

FINISH SCHEDULE

* FLOOR JOISTS, FLOORING, WALL FRAMING AND ROOF FRAMING TO COMPLY WITH THE NATIONAL TIMBER FRAMING CODE

FIRST FLOOR FLOORING	TIMBER FRAMED PARTICLE BOARD
STUD WALL HEIGHTS	F/F 2440mm HIGH CEILINGS.
FASCIAS & BARGES	200mm X 31mm NON PRE-PAINTED FINGER JOINTED T/P
EAVES	450mm WIDE EAVES FLAT LINED WITH 4.5mm FIBRE CEMENT EAVES SHEET AND PVC JOINING STRIP AND 19mm x 19mm QUAD TO WALL JUNCTION
EXTERNAL WALL LININGS	WEATHERTEX LIGHTWEIGHT CLADDING
INTERNAL WALL LININGS	SUPPLY AND FIX GYPROCK PLASTER SHEETING TO WALLS & CEILINGS WITH SQUARE SET.
WINDOWS	SUPPLY AND FIX ALUMINIUM WINDOWS TO FIRST FLOOR ADDITION WITH ALUMINIUM FLYSCREENS.
GUTTERING & DOWNPIPES	SUPPLY AND FIX ACE SLOTTED GUTTERING. 90mm DIA PVC DOWNPIPES.
STORMWATER	CONNECT TO EXISTING SYSTEM
EXTERNAL STAIRCASE	TO BE SELECTED, WITHIN PC ALLOWANCE.
ROOF COVERING	COLORBOND CORRUGATED METAL ROOF SHEETING.

DOORS	INTERNAL	OAKFIELD HOLLOWCORE PANEL
	EXTERNAL	SUPPLY AND FIX ALUMINIUM STACKER DOOR TO NEW FIRST FLOOR ADDITION. NO FLYSCREENS.
JOINERY	F/FLOOR	66mm x 18mm FINGER JOINTED PINE BULLNOSE TO SKIRTINGS & ARCHTRAVES.
PLUMBING	1. L'DRY - SINK 2. F/F SHR - SHR, VANITY, & WC. 3. F/F ENS - SHR, VANITY, & WC. 4. CONNECT TO EXISTING HOT WATER SERVICE 5. ALL SHOWERS ARE FITTED WITH SAS FLOOR WASTE GRATES.	
TILING	FIRST FLOOR SHOWER & ENSUITE	PROVIDE FLOOR TILING AND FULL HEIGHT WALL TILING TO ALL WALLS.
	FIRST FLOOR FRONT & REAR BALCONIES & LAUNDRY	PROVIDE FLOOR TILING.
INSULATION	R 6.0 BRADFORD CEILING INSULATION INSTALLED IN ALL LIVING AREAS UNDER THE ROOF.	
	R2.5 BRADFORD WALL INSULATION INSTALLED IN ALL EXTERNAL FRAMED WALLS	
ROBES & WALK IN ROBE		BY OWNER

		OWNER	BUILDER
DOOR HANDLES	SUPPLY BY		✓
	INSTALL BY		✓
TOWEL RAIL	SUPPLY BY		✓
	INSTALL BY		✓
PLUG & WASTES	SUPPLY BY		✓
	INSTALL BY		✓
TAPWARE	3 STAR SUPPLY BY		✓
	INSTALL BY		✓
TOILET SUITE	3 STAR SUPPLY BY		✓
	INSTALL BY		✓
VANITY UNIT	SUPPLY BY		✓
	INSTALL BY		✓
SHOWER FLOOR GRATE	SUPPLY BY		✓
	INSTALL BY		✓
INTERNAL & EXTERNAL PAINTING	BY OWNER		

A MINIMUM 40% OF NEW LIGHT POINTS ARE TO BE FITTED WITH EITHER FLUORESCENT, COMPACT FLUORESCENT OR LED LAMPS.

**ALL NEW TIMBER FRAMING TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD 1684 'RESIDENTIAL TIMBER-FRAMED CONSTRUCTION'.
EXTERNAL WALLS & OPENINGS TO COMPLY NCC**

**THIS PLAN CONFORMS WITH
BASIX CERTIFICATE
NO. A1802356**

SHEET CONTENTS

Sheet No	Sheet Name
1	TITLE PAGE
2	SITE PLAN
3	EXISTING LOWER GROUND FLOOR.
4	EXISTING GROUND FLOOR. DEMOLITION & ALTERATION PLAN
5	PROPOSED FIRST FLOOR
6	NORTH & SOUTH ELEVATIONS
7	EAST ELEVATION
8	WEST ELEVATION
9	SECTIONS A-A & B-B
10	ELECTRICAL LAYOUT
11	SHOWER AND ENSUITE LAYOUT
12	WINDOW SCHEDULE
13	BASIX REPORT CERTIFICATE
14	NOTIFICATION PLAN
15	SITE ANALYSIS PLAN
16	LANDSCAPE PLAN
17	STORMWATER PLAN
18	SITE WORKS MANAGEMENT & SOIL EROSION CONTROL PLAN
19	9am 21st JUNE DIAGRAM
20	12noon 21st JUNE DIAGRAM
21	3pm 21st JUNE DIAGRAM

ISSUE	DATE	REVISION	PLAN CHECK BY	DATE CHECK
"A"	19.06.25	DRAFT PLAN		
"B-2"	11.09.25	COUNCIL PLAN		
	AMENDMENTS			DATE
"B-1"	ACCURATE GROUND LINES ADDED TO SHOW 8.5m BUILDING HEIGHT			29.08.25
"B-2"	ADDITIONAL INFORMATION AND NOTATION.			11.09.25



NEXT STOREY HOME ADDITIONS

A.C.N. 628 178 889

15/410 Pittwater Road, North Manly. NSW 2100.

TELEPHONE: (02) 8526 0136. Builders Lic – 340735c,

PROPOSED ADDITION AND ALTERATIONS TO RESIDENCE

NAME: MR D. & MRS A. BHIDE

ADDRESS: 52 COLLAROY STREET COLLAROY.

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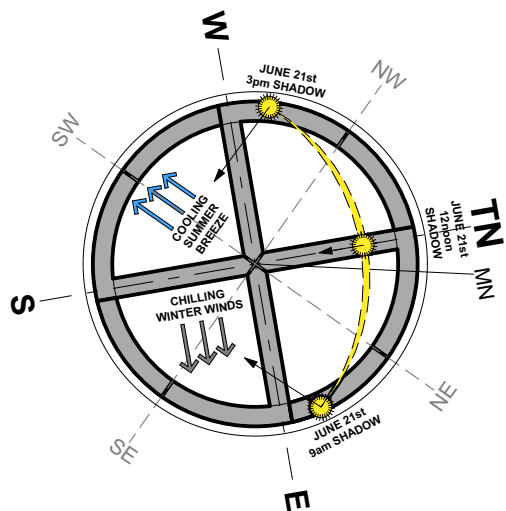
ALL WORK TO BE IN ACCORDANCE WITH NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 AND HOUSING PROVISIONS STANDARD 2022.

WRITTEN DIMENSIONS TAKE PREFERENCE TO SCALE.

TITLE PAGE

DATE	11/09/2025	SCALE	SHEET NO	DRAWING JOB NO	ISSUE
DRAWN BY:	NOEL.	DESIGN BY:	MICHAEL.	SCALED TO FIT @ A3	A3-1
				052-COL	B-2

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LEGEND

TK
TWALL

LINE TYPES

SUBJECT BOUNDARY

ABUTTING BOUNDARY

PALING FENCE

EAVE & GUTTER

RIDGE

BRICKWORK

KERB & GUTTER

BUILDING

MAJOR CONTOUR

MINOR CONTOUR

CONTOUR INTERVAL 0.5 Metre

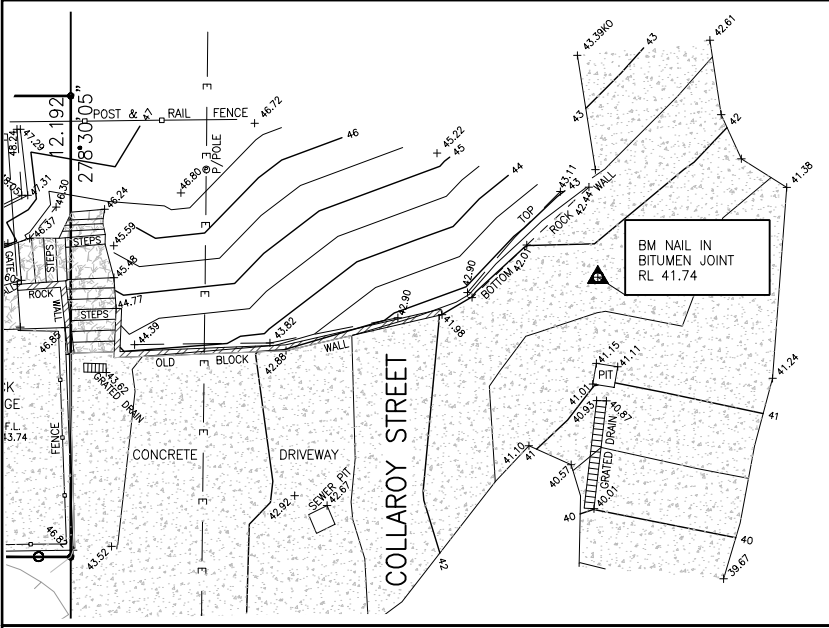
CODES USED

TOP OF KERB

TOP OF WALL

PALM TREE

TREE



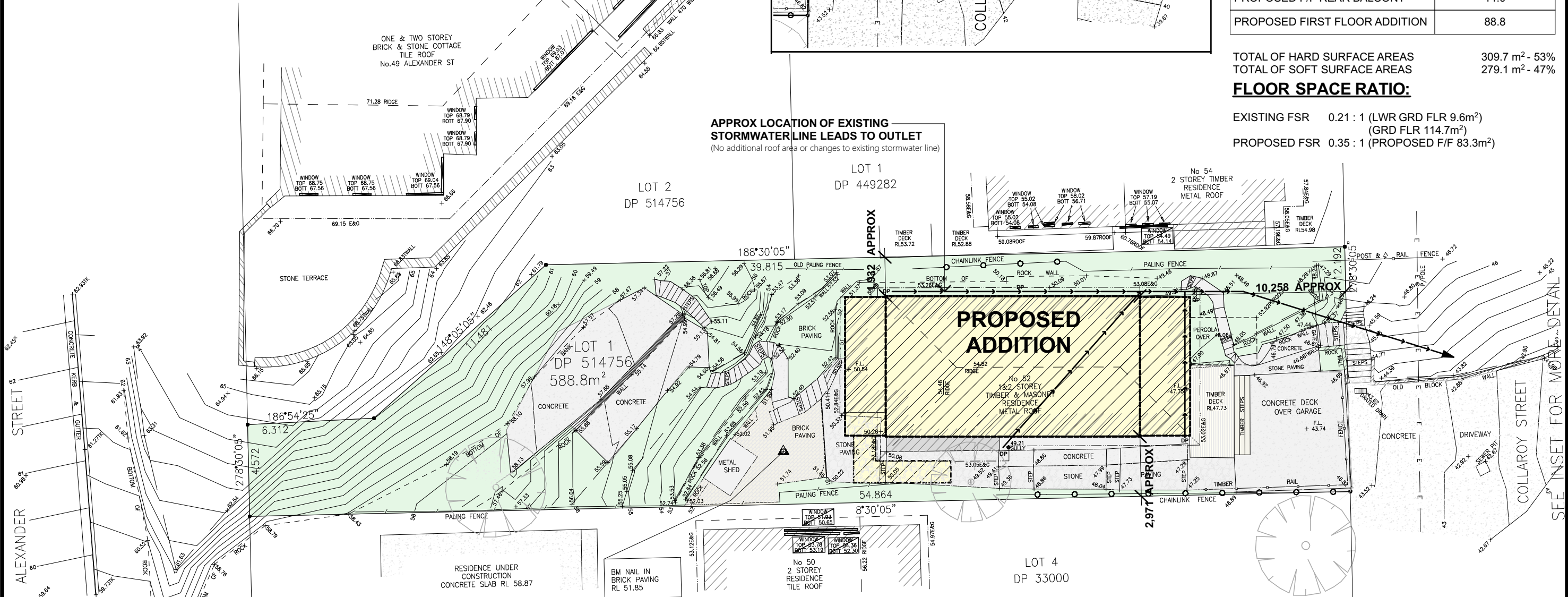
SITE AREA CALCULATION	
NAME	Area (m2)
1. SITE AREA	588.8
2. EXISTING FOOTPRINT	120.5
3. EXIST TIMBER DECK	10.2
4. EXIST METAL SHED	3.8
5. EXIST STONE PAVING	60.7
6. EXIST BRICK PAVING	18.4
7. HARD SURFACE	96.1
8. SOFT SURFACE	279.1
PROPOSED F/F FRONT BALCONY	17.3
PROPOSED F/F REAR BALCONY	14.0
PROPOSED FIRST FLOOR ADDITION	88.8

TOTAL OF HARD SURFACE AREAS 309.7 m² - 53%
TOTAL OF SOFT SURFACE AREAS 279.1 m² - 47%

FLOOR SPACE RATIO:

EXISTING FSR 0.21 : 1 (LWR GRD FLR 9.6m²)
(GRD FLR 114.7m²)
PROPOSED FSR 0.35 : 1 (PROPOSED F/F 83.3m²)

**APPROX LOCATION OF EXISTING
STORMWATER LINE LEADS TO OUTLET**
(No additional roof area or changes to existing stormwater line)



SITE PLAN



NEXT STOREY HOME ADDITIONS
A.C.N. 628 178 889
15/410 Pittwater Road, North Manly. NSW 2100.
TELEPHONE: (02) 8526 0136. Builders Lic – 340735c,

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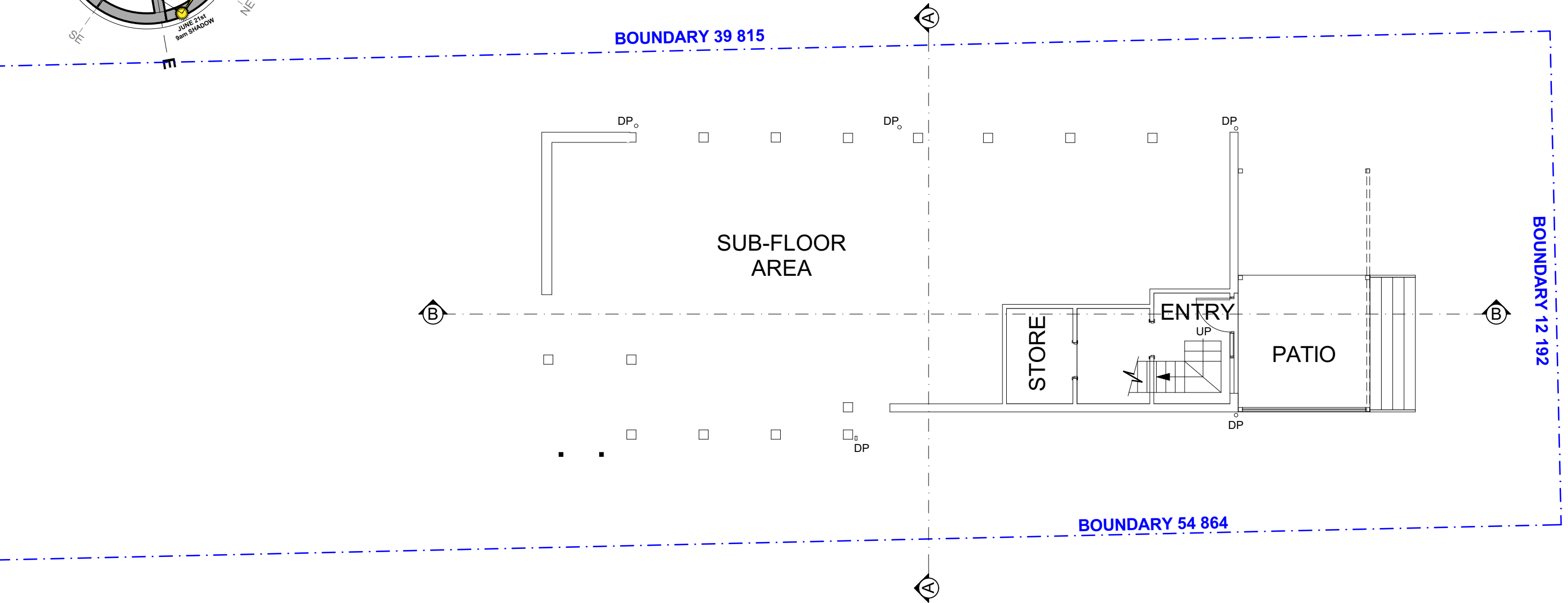
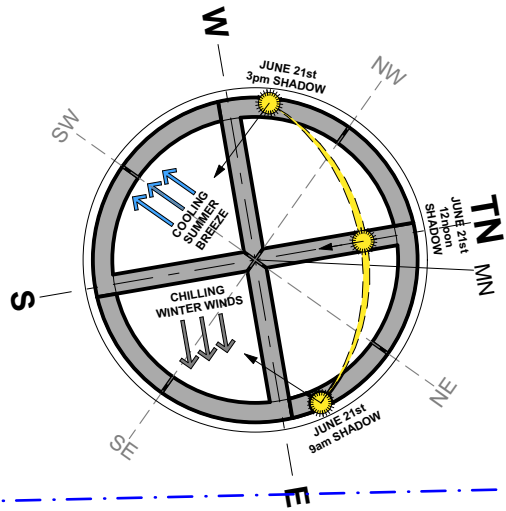
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SITE PLAN

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- * S/A is SMOKE ALARM
- * ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE.

LOWER GROUND FLOOR PLAN



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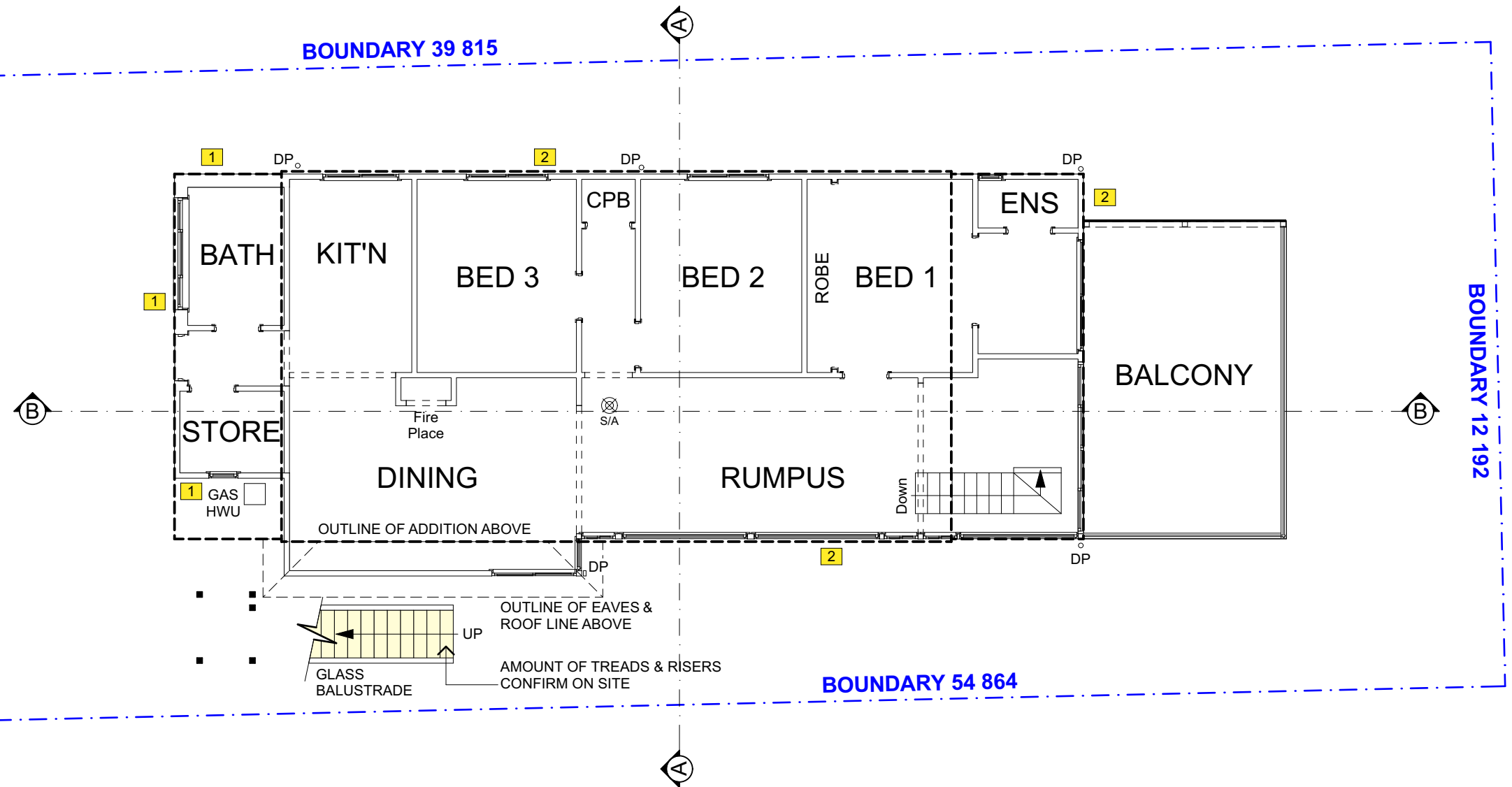
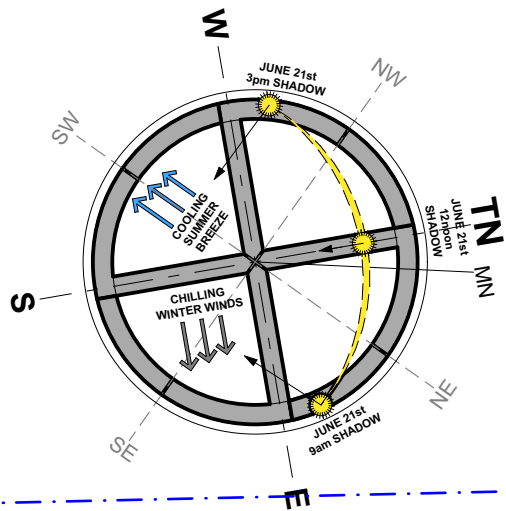
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EXISTING LWR GRD FLR PLAN

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ALTERATION NOTES:

1. BUILD UP WALL.
2. DEMOLISH EXISTING ROOF LINE & EAVES.
3. DEMOLISH EXISTING CHIMNEY TO APPROPRIATE NEW LEVEL.

- * S/A is SMOKE ALARM
- * ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE.

GROUND FLOOR PLAN



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EXISTING GROUND FLOOR PLAN

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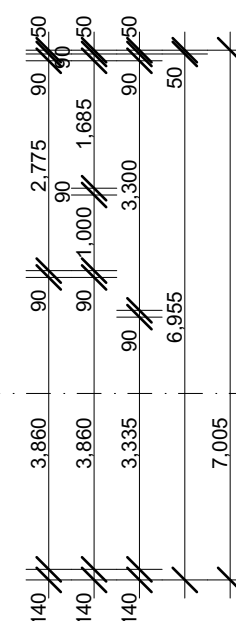
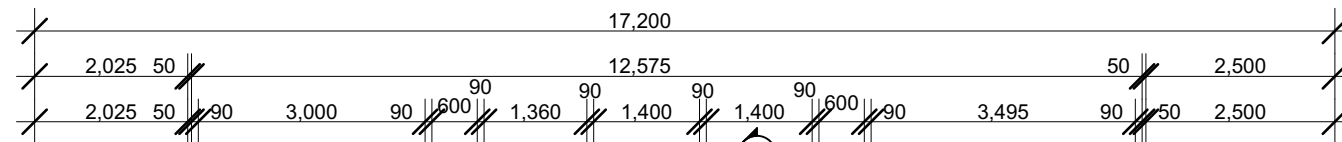
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A3-4

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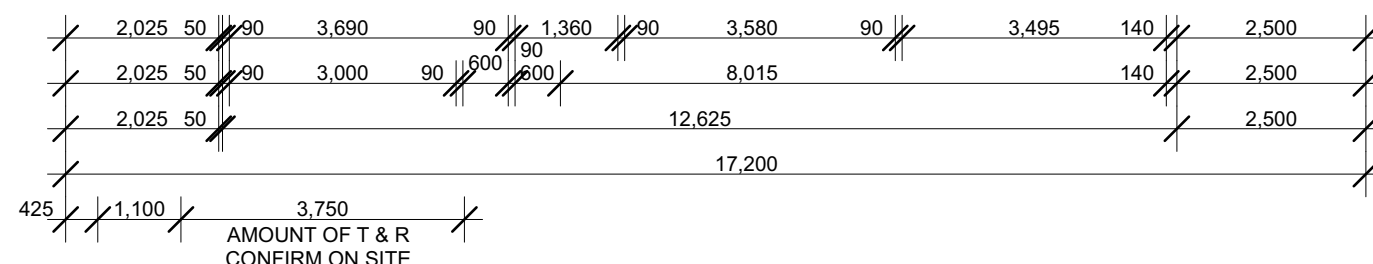
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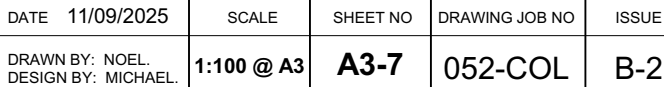
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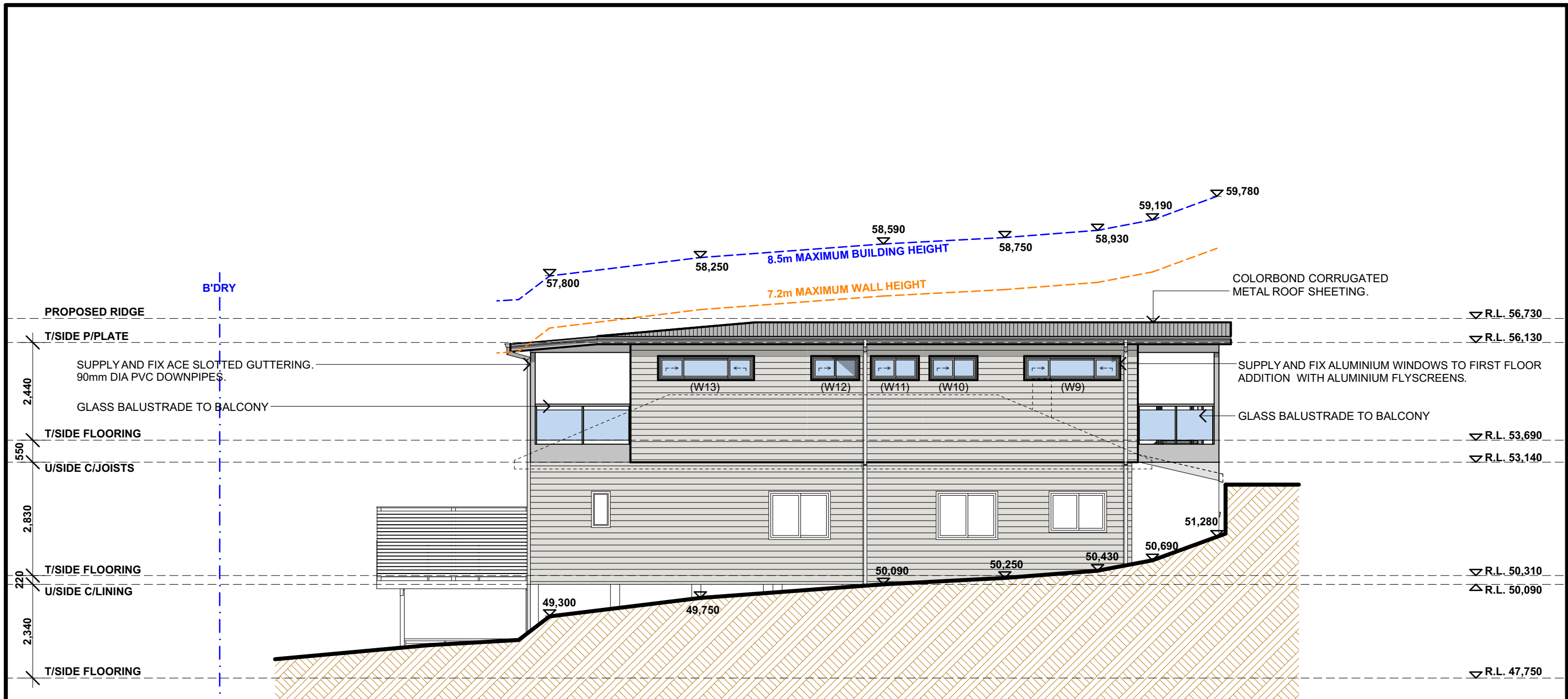


BOUNDARY 12 192

FIRST FLOOR PLAN







WEST ELEVATION



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WEST ELEVATION

DATE 11/09/2025

SCALE

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1:100 @ A3

A3-8

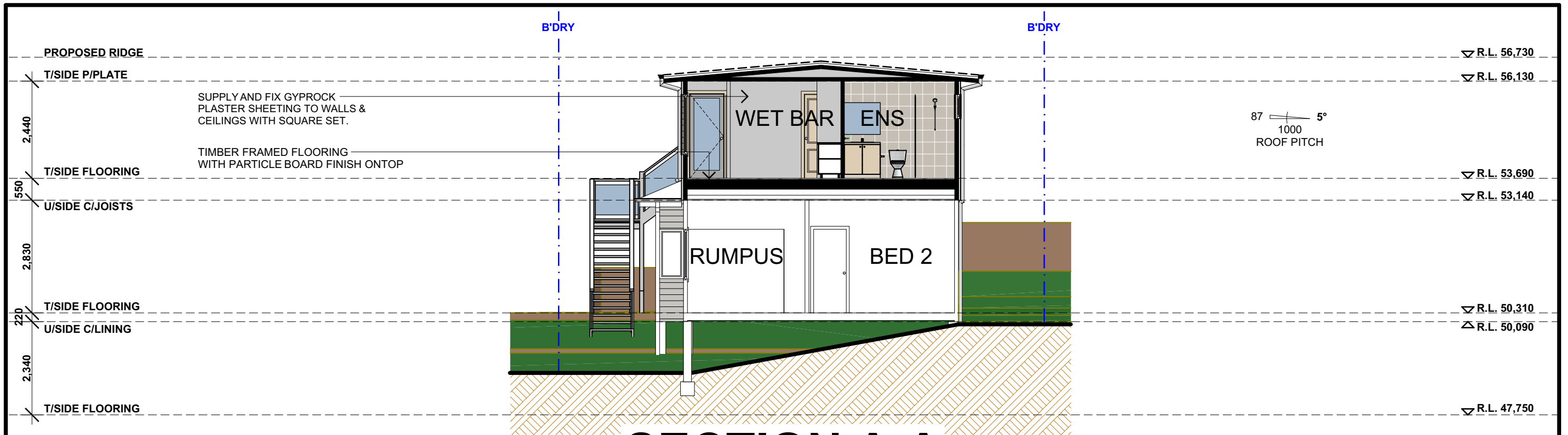
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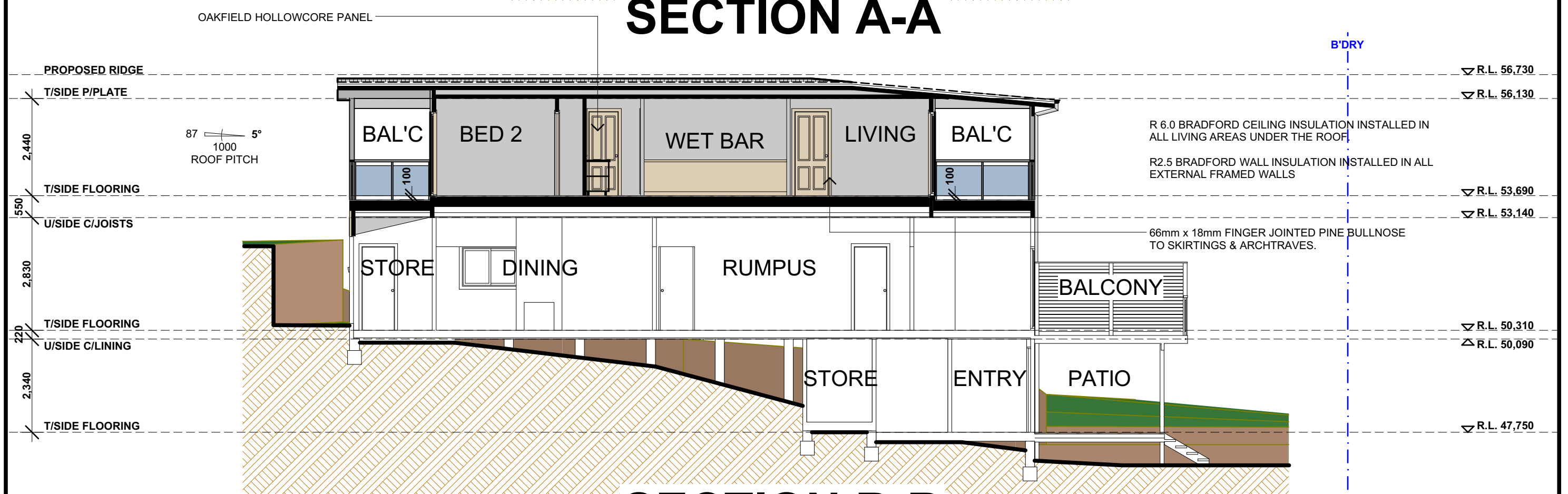
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SECTION A-A



SECTION B-B

ALL TIMBER FRAMING COMPLY
WITH TIMBER FRAMING CODE AS 1684



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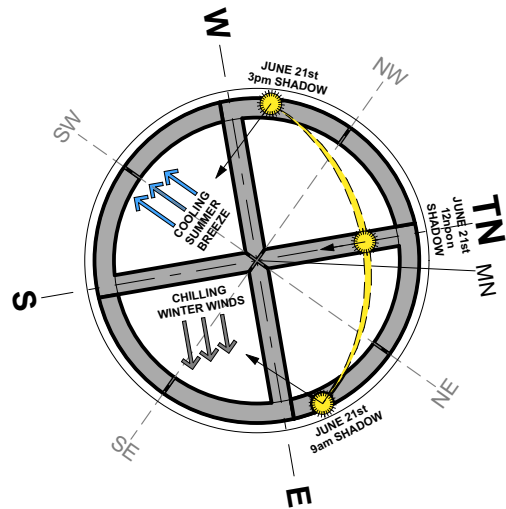
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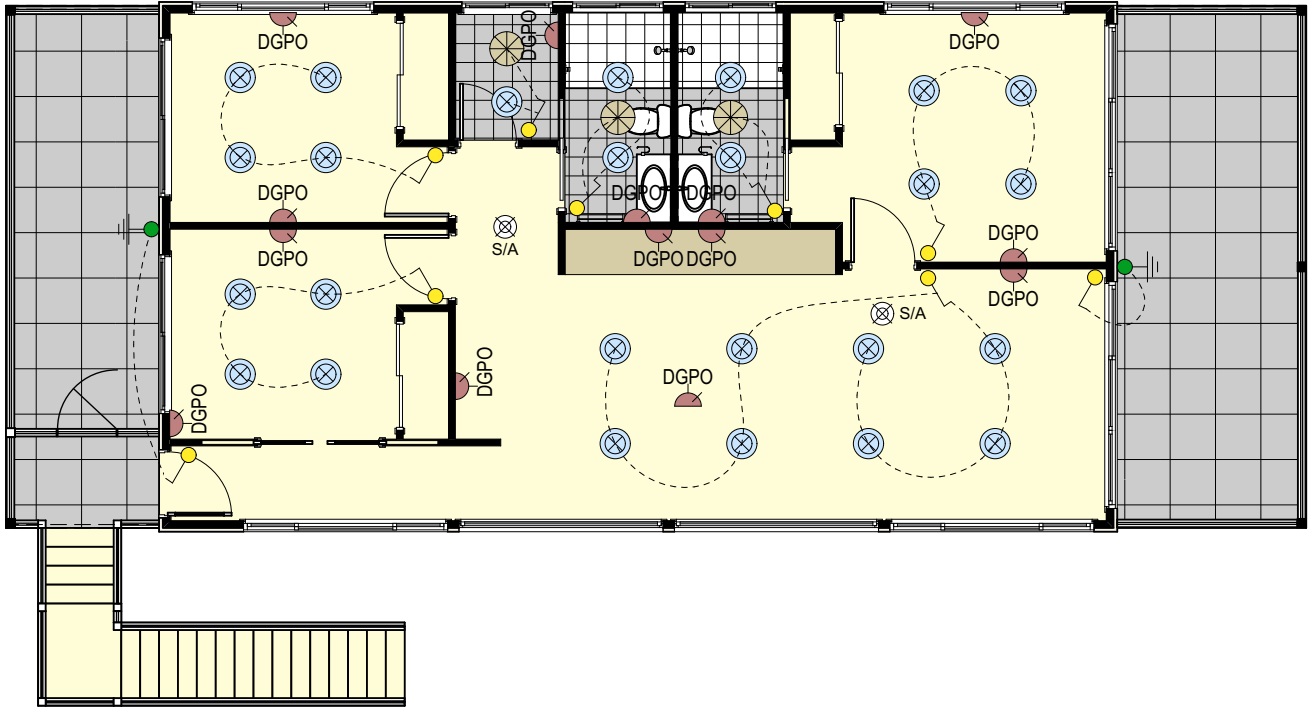
SECTION A-A, & SECTION B-B

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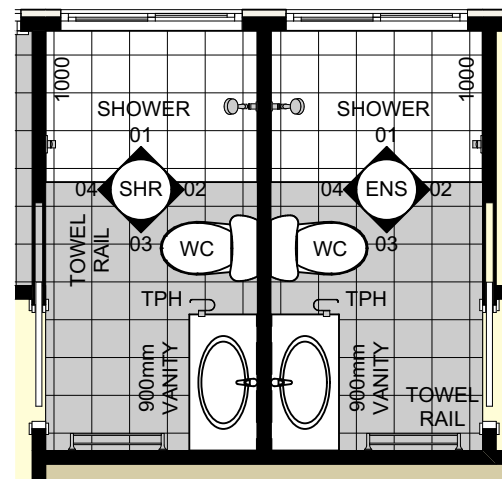
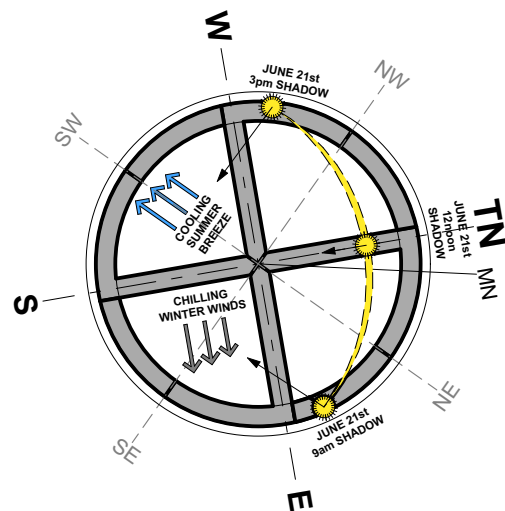
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FIRST FLOOR ELECTRICAL LAYOUT		
Symbol	Element ID	Quantity
	CEILING EXHAUST FAN	3
DGPO	DOUBLE POWER POINT	14
	DOWNLIGHT	25
	EXTERNAL LIGHT	2
S/A	SMOKE ALARM	2
	SWITCHES	9

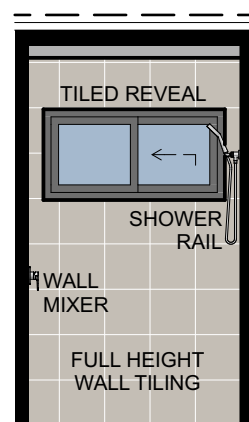


FIRST FLOOR PLAN

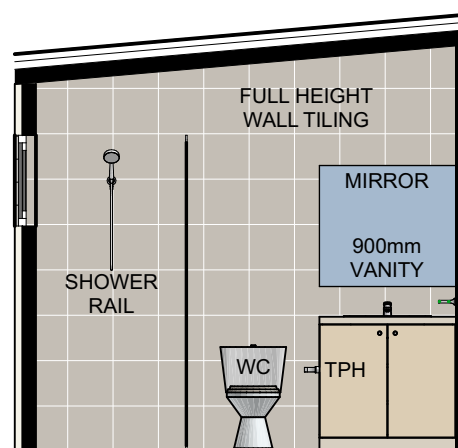


FIRST FLOOR PLAN

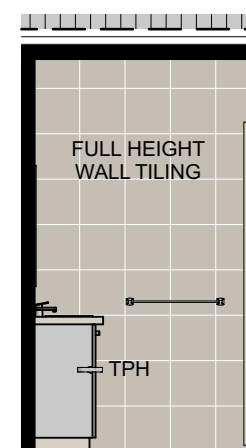
TILE PATTERN LAYOUT SHOWN
ARE ONLY DIAGRAMMATIC



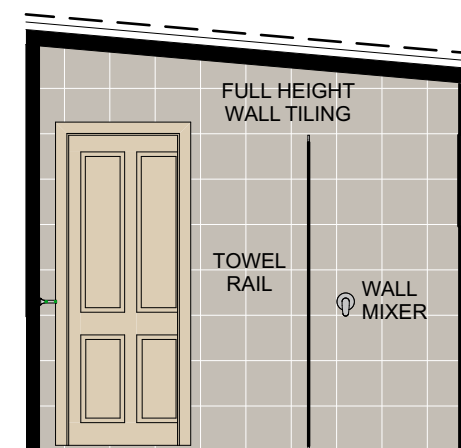
SHR 1



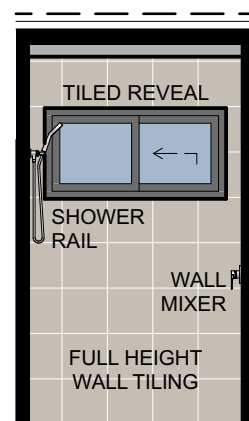
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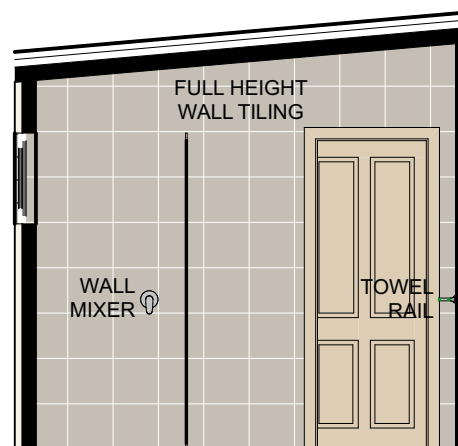
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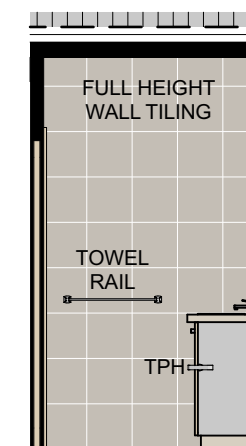
SHR 4



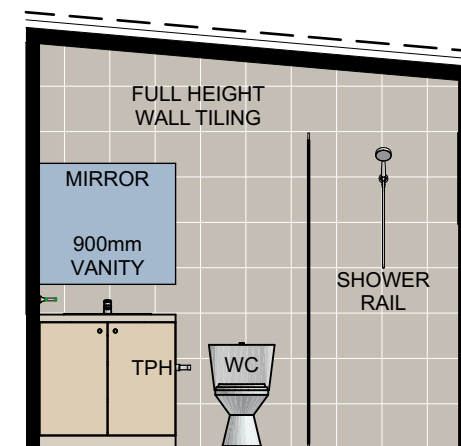
ENS 1



ENS 2



ENS 3



ENS 4



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SHOWER & ENSUITE LAYOUT

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DESIGN BY:	MICHAEL.				

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WINDOW SCHEDULE												
Element ID	Orientation	Window Height (mm)	Window Width (mm)	Window Head Height (mm)	Window Sill Height (mm)	Frame	Sash	Glass	U-v	SHGC	Flyscreens	View from Outside
(W1) ASSD 2130	NORTH	2,100	3,000	2,100	0	ALUMINIUM	STACKER DOOR	CLEAR	7.63	0.75	NO	
(W2) ASSD 2130	NORTH	2,100	3,000	2,100	0	ALUMINIUM	STACKER DOOR	CLEAR	7.63	0.75	NO	
(W3) ASW 1527	EAST	1,500	2,700	2,100	600	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	
(W4) FIX 1527	EAST	1,500	2,700	2,100	600	ALUMINIUM	FIXED	CLEAR	7.63	0.75	NO	
(W5) FIX 1527	EAST	1,500	2,700	2,100	600	ALUMINIUM	FIXED	CLEAR	7.63	0.75	NO	
(W6) ASW 1527	EAST	1,500	2,700	2,100	600	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	
(W7) ASD 2121	SOUTH	2,100	2,100	2,100	0	ALUMINIUM	SLIDING DOOR	CLEAR	7.63	0.75	NO	
(W8) ASD 2121	SOUTH	2,100	2,100	2,100	0	ALUMINIUM	SLIDING DOOR	CLEAR	7.63	0.75	NO	
(W9) ASW 0624	WEST	600	2,400	2,100	1,500	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	
(W10) ASW 0612	WEST	600	1,200	2,100	1,500	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	
(W11) ASW 0612	WEST	600	1,200	2,100	1,500	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	
(W12) ASW 0612	WEST	600	1,200	2,100	1,500	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	
(W13) ASW 0624	WEST	600	2,400	2,100	1,500	ALUMINIUM	SLIDING	CLEAR	7.63	0.75	YES	

NOTE: DIMENSIONS IN THE WINDOW SCHEDULE ARE NOMINAL SIZES ONLY.
THE INSTALLER IS TO CONFIRM EXACT DIMENSIONS WITH THE WINDOW MANUFACTURER.



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DRAWN BY: NOEL. DESIGN BY: MICHAEL.	SCALED TO FIT @ A3	A3-12	052-COL	B-2	

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BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1802356

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Wednesday, 02 July 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	52 Collaroy street collaroy nsw 2097
Street address	52 COLLAROY Street COLLAROY 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP514756
Lot number	1
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: NEXT STOREY HOME ADDITIONS PTY LTD	
ABN (if applicable): 2162817889	

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BASIX Certificate number:A1802356

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

BASIX Certificate number:A1802356

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: structural panel	ceiling: R0.89 (up), roof: foil/sarking	dark (solar absorptance > 0.70)

BASIX Certificate number:A1802356

Glazing requirements
Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

BASIX Certificate number:A1802356

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	6.3	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	6.3	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	E	4.05	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	E	4.05	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	E	4.05	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

BASIX Certificate number:A1802356

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	E	4.05	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	S	4.41	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	S	4.41	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	W	1.44	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	W	0.72	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

BASIX Certificate number:A1802356

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	W	0.72	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	W	0.72	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	W	1.44	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

BASIX Certificate number:A1802356

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



NEXT STOREY HOME ADDITIONS

A.C.N. 628 178 889
15/410 Pittwater Road, North Manly. NSW 2100.
TELEPHONE: (02) 8526 0136. Builders Lic – 340735c,

PROPOSED ADDITION AND ALTERATIONS TO RESIDENCE

NAME: MR D. & MRS A. BHIDE
ADDRESS: 52 COLLAROY STREET COLLAROY.

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COPIED WHOLLY OR IN ANY WAY WITHOUT
THE WRITTEN PERMISSION OF THE COMPANY

MINOR VARIATIONS MAY BE NECESSARY TO FACILITATE
CONSTRUCTION OR IMPROVE AESTHETICS.

ALL WORK TO BE IN ACCORDANCE WITH NCC VOLUME 2
BUILDING CODE OF AUSTRALIA 2022 AND
HOUSING PROVISIONS STANDARD 2022.

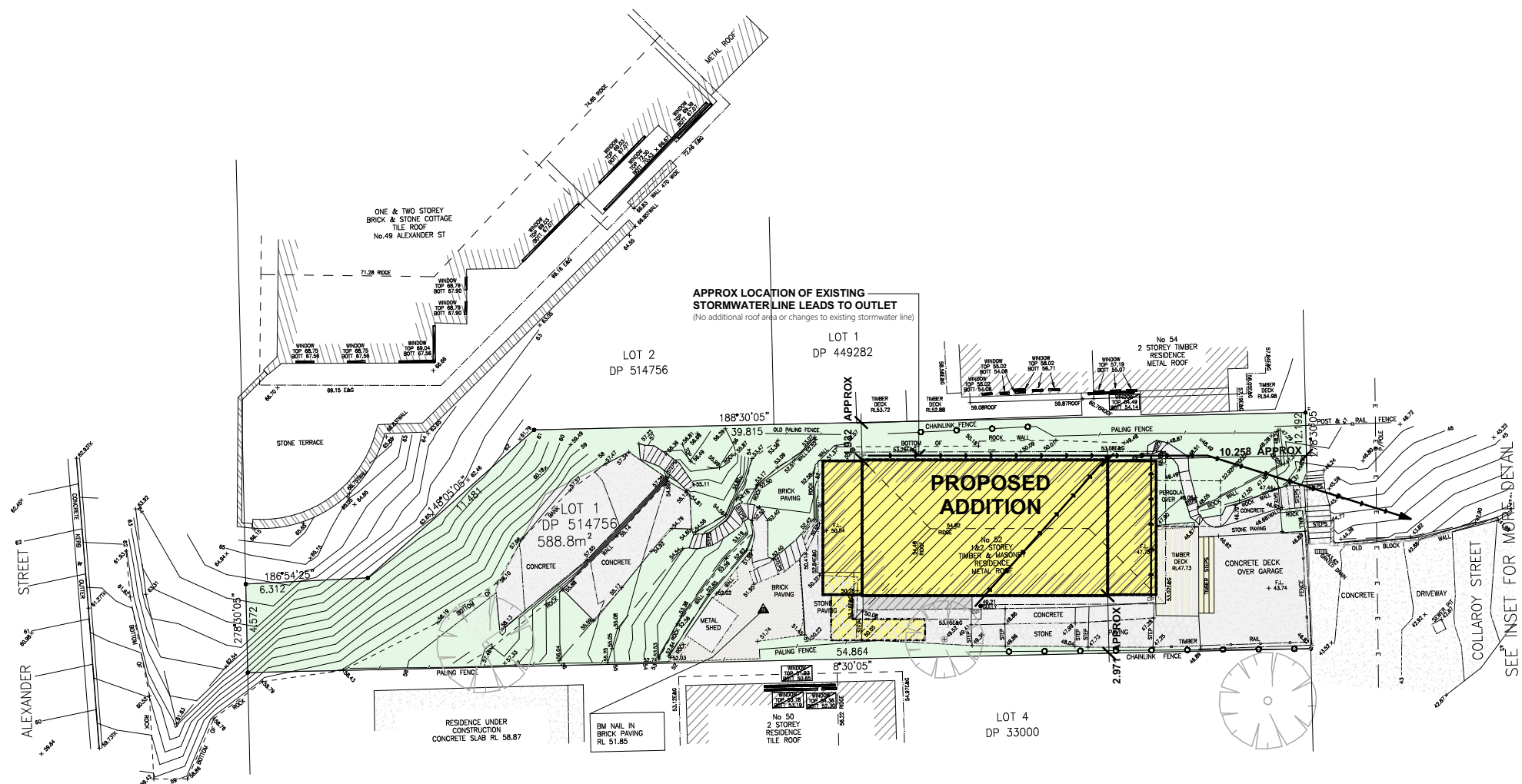
WRITTEN DIMENSIONS TAKE PREFERENCE TO SCALE.

BASIX REPORT CERTIFICATE

DATE	11/09/2025	SCALE	SHEET NO
DRAWN BY: NOEL. DESIGN BY: MICHAEL.	SCALED TO FIT @ A3	A3-13	

COUNCIL COPY

DRAWING JOB NO	ISSUE
052-COL	B-2



WEST ELEVATION

SOUTH ELEVATION

EAST ELEVATION



15/410 Pittwater Road, North Manly. NSW 2100.

PROPOSED ADDITION AND ALTERATIONS TO RESIDENCE

NAME: MR D. & MRS A. BHIDE

NAME: MRS. D. & MRS. A. BRIDE
ADDRESS: 52 COLLAROY STREET COLLAROY.

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HOUSING PROVISIONS STANDARD 2022.

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NOTIFICATION PLAN

SCALE

SHEET NO

	DRAWING JOB NO
--	----------------

ISSUE

DRAWN BY: NOEL.
DESIGN BY: MICHAEL

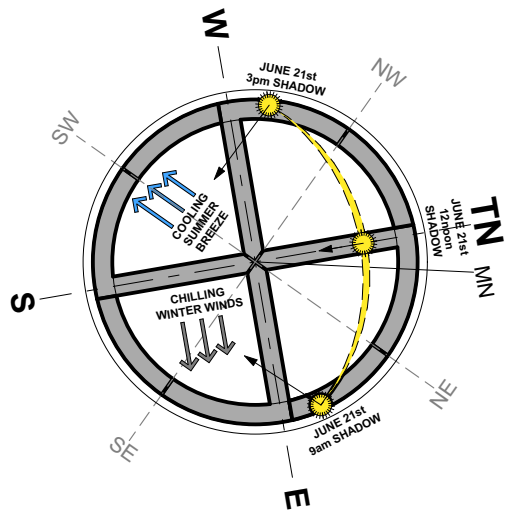
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A3-14

052-COI

B-2

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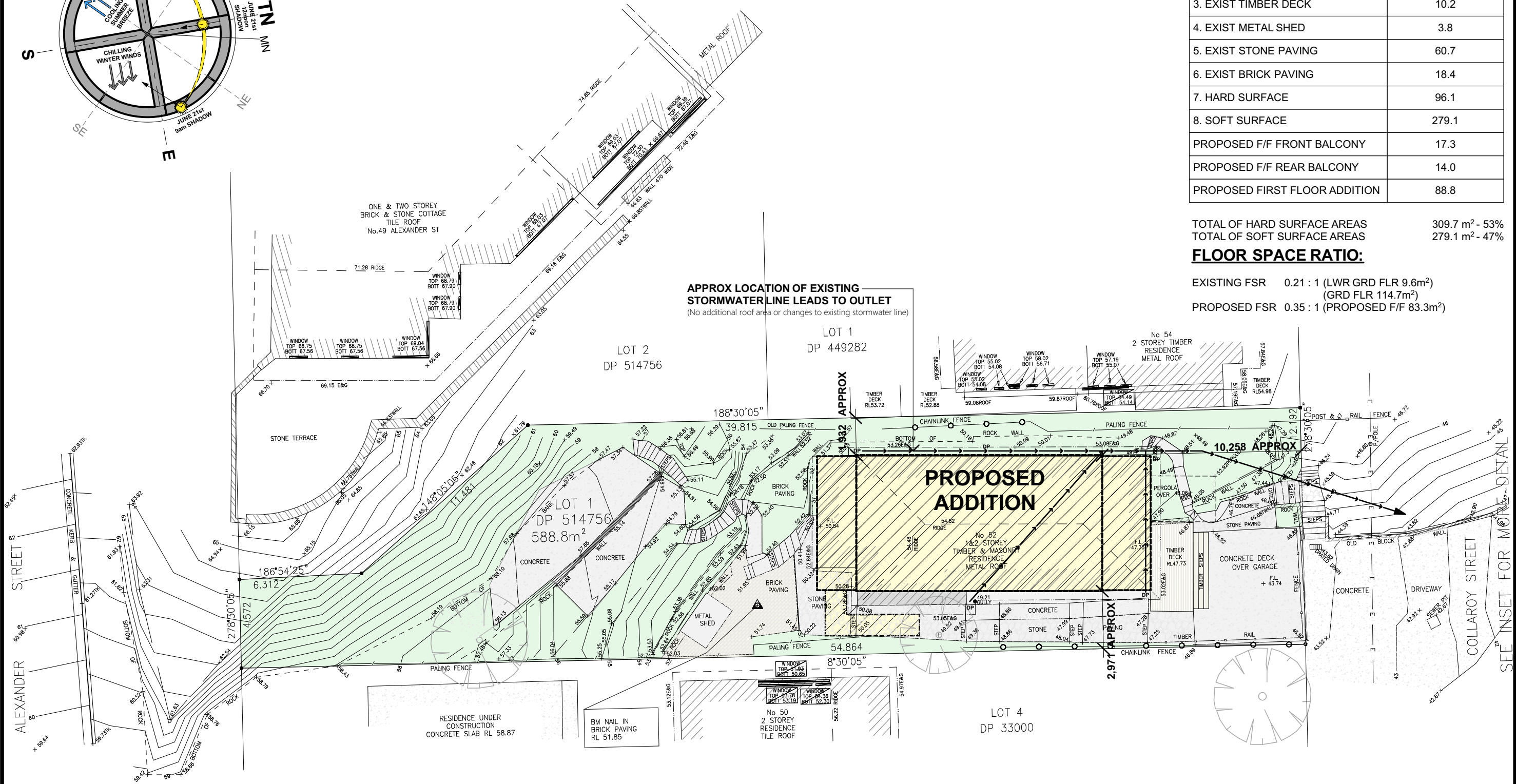


SITE AREA CALCULATION	
NAME	Area (m2)
1. SITE AREA	588.8
2. EXISTING FOOTPRINT	120.5
3. EXIST TIMBER DECK	10.2
4. EXIST METAL SHED	3.8
5. EXIST STONE PAVING	60.7
6. EXIST BRICK PAVING	18.4
7. HARD SURFACE	96.1
8. SOFT SURFACE	279.1
PROPOSED F/F FRONT BALCONY	17.3
PROPOSED F/F REAR BALCONY	14.0
PROPOSED FIRST FLOOR ADDITION	88.8

TOTAL OF HARD SURFACE AREAS 309.7 m² - 53%
TOTAL OF SOFT SURFACE AREAS 279.1 m² - 47%

FLOOR SPACE RATIO:

EXISTING FSR 0.21 : 1 (LWR GRD FLR 9.6m²)
(GRD FLR 114.7m²)
PROPOSED FSR 0.35 : 1 (PROPOSED F/F 83.3m²)





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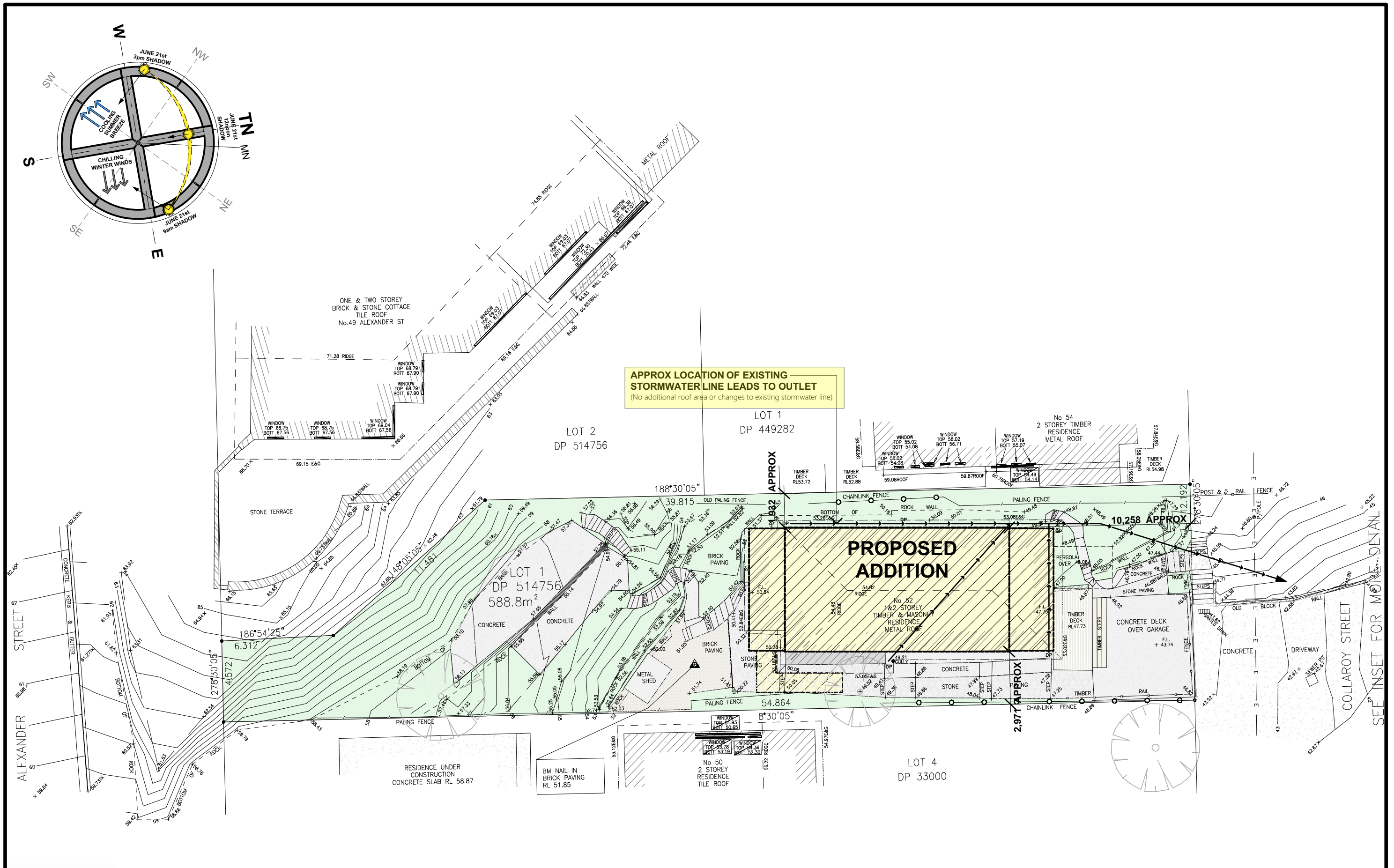
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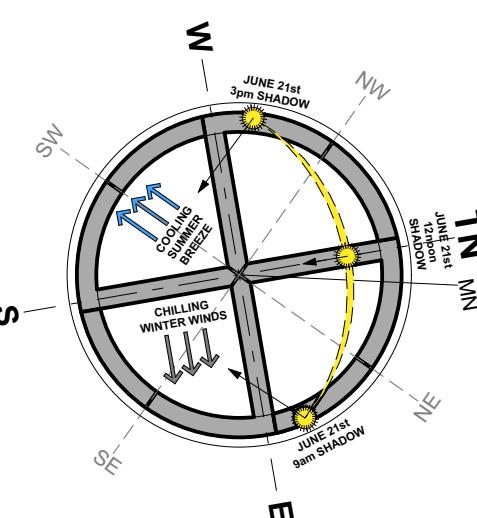
LANDSCAPE PLAN

DATE	11/09/2025	SCALE	SHEET NO	DRAWING JOB NO	ISSUE
DRAWN BY: NOEL.		1:200 @ A3	A3-16	052-COL	B-2
DESIGN BY: MICHAEL.					

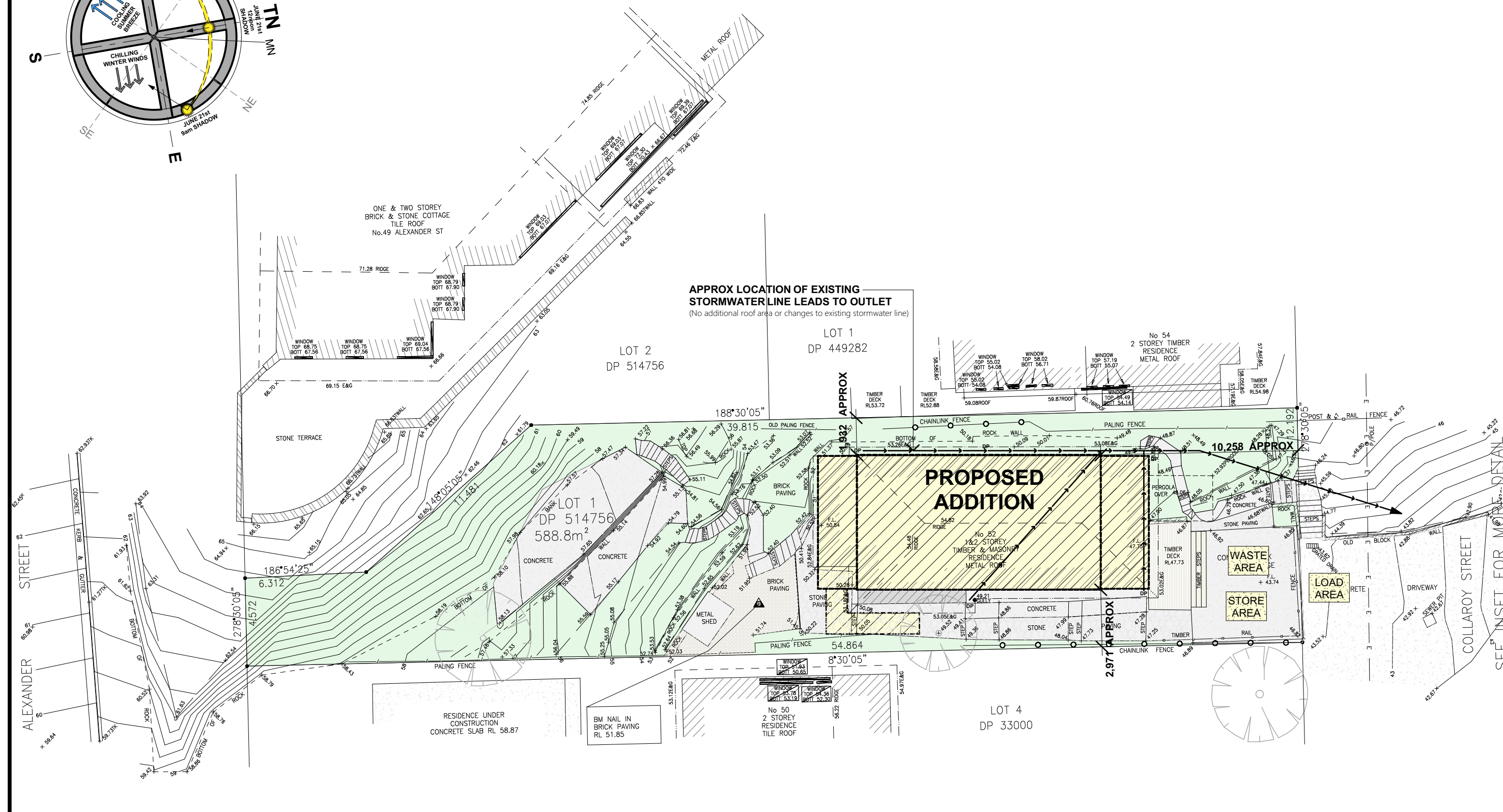
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	NEXT STOREY HOME ADDITIONS A.C.N. 628 178 889 15/410 Pittwater Road, North Manly, NSW 2100. TELEPHONE: (02) 8526 0136. Builders Lic – 340735c,		PROPOSED ADDITION AND ALTERATIONS TO RESIDENCE NAME: MR D. & MRS A. BHIDE ADDRESS: 52 COLLAROY STREET COLLAROY.		COPYRIGHT: THIS PLAN IS EXCLUSIVE PROPERTY OF NEXT STOREY HOME ADDITIONS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE COMPANY		MINOR VARIATIONS MAY BE NECESSARY TO FACILITATE CONSTRUCTION OR IMPROVE AESTHETICS. ALL WORK TO BE IN ACCORDANCE WITH NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 AND HOUSING PROVISIONS STANDARD 2022. WRITTEN DIMENSIONS TAKE PRECEDENCE TO SCALE.		STORMWATER LAYOUT		COUNCIL COPY	
	DATE 11/09/2025		SCALE		SHEET NO		DRAWING JOB NO		ISSUE			
	DRAWN BY: NOEL. DESIGN BY: MICHAEL.		1:200 @ A3		A3-17		052-COL		B-2			



NO SEDIMENT CONTROL PROPOSED- ONLY 2ND STOREY WORK





NEXT STOREY HOME ADDITIONS

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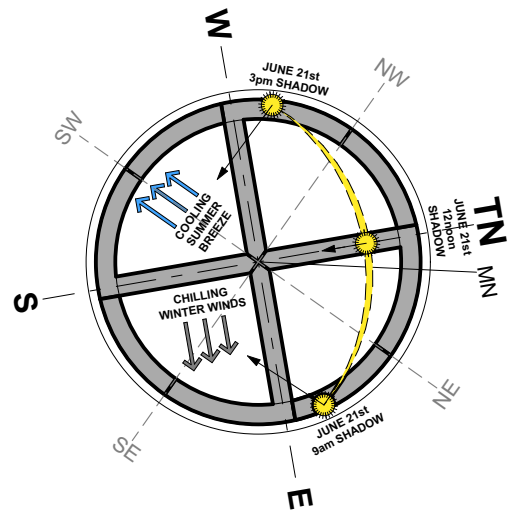
WRITTEN DIMENSIONS TAKE PRECEDENCE TO SCALE.

SITE WORKS MANAGEMENT & SOIL EROSION CONTROL PLAN				
DATE	11/09/2025	SCALE	SHEET NO	DRAWING JOB NO
DRAWN BY:	NOEL	DESIGN BY:	MICHAEL	
	1:200 @ A3	A3-18	052-COL	B-2

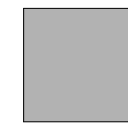
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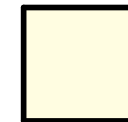
ISSUE



KEY:



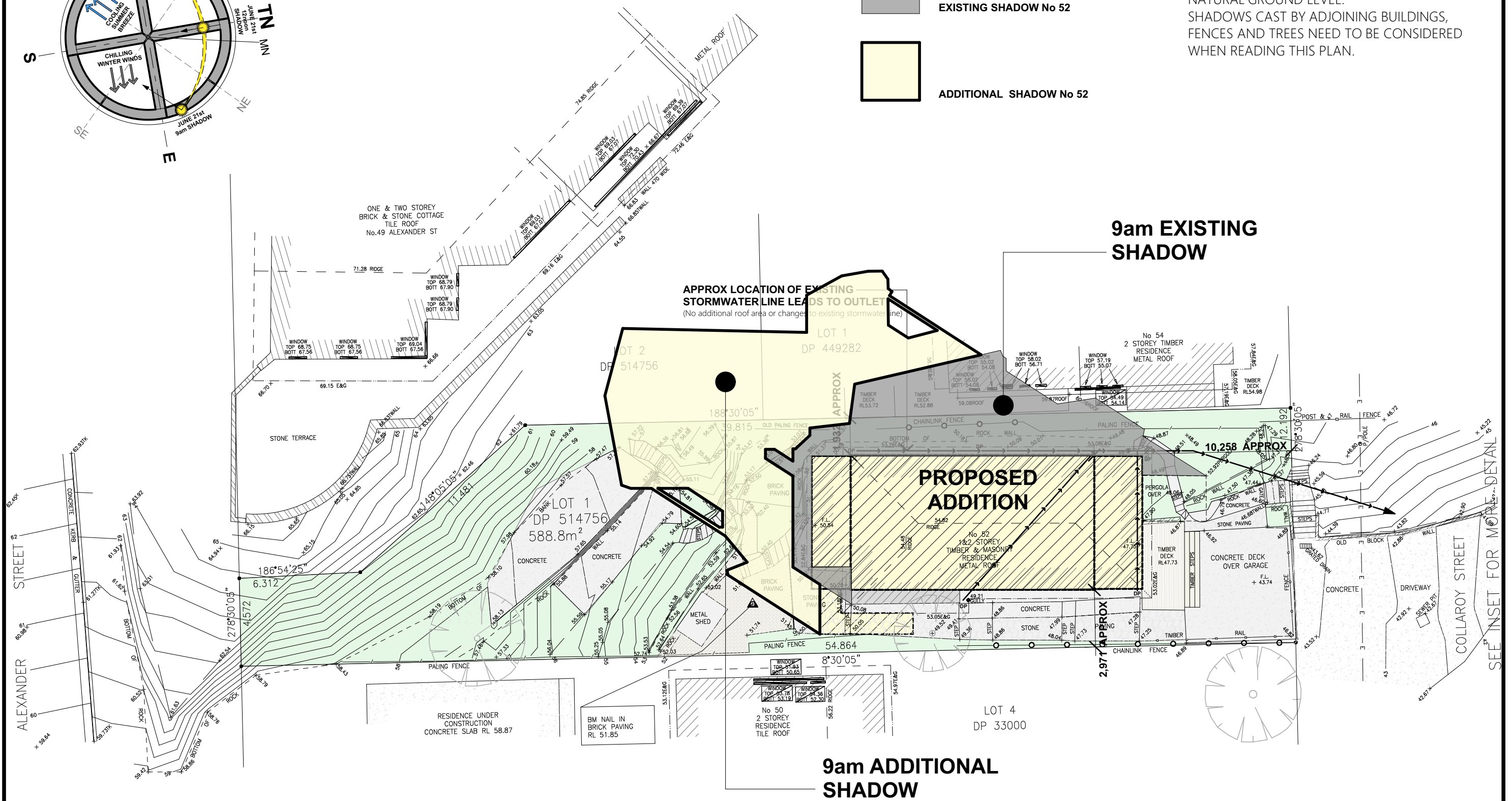
EXISTING SHADOW No 52



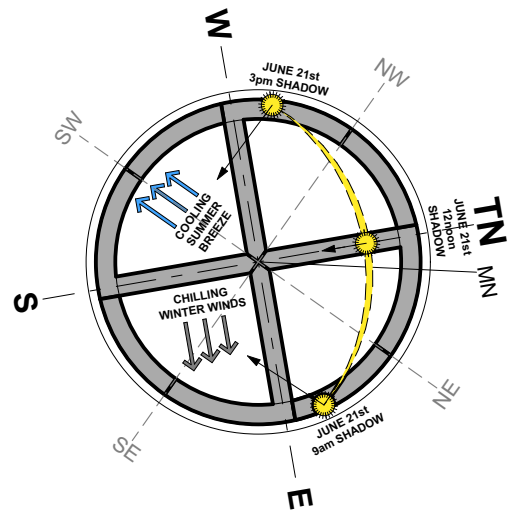
ADDITIONAL SHADOW No 52

NOTE:

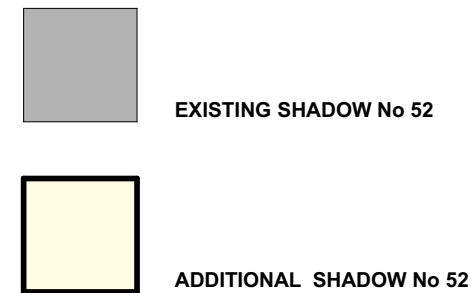
SHADOWS ON PLAN ARE SHOWN AS CAST ON NATURAL GROUND LEVEL.
SHADOWS CAST BY ADJOINING BUILDINGS, FENCES AND TREES NEED TO BE CONSIDERED WHEN READING THIS PLAN.



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	A.C.N. 628 178 889		NAME: MR D. & MRS A. BHIDE				DATE	11/09/2025	SCALE	SHEET NO	DRAWING JOB NO	ISSUE
	15/410 Pittwater Road, North Manly. NSW 2100.		ADDRESS: 52 COLLAROY STREET COLLAROY.				DRAWN BY: NOEL. DESIGN BY: MICHAEL.	1:200 @ A3	A3-19	052-COL	B-2	
TELEPHONE: (02) 8526 0136. Builders Lic – 340735c,												

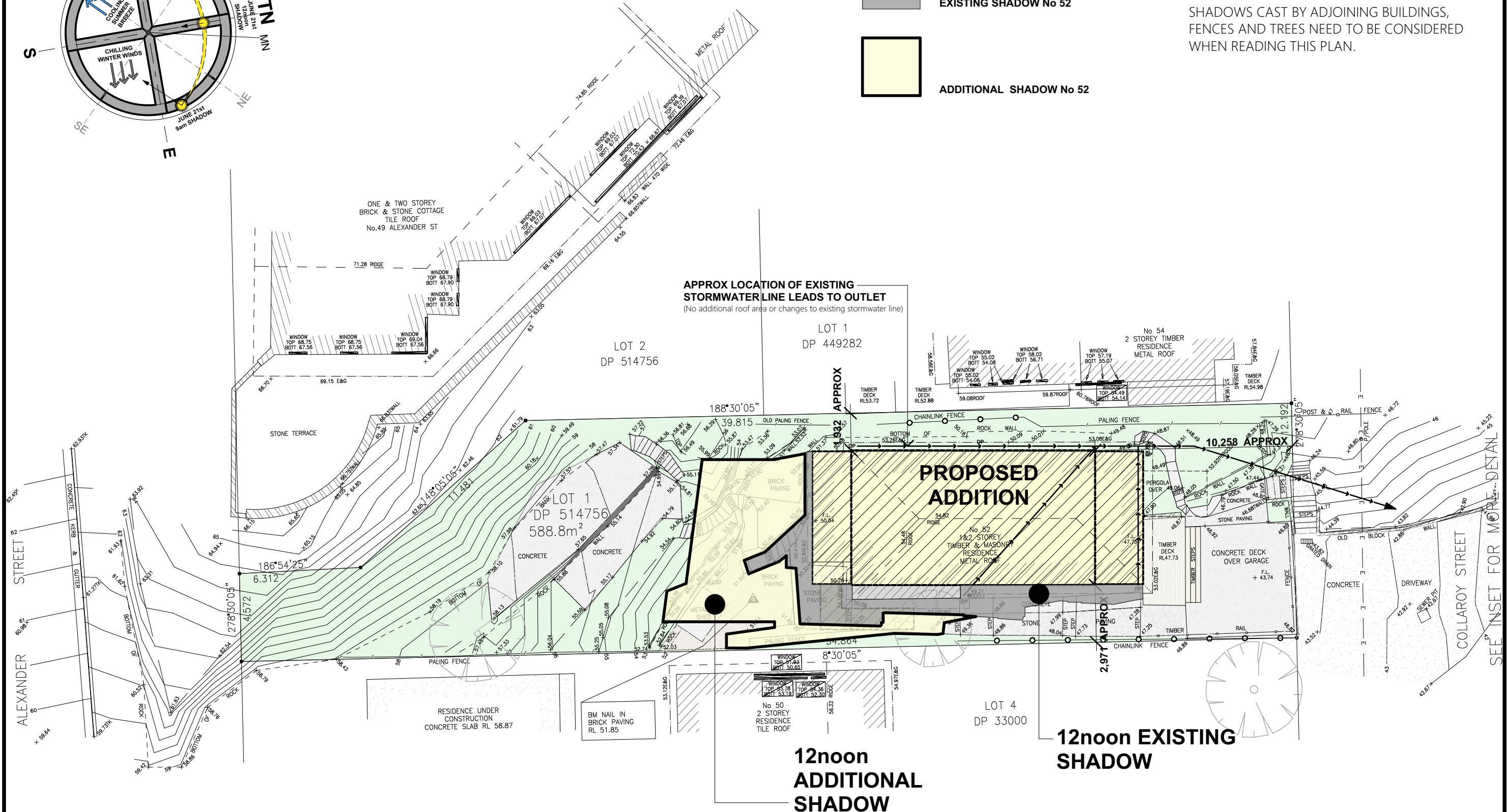


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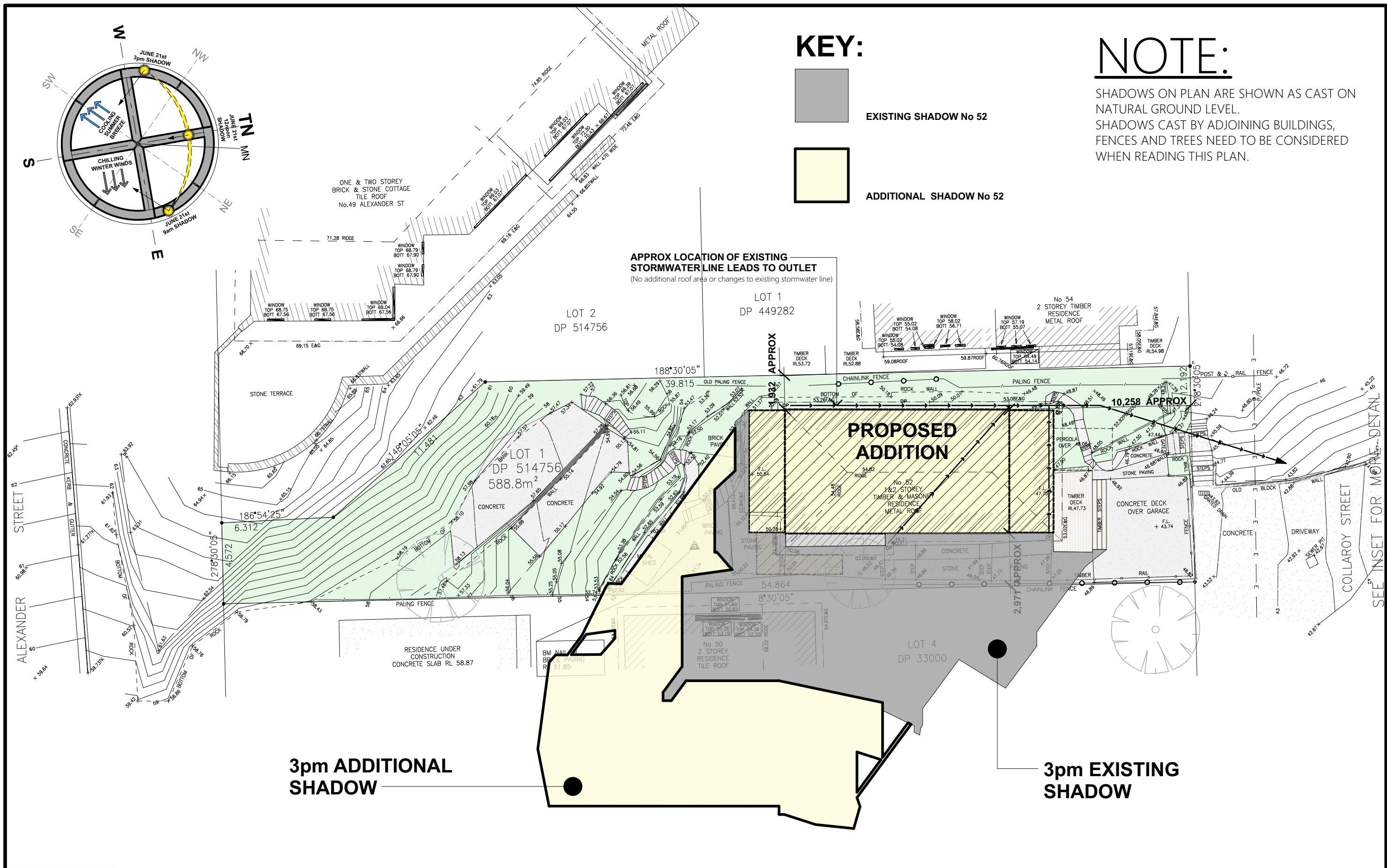


NOTE:

SHADOWS ON PLAN ARE SHOWN AS CAST ON NATURAL GROUND LEVEL.
SHADOWS CAST BY ADJOINING BUILDINGS, FENCES AND TREES NEED TO BE CONSIDERED WHEN READING THIS PLAN.



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	A.C.N. 628 178 889 15/410 Pittwater Road, North Manly. NSW 2100. TELEPHONE: (02) 8526 0136. Builders Lic – 340735c,		NAME: MR D. & MRS A. BHIDE ADDRESS: 52 COLLAROY STREET COLLAROY.				DATE 11/09/2025	SCALE	SHEET NO	DRAWING JOB NO	ISSUE
							DRAWN BY: NOEL. DESIGN BY: MICHAEL.	1:200 @ A3	A3-20	052-COL	B-2



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	DATE	11/09/2025	SCALE		SHEET NO		DRAWING JOB NO		ISSUE			
	DRAWN BY:	NOEL.	DESIGN BY:	MICHAEL.	1:200 @ A3	A3-21	052-COL		B-2			