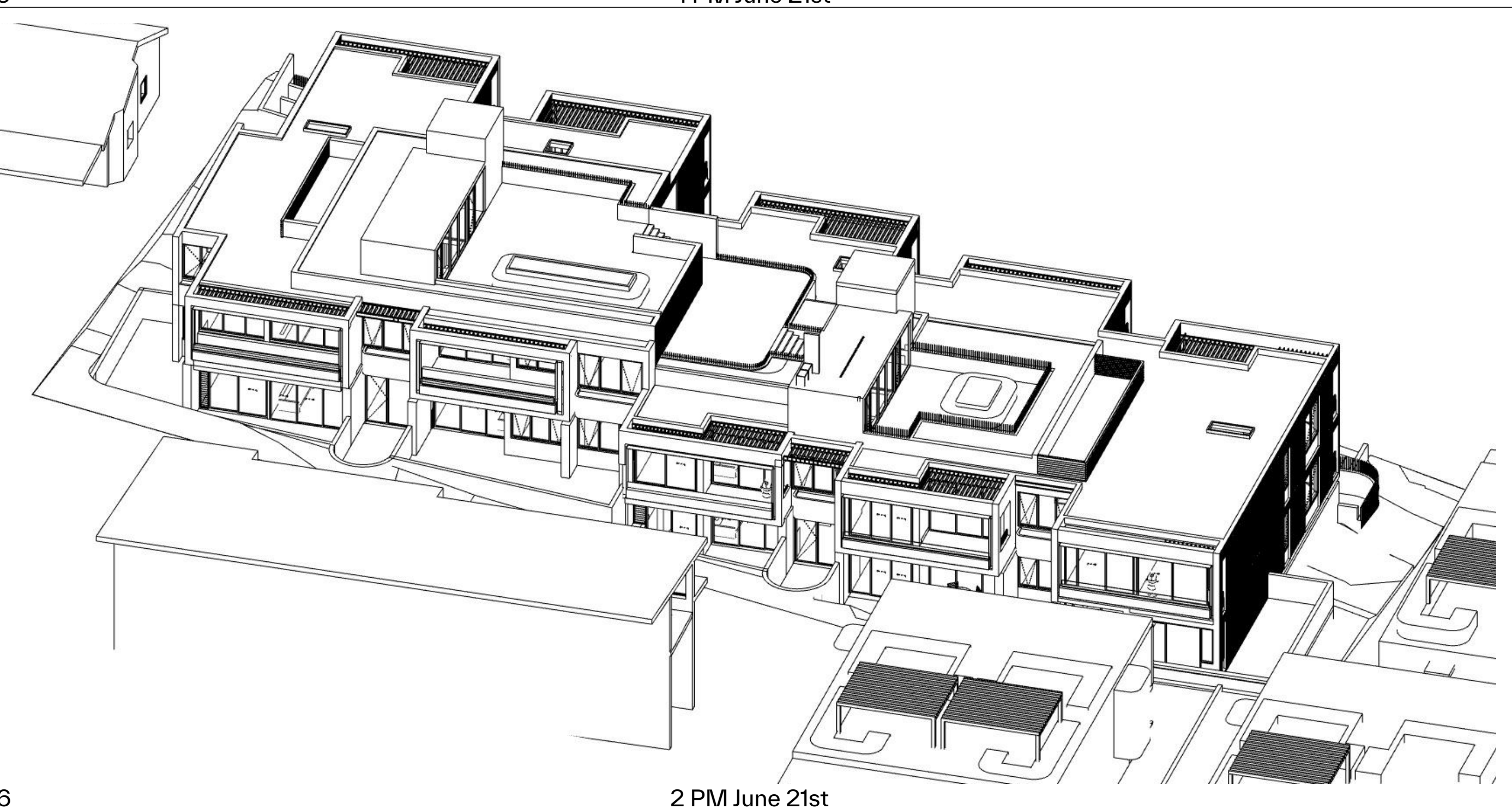
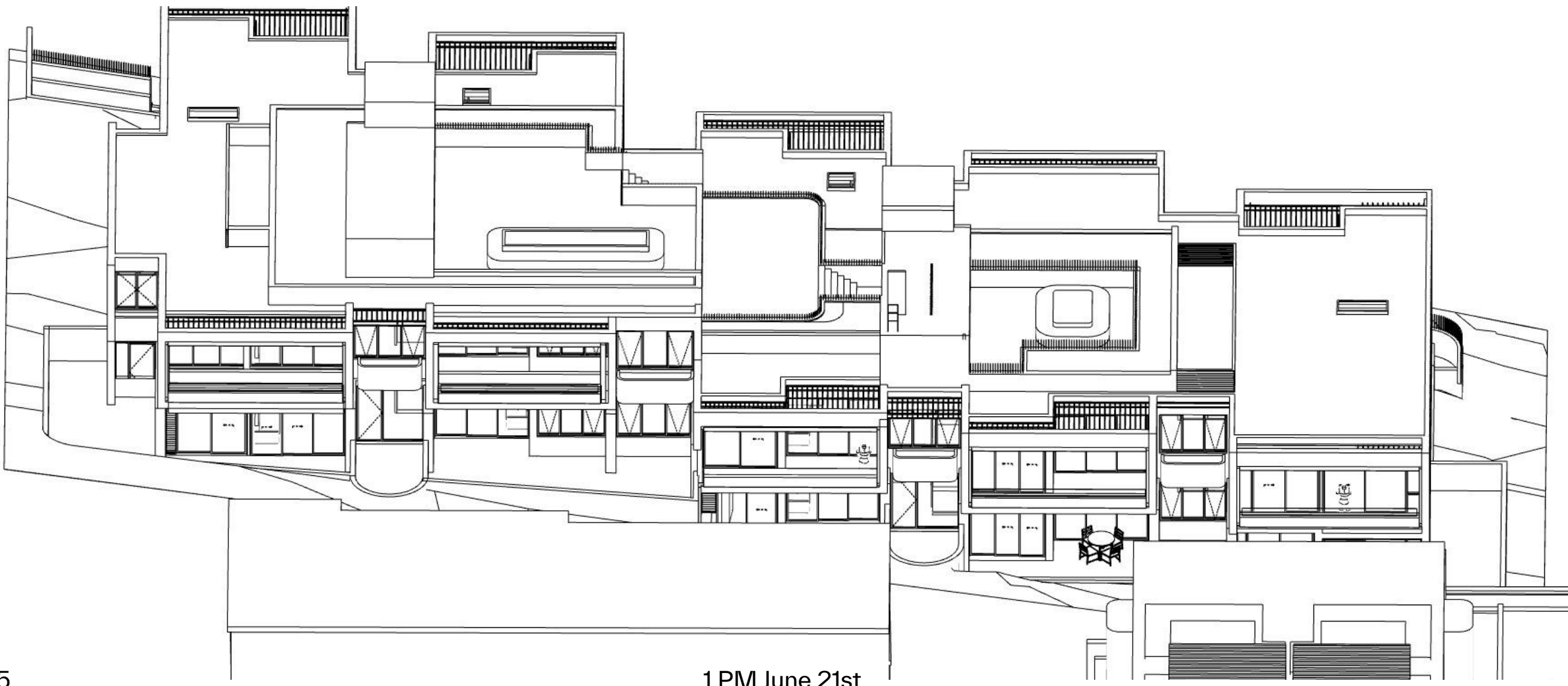
TOTAL UNIT

13

**Solar Compliance**

**76.9%**





GENERAL NOTES:

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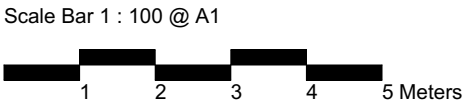
LEGEND:

AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAILBOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
ST STORAGE  
HWU HOT WATER UNITS

MATERIALS LEGEND:

AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO BCA/AUS STANDARDS)  
MB METAL BALUSTRADE  
MC METAL CLADDING  
FCE METAL FENCING (TO FUTURE SELECTION)  
PC COMPOSITE PANEL CLADDING  
PSK PRIVACY SCREEN (TO FUTURE SELECTION)  
PTX PAINT FINISH TYPE X  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW RENDERED FINISH/SELECTED PAINT FINISH  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

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Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Solar Access Diagram 2**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: NTS	DRAWING NO: <b>DA601</b>	ISSUE: <b>F</b>
PROJECT NO: 2311		

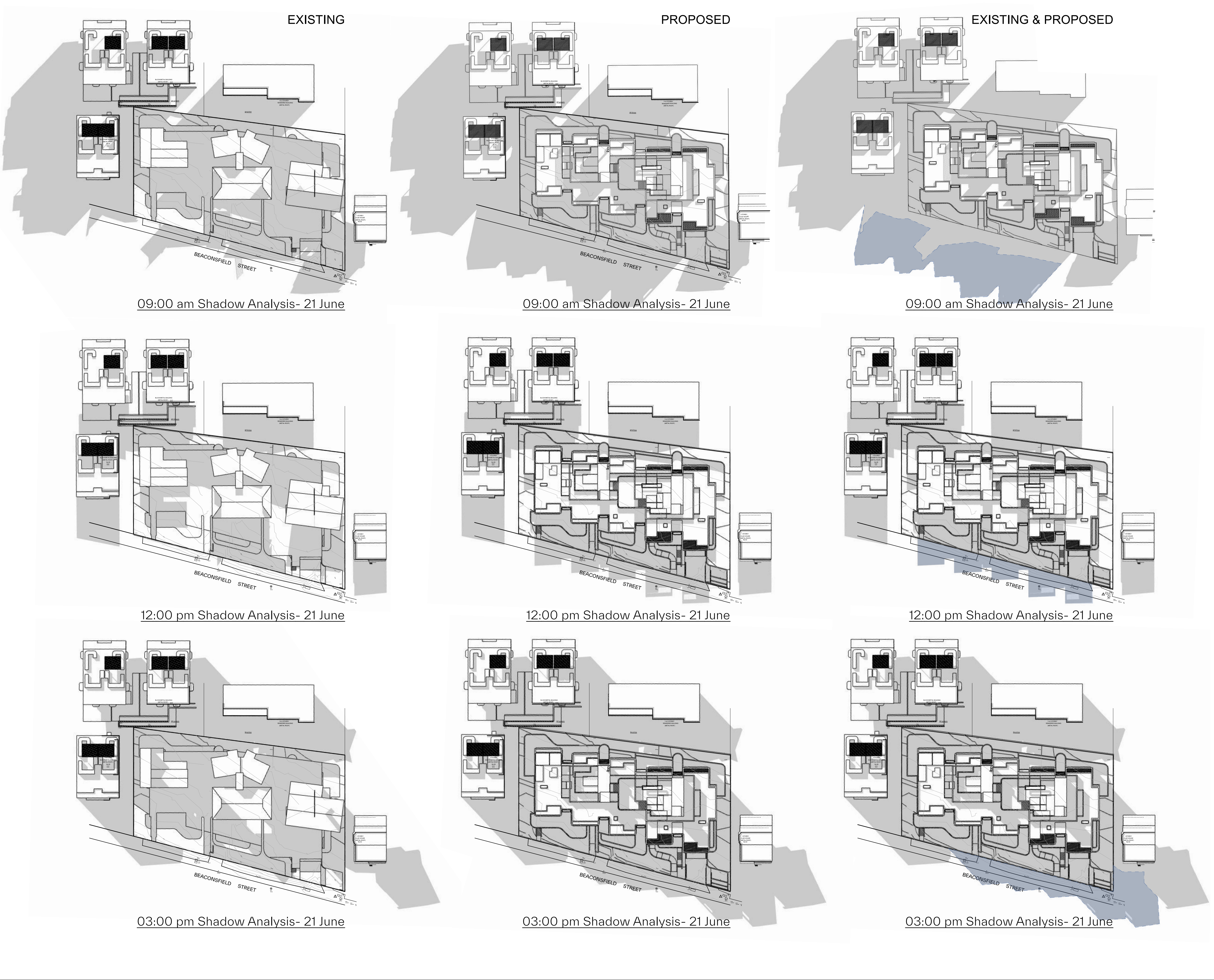
SOLAR COMPLIANCE CHECK

UNIT	LIVING							TOTAL
	9AM	10AM	11AM	12PM	1PM	2PM	3PM	
G01								0
G02								0
G03	Y	Y	Y					2
101						Y	Y	1
102			Y	Y	Y	Y	Y	4
103			Y	Y	Y	Y	Y	4
104	Y	Y	Y	Y	Y	Y	Y	6
105	Y	Y	Y	Y	Y	Y	Y	6
201	Y	Y	Y	Y	Y	Y	Y	6
202		Y	Y	Y	Y	Y	Y	5
203		Y	Y	Y	Y	Y	Y	5
204	Y	Y	Y	Y	Y	Y	Y	6
205	Y	Y	Y	Y	Y	Y	Y	6



UNIT COMPLIANT	10	
TOTAL UNIT	13	<b>Solar Compliance 76.9%</b>





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VB EXTERNAL VENETIAN BLINDS

■ ADDITIONAL OVERSHADOWING CAST BY PROPOSED DEVELOPMENT

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Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

N

CLIENT:  
JAK Newport Pty Ltd

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architects

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Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**RESIDENTIAL FLAT BUILDING - KENZA**  
54 - 58 BEACONSFIELD STREET NEWPORT NSW

DRAWING TITLE:  
**Shadow Diagram**

DRAWING BY: AS	CHECKED BY: KL	DATE: 21/01/2025
SCALE: NTS	DRAWING NO: <b>DA610</b>	ISSUE: <b>F</b>