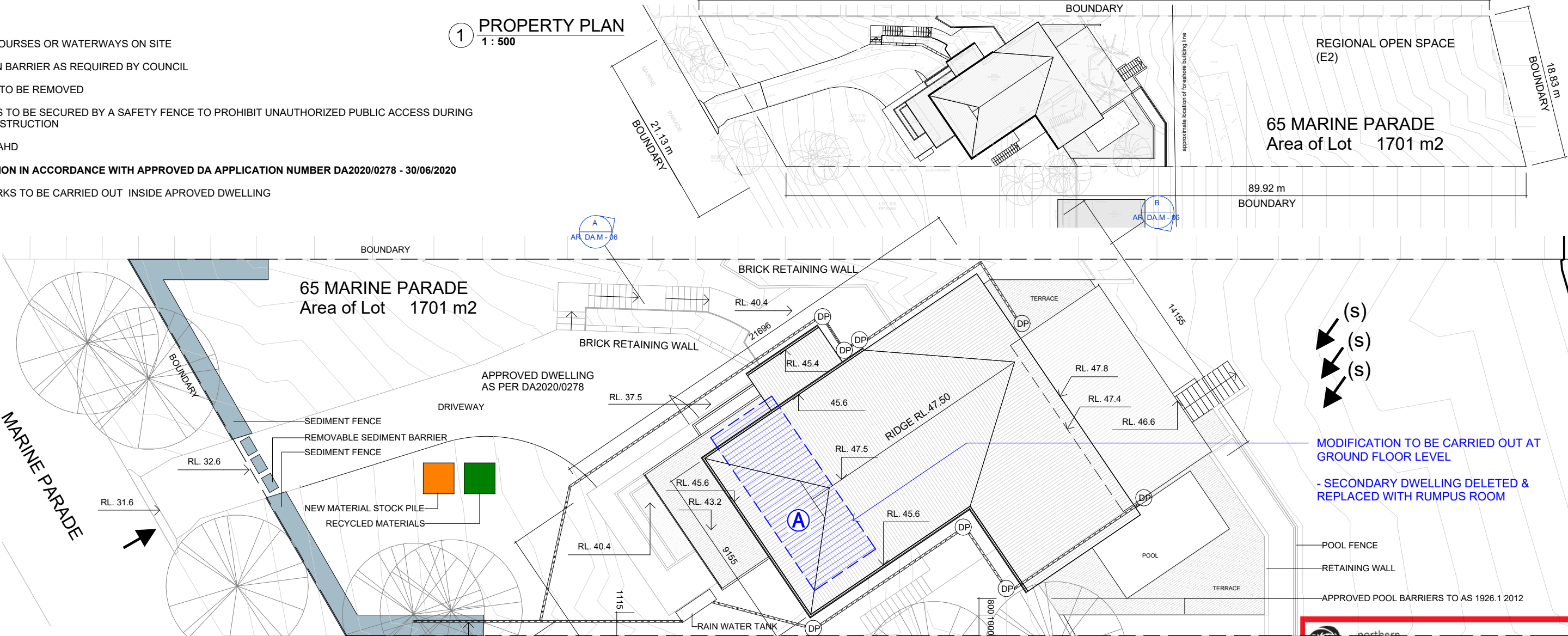


SITE NOTES

- NO KNOWN WATERCOURSES OR WATERWAYS ON SITE
- PROVIDE SILTRATION BARRIER AS REQUIRED BY COUNCIL
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORIZED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020
- ALL PROPOSED WORKS TO BE CARRIED OUT INSIDE APROVED DWELLING

1 PROPERTY PLAN
1 : 500



2 SITE ANALYSIS PLAN
1 : 200

KEY

- EXISTING VEGETATION TO REMAIN
- CAR ENTRY POINT
- BOUNDARY
- PREVAILING WINDS (summer)
- PREVAILING WINDS (winter)
- WINDOW TO LIVING SPACE IN ADJACENT DWELLING
- EXISTING CONTOURS SLOPE OF LAND 500mm INCREMENT

- SEDIMENT FENCE
- RECYCLED MATERIALS
- NEW MATERIAL STOCK PILE
- ADJACENT DWELLINGS

APPROVED DWELLING SHOWN IN BLACK LINEWORK

A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

1.1. Requirements

- Applicants must demonstrate project management that seeks to:
- Incorporate the waste hierarchy principle of avoidance, resource recovery and disposal.
 - Minimise the waste sent for disposal.
 - Minimise the impact and disturbance on surrounding amenity, public safety, roadways and natural and built environment.
 - Adhere to any relevant legislation not limited to hazardous waste, storage and transportation regulations.
 - Send waste materials to a suitably licensed facility.
 - Identify suitable locations on the site for sorting and storing of materials for re-use, recycling and disposal. Factors to consider include slopes, drainage and personnel and vehicular access.
 - Maintain valid tipping dockets and receipts on site for inspection.

NORTHERN BEACHES COUNCIL Waste Management Guidelines
Effective Date: 25 October 2016
Page 2 of 4

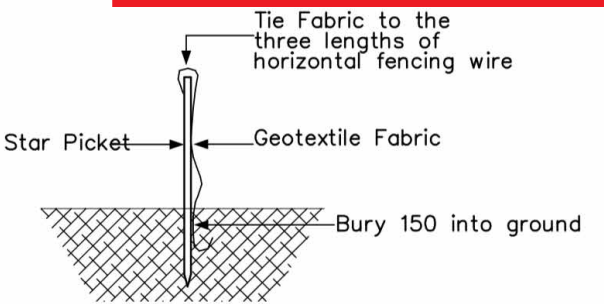
1.2. Re-use and recycling opportunities

The table below provides guidance on re-use and recycling opportunities:

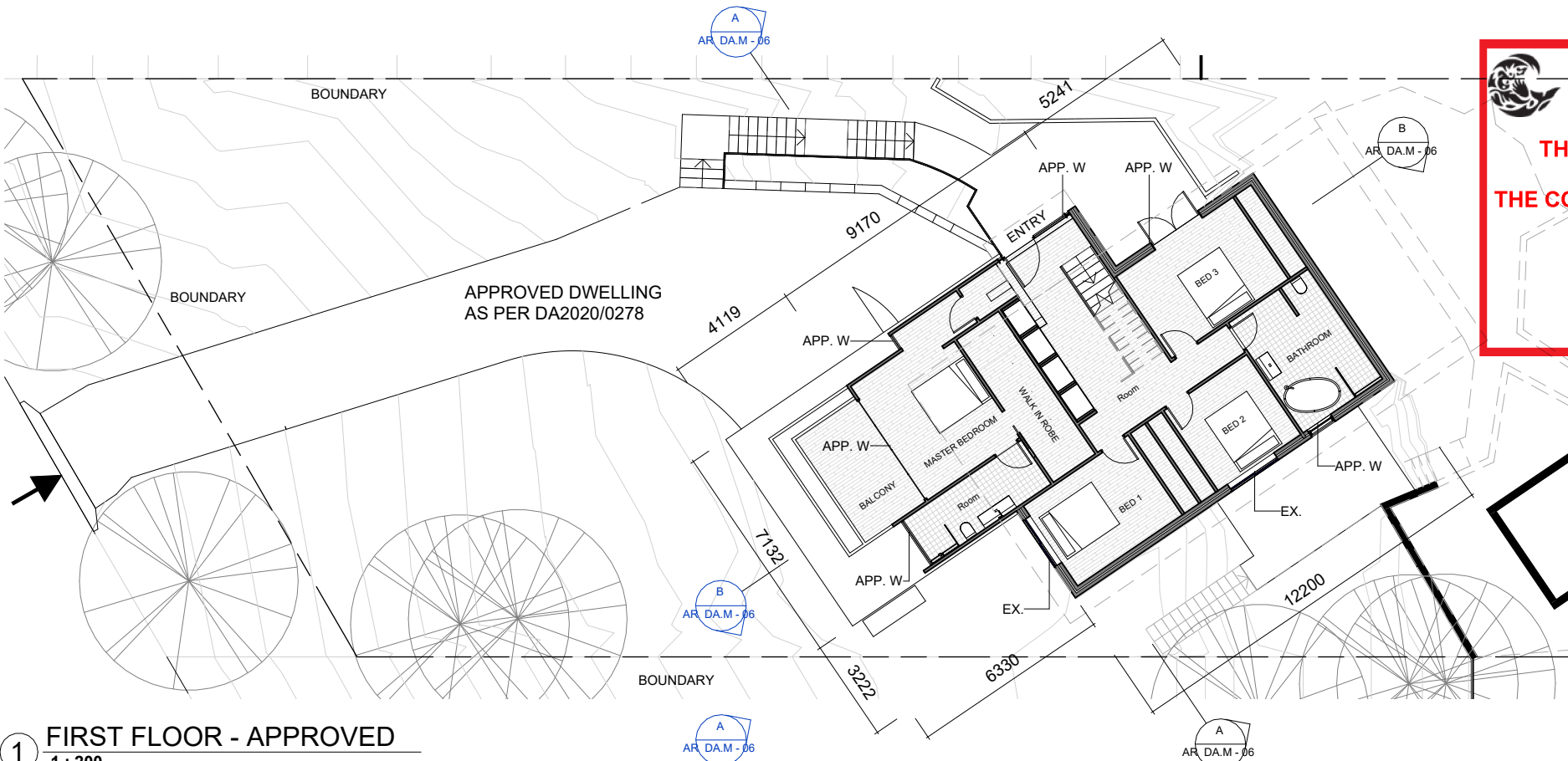
Material	Re-use and recycling opportunities
Excavated materials	Re-use for filling or levelling
Concrete	Re-use for filling, levelling or road base
Bricks / Pavers	Re-use or crush for landscaping and driveways
Roof Tiles	Re-use or crush for landscaping and driveways
Untreated Timber	Re-use as floorboards, fencing, furniture, mulch or send to second -hand timber suppliers
Treated Timber	Re-use as formwork, bridging, blocking and propping and send to second -hand timber suppliers
Doors / Windows / Fittings	Send to second -hand suppliers, or recycle
Metals	Re-use or recycle
Green Waste	Mulch or compost
Plasterboard	Re-use for landscaping, recycle or return to supplier
Carpet	Recycle or re-use in landscaping
Plastics / Rubber	Re-use or recycle

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

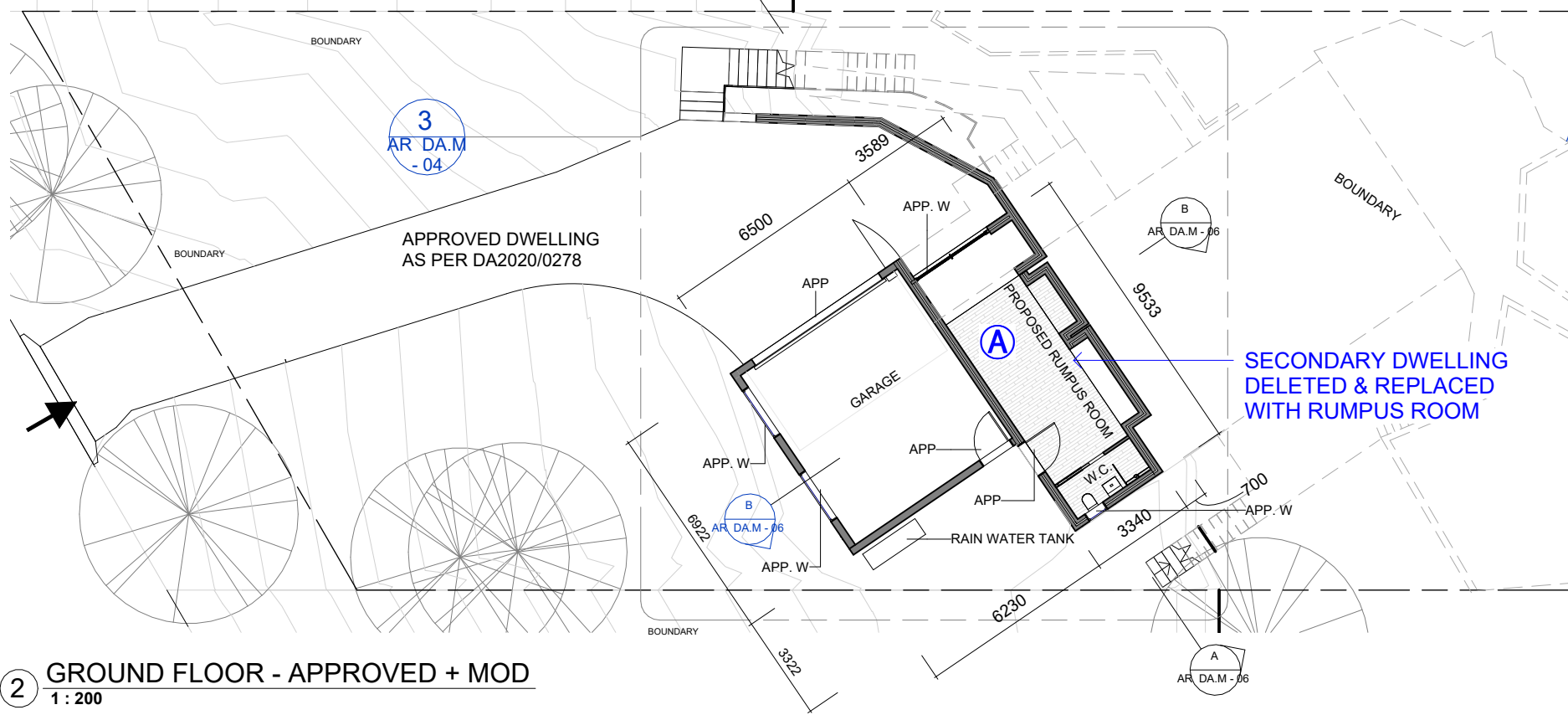
MOD2024/0455



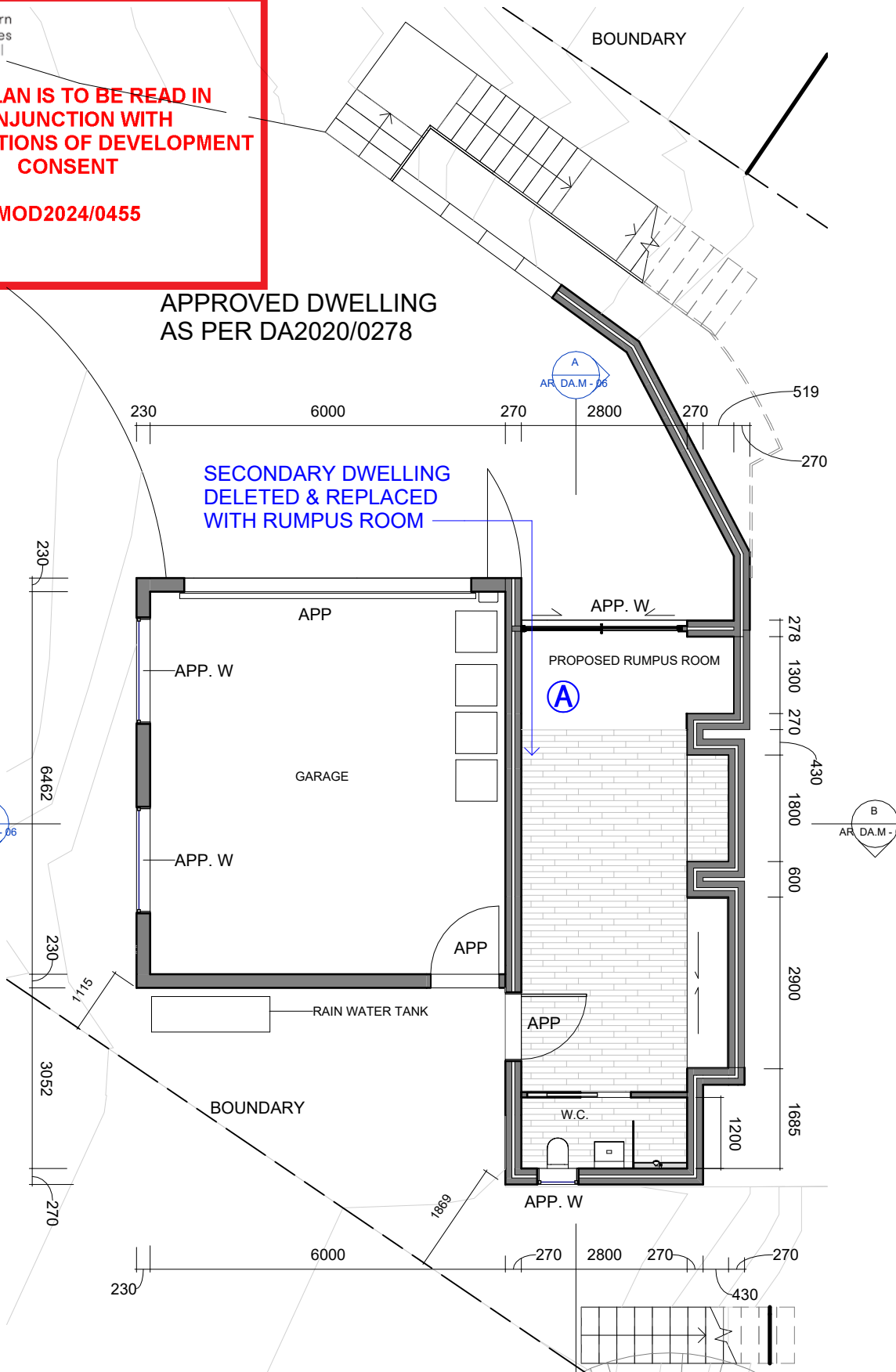
SEDIMENTATION CONTROL FENCE
Scale 1: 10



1 FIRST FLOOR - APPROVED
1 : 200




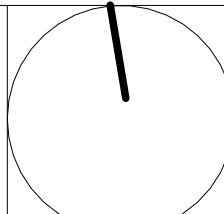
2 GROUND FLOOR - APPROVED + MOD
1 : 200

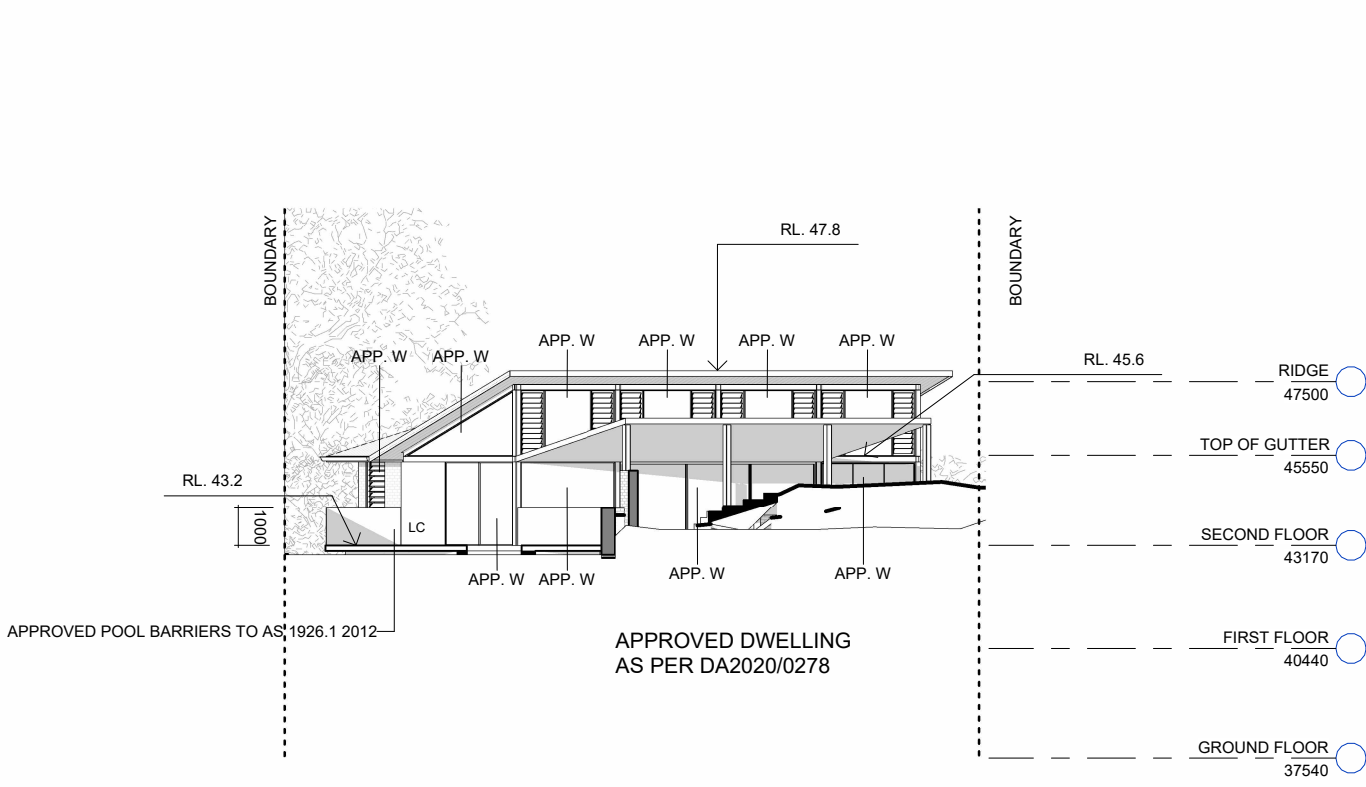


3 GROUND FLOOR - PROPOSED
1 : 100

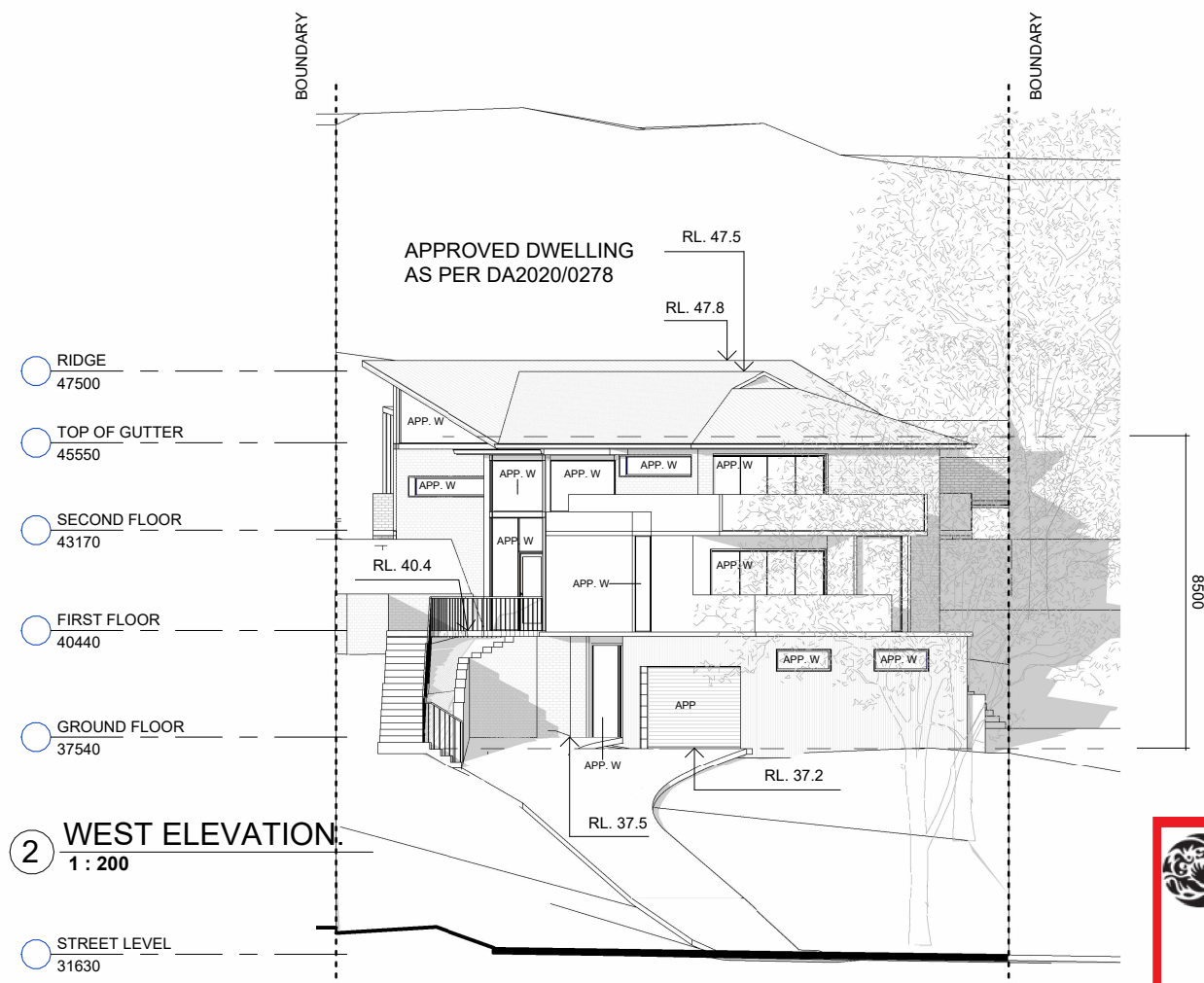
SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED
DA APPLICATION NUMBER DA2020/0278 - 30/06/2020

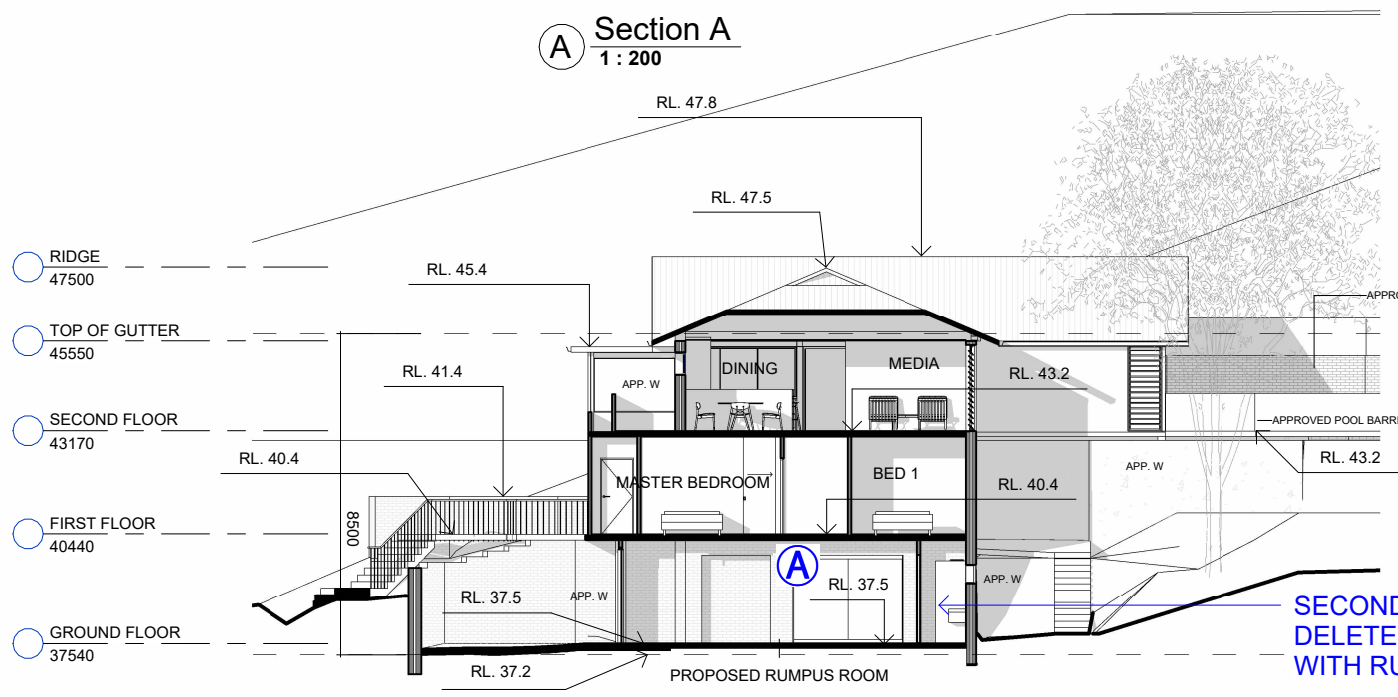
 www.arclab.com.au	ARCLAB PTY LTD A.C.N. 143472762 PO Box 1239 Newport Beach NSW 2106 Australia Telephone +61 416 886 537 email: arclab@arclab.com.au www.arclab.com.au	Client HALL RESIDENCE Project Address 65 MARINE PARADE, AVALON	Sheet Number AR DA.M - 04 Sheet Title FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED	© COPYRIGHT All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction. The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.	ISSUE/REVISION			Job N°. 0167 HALL Scale As indicated	DOC. MOD. S4.55(1A) Sheet A 3	REV. B	
					N.º	Date	Note				
					A	02.08.24	COUNCIL SUBMISSION				
					B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS				



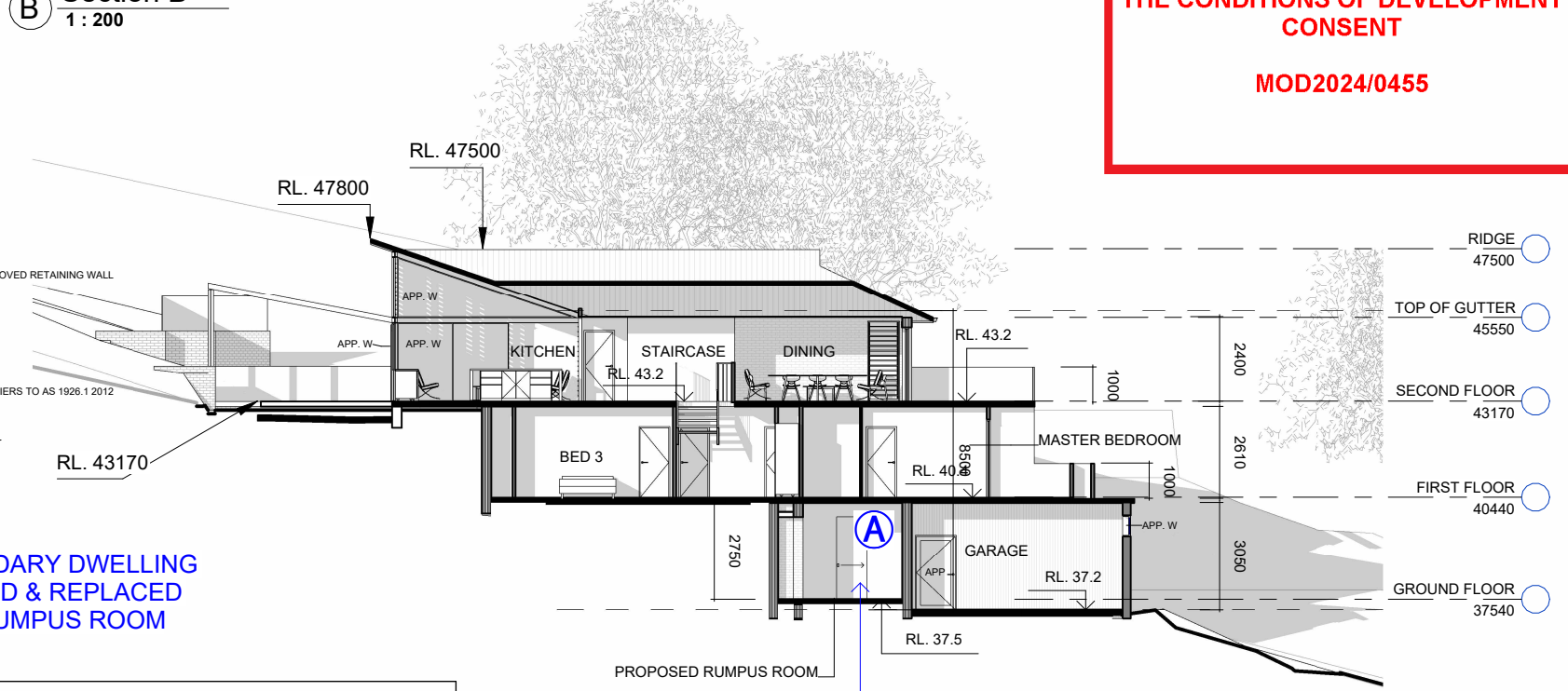
1 EAST ELEVATION.
1 : 200



2 WEST ELEVATION.
1 : 200



A Section A
1 : 200



B Section B
1 : 200


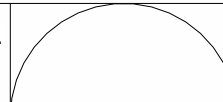
 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2024/0455

A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

**-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED
DA APPLICATION NUMBER DA2020/0278 - 30/06/2020**

 www.arclab.com.au	ARCLAB PTY LTD A.C.N. 143472762 PO Box 1239 Newport Beach NSW 2106 Australia Telephone +61 416 886 537 email:arc@arclab.com.au www.arclab.com.au	Client	Sheet Number	© COPYRIGHT All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction. The drawing is copyright and may not be used without written consent from ARCLAB PTY LTD.	ISSUE/REVISION			Job N°.	DOC.	REV. B	
		HALL RESIDENCE	AR DA.M - 06		N.º	Date	Note	0167 HALL	MOD. S4.55(1A)		
		Project Address	Sheet Title		A	02.08.24	COUNCIL SUBMISSION	Scale	Sheet		
		65 MARINE PARADE, AVALON	EAST & WEST ELEVATION-APPROVED SECTIONS A&B MODIFIED		B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS	As indicated	A 3		