

S4.55 MODIFICATION

Drawing No.	Title
D0000	COVER SHEET
D0001	BUILDING SPECIFICATIONS
D0002	BASIX
D0003	SITE PLAN
D1000	DEMOLITION PLAN
D2100	GROUND FLOOR PLAN
D2101	FIRST FLOOR PLAN
D2102	CELLAR FLOOR PLAN
D2103	ROOF PLAN
D3000	NORTH/EAST ELEVATION
D3001	SOUTH/WEST ELEVATION
D3002	COURTYARD ELEVATIONS
D3100	SECTION AA
D3101	SECTION BB
D3102	SECTION CC/DD
D4000	SHADOW DIAGRAMS
D5000	AREA SCHEDULE

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

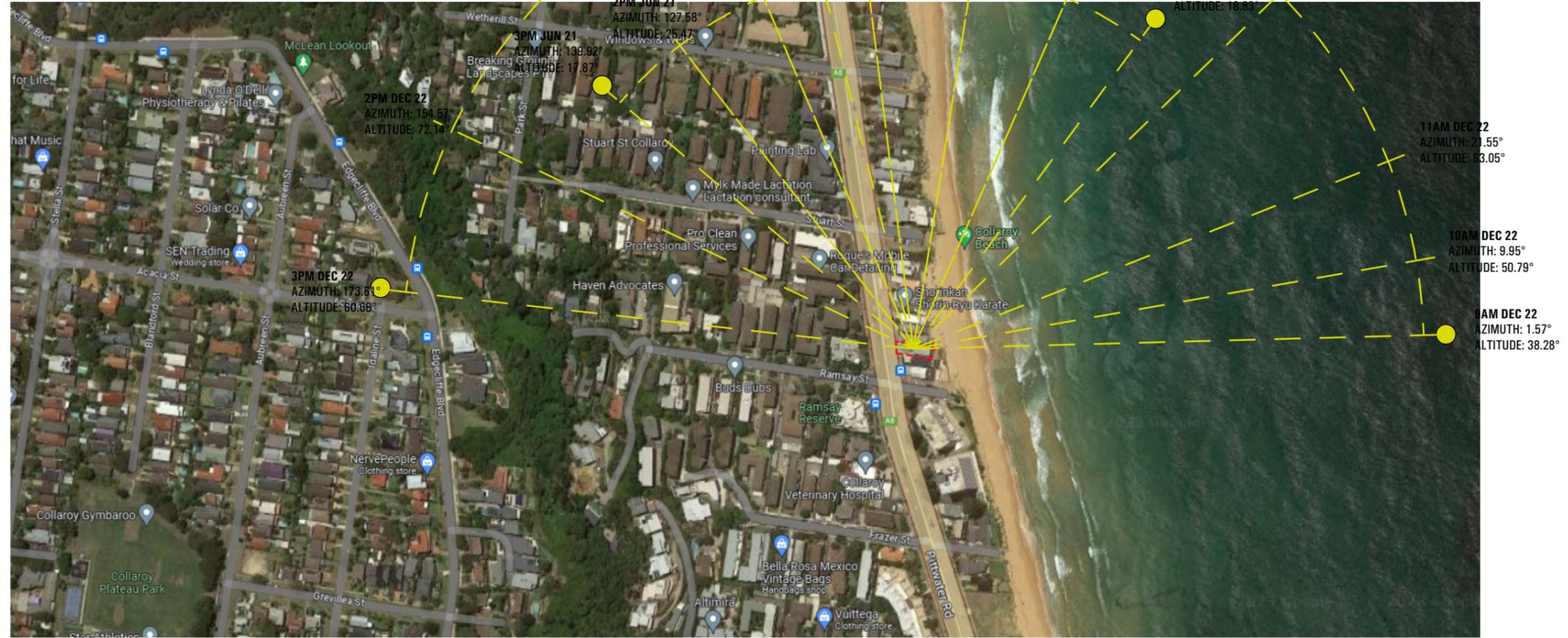
DEVELOPMENT SCHEDULE

SITE AREA	385.70m ²	
BUILDING FOOTPRINT	ALLOWABLE: 128.40m ² (33.3% x SITE AREA)	
	EXISTING:	125.38m ² (32%)
	PROPOSED:	184.35 m ² (48%)

ISSUE	AMENDMENT	DATE	NOTES
A	FOR DA	15.09.23	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	FOR DA - RFI	09.02.24	
C	ISSUE FOR ENGINEERING	09.04.24	
D	S4.55 MODIFICATION	24.05.24	

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

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No. 1130 PITTWATER ROAD COLLARROY - EXISTING REAR ELEVATION



No. 1130 PITTWATER ROAD COLLARROY - FRONT ELEVATION

NOTE:
DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION



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SUBMISSION

S4.55 MODIFICATION	
project	1130 PITTWATER RD
COLLARROY	
drawing	COVER SHEET
drawn SM / PC	checked MA
date 09.02.24	scale @ A3
project no 2_23_10	drawing no D0000
	issue D

SPECIFICATION

PROJECT ADDRESS:

1130 PITTWATER RD COLLAROY

2.0 STATUTORY REQUIREMENTS

2.1 The Works

All works shall be carried out and completed to comply with the appropriate construction standards and the Local Government Act (as amended)

2.2 Regulations, Notices and Fees

The Contractor is to comply with Local Government (Approvals) Regulations 1993 and Local Government (Orders) Regulation 1993 under the Local Government Act 1993 (as amended) or the Building Code of Australia; the requirements of legally constituted authorities for local government and/or for services: and the provisions of the Building Services Corporation Act (as amended). The Contractor is to give all Notices, obtain all Permits and pay all Fees required by such authorities.

2.3 Insurance

Insurance cover the works against risk for Fire, Theft, Malicious Damage and Materials on site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act or New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct the complete the building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by tradespeople of that particular trade and in conformity with adequate building practice. Building materials surplus to requirements of the works shall be and remain the property of the Contractor.

2.5 Electricity

Available on site

2.6 Sanitary Accommodation

Toilet facilities exist on Site.

3.0 OWNERS OBLIGATIONS

3.1 Surveyor's Certificate

The Owner's shall obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

3.2 Engineer's Recommendations

The Owner shall provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requires for the works prepared by an Engineer.

3.4 Items Supplied by the owner

For all items referred to in the specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

The Owner shall pay all necessary application notices and lodge plans and details with the Local Authority for approval prior to commencement of construction

4.2 Setting Out

The Contractor shall accurately set out the works in accordance with the site plan and within the boundaries of the site.

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.2 Storm Water Drainage

Existing

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or the NSW Timber Framing Manual as amended or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown, are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684 or NSW Timber Framing Material.

9.3 Wall Framing

Plates are to be tranches to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face if brick veneer walls to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab with or in accordance with AS 4055.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 17mm in depth shall be seasoned or low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328 or if approved by the Lending Authority. Laminated Veneer Lumber beams to manufacturers specification and data sheets may be used.

9.6 Bracing

Timber frames must be braces in accordance with Clause 3.4.3.8 BCA Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building Type "A" and/or "B" units are to be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Fixing shall be in accordance with the applicable flooring Code.

When specified, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.10 Corrosion Protection

All metal brackets, facing plats and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations as AS 3623 or Part 3.4.2. BCA 96 Housing Provisions

12.0 MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS 1225, AS 1226 and AS 3700.

13.0 CLADDING AND LININGS

13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

13.2 Internal Wall and Ceilings Linings.

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Fixings is to be strictly in accordance with the manufacturer's recommendations. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls in brick veneer and timber frame buildings shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open verandas, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds, where required, shall be fixed at the junction of the walls and ceilings.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed as AS 3740 or Part 3.8.1 BCA 96 Housing Provisions

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door frames

Timber used in external door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal timber jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed in accordance with the Manufacturer's Recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909 timber Door and Door sets and shall be manufactured in accordance with AS 2588 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2047 and installed in accordance with AS 2048.All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions. Glazier to provide safety glass compliance certificates.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings.

14.6 Stairs and Barriers

Provide handrails and balustrades to any change in level and to at least one side of ramps and stairs as per Part 3.9.1 & 3.9.2 of BCA Housing Provisions.

NOTE:
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SUBMISSION

\$4.55 MODIFICATION

project 1130 PITTWATER RD

COLLARROY

drawing

BUILDING SPECIFICATIONS

drawn SM / PC checked MA

date 09.02.24 scale @ A3

project no drawing no issue

2_23_10 D0001 D

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	\$4.55 MODIFICATION	24.05.24

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Single Dwelling

Certificate number: 1412073S_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1412073S lodged with the consent authority or certifier on 04 October 2023 with application DA2023/1438.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Friday, 24 May 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	1130 Pittwater Rd HEC1482_03	
Street address	1130 PITTWATER ROAD COLLAROY 2097	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan 121939	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by	
Name / Company Name:	House Energy Certified
ABN (if applicable):	81601166561

Water Commitments	
Fixtures	
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.	
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.	
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.	
Alternative water	
Rainwater tank	
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).	
The applicant must connect the rainwater tank to:	
<ul style="list-style-type: none"> all toilets in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 	

Thermal Comfort Commitments	
Construction	
Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor.	
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	

Floor and wall construction	Area
floor - concrete slab on ground	117.0 square metres
floor - suspended floor/enclosed subfloor	6.0 square metres

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES		
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Energy Commitments	
Hot water	
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	
Cooling system	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2.5 Star (old label)	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2.5 Star (old label)	
Heating system	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: electric floor heating. Energy rating: n/a	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2.5 Star (old label)	
Ventilation	
The applicant must install the following exhaust systems in the development:	
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off	
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off	
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off	
Artificial lighting	
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:	
<ul style="list-style-type: none"> at least 4 of the bedrooms / study; dedicated 	

Energy Commitments	
<ul style="list-style-type: none"> at least 1 of the living / dining rooms; dedicated the kitchen; dedicated all bathrooms/toilets; dedicated the laundry; dedicated all hallways; dedicated 	
Natural lighting	
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	
Alternative energy	
The applicant must install a photovoltaic system with the capacity to generate at least 1.6 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	
Other	
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.	

Nationwide House Energy Rating Scheme
NatHERS Certificate No. #HR-A9EO3G-04

Generated on 24 May 2024 using Hero 4.0 (Chenath v3.21)

Property
Address: 1130 Pittwater Road, Collaroy, NSW, 2097
Lot/DP: 1/121939
NCC Class*: 1a
Type: New

Plans
Main Plan: 2-23-10
Prepared by: MA/JG

Construction and environment

Assessed floor area (m ²)	Exposure Type
Conditioned*	282.4 Exposed
Unconditioned*	21.2 NatHERS climate zone
Total	342.5 56 - Mascot AMO
Garage	38.9

Thermal Performance

Heating	Cooling
38.5 MJ/m ²	22.9 MJ/m ²

Accredited assessor
Name: Paul Gradwell
Business name: House Energy Certified
Email: paul@houseenergycertified.com
Phone: +61 410310381
Accreditation No: DMN/18/4423
Assessor Accrediting Organisation: DMN
Declaration of interest: No Conflict of Interest

Verification
To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-A9EO3G-04>. When using either link, ensure you are visiting <http://www.hero-software.com.au>

National Construction Code (NCC) requirements
The NCC's requirements for NatHERS-rated houses are detailed in J0.2 and J5 of the NCC Volume One. In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au. State and territory variations and additions to the NCC may also apply.

Assessor Construction Summary						
Based for information only - refer to the NatHERS Certificate(s).						
Project:	Address:	1130 Pittwater Road Collaroy NSW 2097			File Ref:	HEC1482aa
Applicant:	Name:	Azzwic Holdings Pty Ltd			Designer:	Map Architects Pty Ltd
Assessor:	Name:	Paul Gradwell	Company:	House Energy Certified	Number:	DMN/18/4423
	Address:	PO BOX 3136 Tamarama NSW 2026	Email:	paul@houseenergycertified.com		
	Contact:	02 9130 2068				
Ext. Walls:	Construction	Insulation	Colour	Details		
	Cavity Brick	25mm Isotherm R3 or equiv (R1.3)	Light	As per plans		
	Metal Clad	R2.5 added	Dark	As per plans		
Int. Walls:	Construction	Insulation	Details			
	Plasterboard on Stud	None	First floor			
	Single Brick	None	Ground floor			
Floors:	Construction	Insulation	Details			
	Concrete	R1.0 added	To slab edge where underfloor heating			
	Concrete	R1.1 added	Where open below/Above cellar			
	Concrete	R4.0 added	Above garage			
Ceilings:	Construction	Insulation	Details			
	Plasterboard	R4.0 added	Where flat			
	Plasterboard	R2.5 added	Where raked			
Roof:	Construction	Insulation	Colour	Details		
	Concrete	90mm PIR or equiv (R4.1)	Medium	Ground floor roof		
	Metal Deck	60mm Ariflon (R1.3)	Dark	First floor roof		
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details	
Group A	ALM-003-03 A	Double Clear	Aluminium	4.3/0.47	Casement, Entry Door	
Group B	ALM-004-03 A	Double Clear	Aluminium	4.3/0.53	Fixed, Sliding	
Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70	Louvre	
Skylights:	Product ID	Glass	Type	Uw/SHGCw	Details	
	VEL-011-01 W	Double Fixed	Roof Light	2.6/0.24	As per plans	
	GEN-04-005a	Double Clear	Skylight		As per plans	
Other:	Orientation	Terrain	Rangehood	Recessed Downlights	Software Version	
	0	Exposed	Ducted	Sealed LED - 1 per 2.5m ²	HERO	



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SUBMISSION
\$4.55 MODIFICATION

project 1130 PITTWATER RD
drawing COLLAROY

drawn SM / PC checked MA

date 09.02.24 scale @ A3

project no 2_23_10 drawing no D0002 issue D

AS1926.1-2012, SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS.
 AS1926.2-2007, SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
 AS/NZS 2416.1:2010, WATER SAFETY SIGNS AND BEACH SAFETY FLAGS



EARTHWORK IS TO COMPLY WITH BCA 2016 TABLE 3.1.1.1 AS REFERENCED IN FIG 3.1.2.1 & CLAUSE 3.1.1.0(B) FOR DETERMINATION OF A NORMAL SITE AS REFERENCED BY CLAUSE 3.2.1.
 DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3-2015 OR SECTION 5 OF AS/NZS 3500.5 2012.
 TERMITE MANAGEMENT IS TO COMPLY WITH BCA 2016 PART 3.1.3 AND AS 3660.1-2014. A DURABLE NOTICE IS TO BE INSTALLED IN ACCORDANCE WITH BCA 2016 PART 3.1.3(b). WHERE A CHEMICAL TERMITE MANAGEMENT SYSTEM IS USED, THE CHEMICAL MUST BE INCLUDED ON THE APPROPRIATE AUTHORITY'S PESTICIDES REGISTER. A.

SITE ACCESS
 PROVIDE A SINGLE STABILISED ENTRY/EXIT POINT. SEDIMENT OR BUILDING WASTE SHOULD BE REMOVED FROM THE ROAD BY SWEEPING, SHOVELLING OR SPONGING; NOT WASHING.
DIVERSION OF WATER
 DIVERT RUN OFF AWAY FROM DISTURBED AREAS AND STOCKPILES USING BANKS AND CHANNELS. RUN OFF SHOULD BE TREATED (BY SEDIMENT FENCE OR THE LIKE) BEFORE LEAVING THE SITE.

ROOF WATER DRAINAGE
 CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORM WATER SYSTEM AS SOON AS THE ROOF IS COMPLETE, TO REDUCE SITE WETNESS.
DUST CONTROLS
 MINIMISE DISTURBANCES. COVER STOCKPILES. USE WATER WHEN NECESSARY, BUT CONTROL RUN OFF.

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DETAIL 1
SEDIMENTATION FENCES
 FENCES SHOULD BE INSTALLED DOWN SLOPE TO TREAT SITE RUN-OFF. TO BE EFFECTIVE, THEY NEED TO BE INSTALLED PROPERLY AND MAINTAINED REGULARLY.

DETAIL 2
GUTTER PROTECTION
 GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD BE INSTALLED AROUND STORM WATER INLETS TO REDUCE THE RISK OF UNTREATED RUN OFF ENTERING THE WATERWAYS.

DETAIL 3
STOCKPILES
 STOCKPILES SHOULD BE LOCATED UPSLOPE AWAY FROM DRAINAGE LINES. RUN OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE. PROTECT STOCKPILES WITH WATERPROOF COVERING. INSTALL A SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE. STOCKPILES MUST NOT BE STORED ON FOOTPATHS.

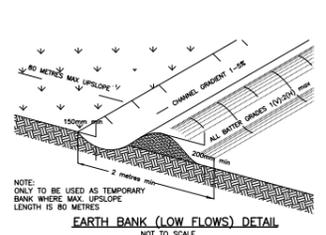
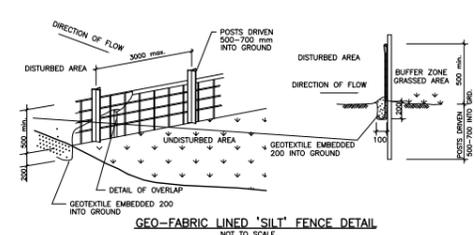
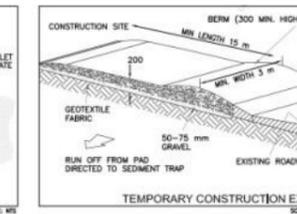
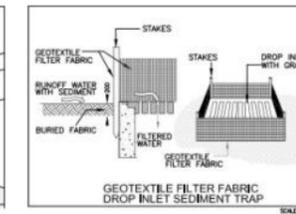
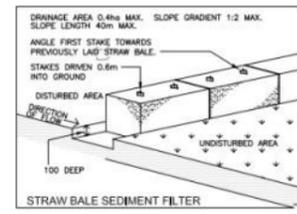
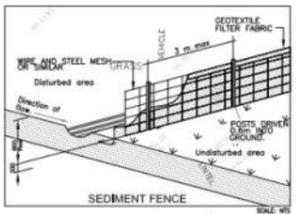
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

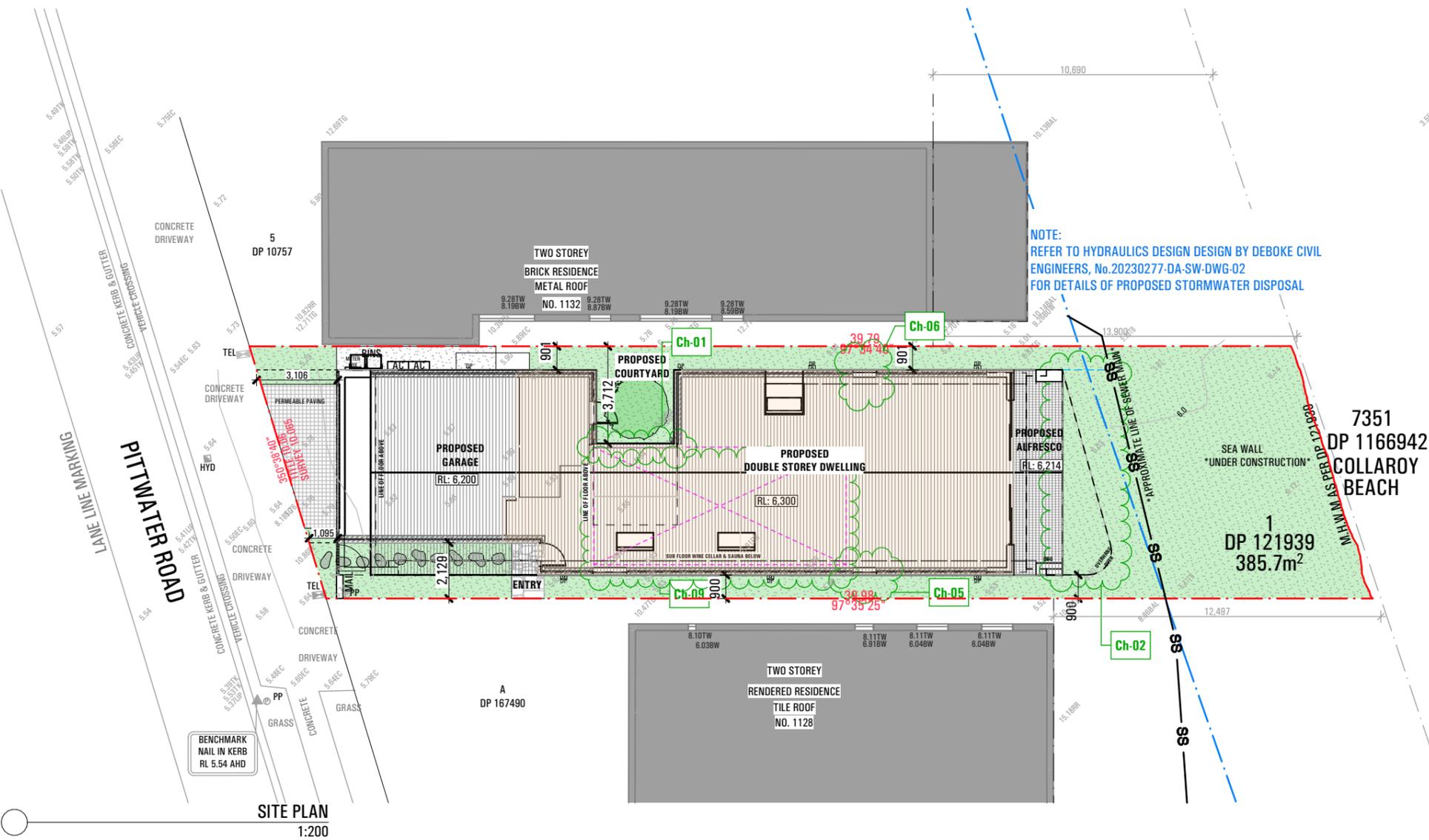
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NOTE:
 REFER TO GEOTECHNICAL REPORT PREPARED BY 'NEPEAN GEOTECHNICS', DATED 23rd May 2024, FOR RECOMMENDATIONS OF THE PREPARATIONS AND DEPTH OF THE PROPOSED PIERING OF THE GROUND FLOOR SLAB



S4.55 MODIFICATIONS

Change ID	Name
Ch-01	Courtyard wall moved into courtyard
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Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

NOTE:
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SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD COLLAROY

drawing SITE PLAN

drawn SM / PC checked MA

date 09.02.24 scale 1:200 @ A3

project no 2_23_10 drawing no D0003 issue D

DEMOLITION

STANDARD
DEMOLITION: TO AS 2601
DEMOLISHED MATERIALS
EXCEPT FOR MATERIALS TO BE SALVAGED AND RETAINED BY THE OWNER OR RE-USED,
DEMOLISH MATERIALS AND REMOVE FROM THE SITE.
DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.
SUPPORT
PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO BE ALTERED AND WHICH RELY FOR SUPPORT ON WORK TO BE DEMOLISHED.
ASBESTOS REMOVAL
METHOD: USE WET REMOVAL METHODS RECOMMENDED IN THE CODE OF PRACTICE FOR THE REMOVAL OF ASBESTOS (HOHSC: 2002), INCLUDING PART 4 FOR INSULATION AND LAGGING, AND PART 9 FOR ASBESTOS CEMENT.
MONITORING: HAVE DUST MONITORING PERFORMED BY AN INDEPENDENT TESTING AUTHORITY.

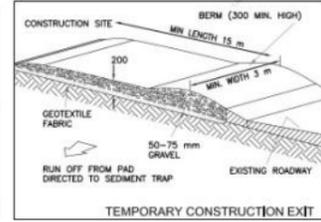
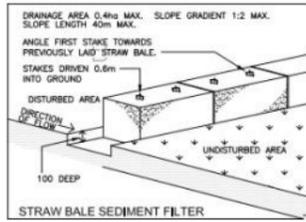
ELEMENTS TO BE REMOVED

NOTES

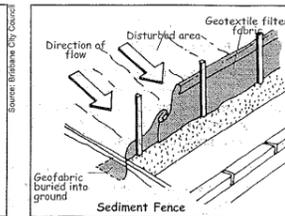
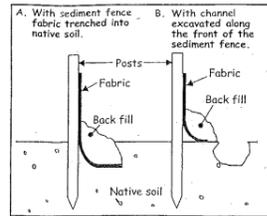
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DEMOLITION SPECIFICATION, SCHEDULES, ENVIRONMENTAL MANAGEMENT PLAN & DA CONSENT CONDITIONS THE PUBLIC FOOTWAYS & ROADWAYS ADJACENT TO THE SITE SHALL BE MAINTAINED AT ALL TIMES DURING THE COURSE OF THE WORK IN A SAFE CONDITION. LIGHTING, FENCING, TRAFFIC CONTROL & ADVANCED WARNING SIGNS SHALL BE PROVIDED FOR THE PROTECTION OF THE WORKS & THE SAFETY & CONVENIENCE OF THE PUBLIC TO THE SATISFACTION OF THE PCA & IN ACCORDANCE WITH COUNCIL'S STANDARD SPECIFICATION FOR ENGINEERING WORKS. TRAFFIC MOVEMENT IN BOTH DIRECTIONS ON PUBLIC ROADS, AND VEHICLE ACCESS TO PRIVATE PROPERTIES IS TO BE MAINTAINED AT ALL TIMES DURING THE WORKS

CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS WILL INSTALL, MAINTAIN & IMPLEMENT SOIL & SEDIMENT CONTROL MEASURES AT ALL TIMES. THE MEASURES TO REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED & THE SITE FULLY STABILISED, REFER TO HYDRAULIC ENGINEER'S SEDIMENT CONTROL PLAN DRAWING 0708 SCP-01 REVISION B ISSUED 25/07/07. TOILET FACILITIES TO BE PROVIDED DURING DEMOLITION & CONSTRUCTION, AT A RATE OF 1 TOILET TO 20 PERSONS OR PART PERSONS ON SITE. DEMOLITION MUST BE UNDERTAKEN IN ACCORDANCE WITH PROVISIONS OF AS2601- DEMOLITION OF STRUCTURES. ALL EXISTING WALL FIXINGS, EXPOSED SERVICES, WIRING ETC. NOT REUSED TO BE CAPPED OFF & MADE SAFE, IN ACCORDANCE WITH DEMOLITION SPECIFICATION. ALL FILL & VEGETATION TO EXISTING PLANTERS TO BE REMOVED & ANY SERVICE CAPPED WHERE WALLS ARE TO BE REMOVED & NOT REPLACED, THE EXISTING WALLS TO BE MADE GOOD WORK MUST SATISFY APPLICABLE OCCUPATIONAL HEALTH & SAFETY, & CONSTRUCTION SAFETY REGULATIONS, INCLUDING ANY WORK COVER AUTHORITY REQUIREMENTS. SITE FENCE TO BE INSTALLED TO EXCLUDE PUBLIC FROM SITE. SAFETY SIGNS MUST BE ERECTED TO WARN PUBLIC TO KEEP OFF SITE AND PROVIDE A TELEPHONE CONTACT NUMBER FOR ENQUIRIES. WORK COVER AUTHORITY TO BE NOTIFIED IMMEDIATELY IF ANY PART OF THE BUILDING BEING DEMOLISHED OR REMOVED IS IDENTIFIED OR SUSPECTED OF CONTAINING ASBESTOS. THE REQUIREMENTS & STANDARDS IMPOSED BY THE AUTHORITY, ITS CONSULTANTS OR CONTRACTORS SHALL BE COMPLIED WITH. IF REQUIRED CONTRACTOR SHALL ENGAGE QUALIFIED CONSULTANT TO UNDERTAKE ASBESTOS & LEAD PAINT CONTAMINATION SURVEY DEMOLITION WORKS SHALL BE RESTRICTED TO WITHIN THE HOURS OF 8.00AM TO 5.00PM MONDAY TO FRIDAY ONLY. THE BUILDER SHALL DISPLAY ON-SITE, THEIR 24 HOUR CONTACT NUMBER, WHICH IS CLEARLY VISIBLE & LEGIBLE FROM ANY PUBLIC PLACE ADJOINING THE SITE NOISE EMISSIONS & VIBRATIONS TO BE MINIMISED WHERE POSSIBLE & WORK TO BE CARRIED OUT IN ACCORDANCE WITH EPA GUIDELINES & COMPLY WITH THE PROTECTION OF THE ENVIRONMENTAL OPERATIONS ACT 1997. ALL PLANT & EQUIPMENT USED DURING DEMOLITION SHALL BE SITUATED WITHIN THE BOUNDARIES OF THE SITE AND PLACED SO THAT ALL SLURRY, WATER AND DEBRIS SHALL BE DISCHARGED & CONTAINED ON SITE. ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA)
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SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCING WORK

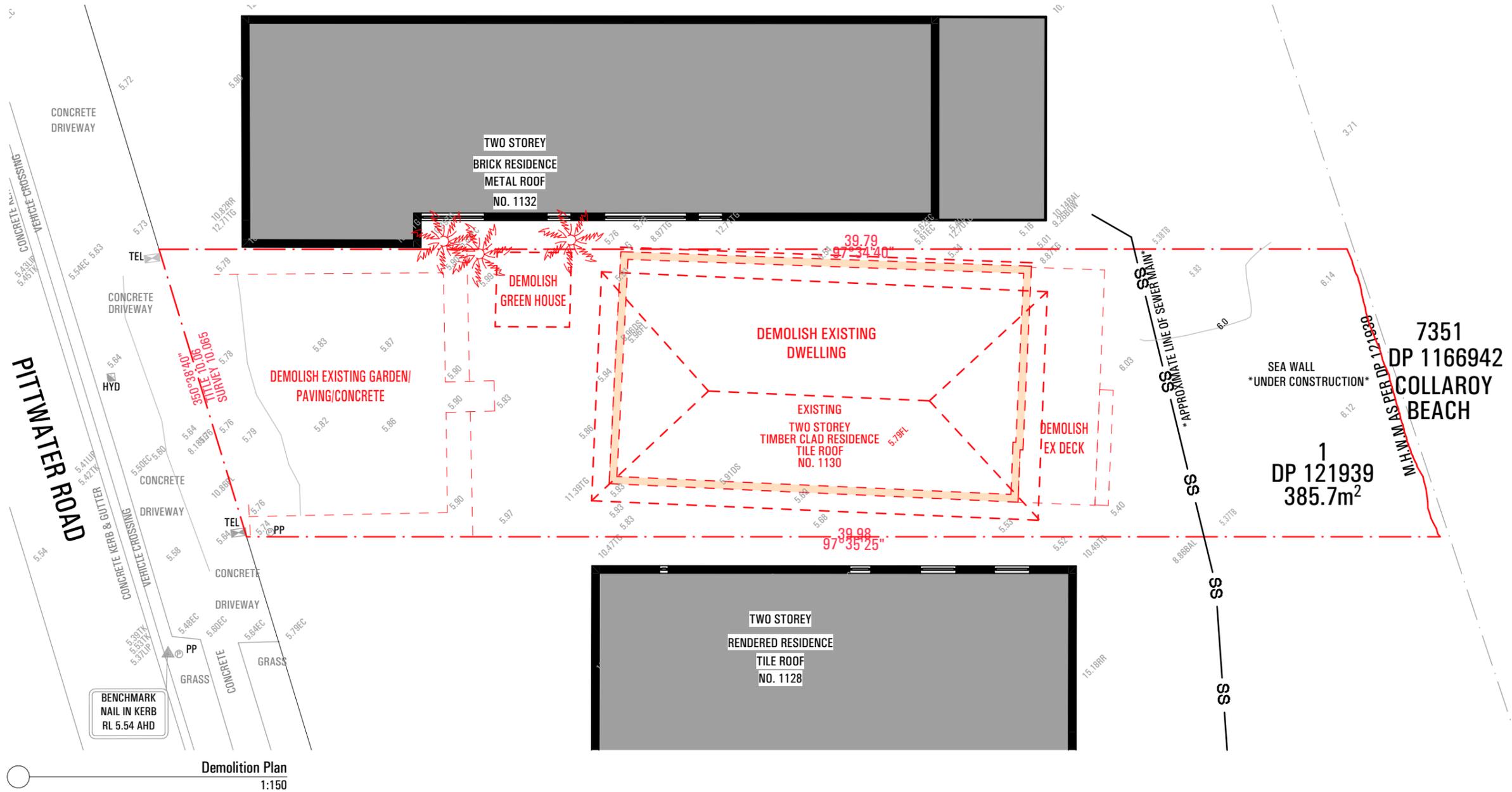
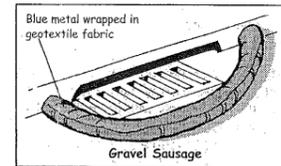


- Sediment Fences should be installed downslope to treat site run-off.
- To be effective they need to be installed properly and maintained regularly.



Gutter Protection

As a precautionary measure, sediment controls such as gravel sausages, gravel bags or sand bags should be installed around stormwater inlets if there is a risk of untreated run-off entering the waterways.



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

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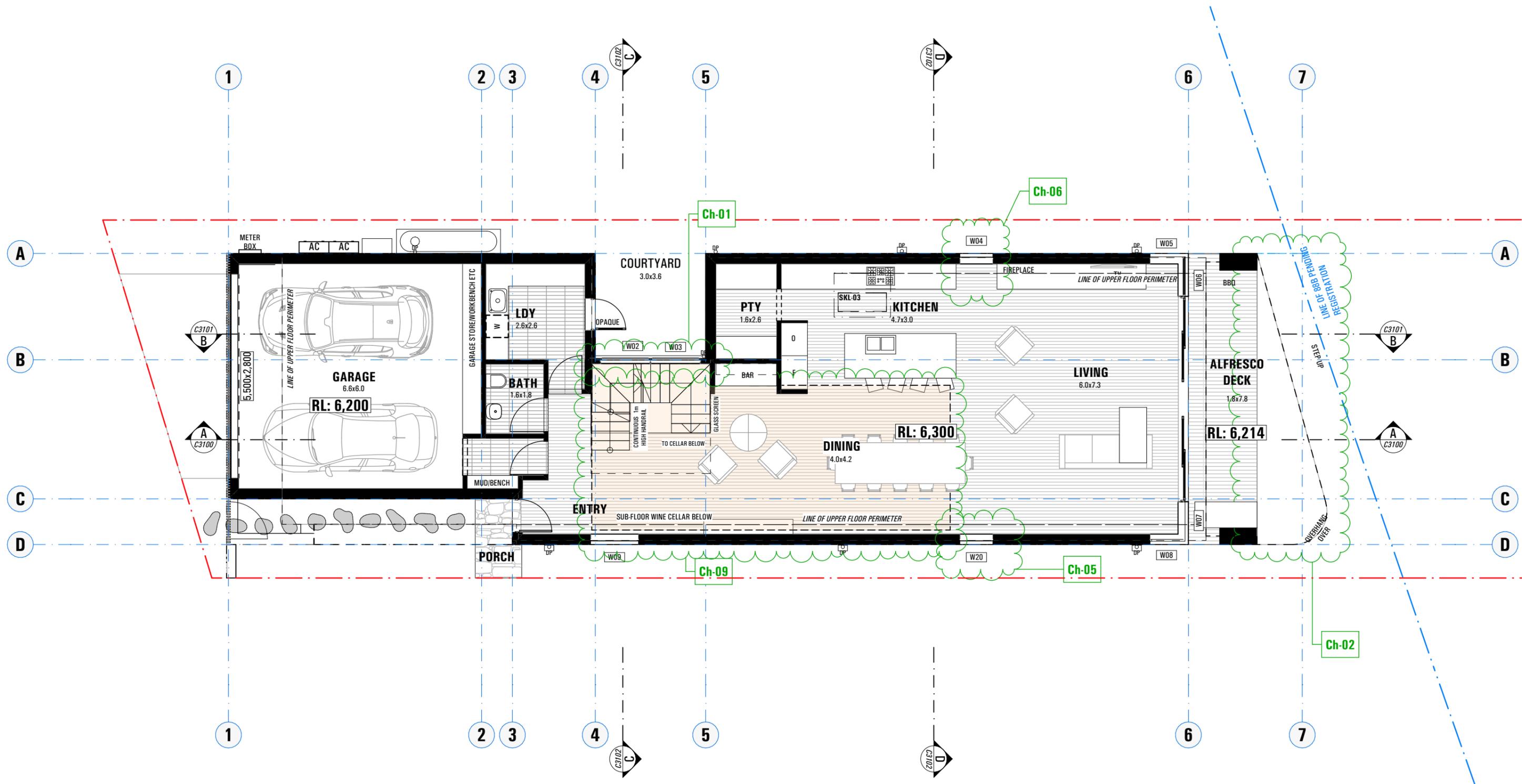


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SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
	COLLARROY	
drawing	DEMOLITION PLAN	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:150 @ A3
project no	2_23_10	drawing no D1000
		issue D



ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

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Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
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Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

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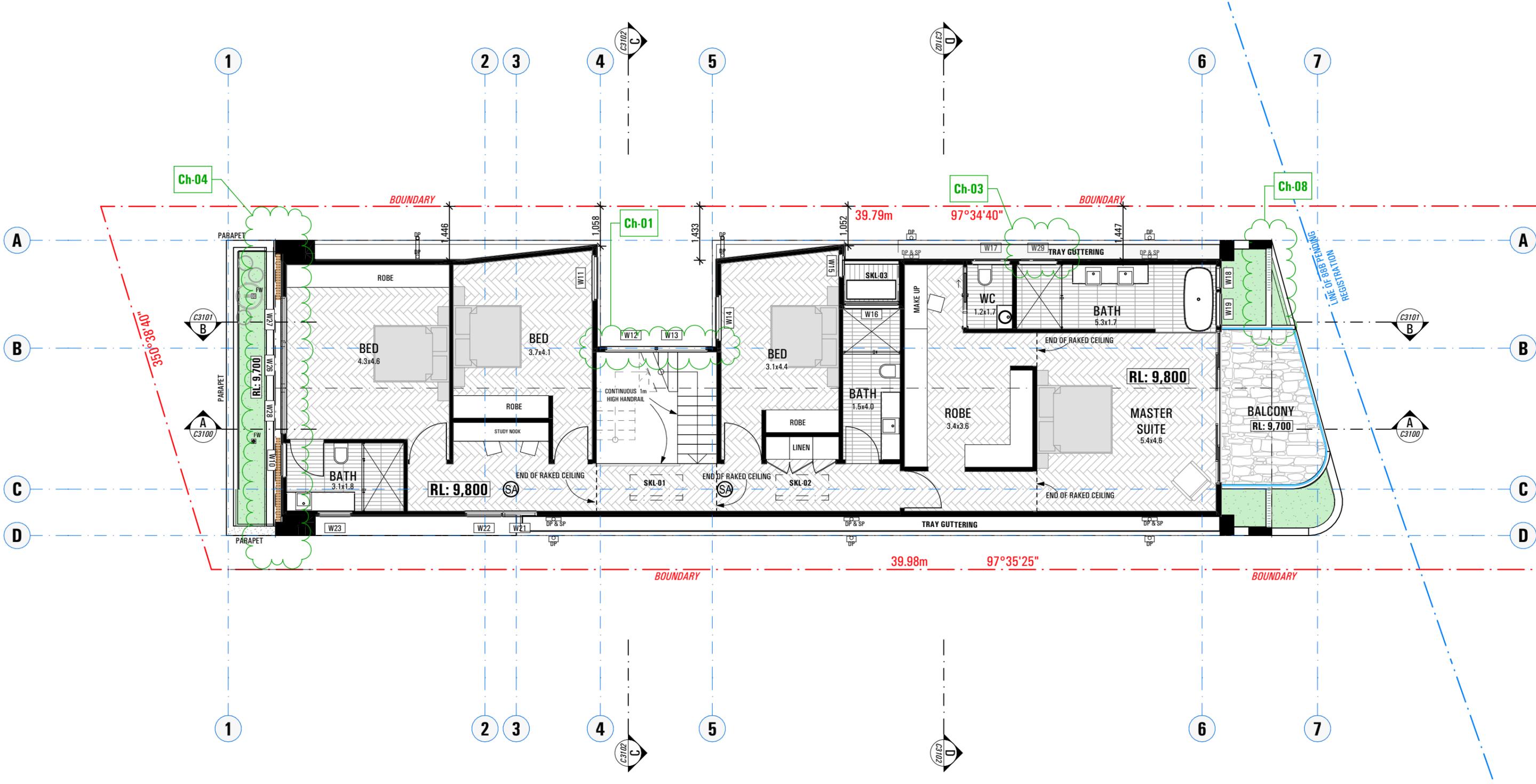


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SUBMISSION

S4.55 MODIFICATION	
project	1130 PITTWATER RD
COLLARROY	
drawing	
GROUND FLOOR PLAN	
drawn SM / PC	checked MA
date 09.02.24	scale @ A3
project no 2_23_10	drawing no D2100
issue	D



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
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C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

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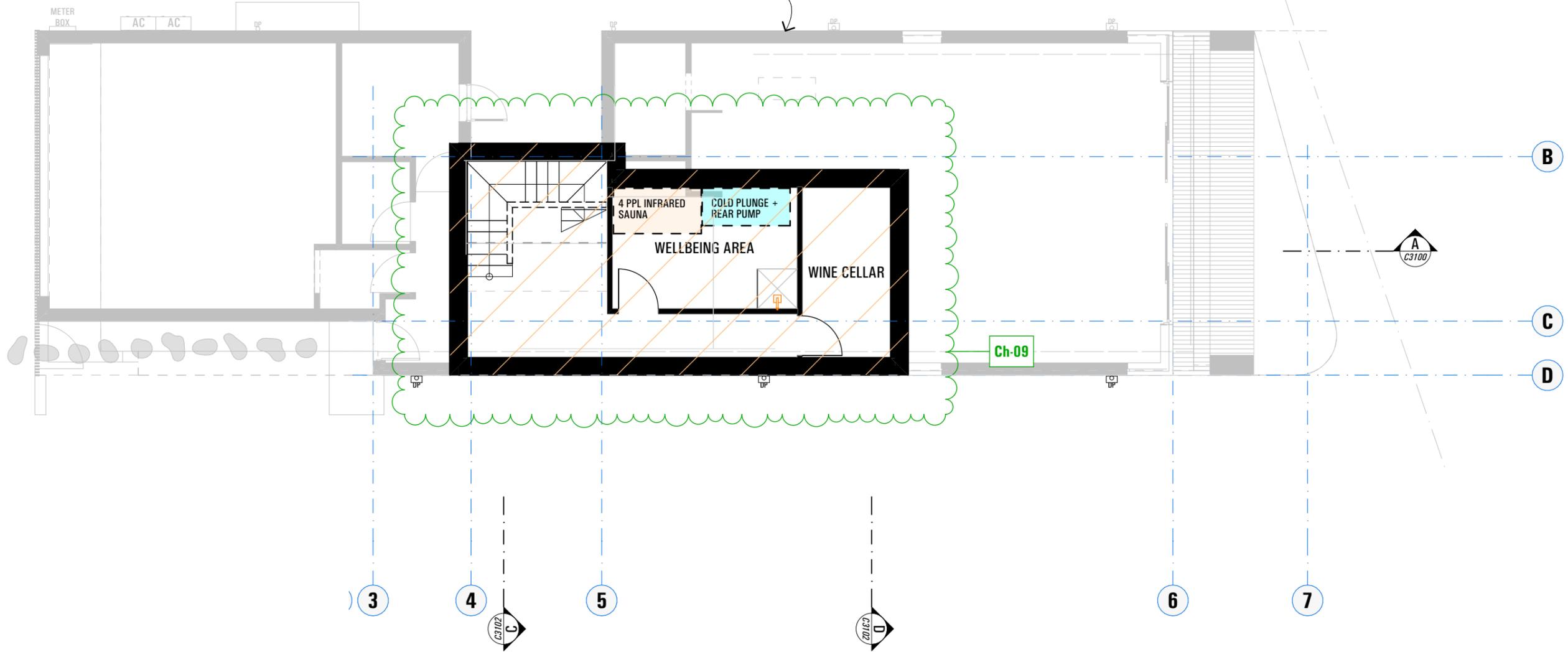
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S4.55 MODIFICATION	
project	1130 PITTWATER RD
drawing	
checked MA	
date	09.02.24
scale	@ A3
project no	2_23_10
drawing no	D2101
issue	D

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FAINT DISPLAY OF GROUND FLOOR ABOVE



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

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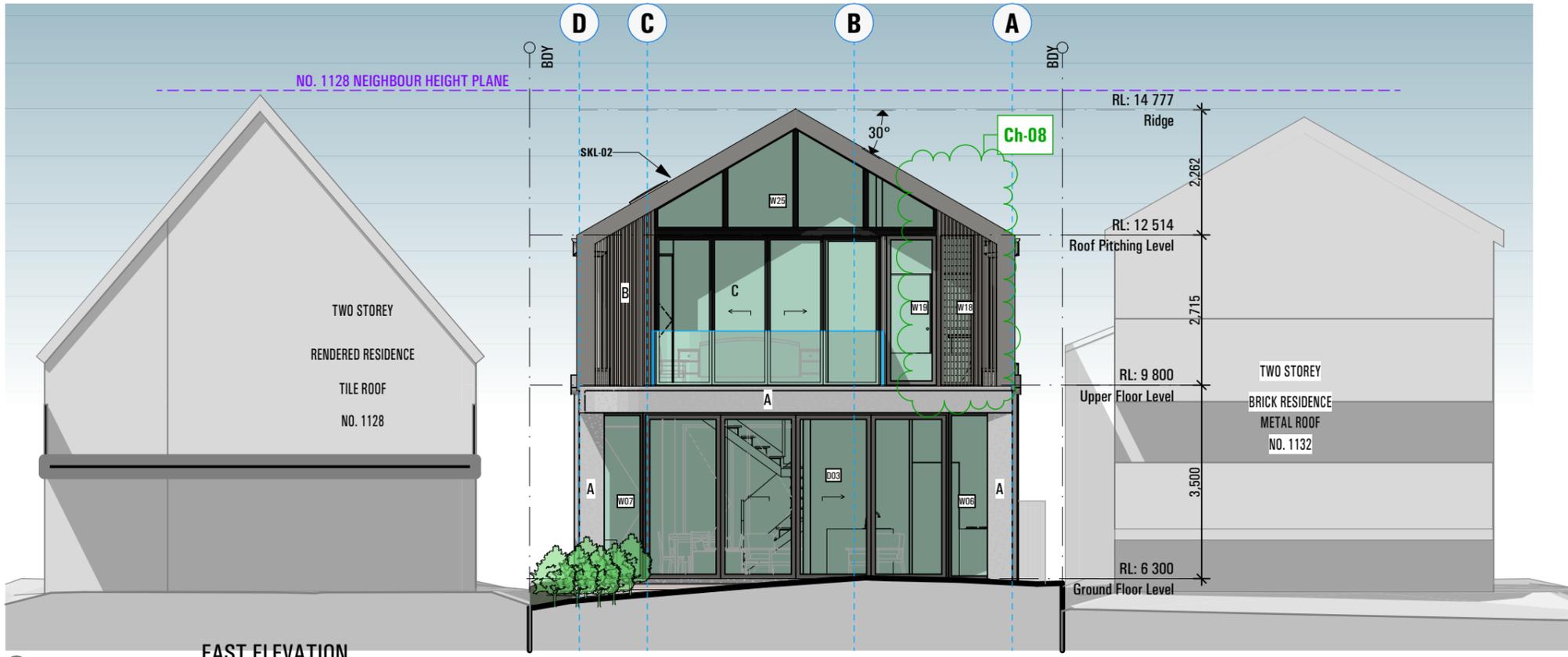


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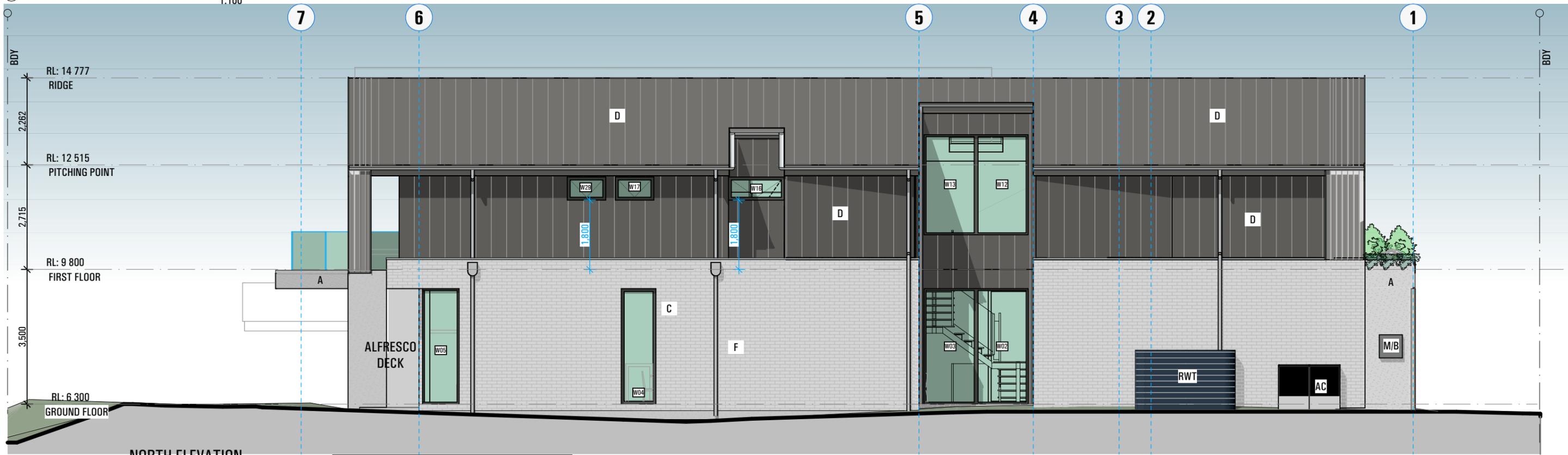
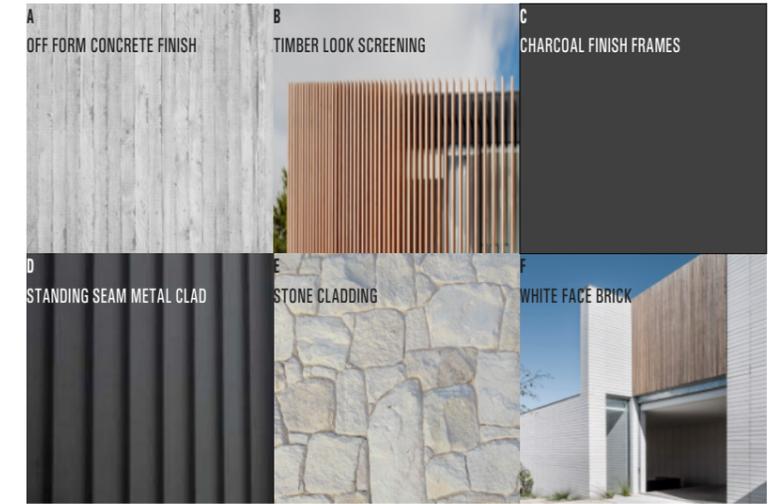
SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
drawing	COLLARROY	
drawn	SM / PC	checked MA
date	09.02.24	scale @ A3
project no	2_23_10	drawing no D2102
issue		D



EAST ELEVATION
1:100

MATERIALS AND FINISHES



NORTH ELEVATION
1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
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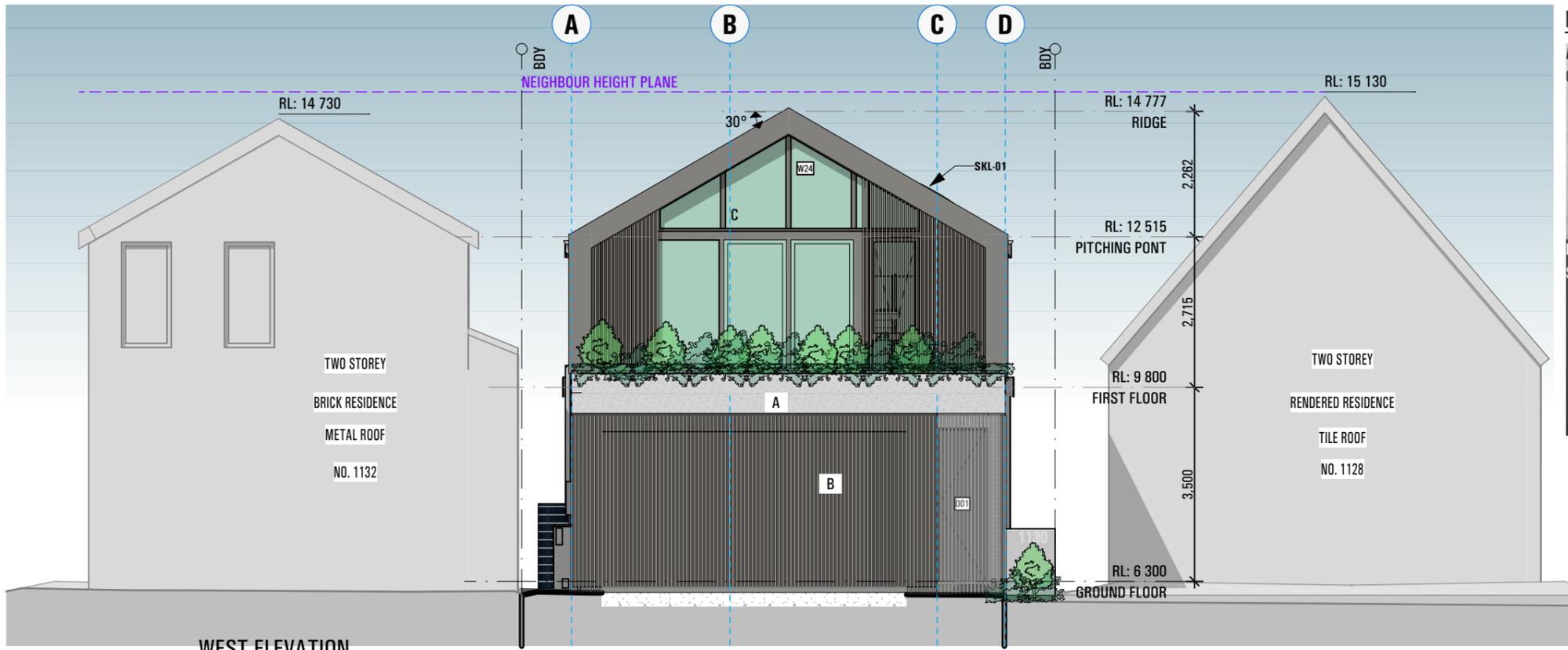


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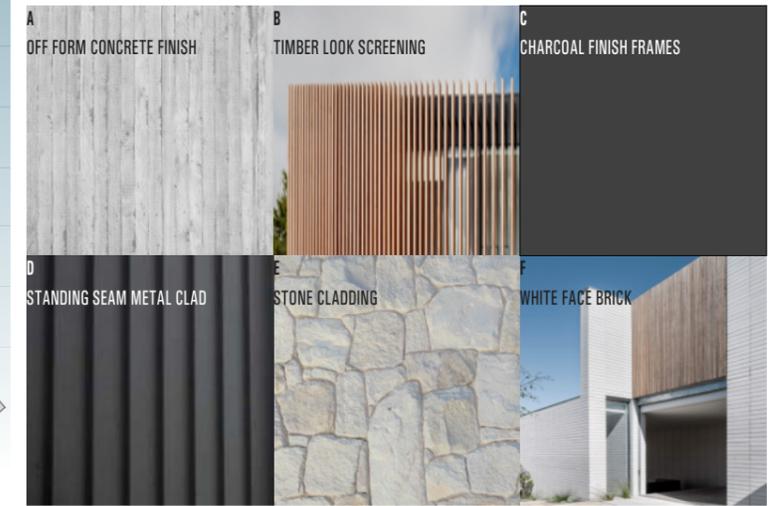
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SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
	COLLARROY	
drawing		
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no D3000
		issue D



MATERIALS AND FINISHES



WEST ELEVATION

1:100



SOUTH ELEVATION

1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

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SUBMISSION
S4.55 MODIFICATION

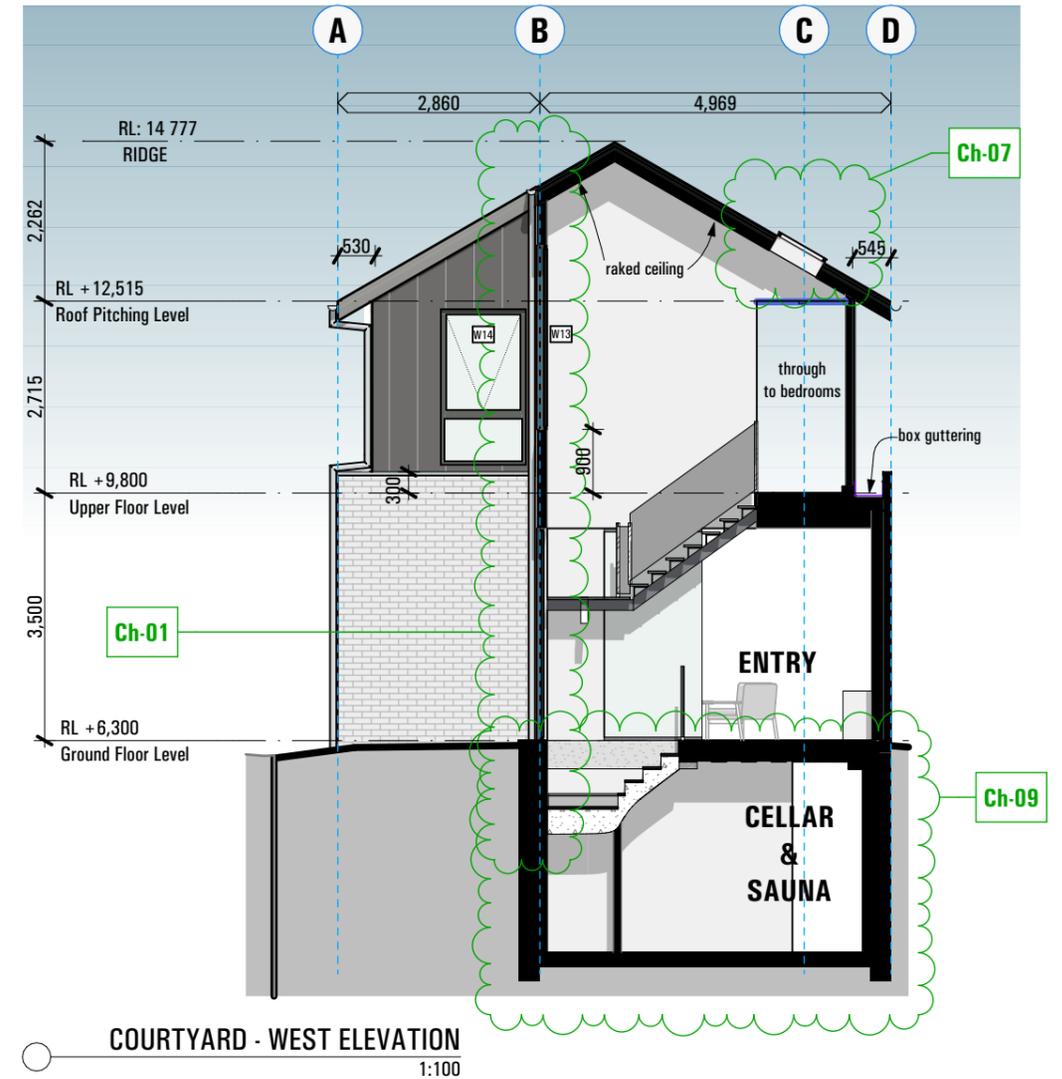
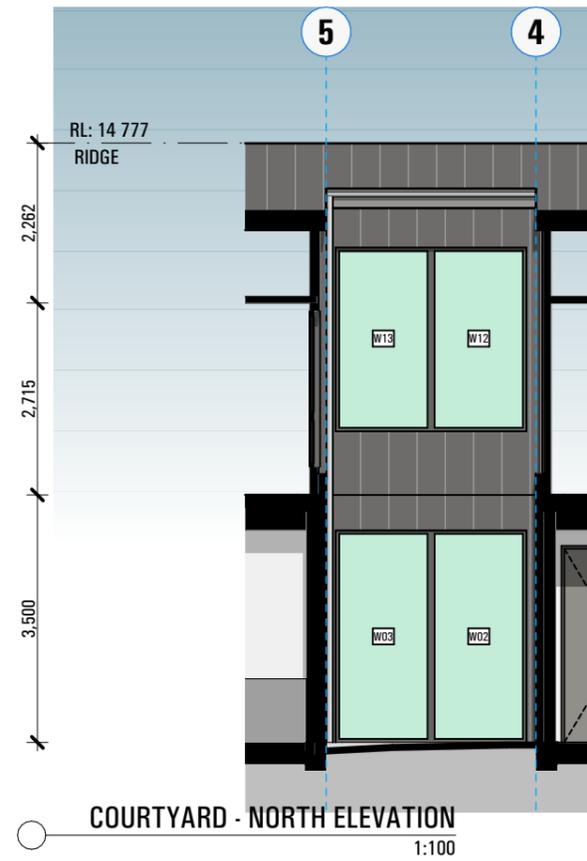
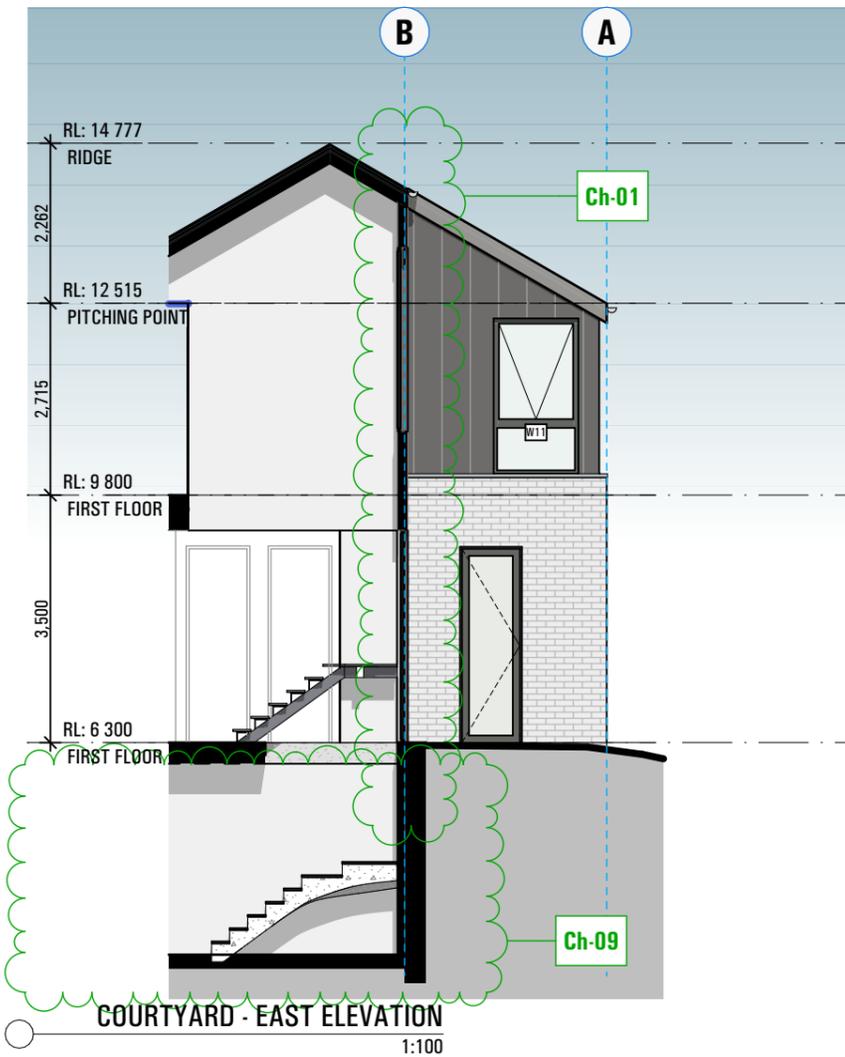
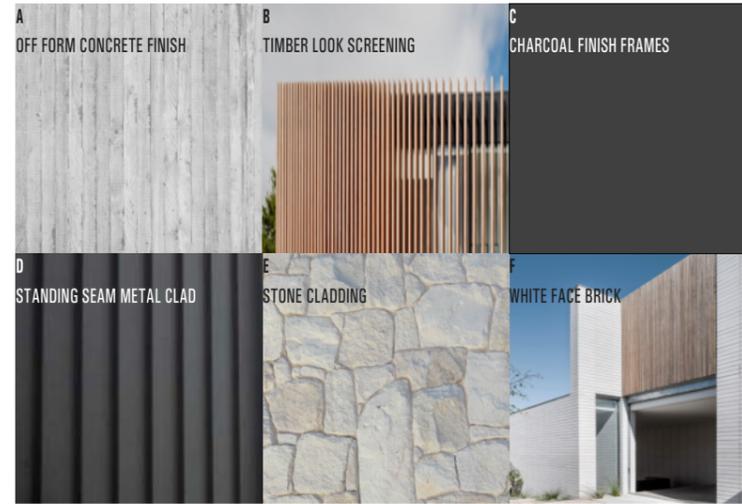
project 1130 PITTWATER RD
 COLLAROY

drawing SOUTH/WEST ELEVATION
 drawn SM / PC checked MA

date 09.02.24 scale 1:100 @ A3

project no 2_23_10 drawing no D3001 issue D

MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

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S4.55 MODIFICATIONS	
Change ID	Name
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Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

NOTE:
DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION



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SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD

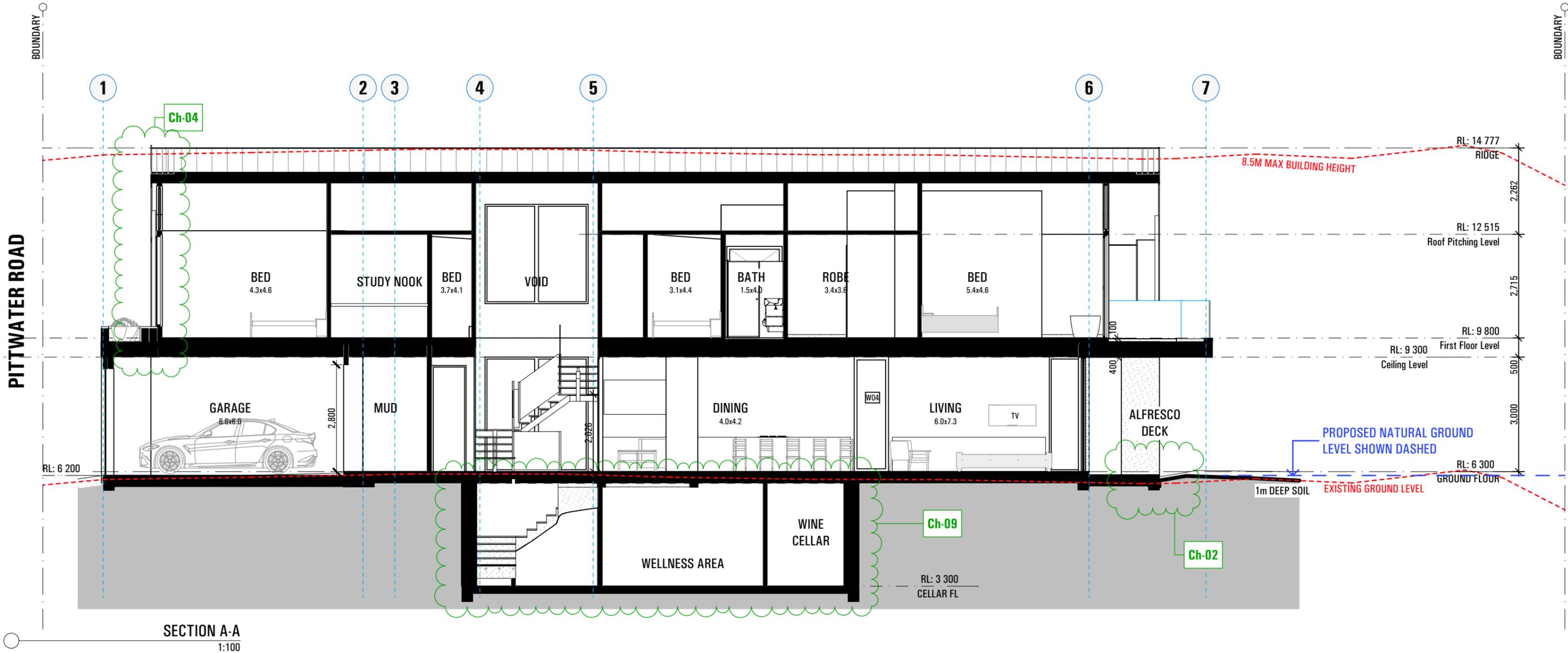
drawing COLLAROY

COURTYARD ELEVATIONS

drawn SM / PC checked MA

date 09.02.24 scale 1:100 @ A3

project no 2_23_10 drawing no D3002 issue D



SECTION A-A
1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
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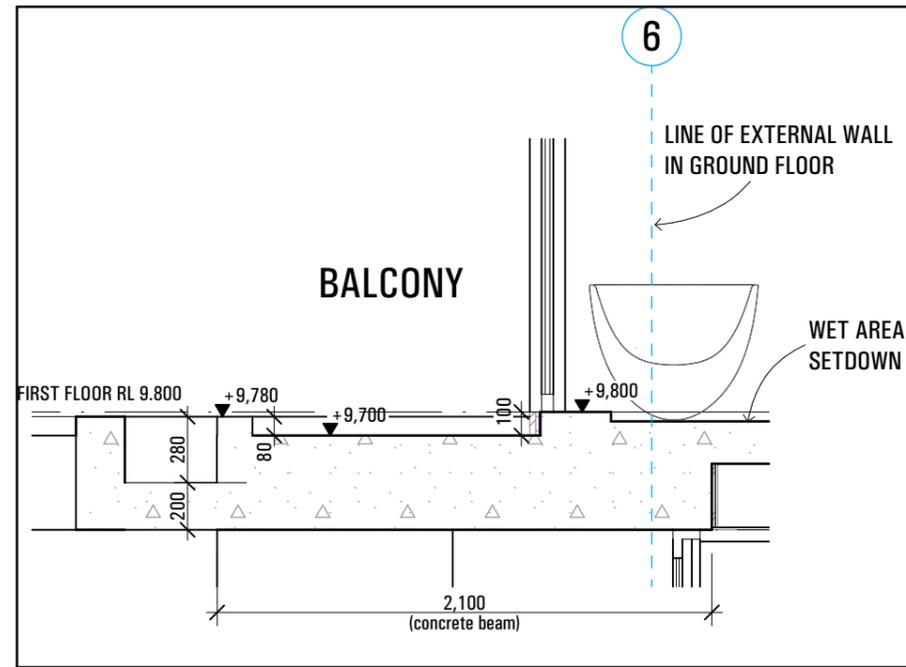


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SUBMISSION
S4.55 MODIFICATION

project	1130 PITTWATER RD		
drawing	COLLARROY		
drawn	SM / PC	checked	MA
date	09.02.24	scale	1:100 @ A3
project no	2_23_10	drawing no	D3100
		issue	D



D-01 REAR BALCONY DETAIL
1:30



SECTION B-B
1:100

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

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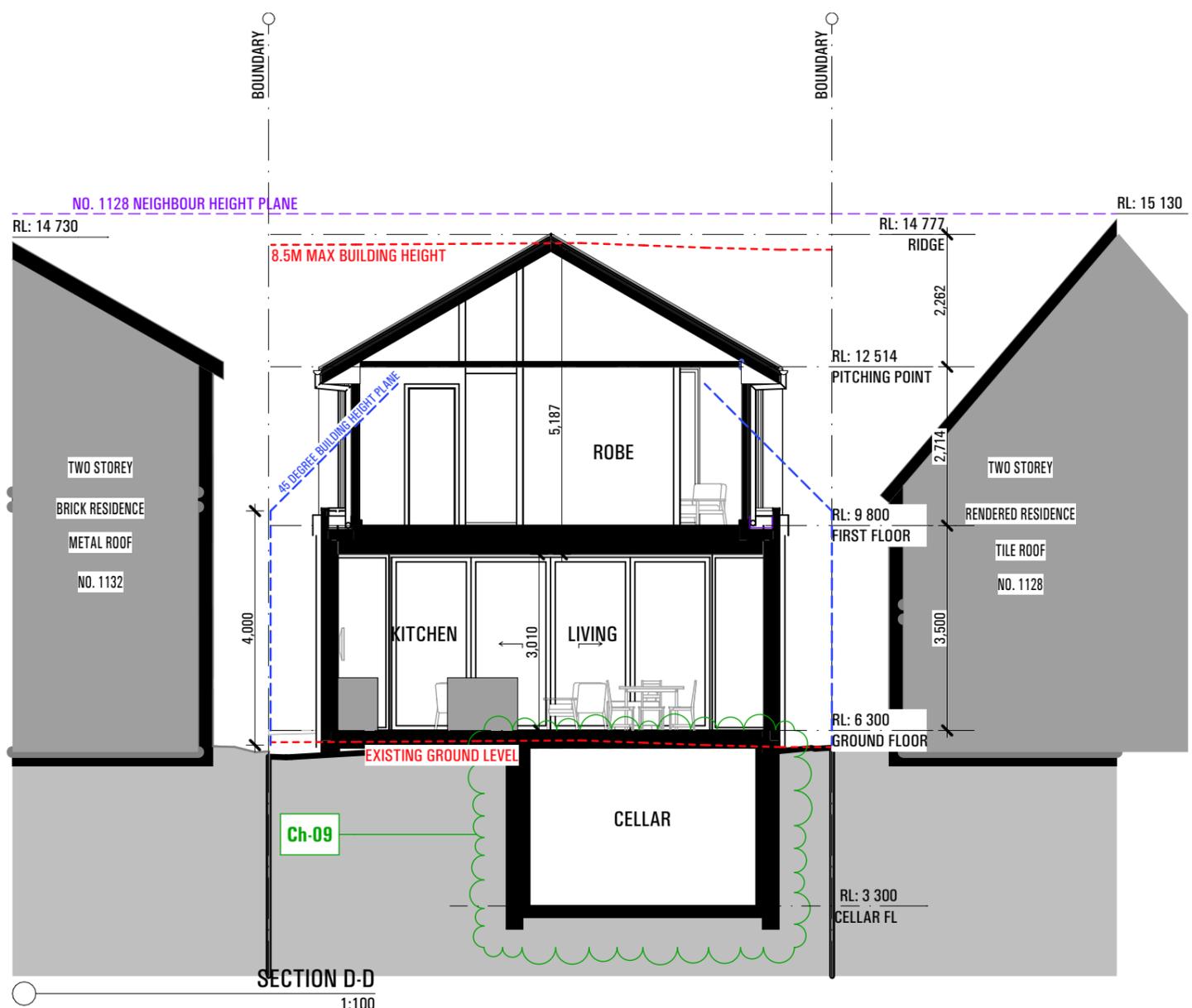
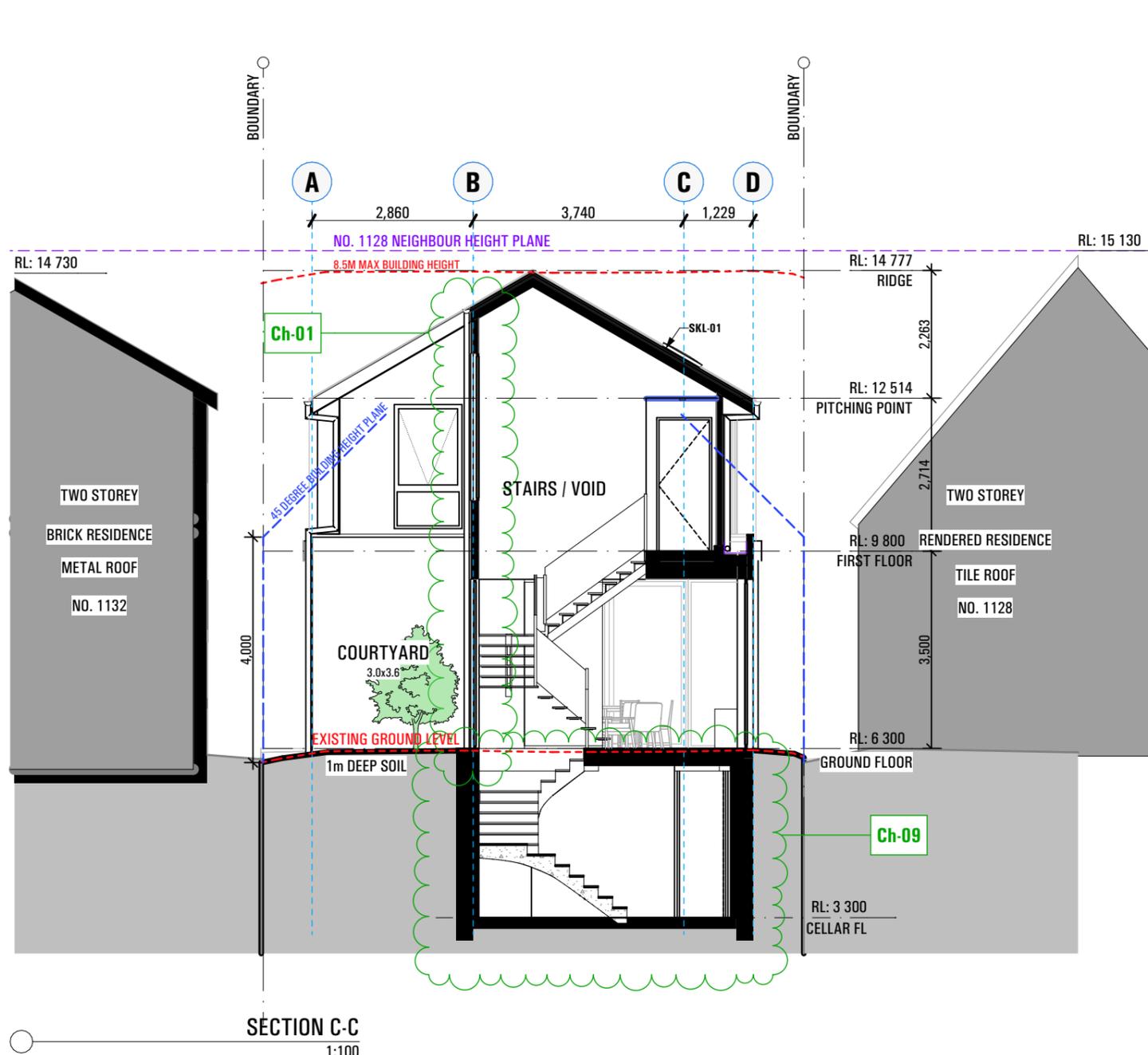


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SUBMISSION
S4.55 MODIFICATION

project	1130 PITTWATER RD
location	COLLARROY
drawing	SECTION BB
drawn	SM / PC
checked	MA
date	09.02.24
scale	100, 1:30 @ A3
project no	2_23_10
drawing no	D3101
issue	D



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
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D	S4.55 MODIFICATION	24.05.24

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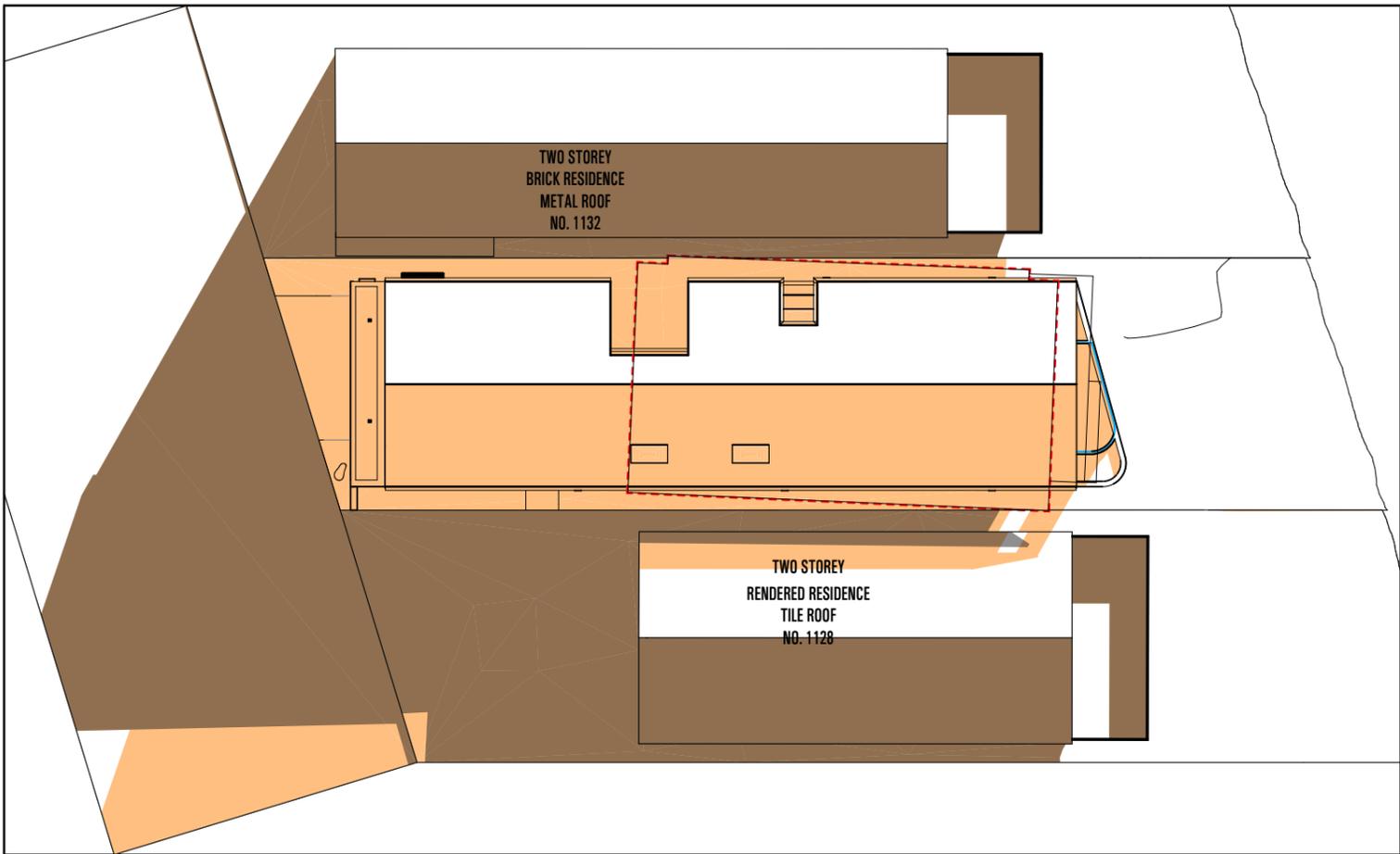
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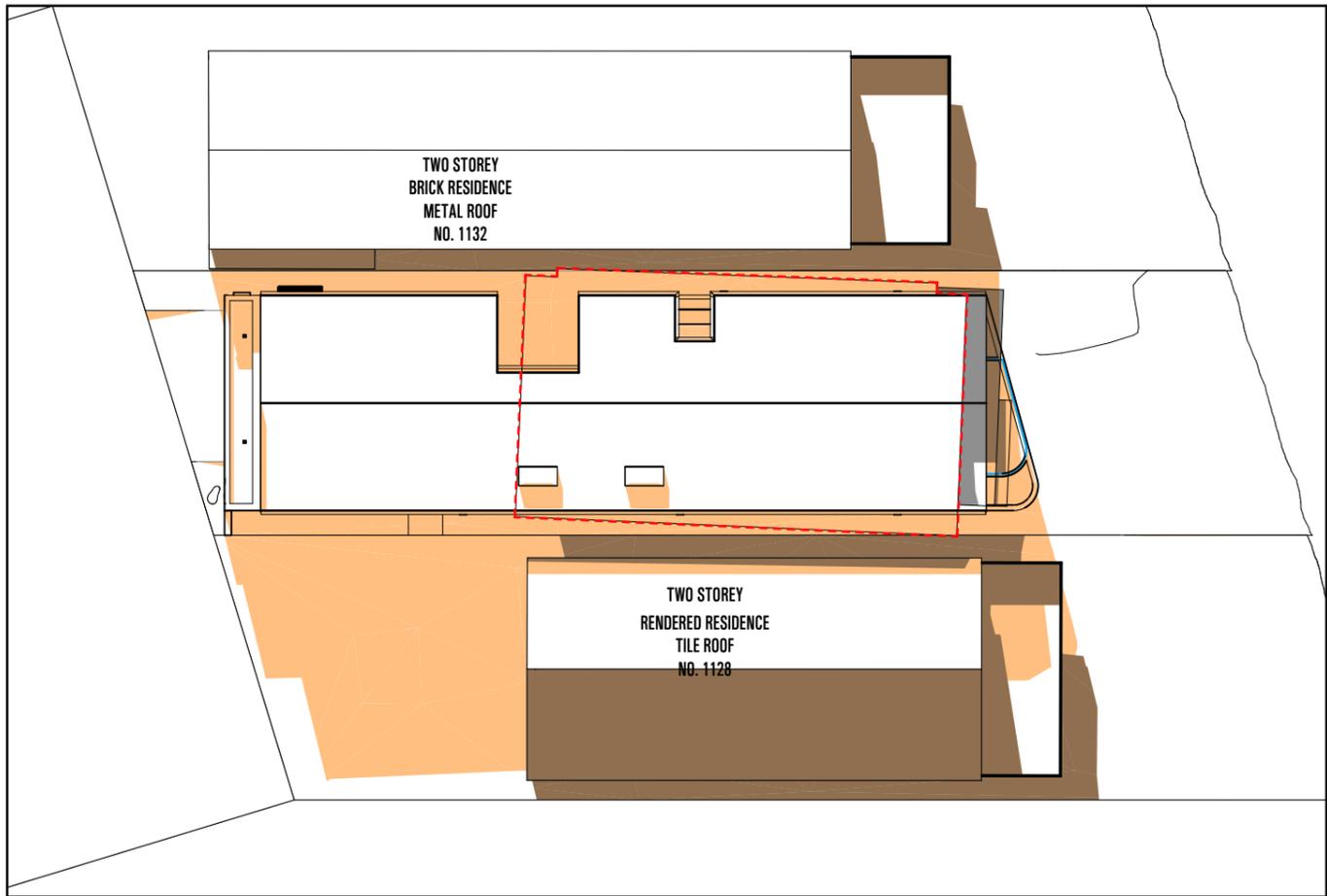
SUBMISSION
S4.55 MODIFICATION

project	1130 PITTWATER RD
drawing	COLLARROY
drawn	SM / PC
checked	MA
date	09.02.24
scale	1:100 @ A3
project no	2_23_10
drawing no	D3102
issue	D

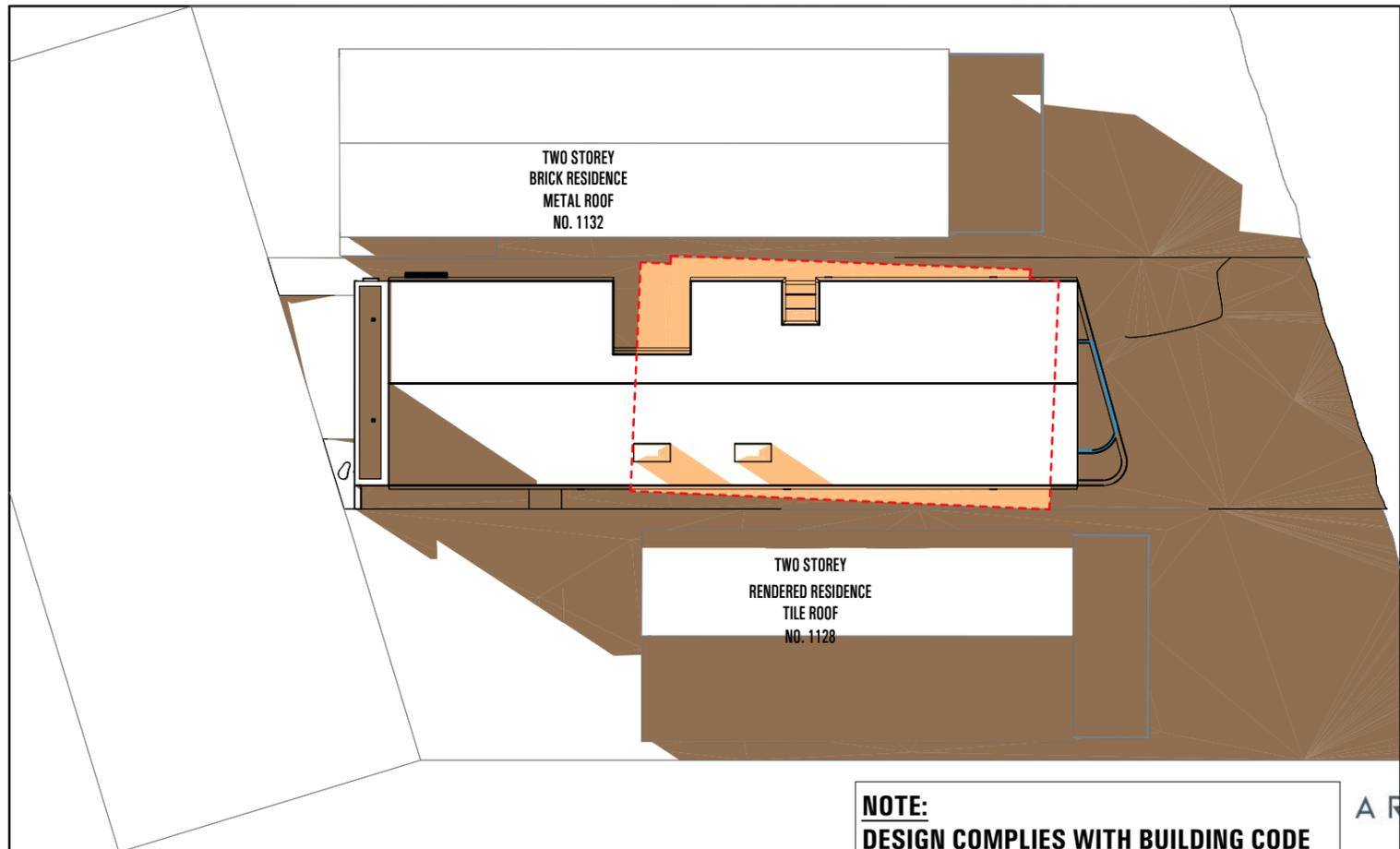
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PROPOSED - 22 JUN 9AM
1:250



PROPOSED - 22 JUNE 12PM
1:250



PROPOSED - 22 JUNE 3PM
1:250

LEGEND

- NEW SHADOWS
- EXISTING SHADOWS
- OVERLAPPING SHADOWS

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

ISSUE	AMENDMENT	DATE
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NOTE:
DESIGN COMPLIES WITH BUILDING CODE
OF AUSTRALIA 2022 & ABCB HOUSING
PROVISIONS - FOR CONSTRUCTION



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SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD

drawing COLLAROY

SHADOW DIAGRAMS

drawn SM / PC checked MA

date 09.02.24 scale 1:250 @ A3

project no 2_23_10 drawing no D4000 issue D

DEVELOPMENT SCHEDULE

SITE AREA	385.70m ²	
BUILDING FOOTPRINT		
ALLOWABLE:	128.40m ²	(33.3% x SITE AREA)
EXISTING:	125.38m ²	(32%)
PROPOSED:	184.35 m ²	(48%)
DEEP SOIL LANDSCAPING		
REQUIRED:	154.28m ²	(40% x SITE AREA)
PROPOSED (DA Approved):	132.01m ²	(34.2%)
PROPOSED (S4.55 Modification):	132.56m ²	(34.4%)

LEGEND:

- BUILDING FOOTPRINT
- DEEP SOIL LANDSCAPE



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES

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SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD

COLLAROY

drawing

AREA SCHEDULE

drawn SM / PC checked MA

date 09.02.24 scale 1:150 @ A3

project no 2_23_10 drawing no D5000 issue D