

SEDIMENT FENCE DETAIL  
NOT TO SCALE

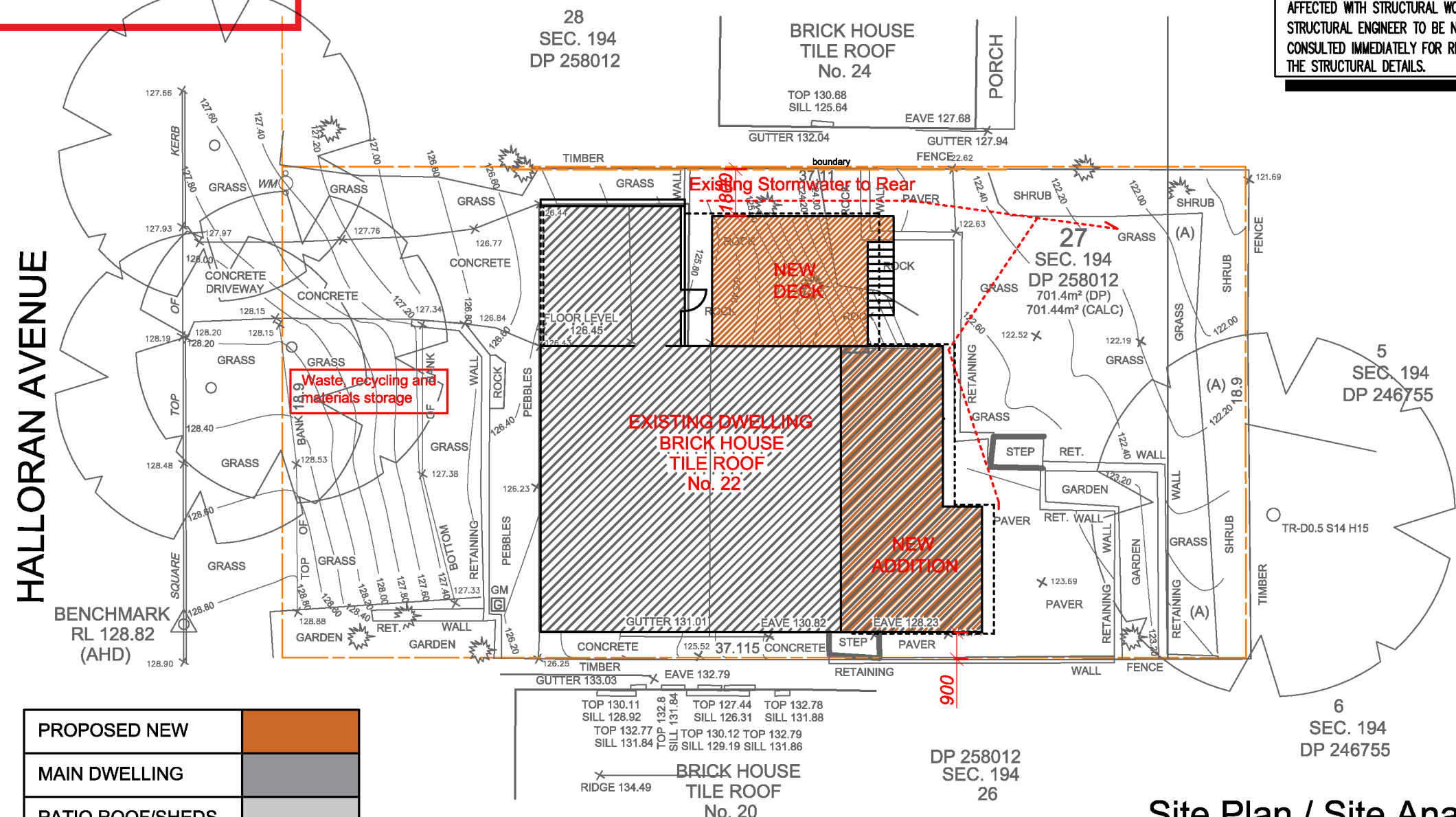
**General Notes:**

1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
2. All timber framing to be carried out to the requirements of Australian Standards (as 1984) as a minimum.
3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

**Construction Notes:**

- \* Check all steel posts & Beams, Floor Joist to structural engineer plans
- \* Articulation Joints to engineers plans
- \* Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with Owner & Manufacturer Details.
- \* All windows, Insulation requirements, lighting to comply with Basix Certificate.
- \* Structural slab to engineer details.
- \* Stairs to be confirmed with manufacturers details.
- \* Metre Box, Gas Metre to be confirmed with Builder on site.
- \* Downpipes to be confirmed with plumber on site.

PROPOSED NEW	
MAIN DWELLING	
PATIO ROOF/SHEDS	
CONCRETE/PAVING	



<b>TOTAL SITE AREA - m2 approx</b>	<b>701.40</b>		
EXISTING DWELLING -GROUND FLOOR	161.00		
EXISTING OTHER STRUCTURES	29.00		
EXISTING DRIVEWAY/PATHS	58.00		
<b>TOTAL EXISTING IMPERVIOUS</b>	<b>248.00</b>		
EXISTING HARD SURFACE BUILT OVER	58.00		
<b>BALANCE IMPERVIOUS AREA</b>	<b>190.00</b>		
<b>PROPOSED ADDITIONS</b>	<b>140.50</b>		
<b>TOTAL PROPOSED IMPERVIOUS AREA</b>	<b>330.50</b>	<b>47.12</b>	<b>%</b>
<b>TOTAL PROPOSED LANDSCAPE AREA</b>	<b>370.90</b>	<b>52.88</b>	<b>%</b>

## DIAL BEFORE YOU DIG

## NOTES:

BUILDER TO ENSURE THE EXACT LOCATIONS OF THE SERVICES PRIOR TO THE START OF ANY CONSTRUCTION WORK. BUILDER MUST CALL 'DIAL BEFORE YOU DIG' TO THE TO CONFIRM THE THE LOCATIONS OF THE EXISTING SERVICES.

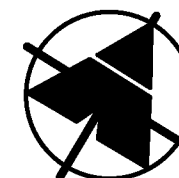
IN THE EVENT THAT ANY SERVICES MAY BE  
AFFECTED WITH STRUCTURAL WORK,  
STRUCTURAL ENGINEER TO BE NOTIFIED AND  
CONSULTED IMMEDIATELY FOR REVIEWING  
THE STRUCTURAL DETAILS.

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AMENDMENT 24/04/20 PRELIMINARY ISSUE      			ISSUE A      		PROPOSED ADDITIONS AT SITE ADDRESS 22 HALLORAN AVENUE, DAVIDSON  DRAWING SITE PLAN/SITE ANALYSIS DATE 24/04/20 SCALE 1 : 200 PROJECT NO CD-086/20			FOR    LOT NO/SECTION 27/194 DRAWING NO CD-086/20-V1		DP 258012 SHEET NO 1 OF 6	
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# CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237  
connectdrafting@gmail.com





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beaches  
council

boundary

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GARAGE

NEW DECK

privacy screen

BED 2

ENTRY

LOUNGE

LIVING

BATH

ENS

DINING

KITCHEN

BED 1

L'DRY

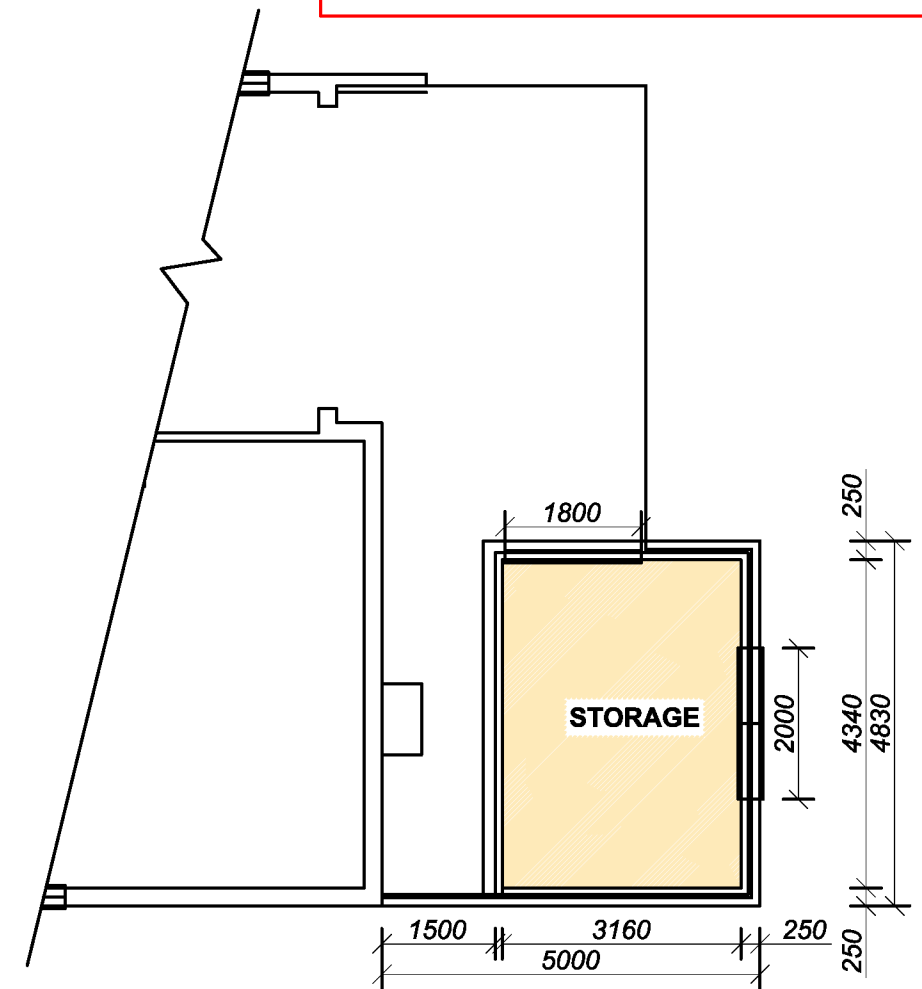
FAMILY

GROUND LEVEL

#### BASIX INFORMATION

All Proposed Construction works shall be in accordance with  
Basix Certificate Issued

Note : Refer to BASIX drawing page for details



LOWER LEVEL

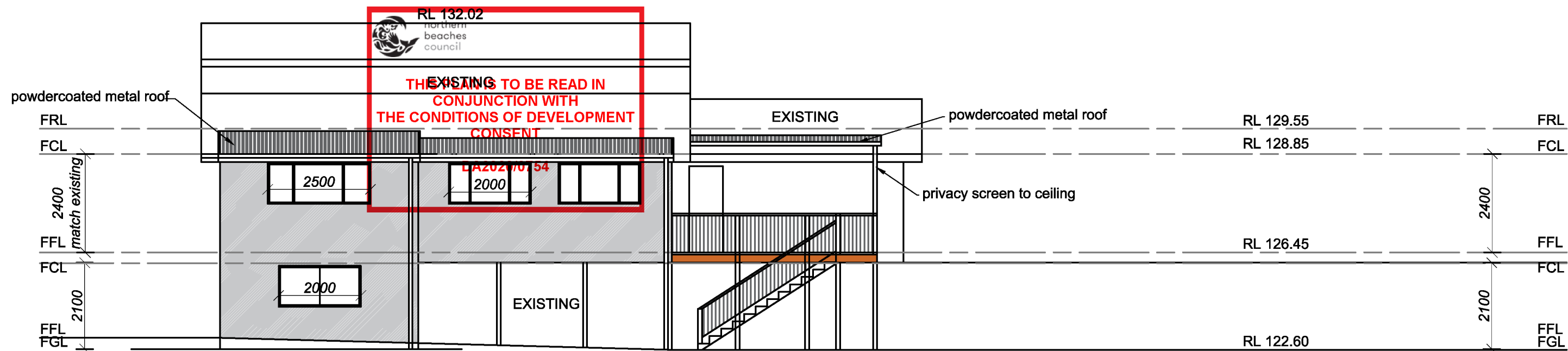
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24/04/20	PRELIMINARY ISSUE	A	PROPOSED	FOR				
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS					
<p>NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION</p> <p>ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES</p> <p>DIAL BEFORE YOU DIG IS RECOMMENDED</p>			AT SITE ADDRESS					
			22 HALLORAN AVENUE, DAVIDSON					
			DRAWING			LOT NO/SECTION	DP	
			FLOOR PLAN			27/194	258012	
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO	
24/04/20	1:100	CD-086/20	CD-086/20-V1	2 OF 6				

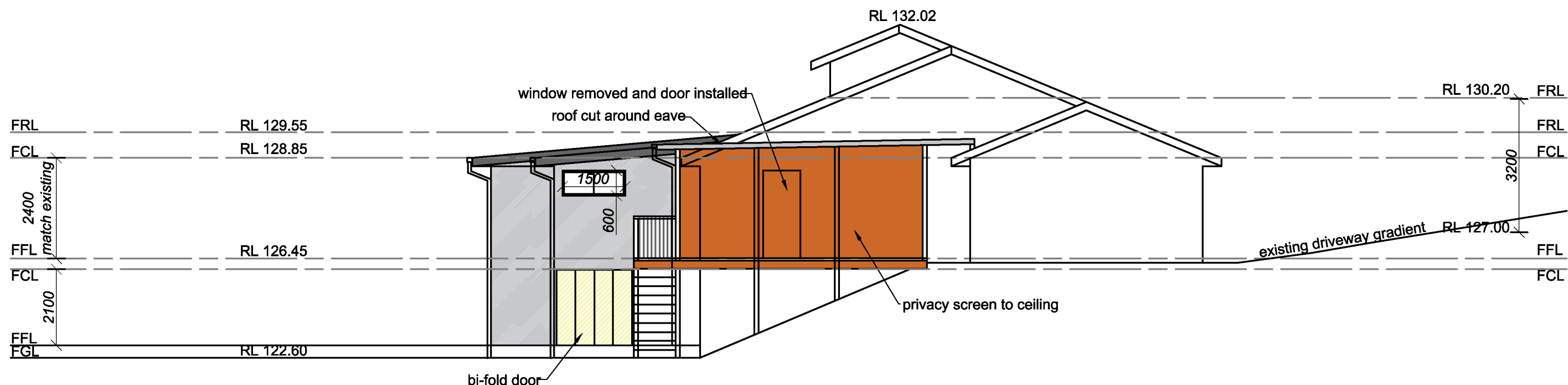
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## NORTH EAST ELEVATION



## NORTH WEST ELEVATION

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			22 HALLORAN AVENUE, DAVIDSON	
			DRAWING	LOT NO/SECTION
			ELEVATIONS-1	27/194
DATE	SCALE	PROJECT NO	DRAWING NO	DP
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			SHEET NO	
			3 OF 6	

### CONNECT DRAFTING

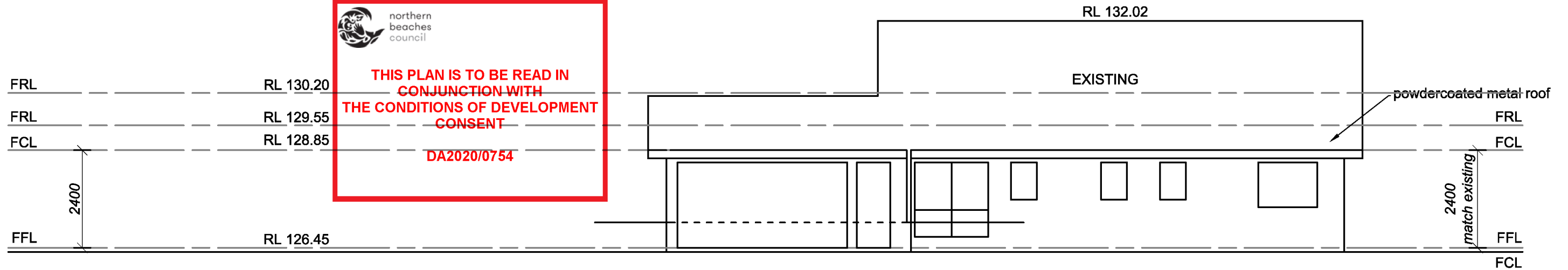
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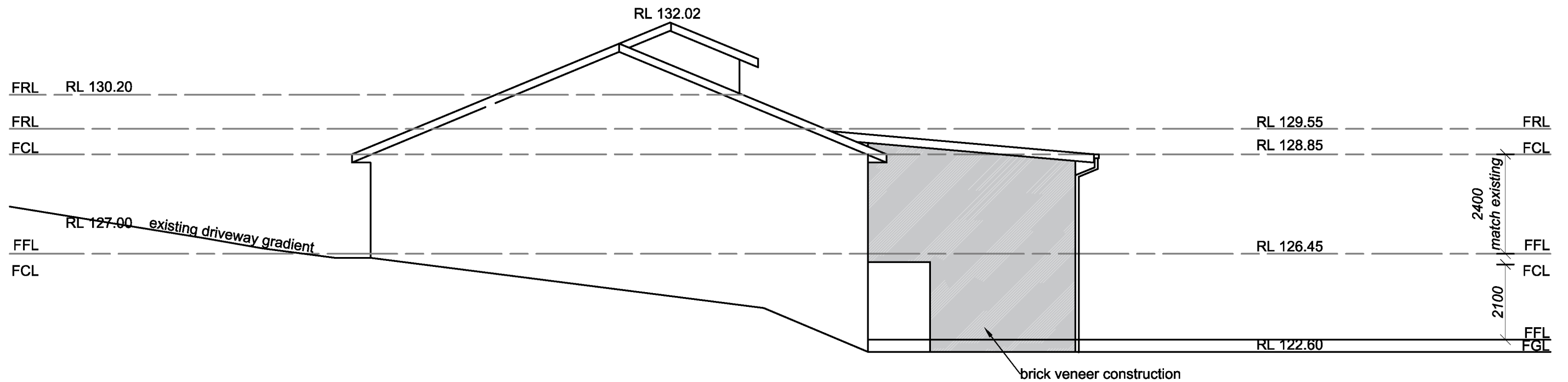
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council

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## SOUTH WEST ELEVATION



## SOUTH EAST ELEVATION

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AT SITE ADDRESS				
22 HALLORAN AVENUE, DAVIDSON				
DRAWING			LOT NO/SECTION	DP
ELEVATIONS-2			27/194	258012
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
24/04/20	1:100	CD-086/20	CD-086/20-V1	4 OF 6

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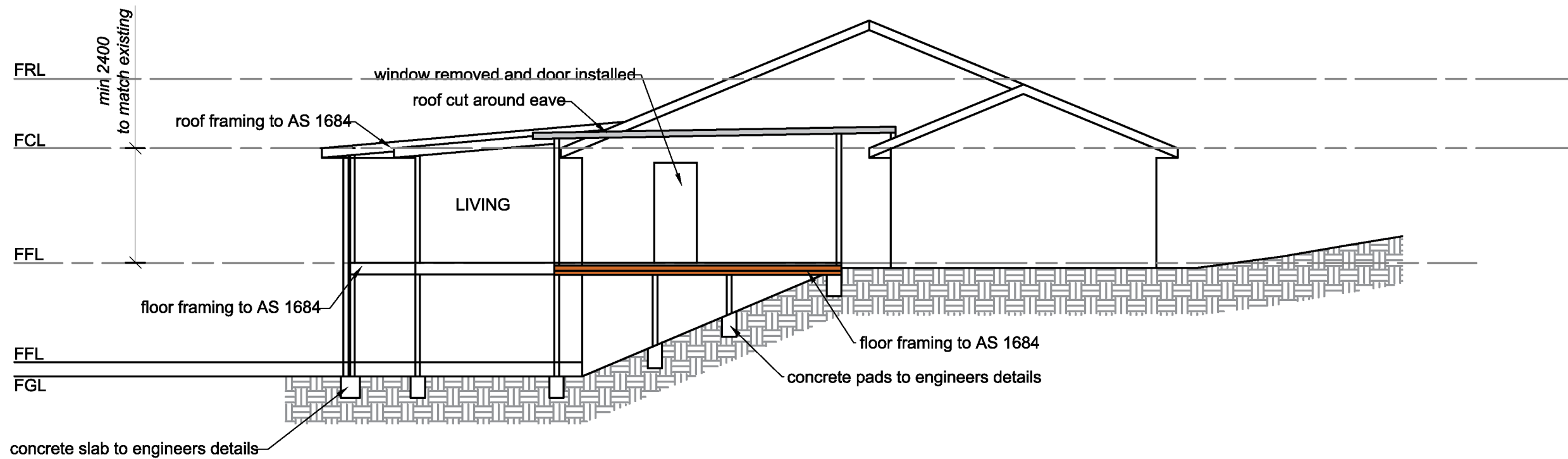




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council





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## SECTION AA

### SCHEDULE FINISHES/COLOURS

ROOFING	METAL	GREY	
WALLS	MASONRY/ FIBRE CEMENT	GREY	
GUTTER	METAL	GREY	
WINDOWS	ALUMINIUM	WHITE	

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				DRAWING		LOT NO/SECTION	DP	
				SECTION		27/194	258012	
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