

DRAWING SCHEDULE

000	COVER SHEET
001	3D IMAGES (Finishes)
002	3D IMAGES (Finishes)
003	LOCATION PLAN
100	OVERALL SITE PLAN
101	MASTER PLAN
102	GROUND FLOOR PLAN
103	FIRST FLOOR PLAN
104	ROOF PLAN
200	SOUTH AND EAST ELEVATIONS
201	NORTH, WEST, SOUTH-WEST ELEVATIONS
202	SITE ELEVATIONS
300	SECTIONS 1,2,3
400	GFA/DIAGRAM



EASTERN ENTRY

WARRINGAH GOLF AND COMMUNITY CLUB
PROPOSED NEW CLUBHOUSE

LEGEND:

13.	DA - AMENDMENT 4	26.09.2023
12.	DA - AMENDMENT 3	25.08.2023
11.	DA - AMENDMENT 2	29.01.2023
10.	DA - AMENDMENT 1	24.01.2023
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2.	PRELIMINARY	JAN 2022
1.	PRELIMINARY	DEC 2021
Issue	Amendment	Date

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WARRINGAH GOLF AND
COMMUNITY CLUB

address
292 CONDRAMINE RD
NORTH MANLY

drawing
TITLE PAGE

SCALE: NTS
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-000



METAL ROOFING



VERTICAL PANEL CLADDING



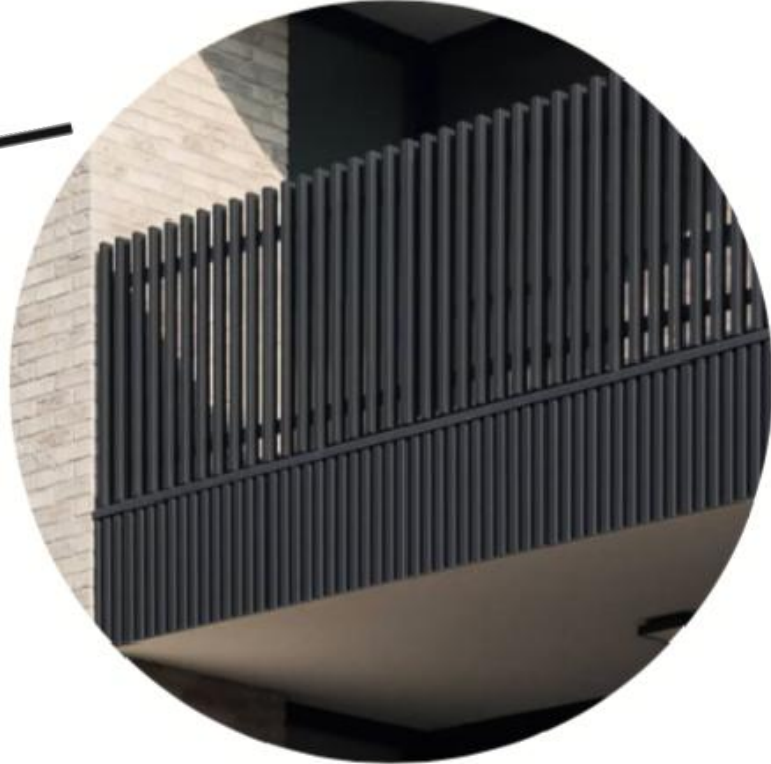
BLACK FRAMED WINDOWS



OFF FORM CONCRETE



FACEBRICK



BLACK STEEL HANDRAIL

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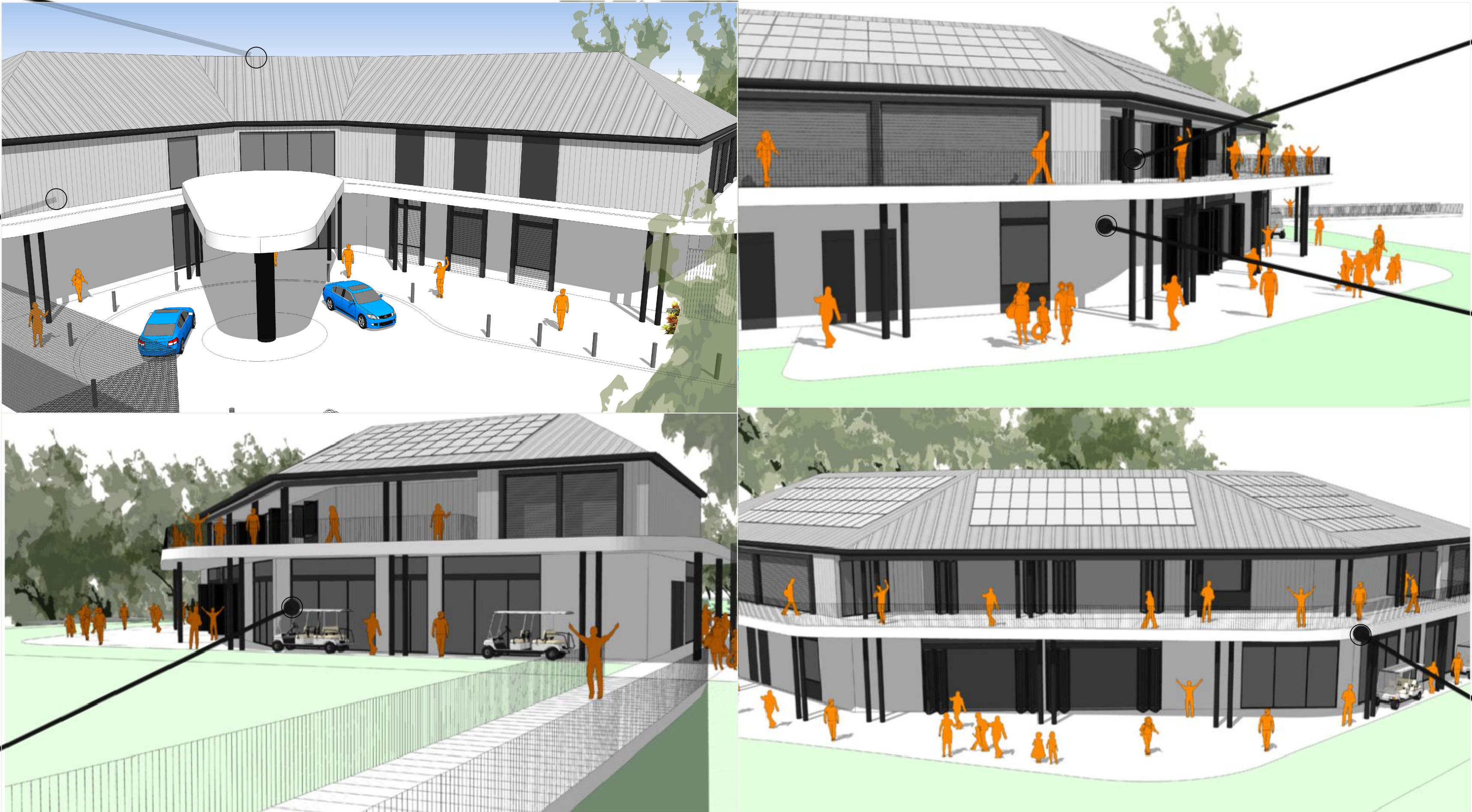
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VERTICAL PANEL CLADDING



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BLACK STEEL HANDRAIL



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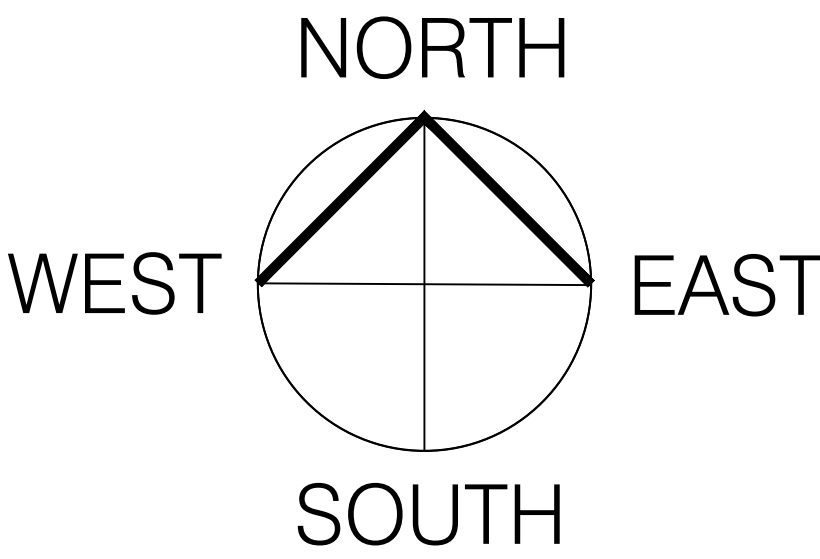
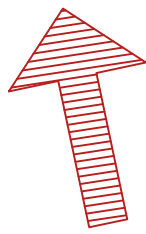
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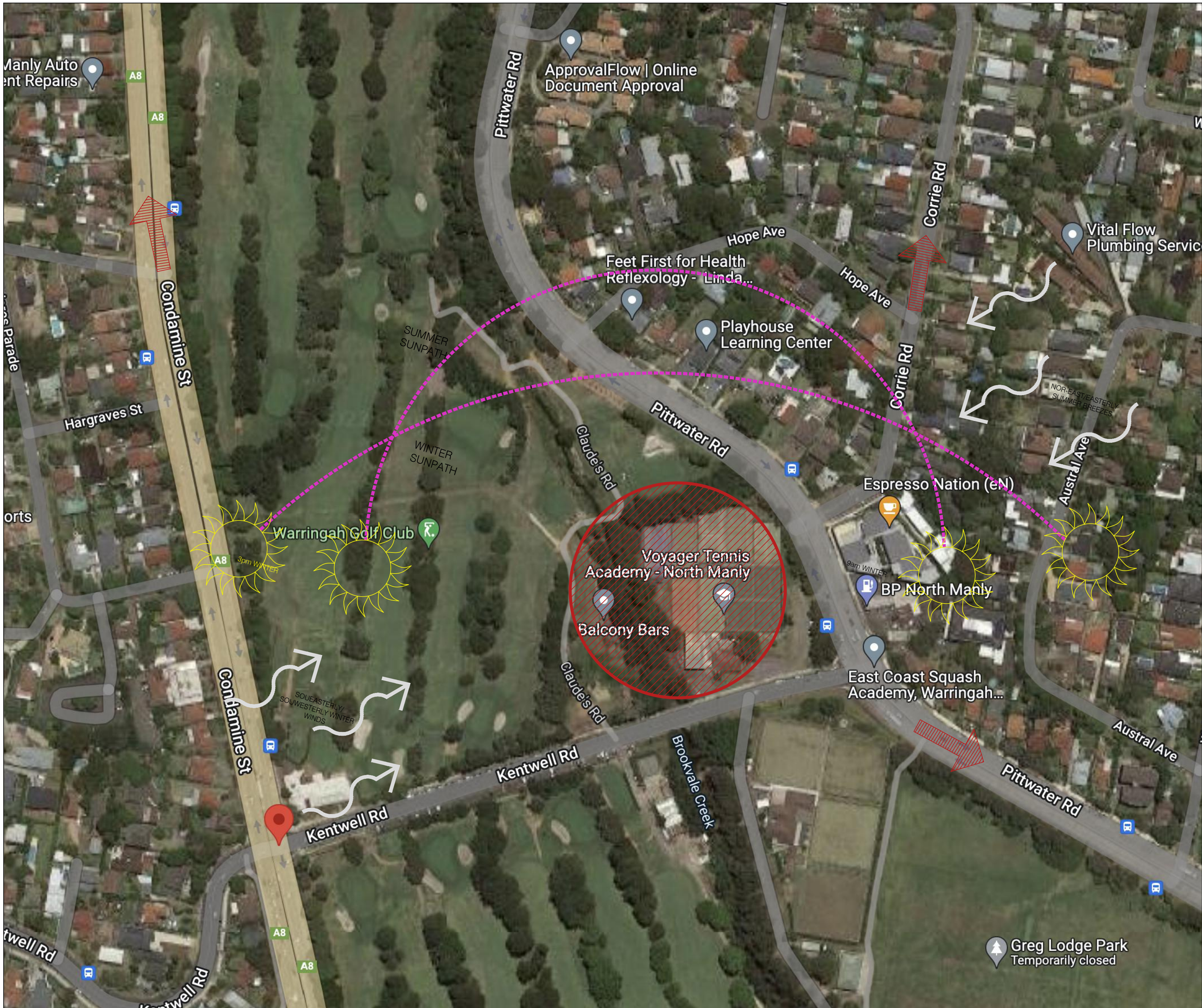
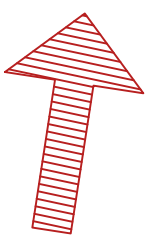
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DWG No.: GA2020-023-002

DA ISSUE

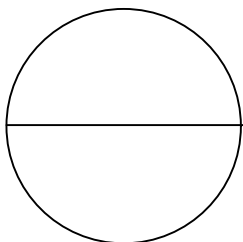
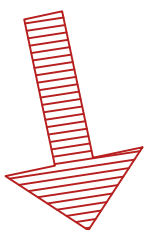
500M TO
WARRINGAH MALL



2KM TO
DEE WHY

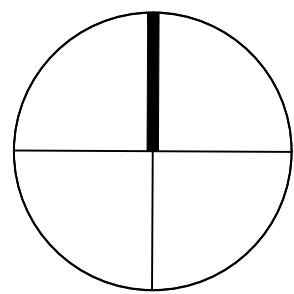


MOSMAN 4KM

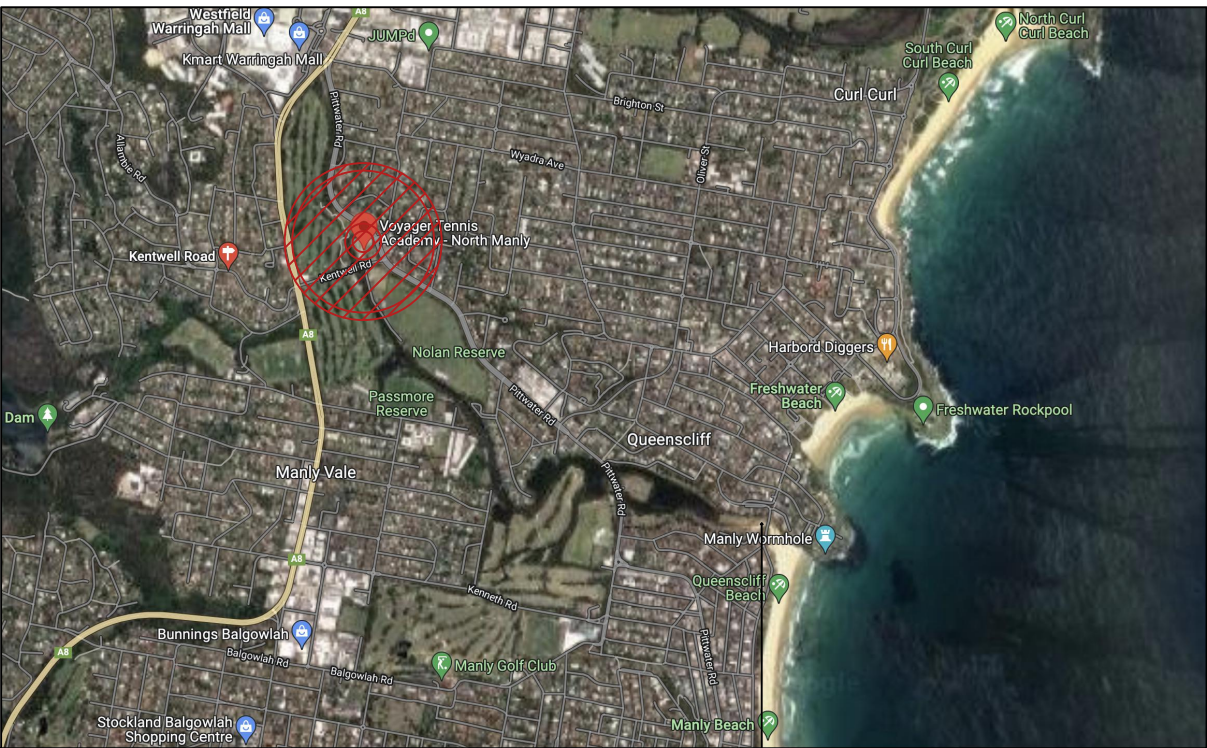


LOCATION PLAN
N.T.S.

NOT FOR CONSTRUCTION



LEGEND:



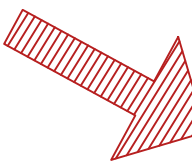
MANLY



SITE VIEWED FROM PITTWATER ROAD



SITE VIEWED FROM KENTWELL ROAD



3KM TO MANLY

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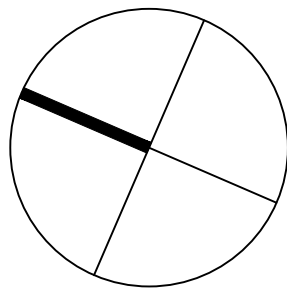
GROUP ARCHITECTS
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WARRINGAH GOLF AND
COMMUNITY CLUB

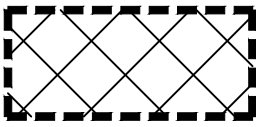
address
292 CONDAMINE RD
NORTH MANLY

drawing
LOCATION PLAN

SCALE: NTS
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-003



LEGEND:



DEMOLITION



TREES TO BE REMOVED



BOUNDARY

ALL DEMOLITION TO BE IN ACCORDANCE WITH AS2601 - THE DEMOLITION OF STRUCTURES AND ANY OTHER RELEVANT STANDARDS AND CODES OF PRACTICE

TREE REMOVAL AS PER THE ARBORIST REPORT MUST BE UNDERTAKEN BY SUITABLY EXPERIENCED & QUALIFIED TREE WORKERS AS PER THE PROVISIONS WITHIN THE 'CODE OF PRACTICE: AMENITY TREE INDUSTRY, 1998 - SAFework NSW.

ALL DEMOLITION WORK AND TREE REMOVAL TO BE UNDERTAKEN BY NORTHERN BEACHES COUNCIL

DEMOLISH ALL SPORTING COURTS, SQUASH COURTS AND EXISTING OFFICE/CLUBHOUSE

REMOVE EXISTING TREES IN ACCORDANCE WITH THE ARBORICULTURAL CONSTRUCTION IMPACT STATEMENT BY ABNOBA ARBOR ABORCULTURAL SERVICES AND - REFER TO *EXISTING TREE MANAGEMENT PLAN* BY SERENESCAPES

REMOVE EXISTING TREES IN ACCORDANCE WITH THE ARBORICULTURAL CONSTRUCTION IMPACT STATEMENT BY ABNOBA ARBOR ABORCULTURAL SERVICES AND - REFER TO *EXISTING TREE MANAGEMENT PLAN* BY SERENESCAPES

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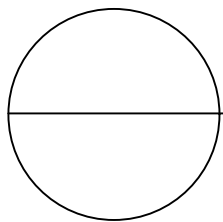
GROUP ARCHITECTS
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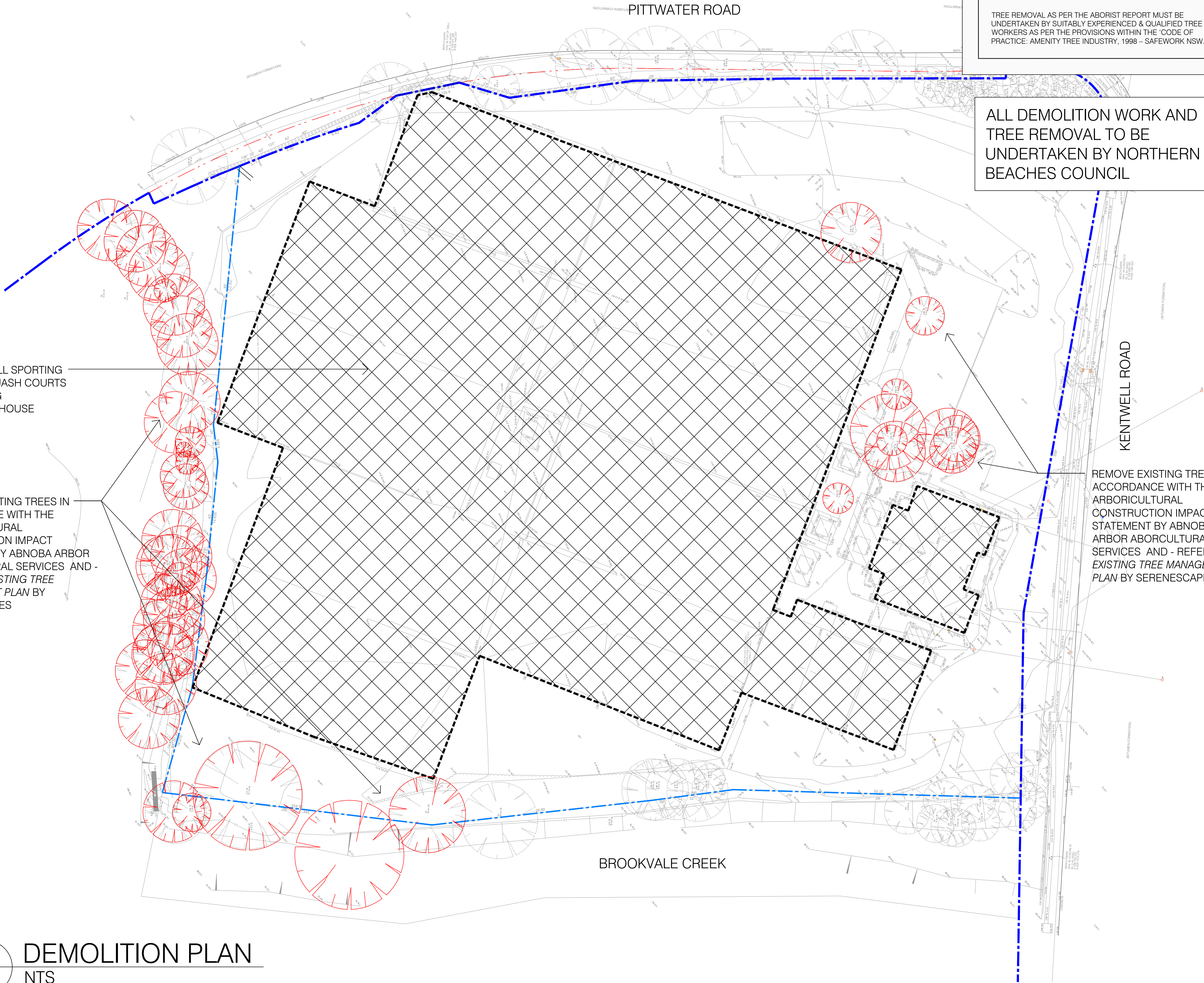
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292 CONDOMINE RD
NORTH MANLY

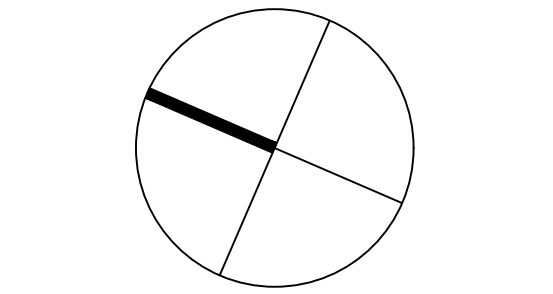
drawing
DEMOLITION PLAN

SCALE: 1:500 @ A1
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-D01



DEMOLITION PLAN
NTS





LEGEND:

--- BOUNDARY

--- NBC COUNCIL DESIGNATED WGC SITE

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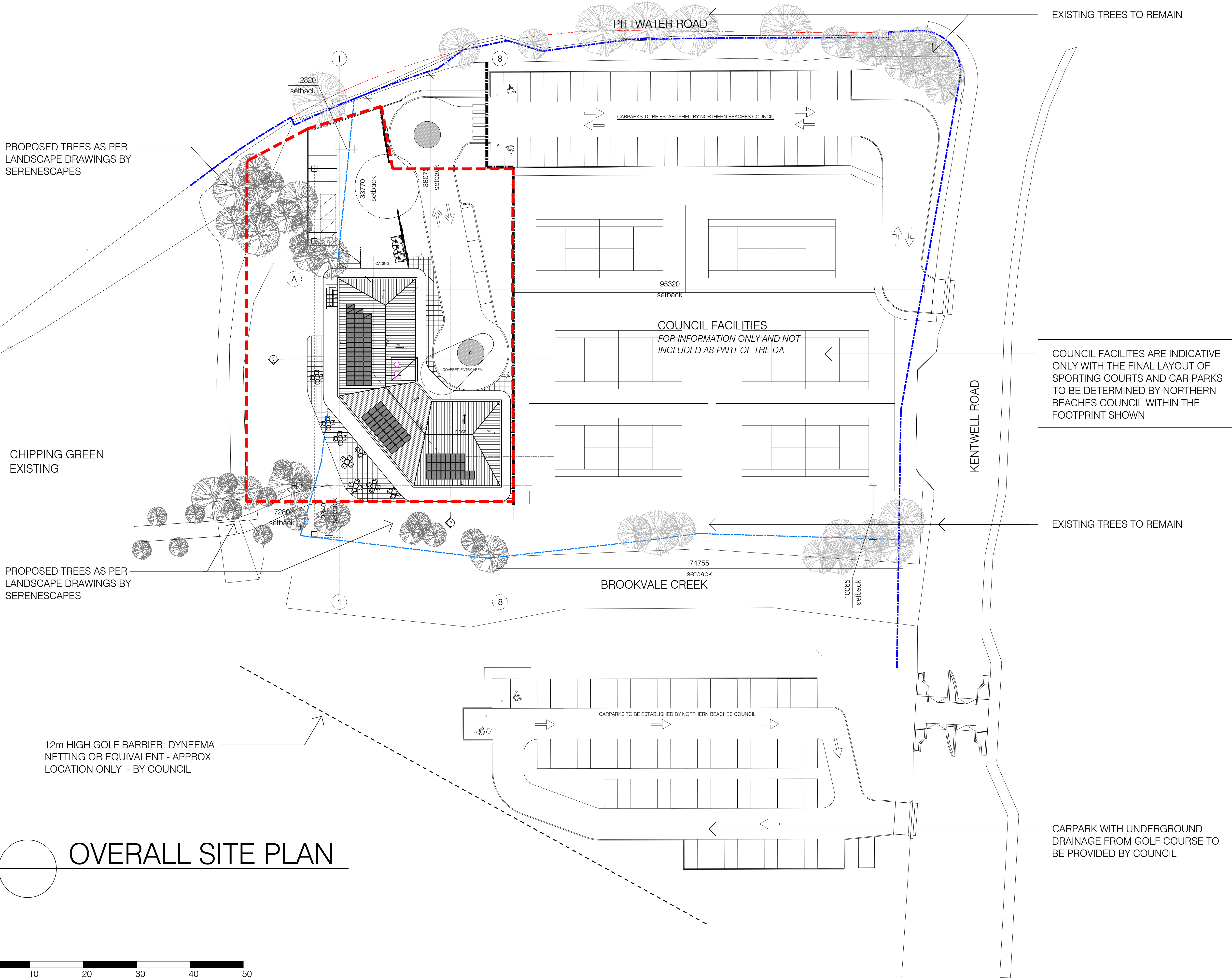
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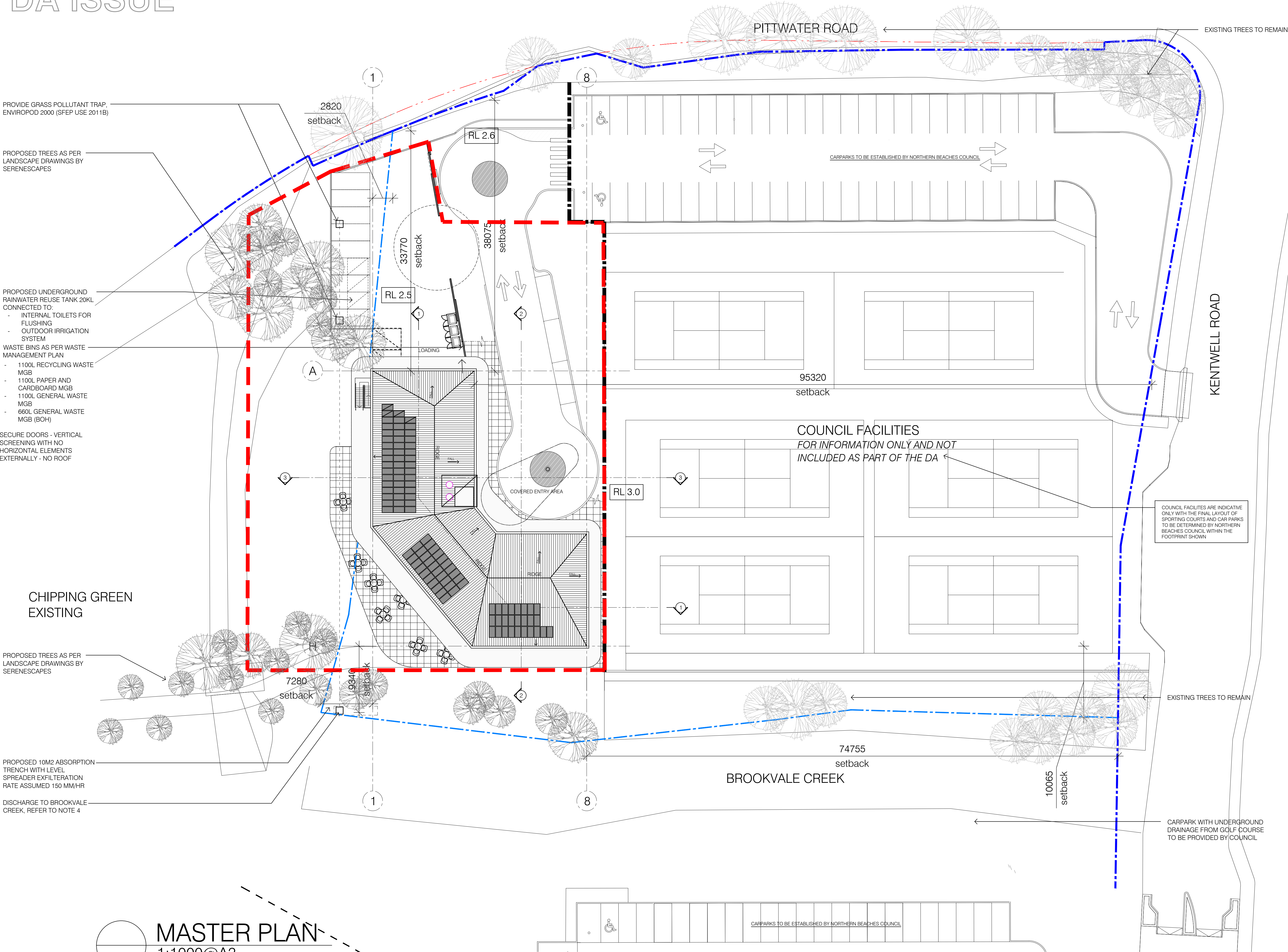
WARRINGAH GOLF AND COMMUNITY CLUB

address
292 CONDOMINE RD
NORTH MANLY

drawing
OVERALL SITE PLAN

SCALE: NTS
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-100





LEGEND:

--- BOUNDARY

NBC
COUNCIL
DESIGNATED
WGC SITE

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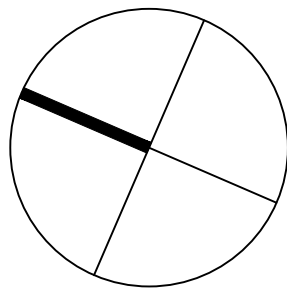
address
292 CONDOMINE RD
NORTH MANLY

drawing
MASTER PLAN

SCALE: 1:500 @ A1
ISSUE: 13. DATE: 26.09.2023

DWG No.: GA2020-023-101

MASTER PLAN
1:1000@A3



LEGEND:

--- BOUNDARY

TENNIS AND FUTSAL COURTS

KENTWELL ROAD

EXISTING CLUBHOUSE

EXISTING SQUASH COURTS

BROOKVALE CREEK

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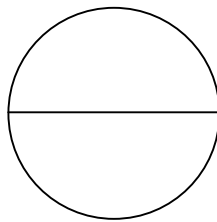
address
292 CONDOMINE RD
NORTH MANLY

drawing
SITE PLAN
LANDSCAPE/BOUNDARY SET OUT

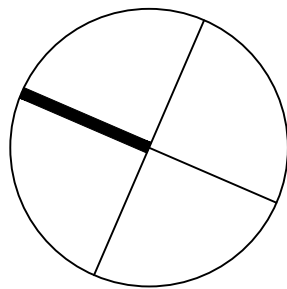
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EXISTING SITE PLAN
NTS



LEGEND:

- BOUNDARY
- NBC COUNCIL DESIGNATED WGC SITE



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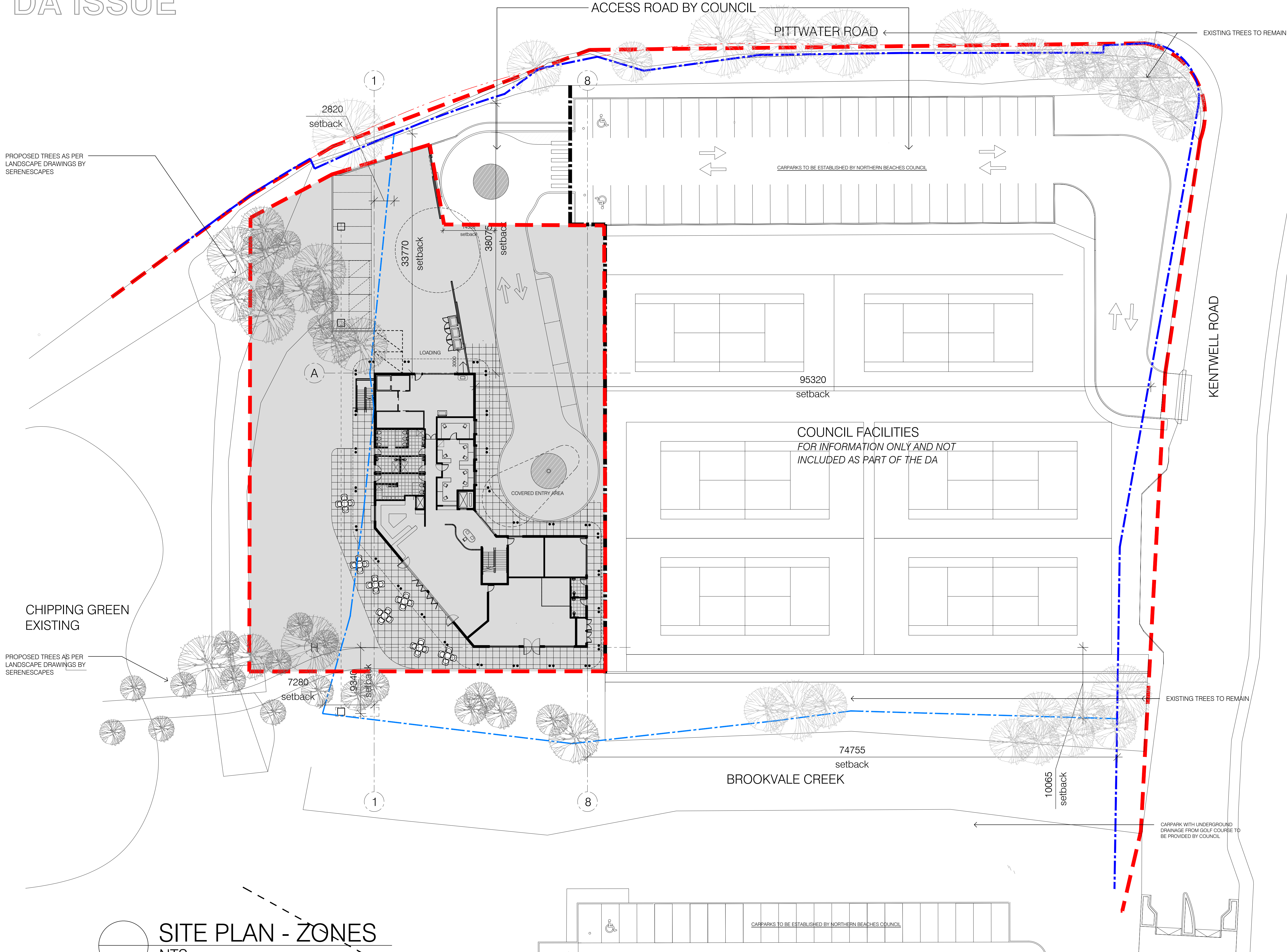
address
292 CONDOMINE RD
NORTH MANLY

drawing
SITE PLAN
LANDSCAPE/BOUNDARY SET OUT

SCALE: 1:500 @ A1

ISSUE: 13. DATE: 26.09.2023

DWG No.: GA2020-023-101b



LEGEND:

WGC DESIGNATED RESPONSIBILITY ZONE

NBC MASTERPLAN OUTLINE

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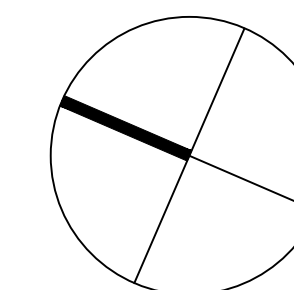
address
292 CONDOMINE RD
NORTH MANLY

drawing
SITE PLAN - ZONES
LANDSCAPE/BOUNDARY SET OUT

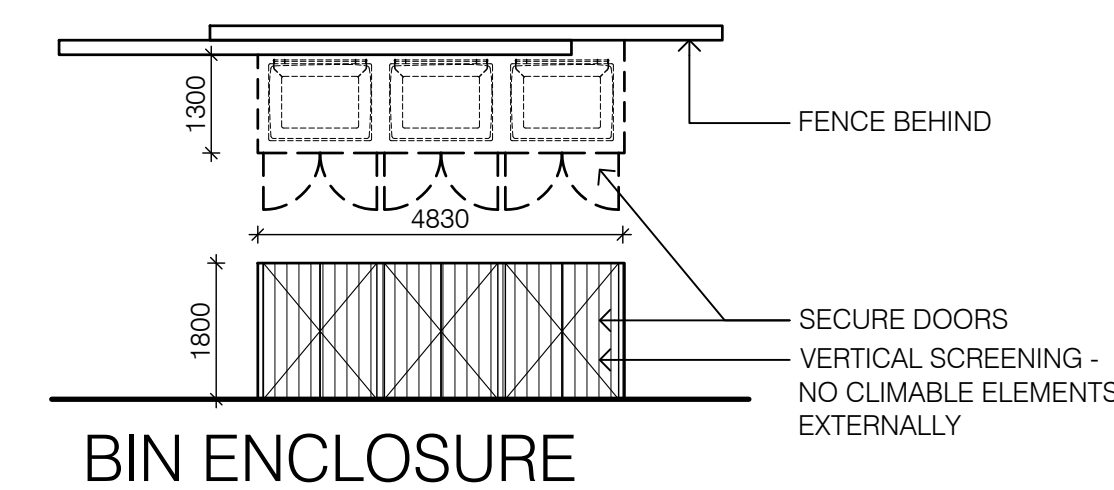
SCALE: 1:500 @ A1
ISSUE: 13. DATE: 26.09.2023

DWG No.: GA2020-023-101c

SITE PLAN - ZONES
NTS



LEGEND



— FENCING TO BE FINISHED WITH ANTI-GRAFFITI PAINT/SEALER

— BY COUNCIL
PEDESTRIAN SAFETY BOLLARDS
TO AUSTRALIAN STANDARDS

— BY COUNCIL
PEDESTRIAN 'SHARED ZONE'.
DIMENSIONS, SIGNAGE AND ACCESS
DETAILS SUBJECT TO TRAFFIC
ENGINEERS SPECIFICATIONS

— PASSENGER LIFT - STRETCHER

— EGRESS STAIR COMPLIANT AS 1428.1
min 1500mm Cl FAB

— COVERED WALKWAY

— EXTERNAL FACEBRICK WITH
ANTI-GRAFFITI SEALER

— RECESSED MAIN DISTRIBUTION BOARD.
— ACCESSED EXTERNALLY.

13.	DA - AMENDMENT 4	26.09.2020
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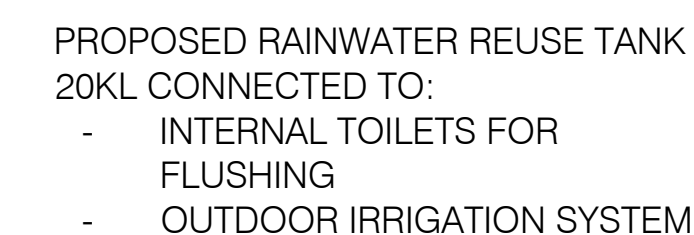
drawing

GROUND FLOOR PLAN

SCALE: 1:200 @ A3

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DWG No.: GA2020-023-102



WASTE BINS AS PER WASTE MANAGEMENT PLAN

- 1100L RECYCLING WASTE MGB
- 1100L PAPER AND CARDBOARD MGB
- 1100L GENERAL WASTE MGB
- 660L GENERAL WASTE MGB (BOH)

SECURE DOORS - VERTICAL SCREENING
WITH NO HORIZONTAL ELEMENTS
EXTERNALLY - NO ROOF

WHEELCHAIR PASSING
BAY IN ACCORDANCE
WITH AS1428.2

GOODS LIFT TO MANUFACTURERS
DETAILS:

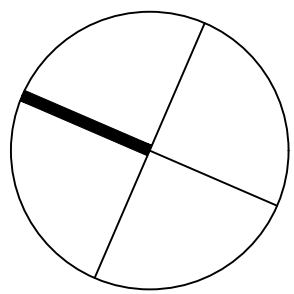
BAR/ SERVERY

OUTLINE OF FIRST FLOOR
ABOVE

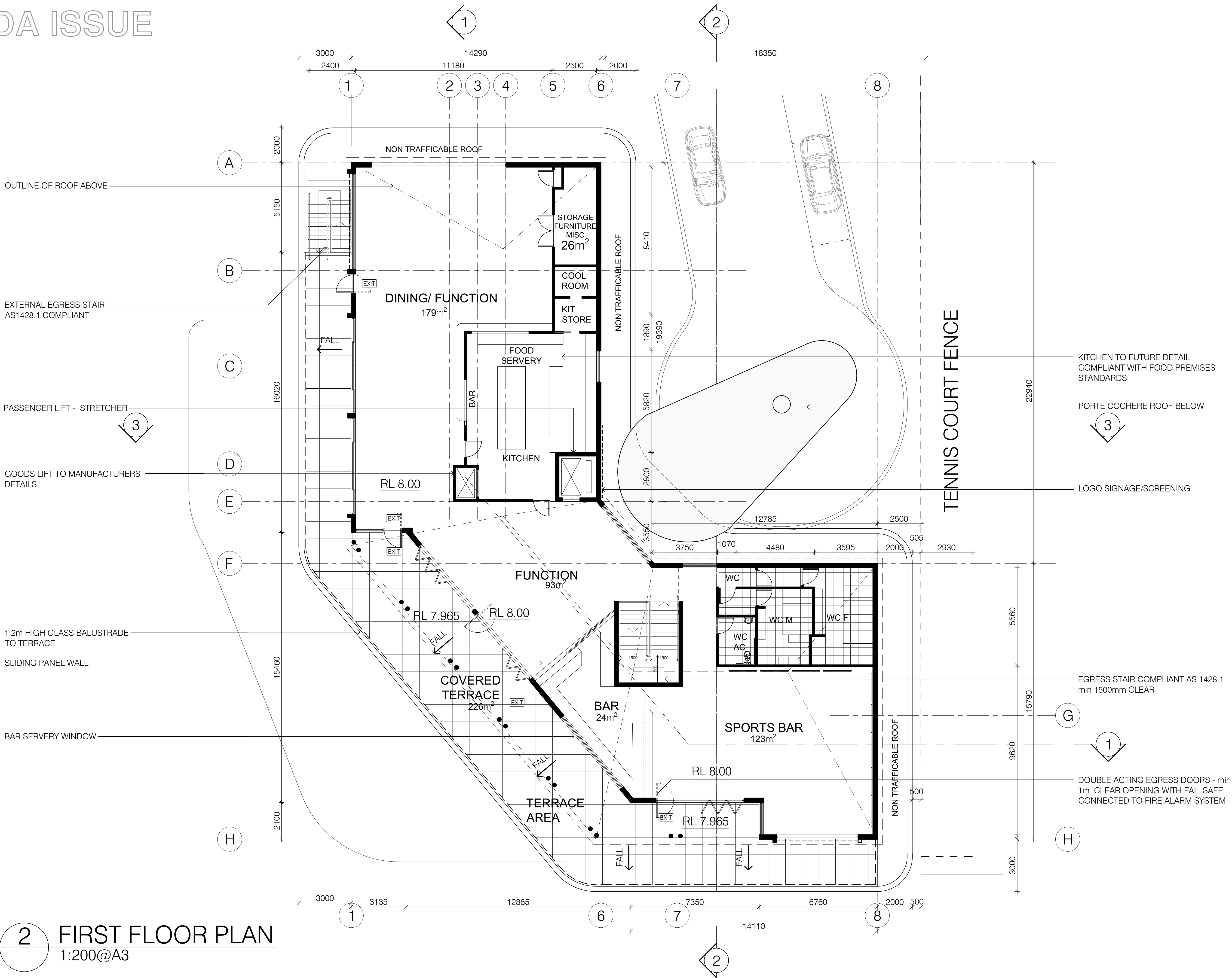
OUTDOOR SEATING TO FUTURE DETAILS

TERRACE AREA LANDSCAPING TO
LANDSCAPE ARCHITECTS DETAILS

DOUBLE ACTING EGRESS DOORS - min
1m CLEAR OPENING WITH FAIL SAFE
CONNECTED TO FIRE ALARM SYSTEM



LEGEND:



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IF IN DOUBT, ASK!



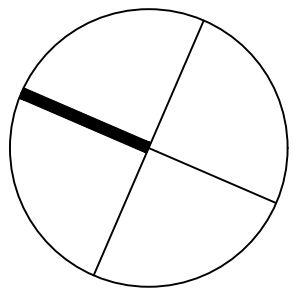
GROUP ARCHITECTS
Nominated Architect Julian Branchley 6246
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69 Macarthur St Ultimo NSW 2007
T: +612 9660 1055 E: info@grouparchitects.com.au

WARRINGAH GOLF AND COMMUNITY CLUB

address
292 CONDOMINE RD
NORTH MANLY

drawing
FIRST FLOOR PLAN

SCALE: 1:200 @ A3
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-103



LEGEND:

HOT WATER SOLAR
PANELS x 4

FRAMED METAL SHEET
ROOF

FIRST FLOOR BALCONY
BELOW

PORTE COCHERE ROOF BELOW

SCREENING FOR LIFT
SHAFT/EXHAUST
RISERS/SERVICES
+ LOGO SIGNAGE

NON TRAFFICABLE ROOF

300mm HALF ROUND GUTTER

SOLAR PANELS

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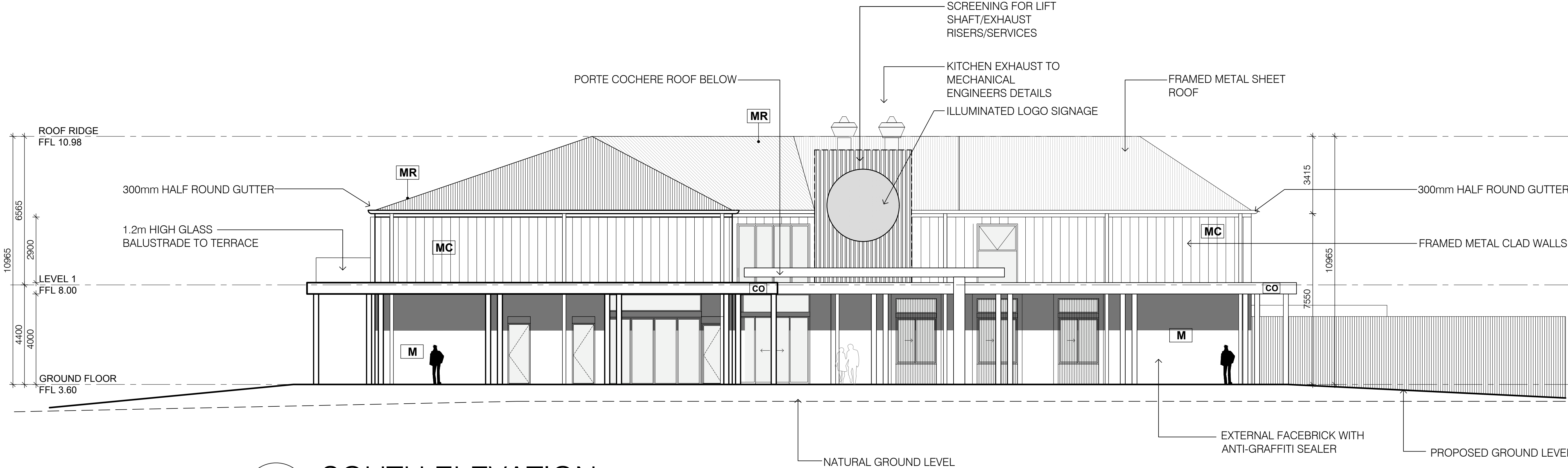
WARRINGAH GOLF AND
COMMUNITY CLUB

address
292 CONDOMINE RD
NORTH MANLY

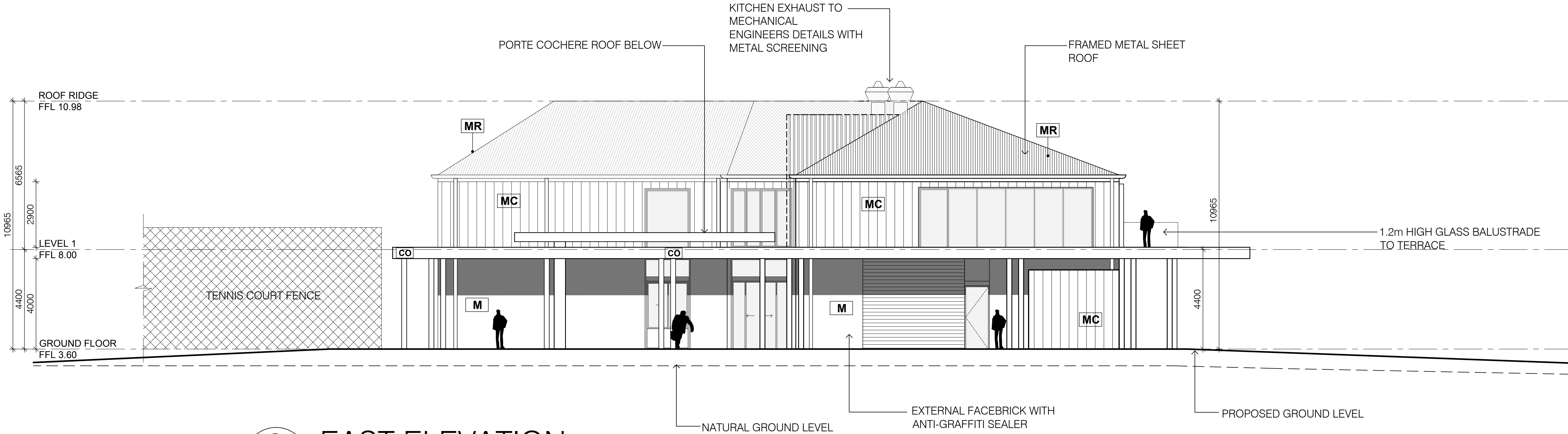
drawing
ROOF PLAN

SCALE: 1:200 @ A3
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-104

3 ROOF PLAN
1:200@A3



1 SOUTH ELEVATION
1:200@A3



2 EAST ELEVATION
1:200@A3

LEGEND:

- [CO] CONCRETE
- [BP] BRICK PAVEMENT
- [M] MASONRY FACEBRICK
- [MR] METAL ROOFING
- [MC] METAL CLADDING
- [CG] CLEAR GLASS
- [CG] COMPACTED GRAVEL
- [S] SAND
- [PE] PEBBLE

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WARRINGAH GOLF AND
COMMUNITY CLUB

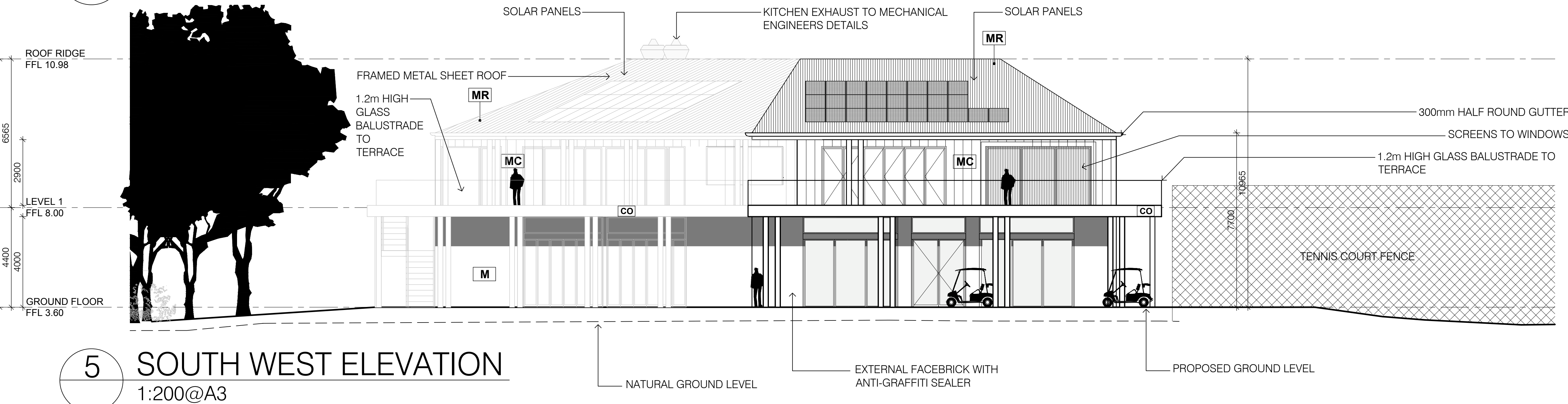
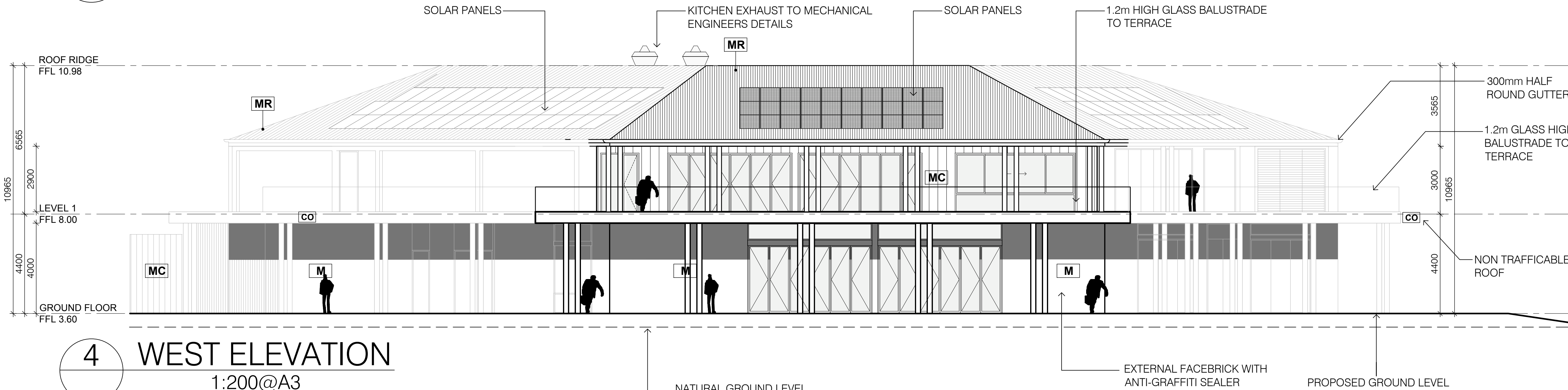
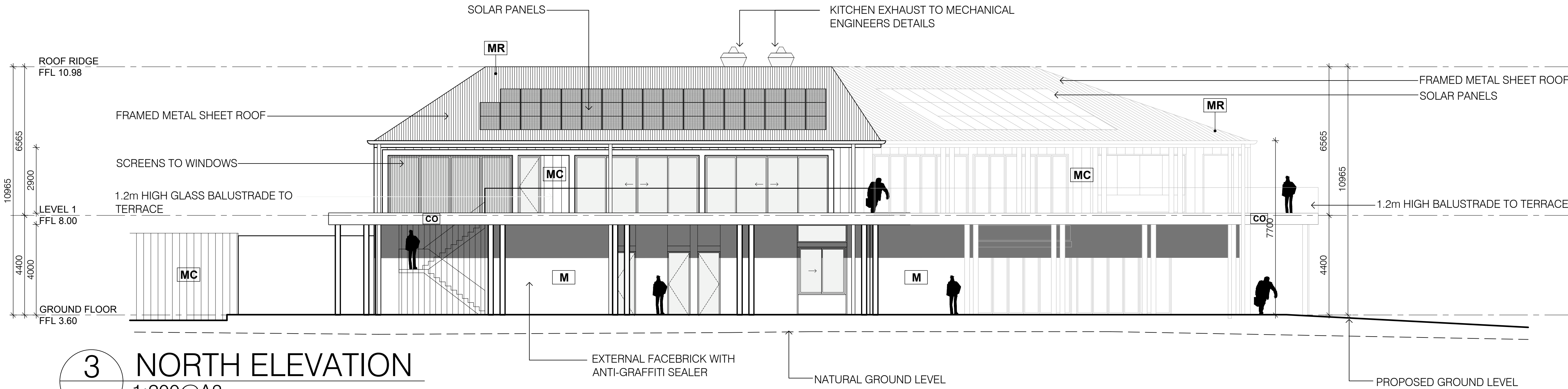
address
292 CONDOMINE RD
NORTH MANLY

drawing
SOUTH AND EAST
ELEVATIONS

SCALE: 1:200 @ A3

ISSUE: 13. DATE: 26.09.2023

DWG No.: GA2020-006-200



LEGEND:

- CO CONCRETE
- BP BRICK PAVEMENT
- M MASONRY FACEBRICK
- MR METAL ROOFING
- MC METAL CLADDING
- CG CLEAR GLASS
- CG COMPACTED GRAVEL
- S SAND
- PE PEBBLE

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WARRINGAH GOLF AND COMMUNITY CLUB

address
292 CONDOMINE RD
NORTH MANLY

drawing
NORTH, WEST, SOUTH-WEST
ELEVATIONS

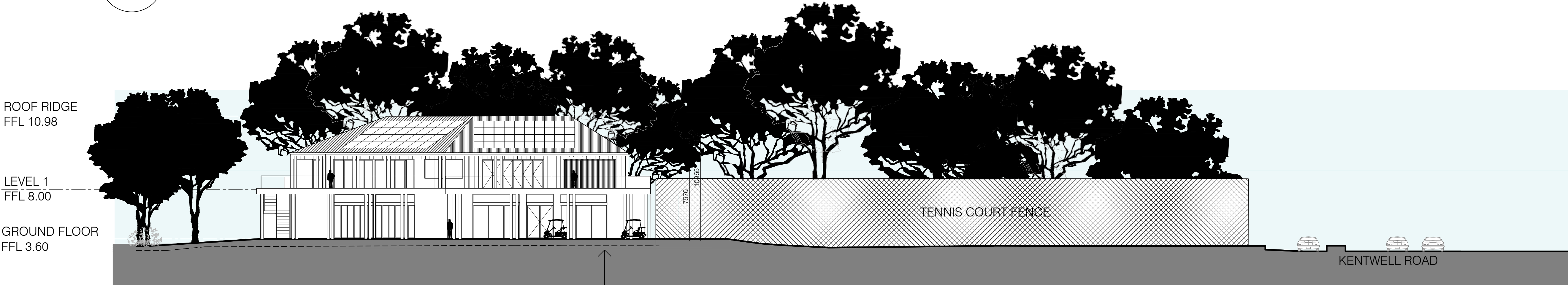
SCALE: 1:200 @ A3

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DWG No.: GA2020-023-201



6 SOUTH SITE ELEVATION
1:200@A3



7 SOUTH WEST SITE ELEVATION
1:200@A3



8 NORTH SITE ELEVATION
1:200@A3

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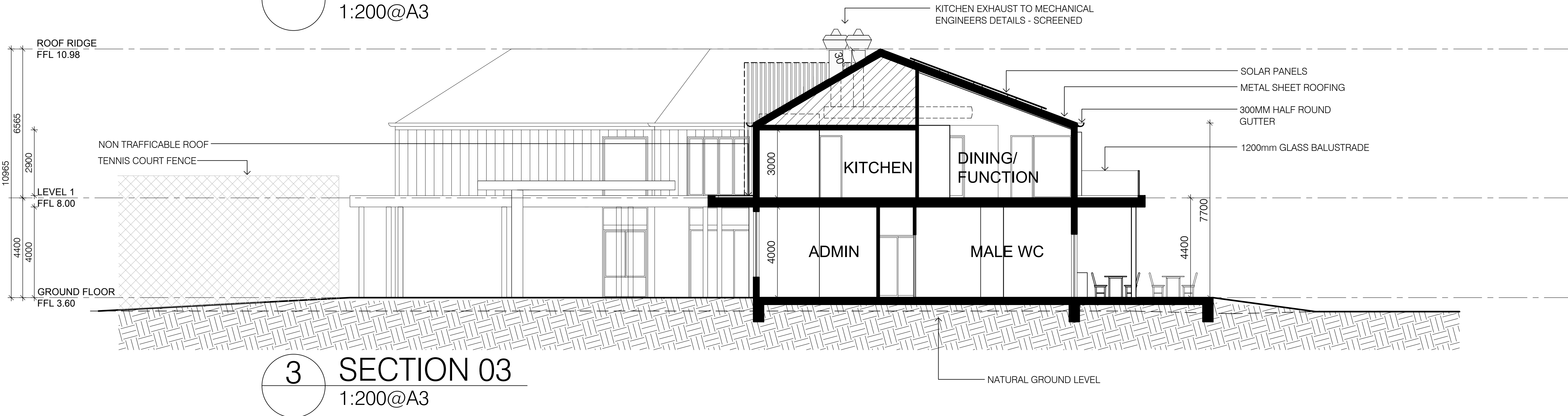
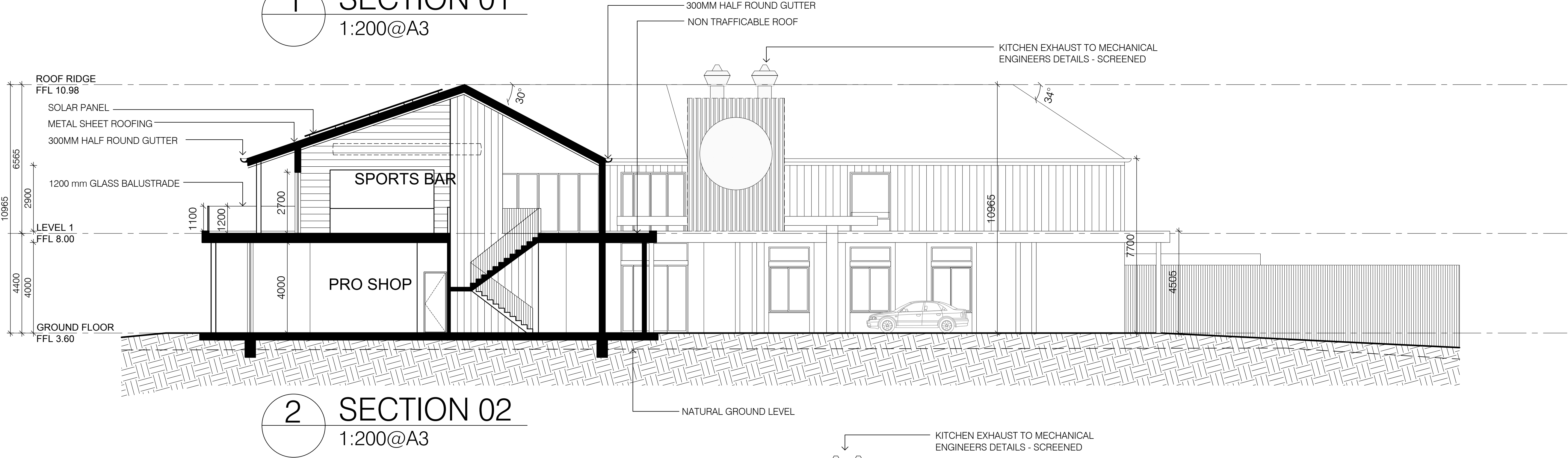
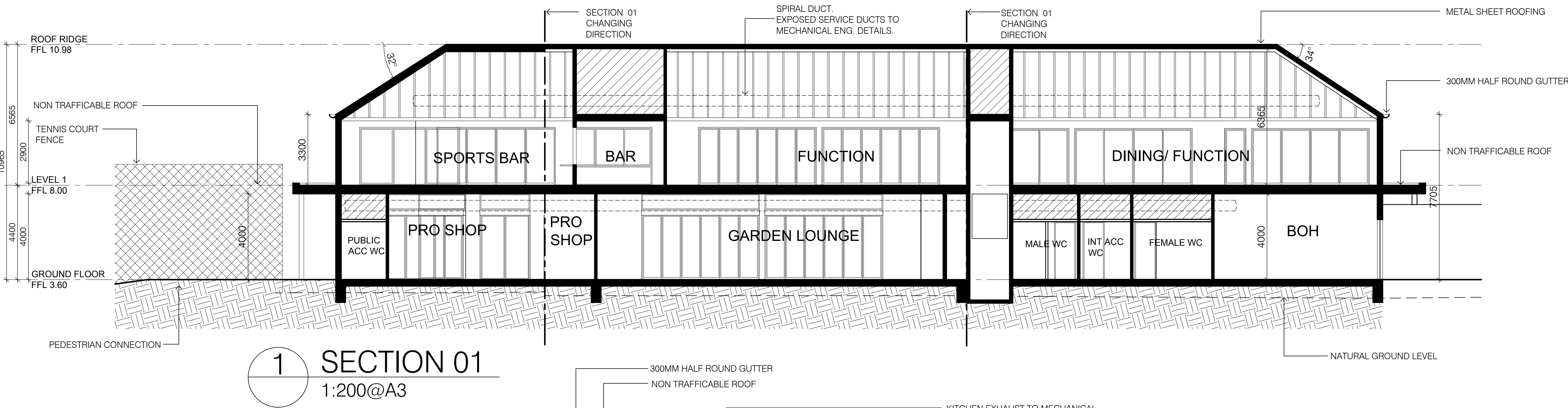
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WARRINGAH GOLF AND
COMMUNITY CLUB

address
292 CONDOMINE RD
NORTH MANLY

drawing
SITE ELEVATIONS

SCALE: 1:200 @ A3
ISSUE: 13. DATE: 26.09.2023
DWG No.: GA2020-023-202



LEGEND:

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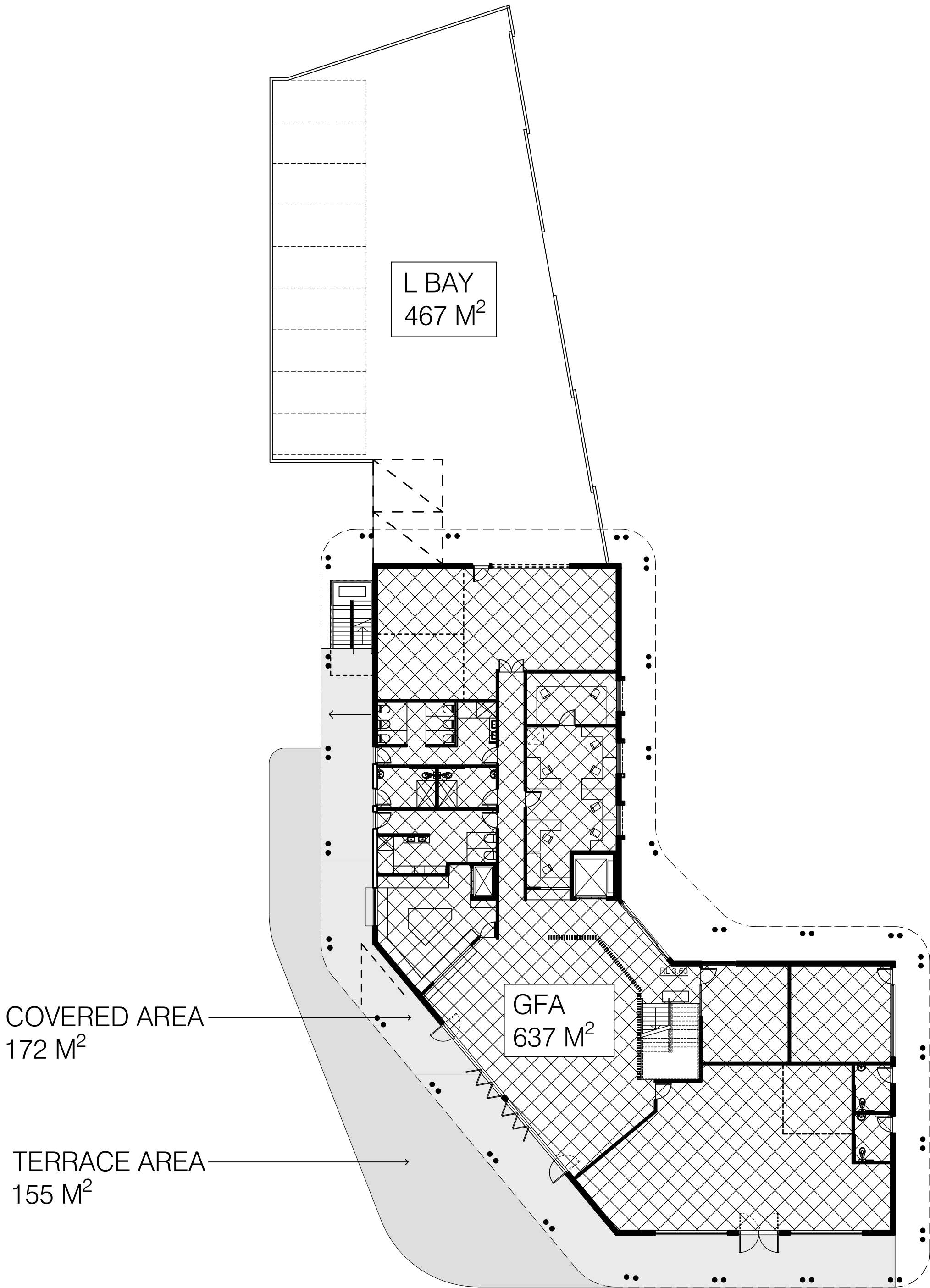
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**WARRINGAH GOLF AND
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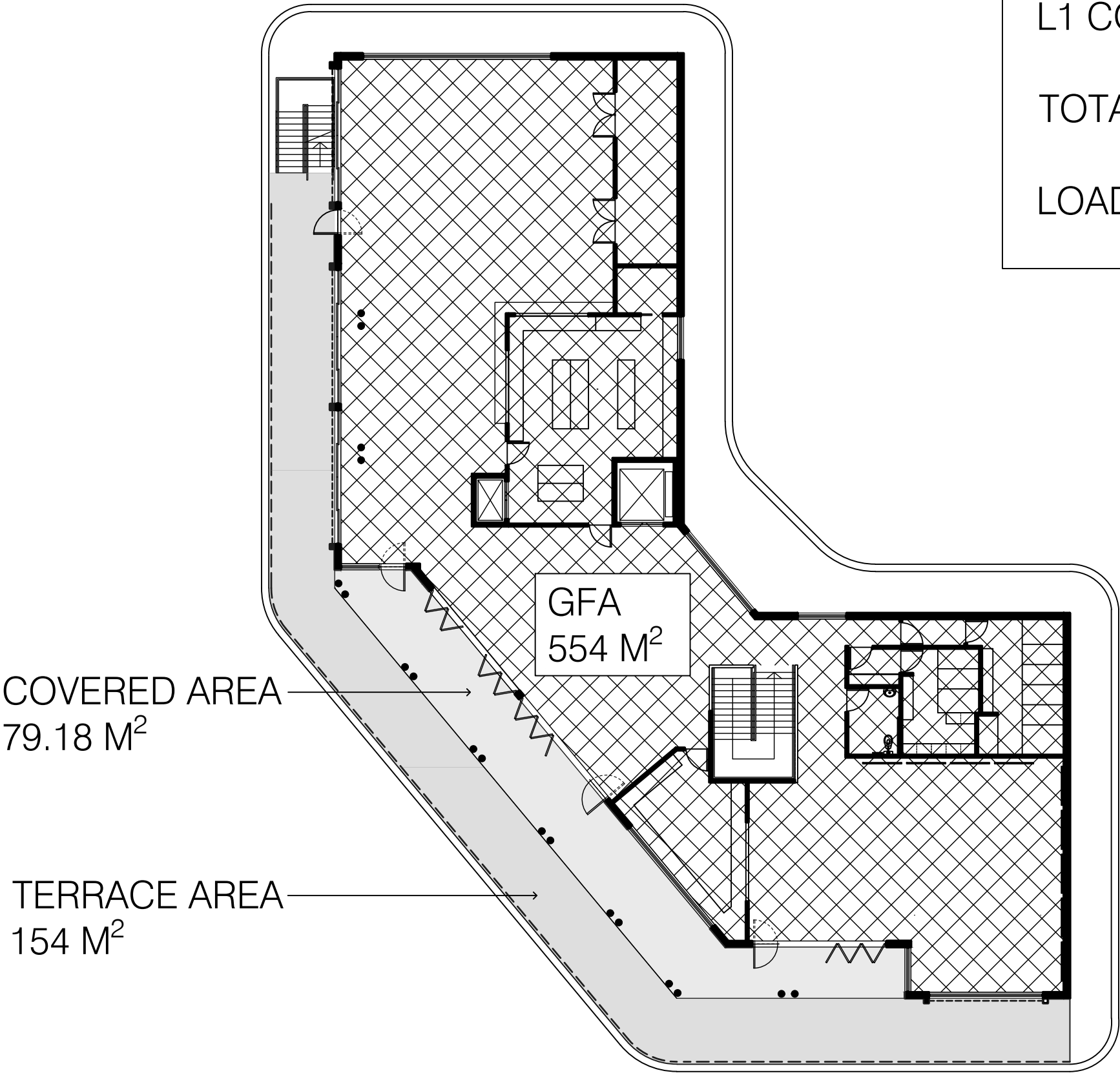
address
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NORTH MANLY

drawing
SECTIONS 1,2,3

SCALE: 1:200@A3
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1 GROUND FLOOR GFA
NTS



2 FIRST FLOOR GFA
NTS

GROSS FLOOR AREA	
GROUND FLOOR:	636.52 m ²
LEVEL 1:	554.41 m ²
TOTAL GFA:	1,190.93 m ²
ALLOWANCE FOR STAIRS + LIFT	67.4 m ²
EXTERNAL AREA	
GR TERRACE:	155.22 m ²
L1 TERRACE:	154.13 m ²
TOTAL TERRACE AREA:	309 m ²
GF COVERED AREA:	172 m ²
L1 COVERED AREA:	79 m ²
TOTAL COVERED AREA:	251 m ²
LOADING BAY:	467.29 m ²

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WARRINGAH GOLF AND COMMUNITY CLUB

address
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NORTH MANLY

drawing
AREA DIAGRAM

SCALE: NTS
ISSUE: 13. DATE: 26.09.2023

DWG No.: GA2020-023-900