

Complying Development Certificate

CERTIFICATE NUMBER: 8011860

yours locally

Local Norwest
Suite 21, 5 Inglewood Place, Baulkham Hills 215
PO Box 7321 Baulkham Hills 2153
DX 8461 Castle Hill
p 1300 368 534
f 02 9836 5722
web www.localgroup.com.au

Issued under the Environmental Planning and Assessment Act 1979

SUBJECT LAND:	HNO: 12 LOT: 10 DP: 27698 Old Barrenjoey Road AVALON BEACH NSW, 2107
LAND USE ZONE:	R2, Zone 2(a) (Residential "A")
DATE OF DETERMINATION:	17 June 2013
DATE OF CERTIFICATE LAPSE:	17 June 2018
DESCRIPTION OF WORK:	Two Storey Dwelling
LIMITATIONS &/OR EXCLUSIONS:	n/a
BUILDING CLASSIFICATION:	1a, 10a

The application for this Complying Development Certificate has been determined as **APPROVED WITH CONDITIONS** in accordance with the procedures outlined in Clause 130 of the Environmental Planning and Assessment Regulation 2000. In making this determination, I certify that the development is Complying Development and (if carried out as specified in the certificate) will comply with all development standards applicable to the development and with such other requirements prescribed by this regulation concerning the issue of the certificate.

DOCUMENTS ACCOMPANYING THE APPLICATION:

PLANS:

PLANS PREPARED BY METRICON, DATED 13/12/12, AMENDMENTS A DATED 11/01/13, JOB #652673, SHEETS 1/10-10, 1A/10-1B/10

SPECIFICATIONS:

GENERAL HOUSING SPECIFICATION PREPARED BY HIA

OTHER DOCUMENTS:

APPLICATION FORM; OWNERS CONSENT; PLANNING CERTIFICATE UNDER SECTION 149 (2) ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979, CERTIFICATE # e149Pt2/13/0188, DATED 15/04/13; HOW CERTIFICATE; LONG SERVICE LEVY RECEIPT; TREE APPLICATION DATED 17/03/13; SYDNEY WATER APPROVAL; BASIX CERTIFICATE #479024S, ISSUED 22/04/13; ABSA CERTIFICATE # 1005220205, ISSUED 22/04/13; LOCALITY SKETCH, PREPARED BY ASPECT DEVELOPMENT & SURVEY PTY LTD, DATED 18/11/12, JOB # 21/1021101/129412; WASTE MANAGEMENT PLAN DATED 22/05/13; EXTERNAL COLOUR CHART; STORMWATER LAYOUT & CALCULATIONS PREPARED BY IBRAHIM STORMWATER CONSULTANTS, ISSUE 2, REV: A, DATED 04/06/13, JOB # M4404-652673, SHEETS 1-2 & STORMWATER DESIGN CERTIFICATION DATED 5/06/13; ENGINEERS PLANS PREPARED BY RAFALETOS ZANUTTINI, ISSUE A DATED 22/04/13, JOB # 53892 MT, SHEETS 1-7; CERTIFICATE OF CONFORMITY HEBEL POWERPANEL FOR HOUSES, CERTIFICATE # CMA-H-2102-2, DATED 01/06/12; SOIL PERMEABILITY REPORT PREPARED BY AWGEOTECHNICAL, DATED 03/05/13, REV: A, REF: AWG31544

FIRE SAFETY SCHEDULE ATTACHED:

YES



N/A



CONDITIONS OF APPROVAL:

YES



Paul Morgan
BPB 0276

17 June 2013

Date of Certificate

\$36 REC 342900 26/6/13

The Complying Development Certificate attached has been approved subject to conditions.

Your attention is drawn to the fact that these conditions may require additional works to be carried out prior to the commencement of works on the site.

Amongst other things, the conditions require that nearby property owner/s be notified of the proposed commencement date of works two days prior to these works commencing.

Failure to observe the requirements of these conditions may result in the local council taking any appropriate action in the courts or otherwise to rectify any situation that may eventuate.

Should you require any additional information regarding these conditions, or any other matter associated with your consent, please contact our office at your convenience.

CONDITIONS IMPOSED UPON THIS COMPLYING DEVELOPMENT CERTIFICATE:

A copy of these conditions are attached in accordance with the requirements of the Environmental Planning and Assessment Act, 1979 (as amended) and the Environmental Planning and Assessment Regulation, 2000.

In accordance with section 94EC of the Environmental Planning and Assessment Act, it is also a condition of this complying development certificate that any payment of a monetary contribution or levy required by a contributions plan is paid prior to the commencement of work.



LOCAL

Notice of Appointment as Principal Certifying Authority

Issued under the Environmental Planning and Assessment Act 1979 (as amended)
& the Environmental Planning and Assessment Regulation 2000 (as amended)

**COMPLYING DEVELOPMENT
CERTIFICATE NO:**

8011860

**DATE OF COMPLYING
DEVELOPMENT CERTIFICATE:**

17 June, 2013

SUBJECT LAND:

LOT: 10
DP: 27698
12 OLD BARRENJOEY ROAD
AVALON BEACH
NSW 2107

DESCRIPTION OF WORK:

TWO STOREY DWELLING

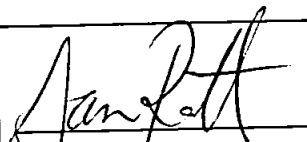
**DETAILS OF OWNER RESPONSIBLE
FOR APPOINTING THE PRINCIPAL
CERTIFYING AUTHORITY (PCA):**

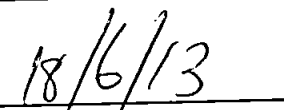
Mr Simon Terry, Mrs Megan Terry
224 Lower Plateau Road
BILGOLA
NSW 2107

In signing this document I hereby consent to my appointment as the Principal Certifying Authority for the project described above in accordance with the requirements of the Environmental Planning and Assessment Regulation 2000, as amended.

As the Principal Certifying Authority, I am satisfied by virtue of the information provided by the Applicant that the appropriate licences, insurance and/or permits as required by the Home Building Act, 1989 are in place.




Sam Pratt
BPB0732


Date of PCA Appointment

Australian Bureau of Statistics

THE AREAS

THE SITE (M²):

951

THE EXISTING BUILDING (M²):

0

THE PROPOSED BUILDING (M²):

400.09

NO. OF EXISTING DWELLINGS:

0

NO. OF PROPOSED DWELLINGS:

1

DUAL OCCUPANCY:

No

NO. OF STOREYS:

2

MATERIALS:

WALLS:

OTHER

FLOORS:

CONCRETE

FRAME:

TIMBER

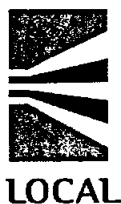
ROOF:

CONCRETE TILE

P.O. Box 7321 BAULKHAM HILLS NSW 2153

p: 1300 368 534 f: 02 9836 5722 e: info@localgroup.com.au ABN: 30 735 366 565

Doc ID: 4C68349



COUNCIL COPY

RECEIVED
BY LOCAL CERTIFICATION SERVICES P/L
on 23/05/13 (date)

APPLICATION FORM

☒ Principal Certifying Authority ☒ Complying Development Certificate ☐ Occupation Certificate

THE APPLICATION

DATE OF APPLICATION: 23/05/2013.

LAND TO BE DEVELOPED

Lot No.: 10 Deposited Plan: 27698
House No.: 12 Street Name: Old Barrenjoey Road.
Suburb: Avalon Beach Post Code:
Area (m²): 951 Section/Folio:

THE DEVELOPMENT

Proposed Building Work: Residential ☒ Commercial ☐ Industrial ☐
Description of Development: Double Storey dwelling.
Value of Work: \$ 575,207.00
Type of work:
Building Classification: 1a + 10a

CONSENTS

Environmental Planning Instrument: State Environmental Planning Policy ☒ Council DCP ☐

BUILDER / OWNER BUILDER

Name: Metricon
Postal Address: PO Box 7510
Baulkham Hills BC
Licence No.: NSW 2153 174699C
Contact No.: 88879000 Fax / E-mail: 80793901.

THE APPLICANT/OWNERS

	Owner 1 / Applicant	Owner 2	Owner 3	Owner 4
First Name:	Simon	Megan		
Surname:	Terry	Terry		
Street:	224 Lower Plateau Rd			
Suburb:	Bilgola	2107		
Contact No.:	0407640564	0448 223981		
E-mail:	sterrya@gwagroup.com.au			

BILLING DETAILS

☒ Applicant ☐ Builder ☐ Other (Please provide details)

Company Name: Metricon
Address: PO Box 7510
Baulkham Hills BC
NSW 2153
Phone:

Local South Coast
48b Princes Highway
Fairy Meadow NSW 2519
P - 02 4284 4709
F - 02 4284 4208

Local Norwest
Suite 21, 5 Inglewood Place
Baulkham Hills NSW 2153
P - 02 9836 5711
F - 02 9836 5722

Local Central Coast
Suite 2/162 The Entrance Road
Erina NSW 2250
P - 02 4365 6051
F - 02 4365 4846

Local Macarthur
PO Box 3190
Narellan NSW 2567
P - 02 4655 5811
F - 02 4655 2411

E - info@localgroup.com.au
Web - http://localgroup.com.au
ABN - 30 735 366 565

Revision 5 Date: January 2010

LETTER OF CONSENT

OWNERS CONSENT

I/we the owners of the subject property hereby give consent for the lodgement of all relevant applications (i.e. for Construction Certificate/s, Complying Development Certificate/s, Occupation Certificate/s, Compliance Certificate/s) and associated documentation to Local Certification Services Unit Trust for consideration.

I/we also declare that all documentation presented as part of an application for a Construction Certificate has remained unaltered from that issued with any Development Consent or that any changes have been documented and Local Certification Services Unit Trust have been advised accordingly.

In the event that the nominated Principal Certifying Authority resigns from his employment position with Local Certification Services Unit Trust my signature provided below will also serve as the authorisation for the transfer of the role and responsibilities of the Principal Certifying Authority from the nominated person to ☐ Craig Hardy ☐ Paul Gearin ☒ Andrew Dean.

PRINCIPAL CERTIFYING AUTHORITY

With reference to this proposed development I/we the owners of the subject property hereby advise of our decision to appoint ☐ Andrew Dean ☐ Callan Blackwell ☐ Craig Hardy ☐ Daniel Powell ☐ Michael Shanahan ☐ Paul Gearin ☒ Sam Pratt ☐ Paul Morgan ☐ John Parkinson ☐ Michael Hardy ☐ _____ to fulfil the role of Principal Certifying Authority (PCA) as outlined in the Environmental Planning and Assessment Act, 1979 (as amended).

I/we understand that this engagement shall be subject to the Terms and Conditions outlined in this application and the associated Schedule and I/we further understand that he will carry out all mandatory inspections required by the Act during the course of construction along with any others that he deems to be necessary and referred to the abovementioned Agreement.

I/we also advise that I/we are aware of the conditions attached to any Development Consent (i.e. Local Development Consent or Complying Development Consent) and are aware of our responsibilities in relation to those conditions.

SIGNATURES

THE APPLICANT/OWNERS

Owner 1 / Applicant

Signed:

Name (Please Print):

Date:

Owner 2

Signed:

Name (Please Print):

Date:

Owner 3

Signed:

Name (Please Print):

Date:

Owner 4

Signed:

Name (Please Print):

Date:

Local South Coast
43b Princes Highway
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ABN - 30 735 366 565

Revision 2 Date August 2009



LOCAL

AUSTRALIAN BUREAU OF STATISTICS

ALL NEW BUILDINGS

(Please complete the following)

How many storeys (incl. underground floors) will the proposed building consist of ?;

☐ 1 ☒ 2 ☐ 3

What is the gross area of the new building ?

400.09

m²

What is the gross area of the site on which the proposal will be constructed ?

951

m²

RESIDENTIAL BUILDINGS ONLY

(Please complete the following for residential buildings)

How many dwellings will be constructed ?

☐ 0 ☒ 1 ☐ 2

How many pre-existing dwellings are there on the site already ?

☐ 0 ☒ 1 ☐ 2

How many dwellings will be demolished ?

☐ 0 ☒ 1 ☐ 2

If the proposal includes a new dwelling/s will it be attached to another new building ?

☐ Yes ☒ No

Does the site contain a Dual Occupancy ?

(A dual occupancy is defined as two dwellings on the one site)

☐ Yes ☒ No

MATERIALS

Please indicate the materials to be used in the construction of the new building/s

Walls

Brick (Double)

Code

☐ 11

Brick (Veneer)

☐ 12

Concrete or Stone

☐ 20

Fibre Cement

☐ 30

Timber

☐ 40

Curtain (Glass)

☐ 50

Steel

☐ 60

Aluminium

☐ 70

Other

☐ 80

Not Specified

☐ 90

Floor

Concrete or Slate

Code

☒ 20

Timber

☐ 40

Other

☐ 80

Not Specified

☐ 90

Roof

Tiles

Code

☐ 10

Concrete or Slate

☐ 20

Fibre Cement

☐ 30

Steel

☒ 60

Aluminium

☐ 70

Other

☐ 80

Not Specified

☐ 90

Frame

Timber

Code

☒ 40

Steel

☐ 60

Aluminium

☐ 70

Other

☐ 80

Not Specified

☐ 90

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Revision 1 Date: August 2009



LOCAL

EFFECT OF AGREEMENT

1. This agreement supersedes and overrides any other documents or oral representations upon which the parties may seek to rely to generate any legal effect or to imply any contractual obligation.

OBLIGATIONS OF THE AC / PCA

2. Issuing of Construction Certificate

- 2.1 The AC shall issue a Construction Certificate:-
 - once the AC is satisfied that the design of the Building work(s) complies with the Development Consent and the Regulations; and
 - once the AC is satisfied that the design as depicted on the drawings and specification comply with the BCA; and
 - once the Owner pays the AC any money owed for work associated with the issuing of a Construction Certificate.
- 2.2 The AC shall provide the Council with a Notice of Determination within two (2) days of the determination.
- 2.3 During the assessment of the application for a Construction Certificate, the AC may request as many Certificates or statements from any Certifying Authority or any other party that the AC considers necessary.

3. Inspections

- 3.1 The PCA shall carry out or arrange to be carried out as many inspections as the PCA considers necessary in addition to those nominated as mandatory by the Environmental Planning and Assessment Act, 1979 (as amended).

4. Issuing the Occupation Certificate

- 4.1 The PCA shall issue an Occupation Certificate for the Building Works when the PCA is satisfied that:-
 - All conditions of a Local Development Consent or a Complying Development Certificate has been complied with;
 - The Building Works are suitable for occupation or use in accordance with their classification under the BCA; and
 - A Fire Safety Certificate has been issued (if required); and
 - As at the date this agreement is executed, the Building does not pose any danger for the occupants in the case of an Interim Occupation Certificate.

5. Insurance

- 5.1 The PCA shall maintain an insurance policy in accordance with the Act and shall provide a copy of that policy to the Owner upon request.

OBLIGATIONS OF THE OWNER

6. The Owner shall:-

- Not engage any other PCA after the PCA appointed pursuant to this agreement has been engaged. Breach of this condition will entitle the PCA to recover any losses or costs of whatsoever nature that flow from such breach.
- Ensure that a Construction Certificate or Complying Development Certificate has been issued prior to the commencement of any works.
- Ensure that the site is available for the PCA to carry out its obligations under this agreement.
- Use competent people for all aspects of the building works.
- Provide the PCA with evidence of professional indemnity and public liability insurance for the building work prior to the commencement of any works.
- Provide all relevant drawings, plans, statutory plans and documentation associated with but not limited to any Development Consent, Complying Development Consent and/or any Certificate issued under Part 4A of the Act at the request of the PCA.
- Attend any meetings if required by the PCA to do so.
- Comply with any Notice of Intention to Serve an Order that the PCA issues.
- Provide Compliance Certificates as requested by the PCA.
- Provide all information that the Owner reasonably can obtain to enable the PCA to fulfil its obligations under this agreement.
- Provide the PCA with the date of practicable completion.
- Act in good faith, in accordance with the Act and in a cooperative fashion.
- Ensure compliance with all conditions of the Development Consent relating to any demolition works prior to the issue of any Occupation Certificate.

VARIATIONS TO THIS AGREEMENT

7. If:-

- The building works do not commence within 60 days from the date of the execution of this agreement; or
- Any competent person used by the Owner in respect of the building works causes a delay in the progress of the building works for more than 21 days; or
- Any part of the Building Works are re-designed by the Owner; or
- Any part of the building is designed pursuant to a Deemed To Satisfy Provision and is subsequently changed by way of an Alternative Solution; or
- Additional Construction Certificates and/or Compliance Certificates are required to be issued by an Accredited Certifier; or
- An amendment to the Act, the BCA or any other law that requires any aspect of the Building Works or the PCA's work to be varied; or
- The PCA is required to undertake more inspections than those listed as mandatory inspections under the Environmental Planning and Assessment Act, 1979 (as amended); or

- The Owner does anything that causes a delay to the building works or does anything that delays the ability of the PCA to carry out its obligations under this agreement;
- A Notice of Intention to Serve an Order is issued by the PCA, then:-

the PCA may:-

- vary this agreement to the extent that the PCA will be able to carry out its obligations under this agreement; and
- increase the agreement price, such increase to be made by way of Notice to the Owner stating the reason/s for the increase and the amount of the increase.

- 7.1 The variation will permit the PCA to claim all costs associated with that delay as reasonably determined by the PCA.

- 7.2 Notice must be given to the Owner within seven (7) days from the date on which the PCA becomes aware that a variation will be necessary.

TERMINATION OF AGREEMENT

8. If:-

- The person/s or Company responsible for making payment for this service fails to pay any money owing to the PCA after seven (7) days of that money becoming payable; or
- The person/s or Company responsible for making payment for this service has an execution levied against it, assigns or attempts to assign its estate for the benefit of its creditors, intends to or attempts to or makes a composition or Scheme of Arrangement with creditors, has a winding up order made against it, intends to or attempts to pass a resolution for winding up, goes into liquidation, has an Official Manager or Receiver appointed, has a Mortgagee taking possession of any part of its property, has an Administrator or a Provisional Liquidator appointed, becomes insolvent or bankrupt; or
- The Owner or the person/s or Company responsible for making payment for this service breaches the agreement in any respect; or
- The Construction Certificate or Complying Development Certificate is not capable of being issued within 180 days or six (6) months (whichever is the lesser) from the date of application; or
- The building works do not commence within 60 days from the date the Construction Certificate or Complying Development Certificate was issued; or
- The Owner does not permit the Accredited Certifier to issue the Occupation Certificate within 60 days from the date of practicable completion; or
- The building works have commenced without the Issuing of a Construction Certificate; or
- Within 2 years of the date of issue of the Construction Certificate or Complying Development Certificate, the PCA has not been advised by the owner, in writing, that the building works have been completed or if an Occupation Certificate has not been issued by the PCA, then:

- 8.1 The PCA may terminate this agreement by sending a written Notice of Termination, stating the breach/s, to the Owner. Termination will take effect as soon as the Owner receives the Notice of Termination.

- 8.2 If the PCA terminates the agreement then the PCA is entitled to payment of Termination Money.

- 8.3 Unless the Owner disputes the Notice of Termination, the Owner must pay all Termination Money to the PCA within 14 days of receiving a Notice of Termination.

- 8.4 If the PCA terminates the agreement, the PCA is entitled to carry out a final inspection, at the Owner's expense, prior to termination.

- 8.5 As from the date of final inspection, the Owner must indemnify the PCA for any liabilities, including but not limited to professional liability and public liability, of whatsoever nature that emanate from:

- the need to terminate this agreement or the Building Agreement;
- any matters of non-compliance with the Act on the part of the Owner or any other contractors.

DISPUTE RESOLUTION

9. Any dispute of whatever nature to do with this agreement must be referred to mediation.

- 9.1 If either party believes there is a dispute under this agreement it must give Notice of the dispute to the other party.

- 9.2 The mediator must be appointed by the AAC.

- 9.3 The mediation will be invoked by either party serving Notice on the AAC and the other party within seven (7) days of a party being notified of a dispute.

- 9.4 Both parties must attend the mediation and must co-operate with the mediator and each other and shall give the mediator whatever the mediator requests.

- 9.5 If the mediator resolves the dispute the resolution must be evidenced by a written agreement that is signed by the mediator and the parties.

- 9.6 If the mediation fails then either party may take action to resolve the dispute in a court of competent jurisdiction.

- 9.7 Both parties will remunerate the mediator on a 50/50% basis regardless of any alleged fault and regardless of the outcome.

- 9.8 The AAC may request mediation funds to be placed into an AAC trust account before the mediation commences and may request payment of additional moneys from time to time until the mediation is concluded.

TERMS AND CONDITIONS

MISCELLANEOUS

10. If for whatever reason an Occupation Certificate is not issued whether it be on account of the insolvency of the Owner, the disappearance of the Owner or the termination of the agreement, the PCA's responsibilities under the agreement cease forthwith. With respect to any liabilities that may be occasioned under Part 4 of the Act the PCA will be able to give evidence that no action can be brought 10 years after the date upon which the act that evidenced the ending of the agreement occurred.

11. If during the course of completion of the project that is the subject of this Agreement, the nominated Principal Certifying Authority resigns from his or her employed position within Local Certification Services Unit Trust the role of the Principal Certifying Authority as determined by the Act shall be transferred to either Mr Craig Hardy, Mr Paul Gearin or Mr Andrew Dean without delay. Local Certification Services Unit Trust shall not incur any liability whatsoever that may result from any delay, for whatever reason as a result of a delay in the transfer of this role.

ADDRESS FOR NOTICES

12. Where any Notice is to be forwarded to the Owner the address for such Notice shall be the address stated in the Application Form or to any other address that is notified in writing by the Owner to the PCA.

DEFINITIONS

The Act means the Environmental Planning and Assessment Act 1979 (NSW). All amendments and references to the Act also mean amendments and references to the Regulations.

AAC means the Association of Accredited Certifiers.

DOP means the Department of Planning.

Alternative Solution has the same meaning as the term in the Building Code of Australia 1996.

BCA means the Building Code of Australia 1996 including all applicable amendments.

Building means that which is the subject of the Building Works.

Building Contract means the contract to construct the Building Works that the Owner enters with the builder.

Building Works means the building works for which a Construction Certificate is to be issued in accordance with this agreement and is referred to in the "Land to be Developed" section of the Application Form relating to the subject works.

Certificates mean statutory certificates and non-statutory certificates.

Certifying Authority means a Certifying Authority within the meaning of the Act.

Owner means the owner or the owner's agent.

Competent people means people authorised to carry out any work associated with Building Works under the Act and includes contractors.

Complying Development Certificate means a Complying Development Certificate within the meaning of the Act.

Construction Certificate means a Construction Certificate within the meaning of the Act.

Deemed to Satisfy Provision has the same meaning as the same term in the Building Code of Australia 1996.

Development Consent means a Development Consent within the meaning of the Act.

Fire Safety Certificate means a Fire Safety Certificate within the meaning of the Act.

Inspection Schedule means the mandatory inspections required under the Act.

Notice includes any notice issued under the Act or this agreement and in respect of notices in this agreement must be made by pre-paid ordinary mail, facsimile transmission or notice by hand delivery to the Address for Notices in this agreement.

Occupation Certificate means an Occupation Certificate within the meaning of the Act.

Order means an Order within the meaning of the Act.

Practicable completion means the date the builder has completed the Building Works in accordance with the Building Contract.

Principal Certifying Authority is a building practitioner as defined under the Environmental Planning and Assessment Act 1979 (NSW) (as amended).

Regulations means the Environmental Planning and Assessment Regulation 2000 (NSW) (as amended) and all applicable amendments.

Schedule means the Schedule in this agreement.

Scope of Works means obligations in this agreement and any other tasks set out in the Schedule.

Statutory Notices means those notices that are issued by the PCA in accordance with the Act.

Termination money means the money owing to the PCA if the PCA terminates the agreement in accordance with this agreement, being money for work done (with interest if applicable) and for costs incurred (with interest if applicable) and any money that the Owner would have been bound to pay to the PCA if the agreement had been totally completed.

End of Terms and Conditions

Local South Coast
48b Princes Highway
Fairy Meadow NSW 2519
P - 02 4284 4709
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Web - http://localgroup.com.au
ABN - 30 735 366 565

Revision 0 Date: July 2008

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 479024S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2009 published by the Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Monday, 22 April 2013
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary	
Project name	13-14235
Street address	12 Old Barrenjoey Road AVALON BEACH 2107
Local Government Area	Pittwater Council
Plan type and plan number	deposited 27698
Lot no.	10
Section no.	-
Project type	separate dwelling house
No. of bedrooms	4
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 40 Target 40

Certificate Prepared by	
Name / Company Name: Energy Ratings Australia Pty Ltd	
ABN (if applicable): 31133256676	

Project address	
Project name	13-14235
Street address	12 Old Barrenjoey Road AVALON BEACH 2107
Local Government Area	Pittwater Council
Plan type and plan number	Deposited Plan 27698
Lot no.	10
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	951
Roof area (m²)	283
Conditioned floor area (m2)	282
Unconditioned floor area (m2)	9
Total area of garden and lawn (m2)	602

Assessor details and thermal loads	
Assessor number	20390
Certificate number	1005220205
Climate zone	56
Area adjusted cooling load (MJ/m².year)	13
Area adjusted heating load (MJ/m².year)	32
Other	
none	n/a
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 40 Target 40

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures				
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.			✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.			✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.			✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.			✓	
Alternative water				
Rainwater tank				
The applicant must install a rainwater tank of at least 3400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 283 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).			✓	✓
The applicant must connect the rainwater tank to:				
• all toilets in the development			✓	✓
• the cold water tap that supplies each clothes washer in the development			✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)			✓	✓

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method						
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.						
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.						
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.						
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.						
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.					✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.				✓	✓	✓
Floor and wall construction						
floor - concrete slab on ground				Area		
				All or part of floor area square metres		

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas storage with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	

www.absa.net.au



NatHERS Rated
6.0 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Mr & Mrs Terry (652673)
ISSUED TO
Lot 10 (No 12) Old Barrenjoey Road
ADDRESS
Site Lot 10
AVALON BEACH
NSW
2107

1005220205
CERTIFICATION NUMBER
22/04/2013
DATE
56
CLIMATE ZONE
BERS Professional - v4.2.110811 (BERS
Professional)
SOFTWARE
32.0 MJ/m² pa
SIMULATED ENERGY CONSUMPTION - HEATING
13.0 MJ/m² pa
SIMULATED ENERGY CONSUMPTION - COOLING
45.0 MJ/m² pa
TOTAL SIMULATED ENERGY CONSUMPTION
282.0 m²
FLOOR AREA - CONDITIONED
9.0 m²
FLOOR AREA - UNCONDITIONED
291.0 m²
FLOOR AREA - TOTAL

Fadi Sweis
ASSESSOR NAME
20390
ASSESSOR NUMBER
Energy Ratings Australia Pty Ltd
COMPANY

ASSESSOR SIGNATURE
Issued by a BERS Rater, the BERS Professional v4.2.110811
assessment, by the assessor, after approval and sign-off by Assessor's Representative
Fadi H. Sweis after approval



BERS Pro 4.2

Release/Version 110811

CHENATH V2.13

NatHERS Certificate

New Dwelling

Project **13-14235**
Location **AVALON BEACH**
Climate **climat56.TXT**

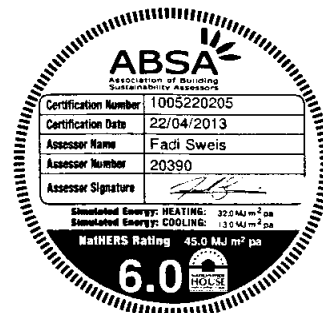
Run **1**
PC **2107**
22/04/2013



Area Adjusted
6.0 Stars



Conditioned Area	276.24 m ²
Unconditioned Area	43.45 m ²
Adjusted Cooling	13.0 MJ/m ²
Adjusted Heating	32.3 MJ/m ²
Adjusted Total	45.3 MJ/m ²



Dwelling Details

D P Number **27698**

Unit Number
or Name

Lot Number **10** OR House Number **12**

Street Name **Old Barrenjoey Road**

Development **OR**
Name **652673 - Mr & Mrs Terry**

Suburb or
Town **Avalon Beach**

State **NSW** Post Code **2107**

Client Details

Name **Metricon Homes Pty Ltd**

Phone **02 8887 9023** Fax **02 8079 5901** Email

Postal Address **Building E, Level 4, 32 Lexington Drive, Bella Vista NSW 2153**

Street Address **Building E, Level 4, 32 Lexington Drive, Bella Vista NSW 2153**

Assessor Details

Name **Fadi Sweis** Assessor Number **20390**

Phone **02 9629 4688** Fax **02 9629 9722** Email **fsweis@eraservices.com.au**

Postal Address **PO Box 7446, Baulkham Hills BC NSW 2153**

Street Address **Suit 2.01, 20A Lexington Drive, Bella Vista NSW 2153**

Signed by the assessor

Date / /

*Tilted roof windows with blinds cannot be modelled using this version of BERS Pro
All windows are modelled with Holland Blinds for Regulatory Purposes*

Building Element Details

Project 13-14235 Run 1
AVALON BEACH PC 2107 Lat -33.60 Long 151.30 Climate File climat56.TXT

Summary
Conditioned Area 281.8 m²
Unconditioned Area 43.5 m²
Total Floor Area 325.2 m²
Total Glazed Area 47.1 m²
Total External Solid door Area 12.6 m²
Glass to Floor Area 14.5 %
Gross External Wall Area 298.8 m²
Net External Wall Area 239.2 m²

Window
40.2 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium
6.9 m² GGG-05-002a Generics Uval 5.55 SHGC 0.73
Glass Single Glazed Clear
Frame Timber

External Wall
148.3 m² PowerPanel Bulk Insulation R 1.5
24.6 m² PowerPanel No Insulation
66.3 m² Weatherboard Cavity Panel Bulk Insulation R 2.0

Internal Wall
166.5 m² Cavity Panel 70mm gap No Insulation

External Floor
29.1 m² Concrete Slab on Ground Carpet 10mm No Insulation
137.3 m² Concrete Slab on Ground 40/60 Carpet 10mm/Ceramic No Insulation
35.1 m² Concrete Slab on Ground Bare No Insulation
2.4 m² Suspended Timber Floor Carpet 10mm No Insulation

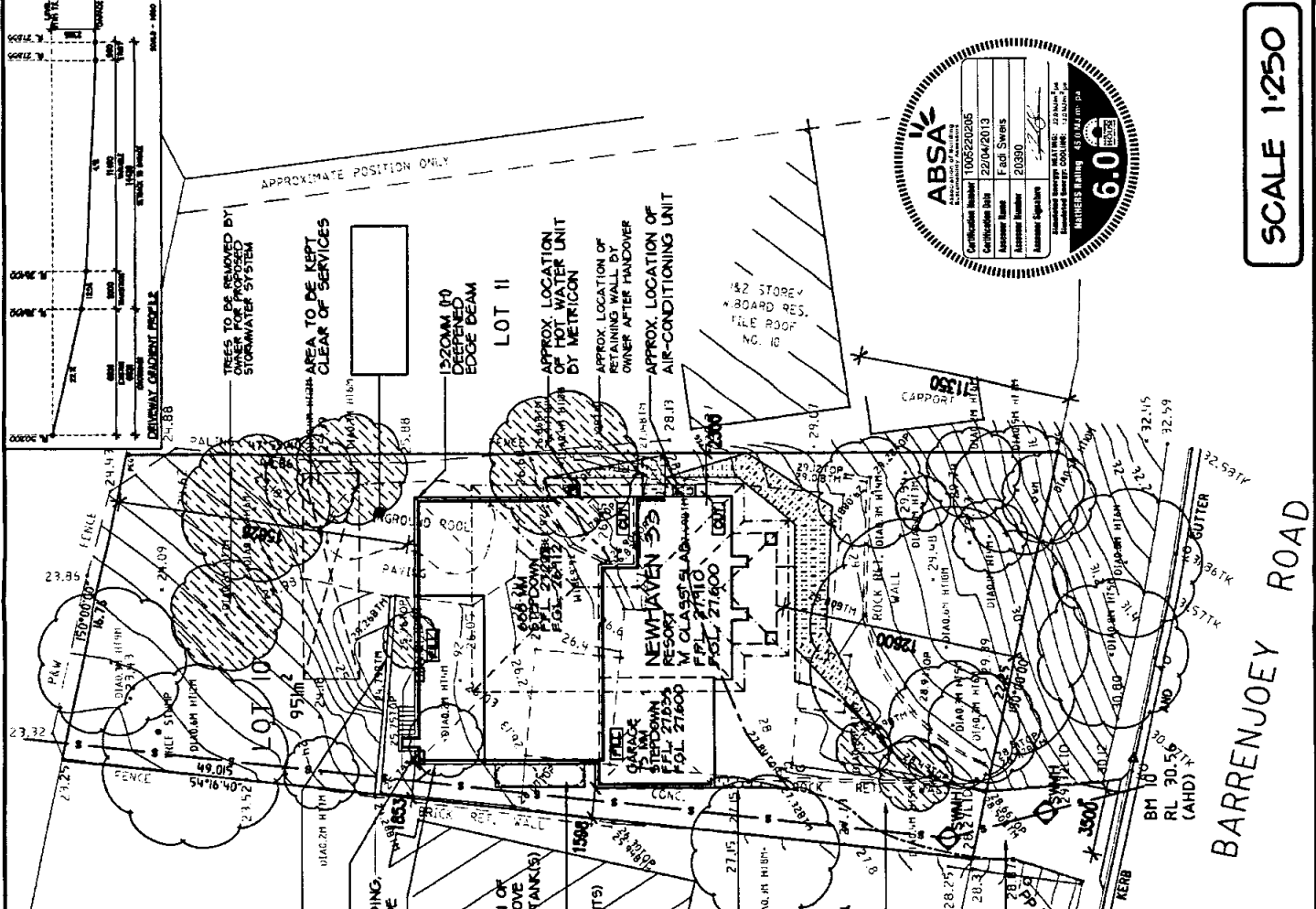
External Ceiling
168.9 m² Plasterboard Bulk Insulation R4.0 Unventilated roofspace
35.1 m² Plasterboard No Insulation Unventilated roofspace

Internal Floor/Ceiling
121.3 m² Timber Above Plasterboard No Insulation

Roof (Horizontal area)
204.0 m² Corrugated Iron Bulk, Reflective Side Down, Anti-glare Up R 1.3 20° slope Hip roof

COMPLYING DEVELOPMENT		
NSW HOUSING CODE SEPP 2006		
SITE AREA:		
751.50M		
PROPOSED ROOF COVERAGE		
ROOF COVERAGE AREA: 262.7 50M		
FLOOR AREA		
GROUND FLOOR: 214.4 50M		
FIRST FLOOR: 124.2 50M		
TOTAL LIVING AREA: 556.6 50M		
INCLUDES EXT. WALLS & GARAGE		
EXCLUDES PORTICO/STAIR VOID		
MAX. ALLOWABLE BY NSW HC006: 450 50M		
SITE COVERAGE		
TOTAL SITE COVERAGE: 214.4 50M		
EXCLUDES PORTICO, DRIVEWAY, EAVES (SWIMMING POOL): 225.1		
MAX. ALLOWABLE BY NSW HC006: 40.1		
LANDSCAPED AREA		
TOTAL LANDSCAPED AREA: 601.7 50M		
EXCL. ALL HARD SURFACES: 653.1		
MIN DIMENSION OF 1.5M		
MIN. REQUIRED BY NSW HC006: 40.1		
SITE AREA		
FORWARD OF BUILDING LINE: 271.1 50M		
LANDSCAPED AREA		
FORWARD OF BUILDING LINE: 206.6 50M		
77.1		
MIN. REQUIRED BY NSW HC006: 50.1		
PRIVATE OPEN SPACE		
TOTAL PRIVATE OPEN SPACE: 24 50M		
MIN DIMENSION OF 3M		
MAX. 150 GRADE		
MIN. REQUIRED BY NSW HC006: 24 50M		
BUILDING HEIGHT RESTRICTION		
MAXIMUM 8.5 M RIDGE HEIGHT		
(EFL MUST BE ACCURATE TO COMPLY)		
MAXIMUM 1000MM CUT		
MAXIMUM 600MM FILL		
FILL BATTER MIN. 400MM FROM BOUNDARY		
DEEP EDGE DEAM TO NATURAL GROUND		
FOR SETBACKS < 2M		
RETAINING WALL REQUIREMENTS		
RETAINING WALLS TO BE MAXIMUM		
2000MM FROM DWELLING FOOTPRINT		
TERMITE PROTECTION		
PROVIDE TERMITE PROTECTION		
IN ACCORDANCE WITH A.S.3660.1		
SURVEYOR'S NOTES		
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR		
PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT		
PROPERTY HAVE NOT BEEN INVESTIGATED AND THE		
POSITION SHOWN IS APPROXIMATE ONLY.		
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.		
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL		
EVIDENCE AVAILABLE AT THE TIME OF SURVEY. THE		
RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED		
TO VERIFY THE EXISTENCE AND POSITION OF ALL		
SERVICES PRIOR TO THE COMMENCEMENT OF ANY		
CONSTRUCTION OR EXCAVATION.		
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY		
ONLY. UNLESS SPECIFICALLY NOTED, THE ELEVATION		
VALUES TO BE RELIED ON FOR RECORDED LEVELS ON		
PARTICULAR FEATURES.		
DRAWINGS AMENDMENTS		
A 11/01/13	DELETE EAVES	BG

EXISTING TREES TO BE LOTTED/REMOVED BY OWNER	
TREE REMOVAL REQUIREMENTS:	
SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR FINE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED	
DEMOLITION REQUIREMENTS:	
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES AND FENCES PRIOR TO THE SATISFACTION OF METRICON HOMES P/L	
BUILDING ADJACENT SEWER	
SEWER PEGOUT AND DETAILS REQUIRED	



LOT NO:	10
DEPOSITED PLAN:	27678
COUNCIL / LGAM:	PITTSWATER
SLAB CLASS:	M
WIND SPEED:	N2

EXCAVATION NOTES:
500MM (1/2) TOLERANCE TO NOMINATED RL'S
UPPER LEVEL
EXCAVATE APPROX. 1000MM ON RL 27.800
& RETAIN FILL WITHIN DEEP EDGE BEAM
LOWER LEVEL
EXCAVATE APPROX. 500MM ON RL 26.912
& RETAIN FILL WITHIN DEEP EDGE BEAM
EXCAVATIONS ARE TO START A MINIMUM OF
1000MM FROM THE EDGE OF THE BUILDING
AND THE TRENCHES MUST BE BACKFILLED TO
PROVIDE A GRADED DRAIN ACROSS GARAGE
OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION
OF BOUNDARY

IMPORTANT NOTES:
THIS SURVEY IS TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO
INFILTRATION SYSTEM VIA ON-SITE
DETENTION RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING
TO ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND	
1" D GULLY PIT	1" D GULLY PIT
1" D HYDRAULIC	1" D HYDRAULIC
1" D SURFACE INLET PIT	1" D SURFACE INLET PIT
1" D SEWER INSPECTION COVER	1" D SEWER INSPECTION COVER
1" D SEWER MANHOLE	1" D SEWER MANHOLE
1" D GAS METER	1" D GAS METER
1" D WATER METER	1" D WATER METER
1" D ELECTRICITY BOX	1" D ELECTRICITY BOX
1" D STORMWATER MANHOLE	1" D STORMWATER MANHOLE
1" D TEL. PIT	1" D TEL. PIT
1" D ZERO OUTLET	1" D ZERO OUTLET

ASPECT SURVEY DATE:	18/11/12
CONTOUR INTERVALS:	200MM
LEVELS TO:	AD DATUM

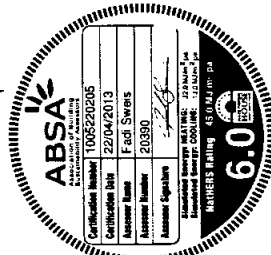
SITE PLAN

metricon

Ball E Level 1, 21 Leppington Dr, Ballerina NSW 2388
P.O. Box 150, Newell Business Park NSW 2333
Tel: 02 8877 5000 Fax: 02 8877 9001
Contractor Licence No. 174 640
ACN 006 100 752 www.metricon.com.au

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MR & MRS TERRY	
LOT 10 NO.12 OLD BARRENJOEY ROAD	
AVOLON BEACH	
JOB No 652673	
DATE:	13/12/12
DRAWN:	RE
SCALE:	1:250
SHEET:	1 OF 10
USED REF:	2TD 1H AS

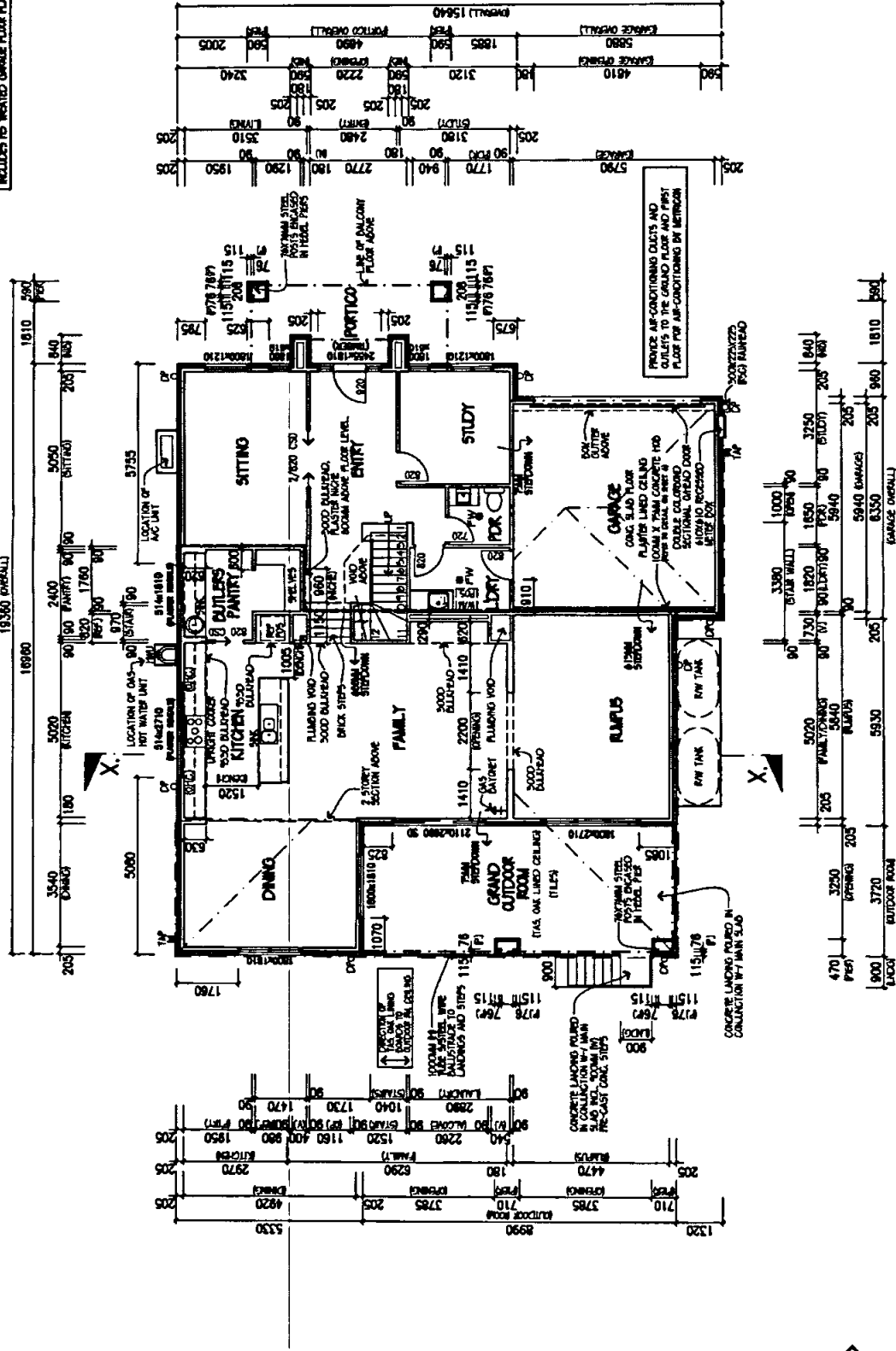


SCALE 1:250

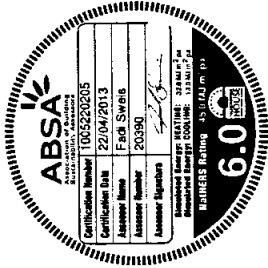


PROVIDE WHITE ANT
TREATED FRAME
ROLLERS NO TREATED GARAGE FLOOR PLATE

HEBEL PANEL
CONSTRUCTION

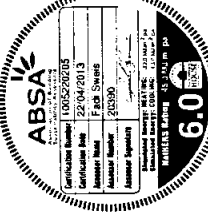


GROUND FLOOR PLAN 1:125



NOTES: WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY. * WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES. * ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4035-1992 FOR WINDOW GLAZING. * WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O. * GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS. * ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.6.3.		VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):		AREAS:		DESIGN: NEWHAVEN 33		OWNER: MR & MRS TERRY	
No:	Date:	Drawn/Checked:	Comment:	GRD FLR:	1763.51 SQM	GARAGE:	571.0 SQM	DESIGNER	
VOX	-/-/-	XX	XX COM	1ST FLR:	1300.00 SQM	PORTICO:	12.47 SQM	by metricon	
VOX	-/-/-	XX	XX COM			BALCONY:	10.27 SQM	JOB NO: 652675	
VOX	-/-/-	XX	XX COM			OUTDOOR RM:	35.44 SQM	DATE: 24.01.15	
VOX	-/-/-	XX	XX COM	SUBTOTAL:	3043.51 SQM	TOTAL:	4000.50 SQM	F.C. DATE:	
VOX	-/-/-	XX	XX COM					LAST VER: 20 SEP 2010	
VOX	-/-/-	XX	XX COM					PERMIT NO:	
VOX	-/-/-	XX	XX COM					DRAWN: GADGAM	
								SHEET: 2 of 10	

- * **NOTES:** DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- * WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
- * ALL GLAZING TO COMPLY WITH A.S. 1208-2008
- * GLASS IN BUILDINGS, & WITH A.S. 4055-1992 FOR WINDLOADING.
- * WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
- * GARAGE ROOF TO BE TIED DOWN 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.
- * ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.6.1.



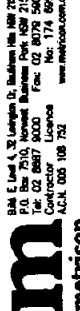
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V01	-/-/-	XX	XX	COM	
V02	-/-/-	XX	XX	COM	
V03	-/-/-	XX	XX	COM	
V04	-/-/-	XX	XX	COM	
V05	-/-/-	XX	XX	COM	
V06	-/-/-	XX	XX	COM	

DESIGN: NEWHAVEN 33
FACADE: RESORT CEILING: 2A L
GARAGE: DOUBLE LOCATION: J

FLOOR PLAN

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DESIGNER by metricon



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OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARRENJOEY ROAD
AVALON BEACH

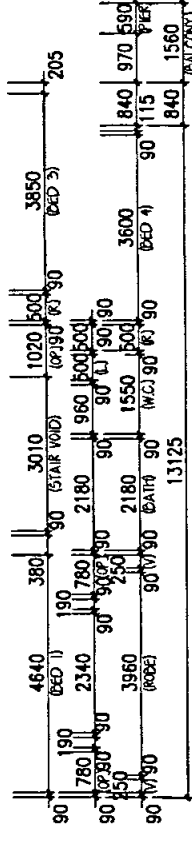
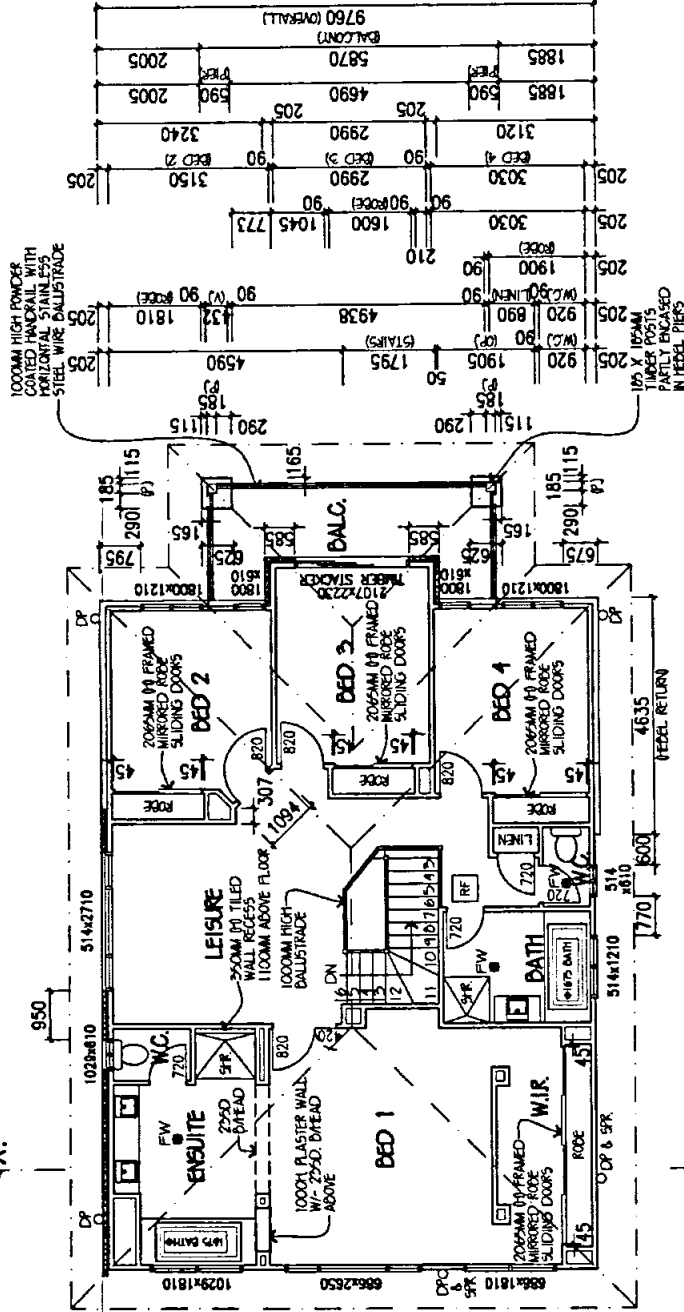
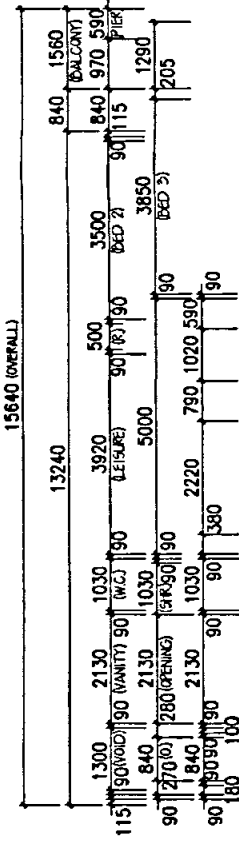
JOB NO: 652675	DATE: 24.01.13
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F.C.DATE:	MST VER: P 20 SEPT 2010
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PERMIT No:

DRAWN: CAD/CRAFT	CHECKED: SA	SHEET: 3 of 10
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**HEBEL PANEL
CONSTRUCTION**

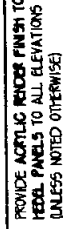


**PROVIDE WHITE ANT
TREATED FRAME**
INCLUDES HD TREATED GARAGE FLOOR PLATING

PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METECON

FIRST FLOOR
PLAN 1:100

- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
- * ALL GLAZING TO COMPLY WITH A.S. 1288 - 2008 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
- * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.



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m **metricon**

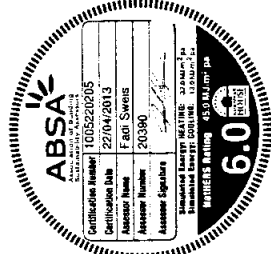
OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARRENDEY ROAD
AVALON BEACH

JOB NO:	652673	DATE:	24.01.13
F.C. DATE:		WST VER:	P 20 SEPT 2010
PERMIT No:			
DRAWN: CAD/CRAFT	CHECKED: SA	SHEET:	4 of 10

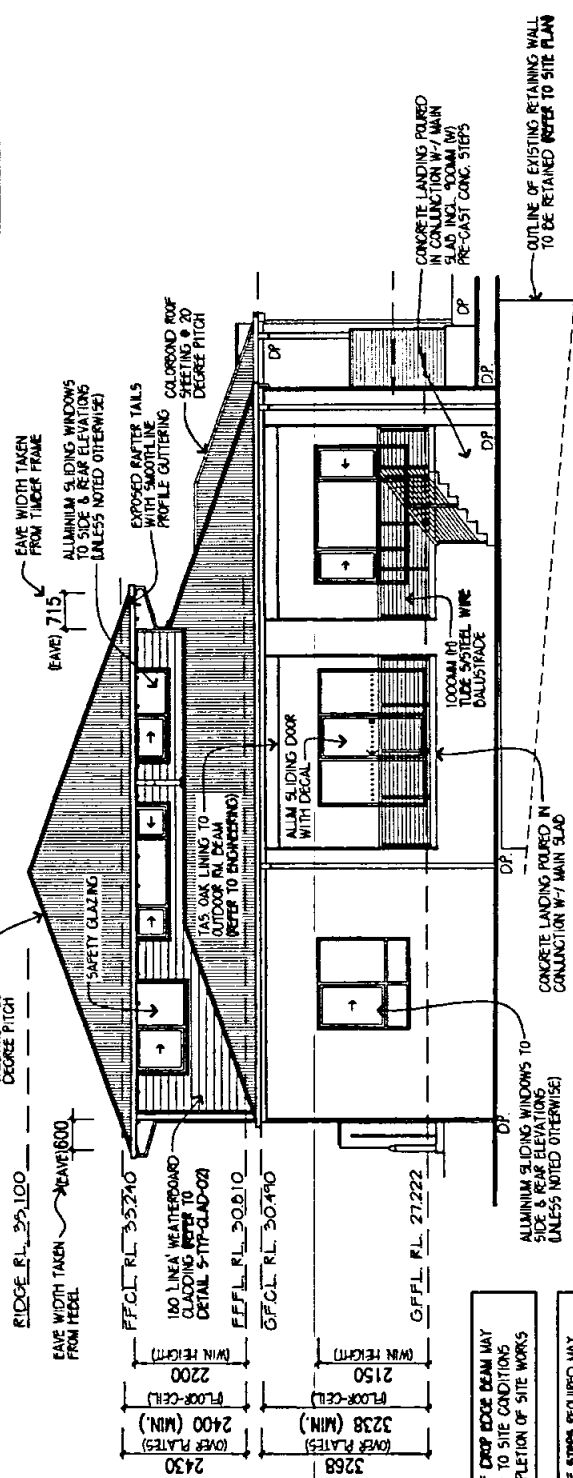
NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS

ELEVATIONS 1:100

NOTES:
 • WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS UNO.
 • ALL GLAZING TO COMPLY WITH A.S. 1288 - 2008 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
 • WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.



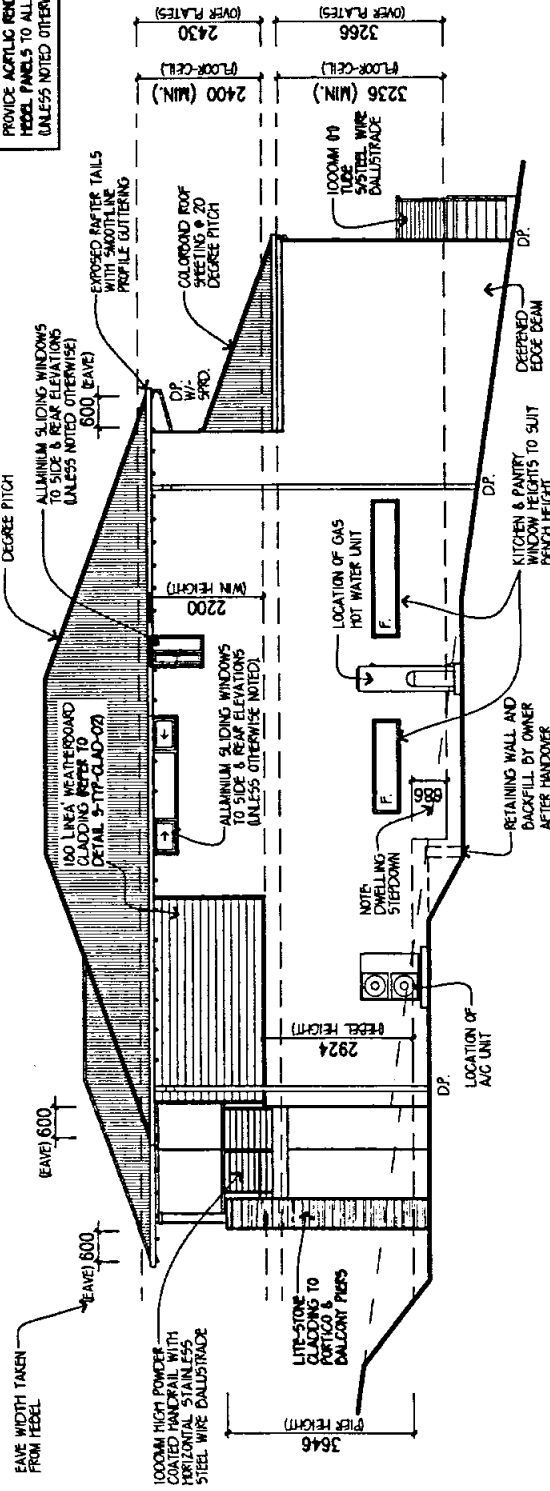
IMPORTANT NOTE:
 REFER TO ENGINEERS PLANS FOR ARTICULATION JOINT LOCATIONS.



ELEVATION C. (NORTH-EAST)

HEIGHT OF CRIP EDGE DEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS
 NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS

PROVIDE ACFTLIC RNDER FINISH TO HEDEL PANELS TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)



ELEVATION D. (SOUTHEAST)

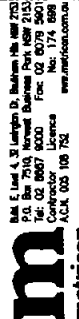
HEBEL PANEL CONSTRUCTION

ELEVATIONS 1:100

DESIGN: NEWHAVEN 33
 FACADE: REPORT
 GARAGE: DOUBLE
 CEILING: 25 L
 LOCATION: J

ELEVATIONS

DESIGNER
 by metricon



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OWNER: MR & MRS TERRY
 LOT 10 NO.12 OLD BARENDEY ROAD,
 AVALON BEACH

JOB NO: 652673
 DATE: 24.01.13
 F.C. DATE: 1ST VER: 10 SEPT 2010

PERMIT NO:
 DRAWN: CAOCRAFT
 CHECKED: SA
 SHEET: 5 of 10

• ALL STEPS & STAIRS TO HAVE A 240mm MIN. & 355mm MAX. TREAD WIDTH; 115mm MIN. & 190mm MAX. RISER HEIGHT & MUST COMPLY WITH B.C.A. 3.9.1.

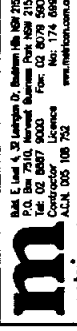
* BALUSTRADE IN ACCORDANCE WITH B.C.A. 3.9.2. TO BE INSTALLED WHERE INTERVAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND LEVEL.

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3740 &/OR B.C.A. J.8.1.0

• ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 - 2006 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.

DESIGN: NEWHAVEN 33
FACADE: RESORT CEILING: 25 L

METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING.
UNAUTHORIZED USE, REPRODUCTION OR ADAPTION IS
FORBIDDEN AND WILL BE PROSECUTED.

DESIGNER
by metricom

© COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metticon Home

OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARRENDEY ROAD
AVAILON BEACH

JOB NO:	652673	DATE:	24.01.13
---------	--------	-------	----------

F.C.DATE:	MST VER: P 20 SEPT 2010
-----------	-------------------------

PERMIT No:

DRAWN: CAD/CRAFT	CHECKED: SA	SHEET: 6 of 10
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**DUE TO PROXIMITY TO COASTAL WATERS
PROVIDE THE FOLLOWING ADDITIONAL ITEMS:**

- PROVIDE UPGRADED FIXING SCREWS AND CAULKING FOR FIBER WALL PANELS (IN ACCORDANCE WITH MANUF. SPECS)
- LINTELS AND ANY EXPOSED STEEL IN ACCORDANCE WITH B.O.A. REQUIREMENTS
- COLORADO VALLEY GUTTERS

PROVIDE WHITE ANT
TREATED FRAME

STAIRCASE UPGRADES - REFER TO CONTRACT

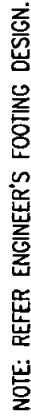
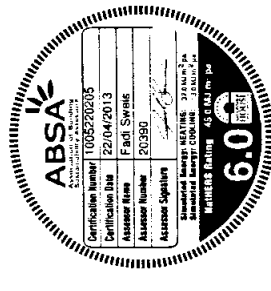
PROVIDE PPS CONTROL JOINT TO STAIRWELL.

PROVIDE 2340MM (9') INTERNAL
DOORS TO GROUND FLOOR ONLY
(EXCLUDING SLIDING ROBE DOORS)

PROVIDE SQUARE SET CEILING CONCRETS TO

- ENSUITE
- BATHROOM
- POWDER
- LAUNDRY
- SEPERATE W.C.'S

**PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METRICON**



ROUGH-IN POSITIONING
(NOT TO SCALE)

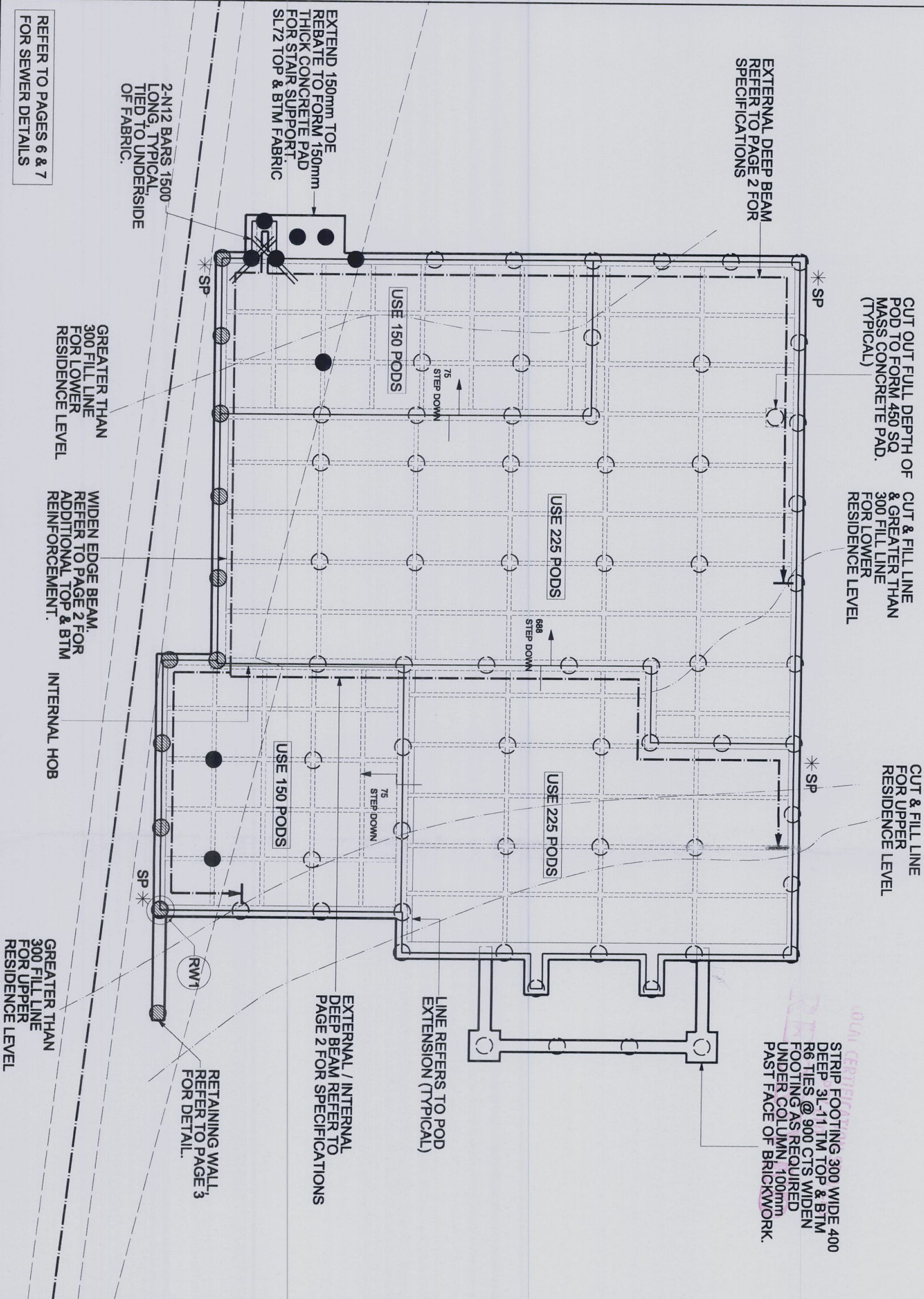
'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

CONCRETE HOB TO REAR OF GARAGE
DWELLING FFL BELOW GARAGE FFL (TYPICAL DETAIL)

SECTION 1:100

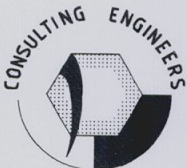
CONSTRUCTION NOTES

- GENERAL: UNLESS NOTED OTHERWISE
- THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.
 - DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
 - THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
 - ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY
 - UNLESS REQUESTED AND PRODUCED ON THE PLANS THE BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THAT THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.
 - ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.
 - BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.
 - REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK A.C, HWS AND LPG UNITS.
 - CONCRETE SPECIFICATION (F_c 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP
- | LOCATION | NORMAL F _c | SALINE AFFECTED F _c |
|----------------|-----------------------|--------------------------------|
| PIERS | 20 MPa | 32 MPa |
| SLAB | 20 MPa | 32 MPa |
| STRIP FOOTINGS | 25 MPa | 32 MPa |
- CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW:
- | LOCATION | FORMED & SHELTERED | FORMED & EXPOSED | POURED ON GROUND |
|---------------|--------------------|------------------|------------------|
| SLABS & WALLS | 20 | 30 | 65 |
| BEAMS | 25 | 40 | 65 |
| COLUMNS | 40 | 50 | — |
| STRIP FOOTING | — | — | 65 |
- REINFORCEMENT SYMBOLS ARE FOLLOWS:
- (N) - HOT ROLLED DEFORMED BARS (400 n)
 - (SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 #)
 - (S) - STRUCTURAL GRADE DEFORMED BARS
 - NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.
 - CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER
 - ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSTION AND COVER DURING PLACEMENT OF CONCRETE
 - PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
 - ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK EARTWORKS
 - FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.
 - PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.
 - FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION
 - ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.
 - ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.
 - ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.
 - A 1 METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE
 - IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.
- IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.
- REINFORCED CONC. PIER
- SEWER AFFECTED PIER
- ⊕ SCREW PIER
- UNREINFORCED CONC. PIER
- ⚭ ARTICULATION JOINT
- ★ STARTING POINT
- DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE



Raflettos

ABN: 35 079 047 466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



Zanuttini

Py Ltd
FACSIMILE: (02) 9654 9764
TELEPHONE: (02) 9654 9311
EMAIL: admin@rafzan.com.au

B.E., M.L.E. AUSTR.

metricon

CLASSIFICATION M
REFERENCE 652673

STRUCTURAL SLAB DETAIL PLAN

CLIENT TERRY
LOCATION LOT 10, No.12 OLD BARENUOEY RD, AVALON BEACH

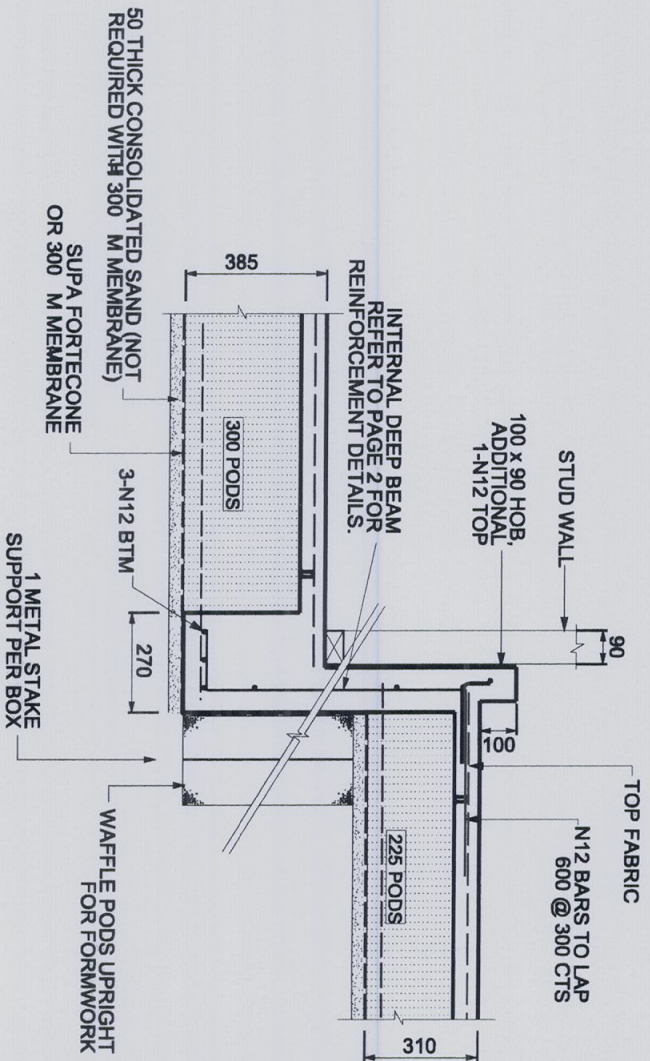
DRAWN J.J
SCALE 1:100

ISSUE A
DATE 22/04/13

JOB No. 53892 MT

A3

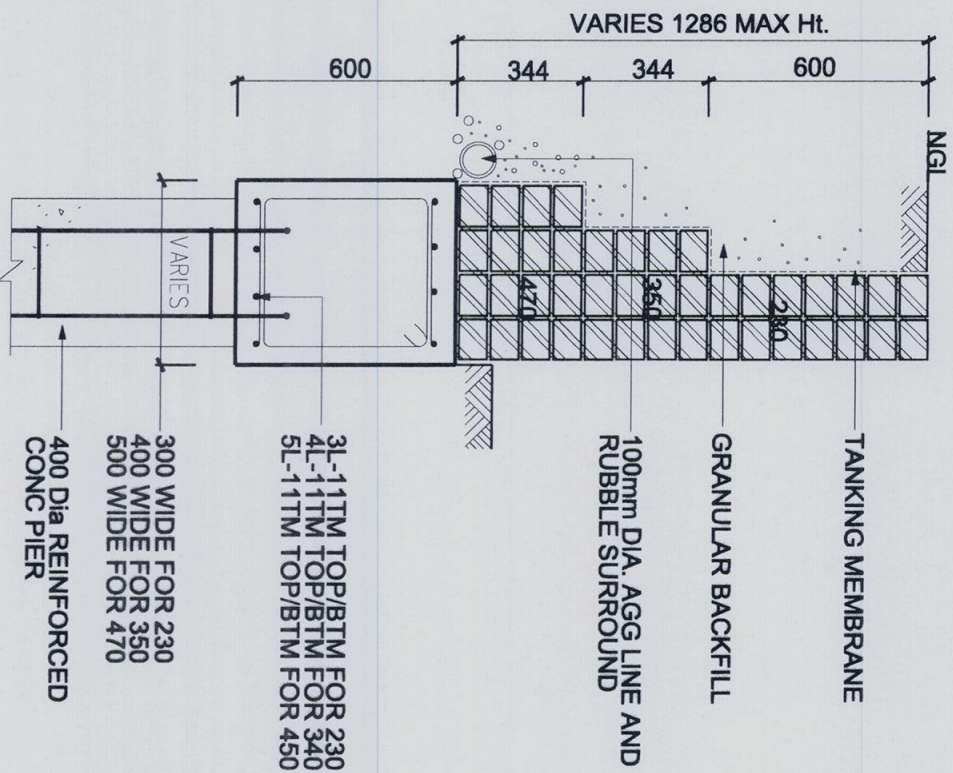
SHEET No. 1



INTERNAL DEEP BEAM
HOB DETAIL

SECTION Z-Z

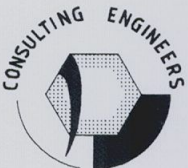
SCALE 1:10



RW1

SCALE 1:20

Rafleltos
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KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



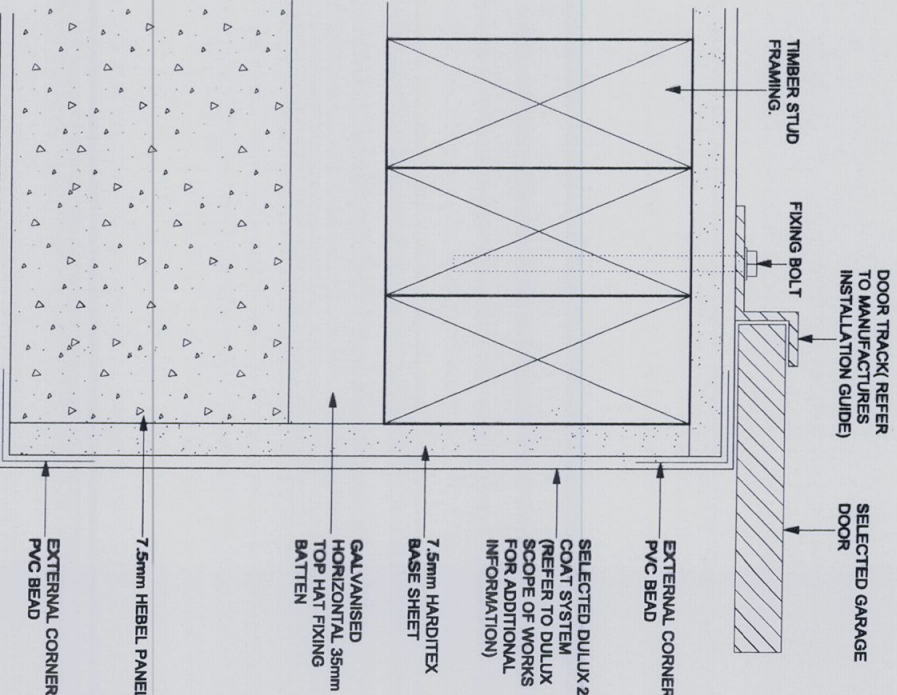
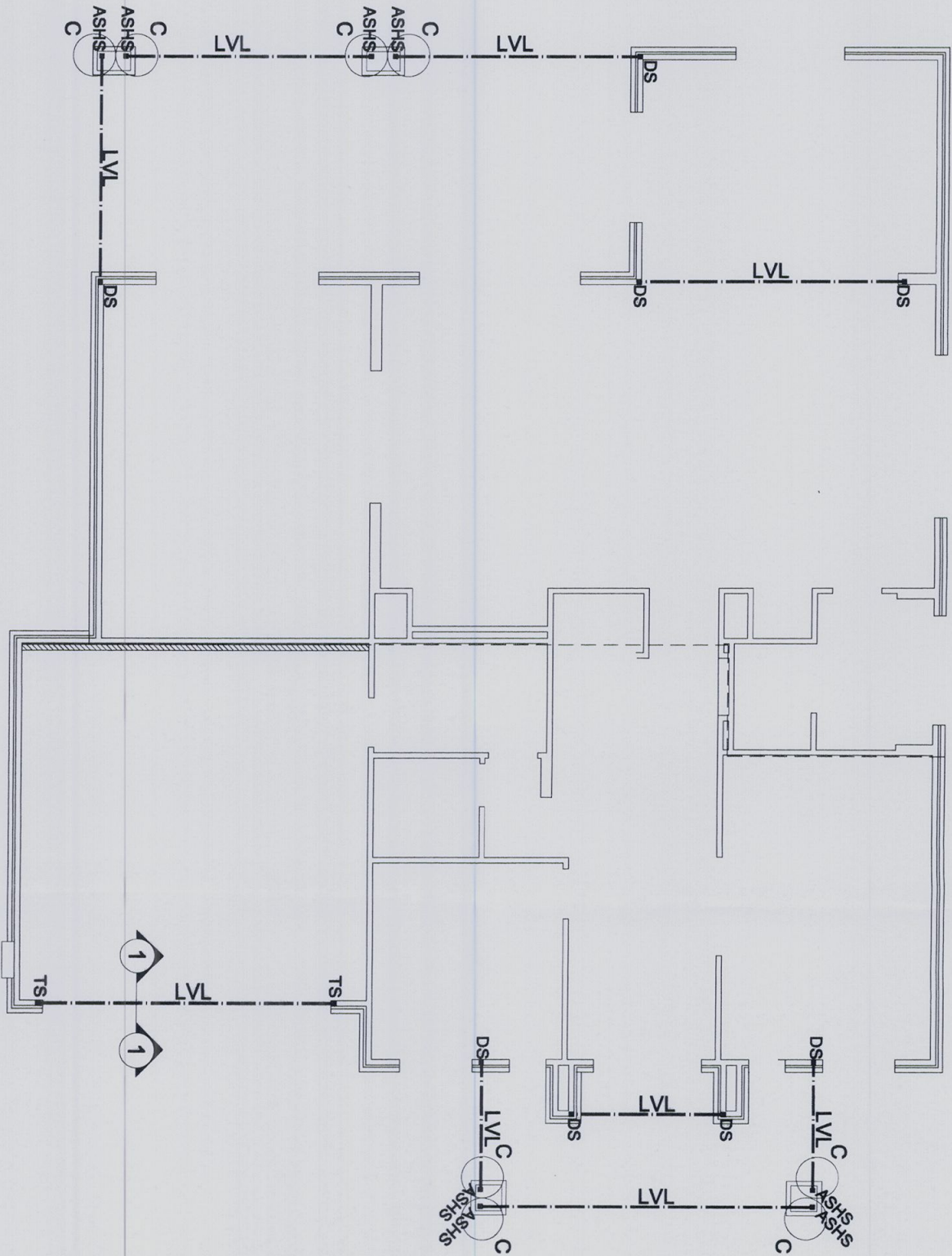
Zanuttini
Py/Ltd
FACSIMILE: (02) 9554 9764
TELEPHONE : (02) 9554 9311
EMAIL: admin@rafzan.com.au

[Signature]
B.E., M.I.E. AUSTR.

metricon

STRUCTURAL SLAB DETAIL PLAN

CLIENT LOCATION		TERRY LOT 10, No.12 OLD BARRENUOEY RD, AVALON BEACH		DRAWN J.J		SCALE 1:100		SHEET No. 3	
REFERENCE	652673	ISSUE	A	DATE	22/04/13	JOB No.	53892 MT	A3	



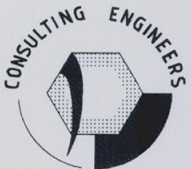
TYPICAL TRIPLE STUD DETAIL NOTE:

- ALL STEELWORK TO BE PAINTED WITH AN APPROVED CORROSIVE RESISTANT PRIMER.
- NOTE: IF BUILDING IS LOCATED WITHIN 1.0 KM OF THE COAST, ENGINEER IS BE NOTIFIED AND STEEL BEAMS ARE TO BE GALVANISED.
- SHS: DENOTES SQUARE HOLLOW SECTION OR STEEL POST. ALL POST TO BE 78 x 78 x 4mm SHS, BUILD POST INTO STUD FRAMEWORK
- DS: DENOTES 1/80 x 80 HARDWOOD STUDS OR 2/90 x 45 HARDWOOD STUDS.
- ASHS: DENOTES ADJUSTABLE SQUARE HOLLOW SECTION STEEL POSTS.
- TS: DENOTES TRIPLE STUDS 3/60 x 45 HARDWOOD STUDS.

STRUCTURAL STEEL DETAIL PLAN

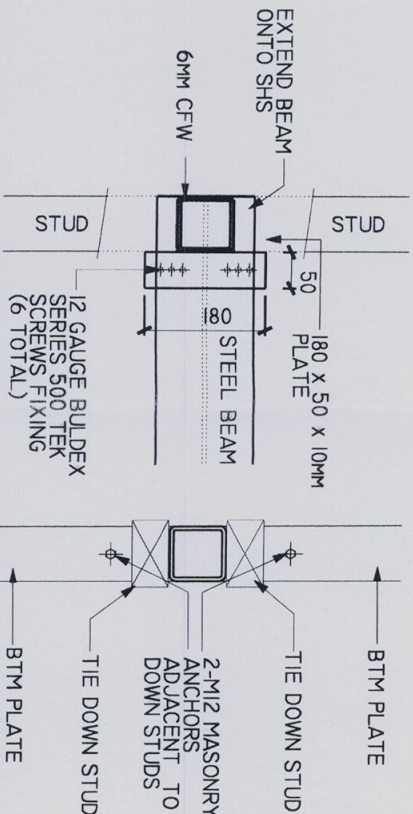
metricon		CLIENT		TERRY		SCALE		SHEET No.	
		LOCATION		LOT 10, No.12 OLD BARENJOEY RD, AVALON BEACH		1:100		4	
REFERENCE		DRAWN		J.J		DATE		JOB No.	
		ISSUE		A		22/04/13		53892 MT	

Rafeltos
ABN: 35 079 047 486
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



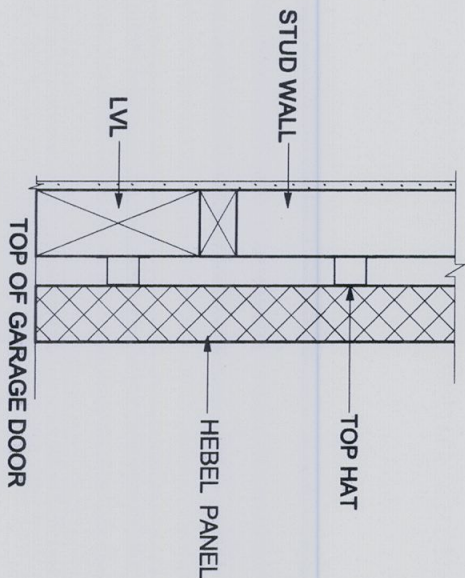
Zanuttini
Py Ltd
FACSIMILE: (02) 9554 9764
TELEPHONE : (02) 9554 9311
EMAIL: admin@grafzan.com.au

[Signature]
B.E., M.I.E. AUSTR.

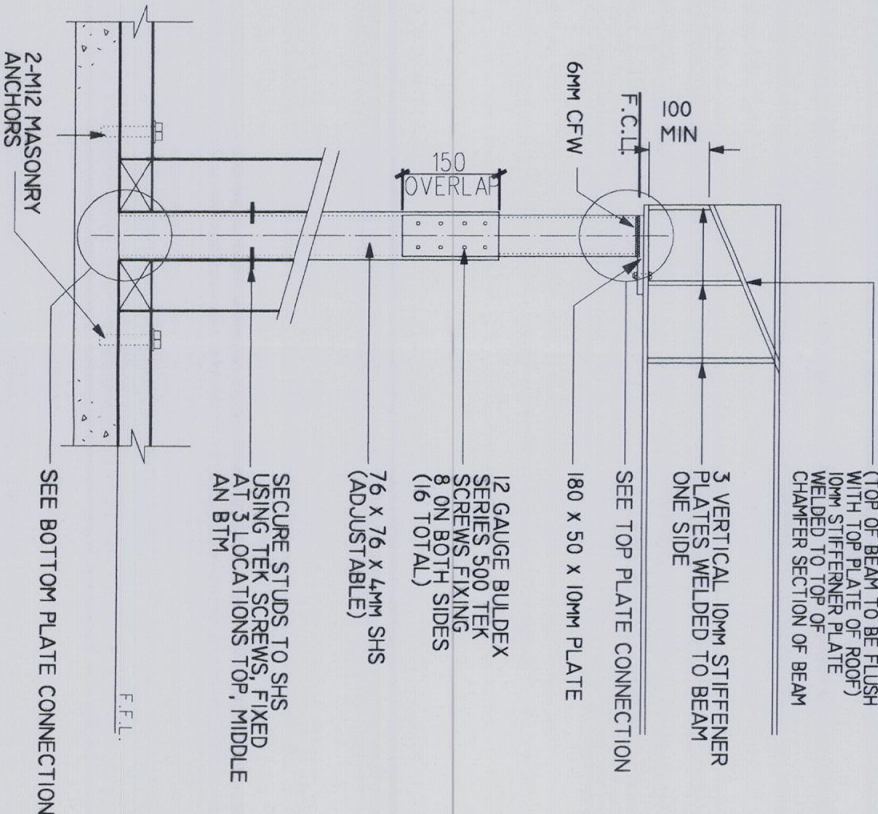


TOP PLATE CONNECTION
BOTTOM PLATE CONNECTION

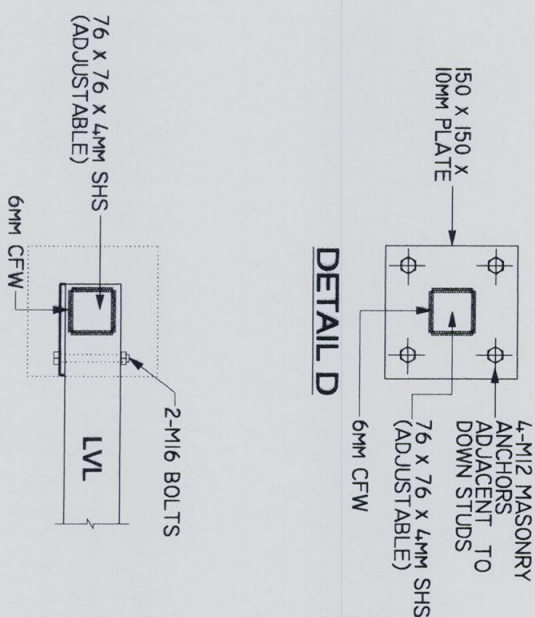
90 40 75
(TYPICAL)



SECTION 1-1
SCALE 1:10

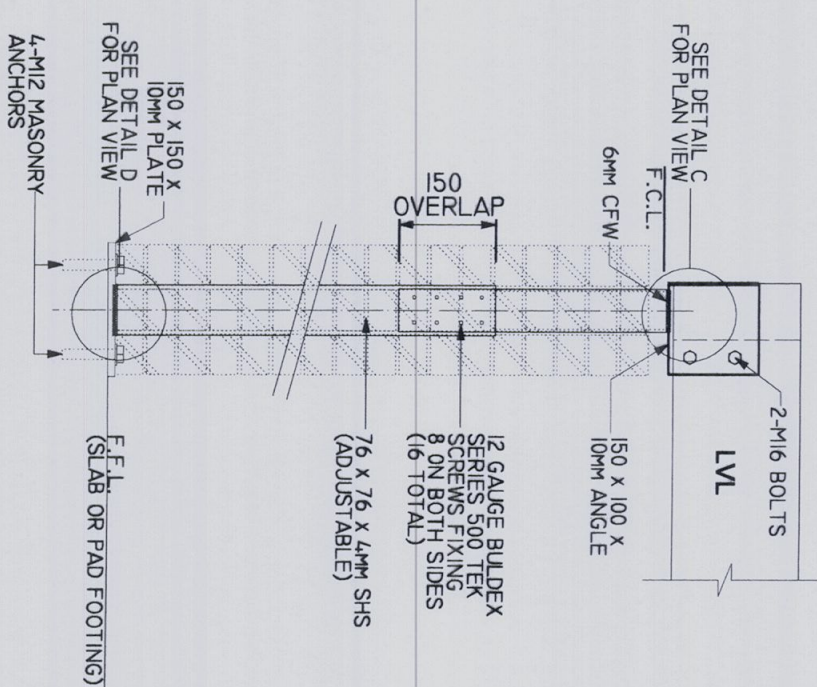


TYPICAL SECTION FOR ADJUSTABLE STEEL POSTS



DETAIL C

DETAIL D

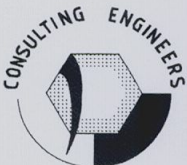


TYPICAL SECTION FOR ADJUSTABLE STEEL POSTS
WITHIN BRICK PIERS IN ALFRESCO AREAS

STRUCTURAL STEEL DETAIL PLAN

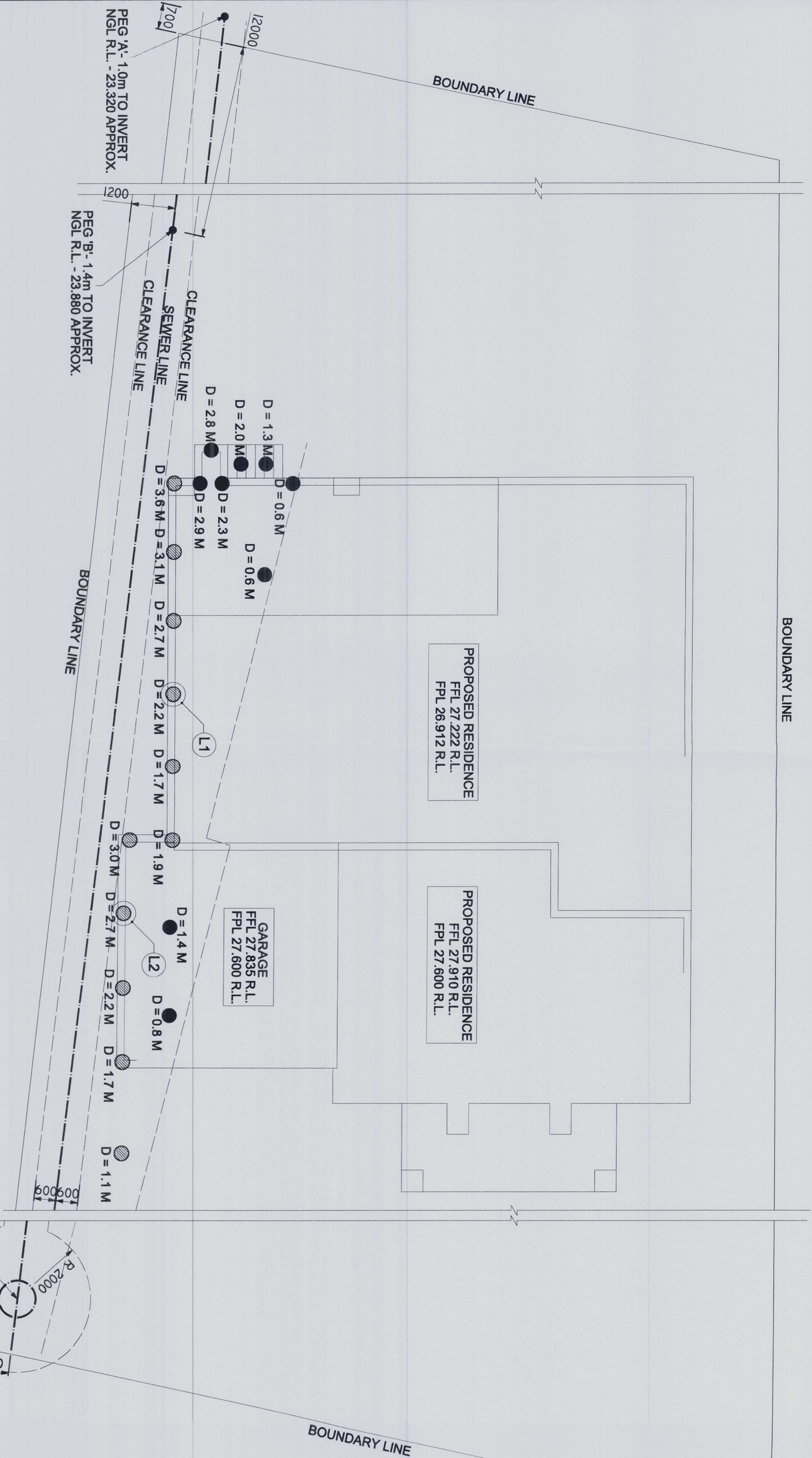
metricon	CLIENT		TERRY		A3	
	LOCATION		LOT 10, No.12 OLD BARRENOUEY RD, AVALON BEACH			
	DRAWN	J.J	SCALE	1:10	SHEET No.	5
REFERENCE	ISSUE	A	DATE	22/04/13	JOB No.	53892 MT
652673						

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ABN: 35 079 047 486
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



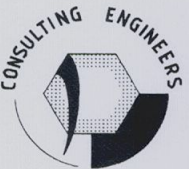
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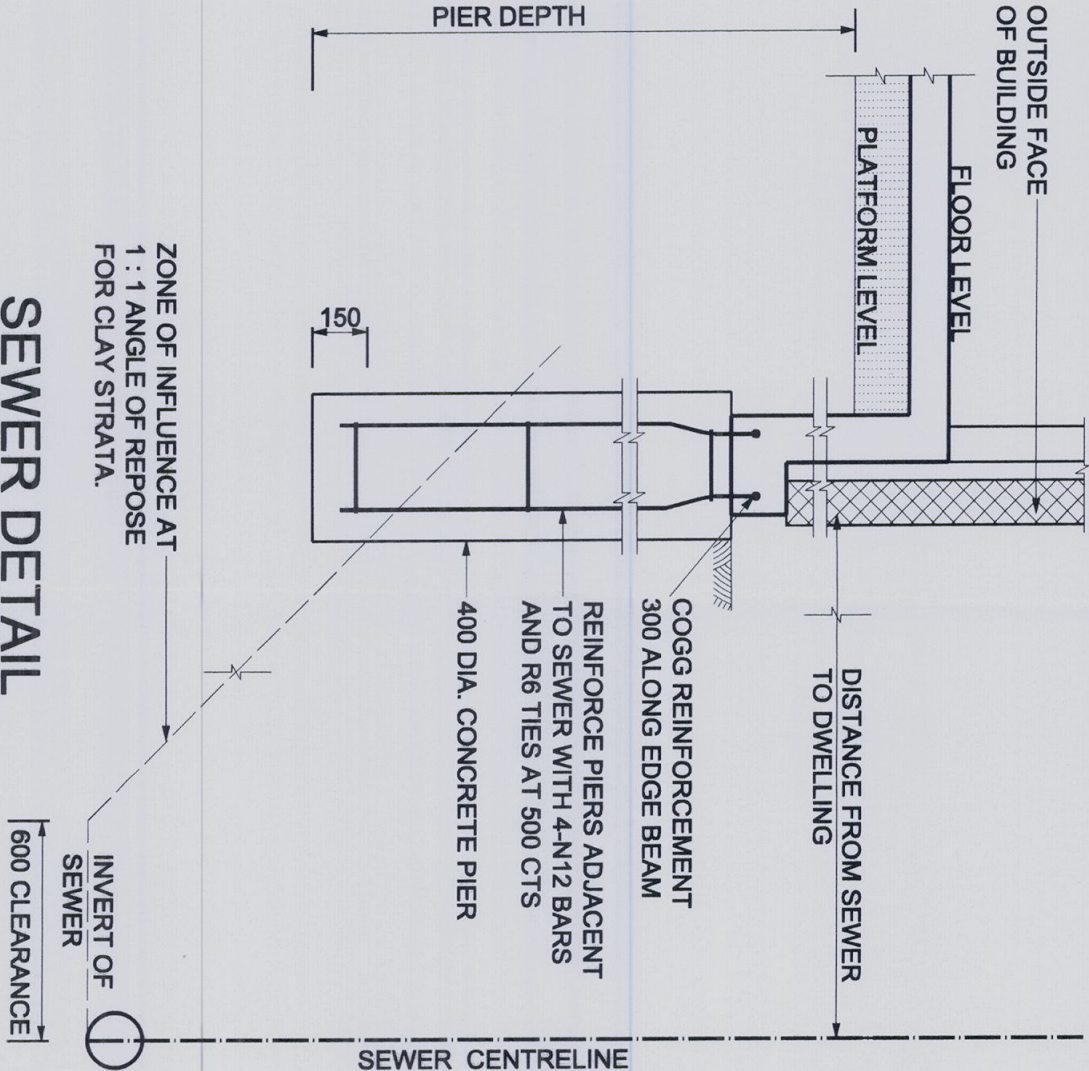
SITE AND B.A.S/B.O.S DETAIL PLAN

CLIENT		TERRY		SCALE		SHEET No.	
LOCATION		LOT 10, No.12 OLD BARRENJOEY RD, AVALON BEACH		1:100		6	
DRAWN		J.J		DATE		JOB No.	
REFERENCE		652673		22/04/13		53892 MT	

SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

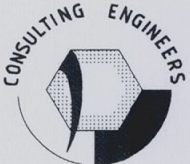
SEWER CALCULATIONS		L1	L2
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)		1.311	0.689
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =		26.987	27.600
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =		24.203	25.036
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =		2.2	2.7
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =		3.384	3.164
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =		25.427	26.174



SEWER DETAIL

L1 L2

Raflettos
ABN: 35 079 047 486
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



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[Signature]
B.E., M.E. AUSTR.

metricon

SEWER SECTION/S PLAN

CLIENT		TERRY		DRAWN		SCALE		SHEET No.		REFERENCE	
LOCATION		LOT 10, No.12 OLD BARRENJOEY RD, AVALON BEACH		J.J		1:20		7		652673	
ISSUE		A		DATE		22/04/13		JOB No.		53892 MT	



PITTWATER COUNCIL

Tree Application – Conditions of Consent

PLEASE READ CAREFULLY

Applicant: Simon Terry
224 Lower Plateau Rd
Bilgola Plateau 2107

Application No: 35477

Property No:

Address of Property: 12 Old Barrenjoey Rd Avalon 2107

Approved Works: Removal 1 x dying *Corymbia gummifera* (blood wood) tree. To be replaced with 2x same species tree with in 1month of approved tree removal

GENERAL:

1. The consent or a true copy is to be displayed on the land on which the works are to be carried out, in a position that will enable it to be read prior to the commencement of and during the carrying out of the works. Failure to display the consent will render the consent invalid.
2. All work to be carried out by a qualified and insured tree contractor.
Any pruning work is to be carried out in accordance with **AS 4373 - 2007**.
3. The consent of the owner/s of the land on which the tree stands must be obtained before any work is carried out.
4. Where the tree is on a boundary between two or more properties, the consent of all owners must be obtained before any work is carried out.
5. This consent does not give any person the right to enter upon any land without the consent of the owner/s of that land.
6. Any hollows in trees are to be inspected by a qualified wild life expert prior to the commencement of any tree works.

MARK FERGUSON
General Manager

Per: 

Date: 17/03/13

Customer Service Centre
1 Park Street
MONA VALE

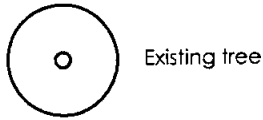
P O Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone 02 9970 1111
Facsimile 02 9970 7150
Internet www.pittwaterlga.com.au

LEGEND

- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Fence

To be removed / demolished



Tree Protection Zone

Structural Root Zone

Encroachment into Tree Protection Zone

EXISTING RETAINING WALL TO REMAIN

1350MM (h) DEEPEDED EDGE BEAM

1320MM (h) DEEPEDED EDGE BEAM

APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER

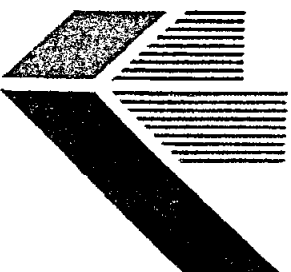
LOCATION OF RETAINING WALL BY METRICON

RECOMMENDED LOCATION OF RETAINING WALL BY METRICON

EXISTING CROSSOVER TO REMAIN

OLD BARRENJOEY ROAD

<p>12 OLD BARRENJOEY ROAD, AVALON BEACH</p>	<p>NEW RESIDENCE</p>	<p>12 OLD BARRENJOEY ROAD, AVALON BEACH</p>	<p>MR & MRS TERRY</p>
<p>12 OLD BARRENJOEY ROAD, AVALON BEACH</p>	<p>NEW RESIDENCE</p>	<p>12 OLD BARRENJOEY ROAD, AVALON BEACH</p>	<p>MR & MRS TERRY</p>
<p>12 OLD BARRENJOEY ROAD, AVALON BEACH</p>	<p>NEW RESIDENCE</p>	<p>12 OLD BARRENJOEY ROAD, AVALON BEACH</p>	<p>MR & MRS TERRY</p>



CODEMARK

Product description

Hebel PowerPanel is a lightweight steel reinforced Autoclaved Aerated Concrete (AAC).

Product purpose or use

Hebel PowerPanel is a cladding wall element installed vertically on External Wall System to clad timber or steel framed buildings.

Certificate holder

HEBEL

Trinit 3, 39 Delhi Rd,
North Ryde NSW 2113
Locked Bag 1345
North Ryde BC NSW 1670

Codemark certification body

CertMark Australasia Pty Ltd
JAS-ANZ Accreditation No. 24450210AX
Address: PO Box 7144, Slippy Downs, QLD, 4556
Website: www.certmark.com.au

John Thorpe
Director

Mike Owen-Jones
Unrestricted
Building Certifier

01/06/2012

01/06/2015

CMA-H-2102-2

Certificate Number



CERTIFICATE OF CONFORMITY

This is to certify that

Hebel PowerPanel for Houses & Low
Rise Multi-Residential External Wall

Complies with the Building Code of Australia:

- BCA Volume One, Part 1.1 "Damp and Weatherproofing" Performance Requirement P1.4 as applicable to external walls.
- BCA Volume One, Part 1.2.3 "Fire resistance of building element" achieving an FRL of 240/180/180.
- BCA Volume One, Part 1.2.1 (a) "Thermal Construction - General".
- BCA Volume One, Part 1.2.5 "Walls" (R values vary with installation configurations refer manufacturer's specifications).
- BCA Volume Two, Part 1.2.1 "Fire Separation" as an external wall having an FRL of not less than 60/60/60.
- BCA Volume Two, Part 1.2.6 "Sound insulation" (R_w + C_w values vary with installation configuration refer manufacturer's specifications).
- BCA Volume Two, Part 1.3.4 "Weatherproofing of Masonry".
- BCA Volume Two, Part 2.1 "Structure" Performance Requirement P2.1 (a), (b) and (c) as applicable to nominal bracing lateral wind loading and fastening pull outs
- BCA Volume Two, Part 2.6 "Energy Efficiency" Performance Requirement P2.6.1 "Building".
- BCA Volume Two, Part 3.5.3 "Wall Cladding" as an alternate solution through compliance with appropriate performance requirements P2.1 and P2.2.2.
- BCA Volume Two, Part 3.12.1.1 (a) "Building Fabric thermal insulation" (R values vary with installation configurations refer manufacturer's specifications).
- BCA Volume Two, Part 3.12.1.4 (a) "External walls" (R values vary with installation configurations refer manufacturer's specifications).

Subject to the following conditions and limitations:

- (1) Only to be installed in accordance with the Houses and Low Rise Multi-Residential External Walls (PowerPanel) Design and Installation Guide (versions HB1353 August 2011).
- (2) Only to be installed by a suitable qualified and tradesperson.
- (3) Hebel PowerPanel is suitable for wind categories from N1 to N5 and C1 to C3. (Refer to HB1353 August 2011) for relevant construction requirements.
- (4) Zero Boundary wall applications to be installed in accordance with Hebel technical update (doc ref: Boundary Wall Weather tightness.doc - 14 Nov 2011).
- (5) Where Hebel PowerPanel is in contact with ground the details on Drawing CSR-04 Rev B must be adhered to.

This Certificate of Conformity is issued by an accredited certification body under arrangement with JAS-ANZ. The ABCB does not in any way warrant, guarantee or represent that the Product the subject of this Certificate of Conformity conforms with the BCA, nor accepts any liability arising out of the use of the Product. The ABCB disclaims to the extent permitted by law, all liability (including negligence) for claims of losses, expenses, damages and costs arising as a result of the use of the product(s) referred to in this Certificate. It is advised to check that this Certificate of Conformity is currently valid and not withdrawn, suspended or superseded by a later issue by referring to the ABCB website, www.abcb.gov.au.



CodeMark Determination

For

The CSR Hebel PowerPanel for
House & Low Rise Multi-Residential
External Wall Systems

PURPOSE

Hebel® PowerPanel for House & Low Rise Multi-Residential External Wall are an alternative to brick veneer in timber or steel framed construction which provides comfort and energy savings as well as a beautiful rendered finish.

Hebel PowerPanel for external walls can be used in new dwelling constructions, extensions and second-storeys.

At the core of the Hebel systems is a 75mm thick, steel mesh reinforced panel fixed vertically to battens that are attached to the load bearing frame. The panels are glued together to provide a perfectly flat and smooth finish.



APPLICANT

CSR Hebel
Triniti 3 No 39 Dehli Rd
North Ryde
Sydney NSW 2113 Australia

hebel®
The better way to build



TECHNICAL OPINION

In the opinion of CertMark Australasia Pty Ltd (CMA), the Hebel PowerPanel for House & Low Rise Multi-Residential External Wall meets the requirements under the following conditions:

The System is installed in accordance with Houses and Low Rise Multi-Residential External Walls (PowerPanel) Design and installation manual HEB1353 August 2011.

Note: The design and installation manual is available on request from www.hebelaustralia.com.au

Annual Audits are made once a year to ensure that the product, manufacturer and client are meeting the requirements given at the time of Certification.

Building Code of Australia

In the opinion of CMA, the system described in this CodeMark Determination and installed under the conditions listed herein will satisfy the Performance Requirements.

Notes:

- i) The inclusion of this clause with reference to the BCA is aimed at assisting those involved in the design; specifying and building approval/permit process relate the Appraisal to the relevant Performance Requirements of the BCA.
- ii) Any changes made to the BCA will be reviewed during the term of validity of this CodeMark Determination and, where necessary, any amendment required will be published.

RELATED INFORMATION**VALIDITY OF THE OPINION****Condition:**

This CodeMark determination applies only to Hebel PowerPanel for External Walls.

Withdrawal:

The CodeMark Determination will be withdrawn or amended if CMA considers that a change in design or manufacturing quality renders the basis of the appraisal invalid, or if reported field experience convinces CMA of unsatisfactory quality or performance.

Term of Validity:

This CodeMark Determination will lapse three years after the date of issue unless revalidation has been requested and granted.

RELEVANT DOCUMENTS

- Hebel Houses and Low Rise Multi-Residential External Wall (PowerPanel) design and installation manual HEB1353 August 2011.
- Australian Building Codes board, Building Code of

Australia.

- Relevant Australian Standards.
- Relevant International standards.

DETERMINATION OPINION EXTRACT

The Hebel PowerPanel for House & Low Rise Multi-Residential External Wall as supplied by CSR Hebel will satisfy the performance requirements of the BCA as detailed on CodeMark Certificate # CMA-H-2102-2.

- BCA Volume One, Part F1 "Damp and Weatherproofing" Performance Requirement FP1.4 as applicable to external walls.
- BCA Volume One, Part A2.3 "Fire resistance of building elements" achieving an FRL of 240/180/180
- BCA Volume One, Part J1.2 (a) "Thermal Construction – General".
- BCA Volume One, Part J1.5 "Walls"
- BCA Volume Two, Part 3.7.1 "Fire Separation" as an external wall having an FRL of not less than 60/60/60
- BCA Volume Two, Part 3.8.6 "Sound Insulation"
- BCA Volume Two, Part 3.3.4 "Weatherproofing of Masonry"
- BCA Volume Two, Part 2.1 "Structure" Performance Requirements P2.1 (a), (b) and (c) as applicable to nominal bracing lateral wind loading and fastening pull outs.
- BCA Volume Two, Part 2.6 "Energy Efficiency" Performance Requirement P2.6.1 "Building"
- BCA Volume Two, Part 3.5.3 "Wall Cladding" As an alternate solution through compliance with appropriate performance requirements P2.1 and P2.2.2.
- BCA Volume Two, Part 3.12.1.1 (a) "Building Fabric thermal insulation"
- BCA Volume Two, Part 3.12.1.4 (a) "External walls"

APPRAISAL**DESCRIPTION**

This description is based on information supplied by the applicant.

General:

Hebel PowerPanel for House & Low Rise Multi-Residential External Wall is a cladding system using steel-reinforced AAC panels glued and screwed to horizontally orientated top hat sections to provide a flat surface for a render finish.

Hebel PowerPanel for House & Low Rise Multi-Residential External Wall has been designed for homes built using either timber or steel framing and can be used in new dwelling construction, second storey additions, and extensions and for re-cladding.

The system consists of 75mm thick steel-reinforced Hebel® PowerPanel, installed vertically and secured to top hat sections. The top hats are secured to the frame using screw fixings.

Benefits

- Easy to handle and install, 2 people can position with no lifting device required.
- Fire resistant, with a fire rating of up to 240/180/180, meaning you can build up to the boundary line.
- A 3000mm Power Panel is equivalent in area to 77 bricks and takes a fraction of the time to put in place.
- Easily worked with standard tools.
- Not a food source for termites or vermin.
- Better thermal efficiency than brick veneer or even double brick, resulting in reduced heating and cooling

Components:

System Component	Function
Hebel PowerPanel	The core component of the PowerPanel for External Walls system is the 75mm thick Power panel manufactured in a range of sizes from 1200 mmx600MM to 3300mmX600mm
Top Hat	The top Hats are used to fix the Hebel Power Panel to the structural support framing. There are normally two nominal widths available : 24mm and 35mm
Fasteners and fittings	Top hat to Timber Stud Frame; 12-11x35mm Hex head Type 17 screw
Fasteners and fittings	Top hat to steel frame; 10-16x16mm Hex head Tek screws
Fasteners and fittings	Fixing of Hebel PowerPanel to Top Hat from inside of buildings; 14-10x65mm Hex Head type 17 screws (Boundary walls only).
Fasteners and fittings	Fixing of Hebel PowerPanel to Top Hat 14-10x100mm MP Bugle Head Type.
Hebel Mortar	Hebel Mortar (supplied in 20Kg Bags) when required is used as a thick bed mortar base to provide a level base for PowerPanel installations as well as providing acoustic and fire protection at the base of

	the PowerPanels.
Hebel Adhesive	Hebel adhesive (supplied in 20kg bags) is used for gluing the PowerPanels together at vertical joints.
Hebel Patch	Minor chips or damage to Powerpanel are to be repaired using Hebel Patch (supplied in 10kg Bags)
Hebel anti corrosive protection paint	To coat exposed reinforcing during cutting
Base Levelling Coat	Used to create a level base for an approved acrylic texture system (supplied in 20Kg Bags).
2 Coat Acrylic Coating System	Designed for 2-3mm and 1-2mm applications to PowerPanel Installed true and flush. Total acrylic system providing maximum flex ability 2 coat integrated system.

DESIGN INFORMATION

General:

Hebel® PowerPanel for External Walls are steel-reinforced building system for framed construction. The system is designed to be an alternative to brick veneer in timber or steel framed construction. Hebel Powerpanel for external walls can be used in new dwelling construction, extensions, second-storeys or re-cladding.

Thermal:

The Hebel PowerPanel for External Walls can be constructed in a number of configurations which result in varying thermal efficiency results.

This report gives a summary of various power clad constructions that incorporate different framing and insulation methods. The table below summarises the winter and summer R-Values that can be achieved with the various systems.

Wall system	Summer	Winter
Hebel 1400	1.66	1.54
Hebel 1401	1.70	1.55
Hebel 1402	2.79	2.61
Hebel 1403	3.08	2.87
Hebel 1404	2.08	1.91
Hebel 1405	2.13	1.93
Hebel 1406	3.18	2.96
Hebel 1407	3.47	3.23
Hebel 1408	1.67	1.55
Hebel 1409	1.71	1.56
Hebel 1410	2.80	2.62
Hebel 1411	3.09	2.88

Hebel 1412	2.14	1.94
Hebel 1413	2.19	1.97
Hebel 1414	3.25	3.01
Hebel 1415	3.54	3.28

Acoustic properties:

The Hebel PowerPanel for External Walls can be constructed in a number of configurations which result in varying Acoustic efficiency results. Listed below are examples of verified testing.

PowerPanel- Wall System 1

- 10mm plasterboard
- 90mm timber stud
- R1.5 Bradford Glasswool Batts
- 35mm top hat
- 75mm Power Panel
RW- 47
Ctr- -6

PowerPanel Wall System 2

- 10mm plasterboard
- 90mm timber stud
- Bradford Enviroseal (single side reflective foil)
- 35mm top hat
- 75mm Power Panel
RW- 43
Ctr- -6

PowerPanel Wall System 3

- 10mm plasterboard
- 90mm timber stud
- R1.5 Bradford Glasswool Batts
- Bradford Enviroseal (single side reflective foil)
- 35mm top hat
- 75mm Power Panel
RW- 47
Ctr- -6

Durability:

Hebel panel has been determined to provide a service life of more than 50 years under AS3600 exposure classification A1 and A2, and up to 40 years under B1 Exposure conditions.

For costal B2 conditions the service life of Hebel is given at 10 years due to the effects of moisture borne sea spray. However with proper maintenance and suitable water proof coating s a service life of 50 years in B2 areas can be expected.

BASIS OF THE DETERMINATION

CMA CodeMark Determination has assessed the following aspects in undertaking the Certification:

- installation procedures
- Physical Properties
- relation to Relevant BCA clauses
- The ability of the installation details to meet the requirements of the BCA and relevant Australian Standards.

The following documents and inspections were used in carrying out the Certification:

Manufacturer's and Installation Information:

1. Hebel PowerPanel for External Walls installation manual HEB1353 August 2011.

2. Test Reports:

- Report from PKA Acoustic Consulting (9th June 2001) .
- PKA (Peter R Knowland and Associates Pty Ltd) report dated 4th August 1997. STC Opinion on Power Panel external wall.
- Acoustic Logic Report dated 16th April 2011.
- Report from Mahaffey Associates dated 7th June 2010, address to Mr Tony Yap detailing durability review.
- CSIRO Report dated August 2001, CSIRO Reference BB:bb NR 2001/0177.
- CSIRO report reference number FCO-2483/CO3983
- CSIRO report dated February 1994, reference number FSV 0356.
- James M Fricker Pty Ltd report i107e, Summary of 75mm Hebel Power Panel Wall Systems B/7/11

Other Documents:

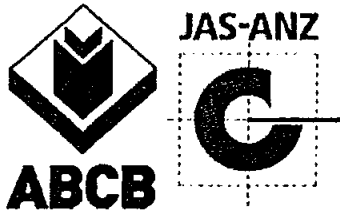
- Hebel PowerPanel for External Walls R Value Summary.
- Hebel Design Calculations.
- Technical specifications for Power Panel top hats and fixings.
- CMA Audit documentation.
- Design Calculations for Power Panel from CSR Hebel dated April 1995.
- House and Low rise Multi-residential External Walls Power Panel Design and Installation Guide. (HEB1353 August 2011).

Inspections:

CMA Determination representatives have inspected installations of the systems and found the level of performance satisfactory.

CodeMark Certification:

CodeMark is a building product certification scheme. The CodeMark scheme supports the use of new and innovative building products by providing a nationally and internationally accepted process for products to be assessed for compliance with the requirements of the building codes of Australia and New Zealand. The scheme provides confidence and certainty to regulatory authorities and the market through the issue of a Certificate of Conformity.



The ABCB and New Zealand's Department of Building and Housing (DBH) manage the scheme in their respective countries. The Joint Accreditation System of Australia and New Zealand (JAS-ANZ) have accredited CertMark to evaluate and certify building products. Relevant legislation requires building control authorities to accept CodeMark certified products.

John Thorpe
Director

CertMark Australasia Pty Ltd
JAS-ANZ Accreditation Number Z4450210AK

AW GEOTECHNICAL PTY. LTD.
ABN 43 158 108 724
T [07] 3343 5092 | F [07] 3343 7655
1175 Logan Road | Holland Park QLD 4123
PO Box 4044 | Eight Mile Plains QLD 4113
ausgeo@ozemail.com.au | www.awgeotechnical.com



Date
03 May 2013

Revision
A

Simon Terry
C/- 12 Old Barrenjoey Road
AVALON BEACH NSW 2107

Our Ref: AWG31544
Your Ref: Terry

Soil Permeability as per AS1547-2012

Lot 10, No.12 Old Barrenjoey Road, Avalon Beach

$K_{sat} = 0.0396 \text{ cm/min or } 0.0054 \text{ litres/sec/m}^2$

Please find attached the results of the Soil Permeability test, log sections and site sketch, undertaken at the above address.

Providing the system is designed by a suitably qualified person for the recommended design K_{sat} , above, and the system is located a minimum setback distance of 3m from any adjacent property boundary and infrastructure, we do not see any reason why this proposal should not proceed to construction.

If you have any queries please do not hesitate to contact the writer.

Yours faithfully,

AW Geotechnical Pty Ltd

A handwritten signature in black ink, appearing to be 'B. Hargreaves'.

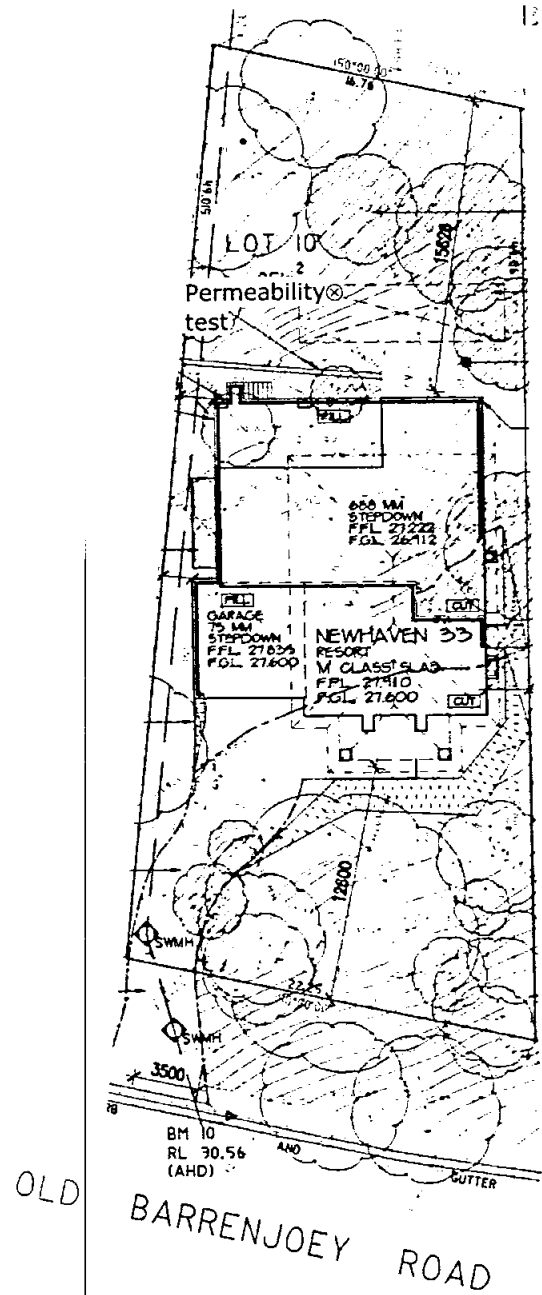
Bruce L Hargreaves
Dip.App.Sc (Geology) RPGeo (Geotechnical Engineering)
Affil.I.E. (Aus) M.A.G.S.
BSA Licence No. 1058767 (Site Classifier)
TCC Accreditation No. CC4047U (Engineer-Geotechnical)

Log Sections

PERMEABILITY TEST				
Depth (mm)	Description Soil Type-Colour-Consistency	FILL	DCP	PP (kPa)
100	TOPSOIL			
200				
300	SANDY CLAY (or/gy) moist and stiff		2	
400			4	
500			4	
600			4	
700			5	
800			5	
900			4	
1000			5	
1100	SANDY CLAY (or/gy) moist and very stiff		5	
1200			6	
1300			8	
1400			10	
1500			13	
1600	END H/A - Limit of testing		18	
1700			17	
1800			19	
1900			20	
2000				
2100				
2200				
2300				
2400				
2500				
2600				
2700				
2800				
2900				
3000				

NOMENCLATURE: UTP= Unable to Penetrate DCP= 9kg Dynamic Cone Penetrometer
PP = Pocket Penetrometer A=Auger XW-ROCK=Extremely Weathered Rock Refer Tables
7.3.2 & 7.3.3 AS1726-1993 gy=grey or=orange yell=yellow rd=red wh=white
brn=brown bk=black bl=blue gr=green Refer AS1726-1993 Clause A2.4 for classifying
soils.

Site Sketch (Not to scale)



Reference No: AWG31544
Address: Lot 10, No.12 Old Barrenjoey Road
Suburb: Avalon Beach

Soil Permeability Test Sheet
(Refer AS1547-2012)

Test Data:

Date of test:	3/05/13
Test Site location:	See site sketch
Depth(cm) of auger hole(D):	50
Depth(cm) of water in hole(H):	40
Average radius(cm) of hole(r):	4.75
Depth(cm) to any impermeable layer(s):	See Log Section.
Pretest Hole Saturation duration(mins):	30

Apparatus Specifications:

Diameter of reservoir(cm):	3.65
Diameter of Air Inlet(cm):	1.2
Effective Surface Area(cm ²):	37.3

Field Measurements.

	Start(min)	Level(cm)	Drop(cm)	cm/min	cm ² /min	Litres/sec
Test 1	0.00	18.4				
	10.00	12.1	6.3	0.63	23.5	0.0004
Test 2	0.00	24.7				
	10.00	18.4	6.3	0.63	23.5	0.0004
Test 3	0.00	11.9				
	10.00	5.5	6.4	0.64	23.9	0.0004
Test 4	0.00	18.4				
	10.00	11.9	6.5	0.65	24.3	0.0004
Test 5	0.00	24.2				
	10.00	18.4	5.8	0.58	21.7	0.0004

Result:

Test 1	K _{sat} =	0.0430	cm/min	or	0.0059	litres/sec/m2
Test 2	K _{sat} =	0.0430	cm/min	or	0.0059	litres/sec/m2
Test 3	K _{sat} =	0.0437	cm/min	or	0.0060	litres/sec/m2
Test 4	K _{sat} =	0.0444	cm/min	or	0.0061	litres/sec/m2
Test 5	K _{sat} =	0.0396	cm/min	or	0.0054	litres/sec/m2

Conclusion: Adopt K_{sat}= 0.0396 cm/min or 0.0054 litres/sec/m2

Waste Management Plan

Proposed Development: Double storey dwelling

Site Address: Lot 10 No. 12 Old Barrenjoey Road,
Avalon Beach

Applicant's Name: Metricon Homes

Applicant's Address: Level 4, Building E, 32 Lexington Drive
Baulkham Hills, NSW 2153

Telephone: 8887 9000

Facsimile: 8079 5901

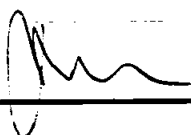
Buildings and other structures currently on site: Single storey brick dwelling

Brief description of proposal: Proposed double storey Hebel veneer dwelling

The details on this form are intentions for managing waste related to this project

Privacy Note: Personal information provided on this form will be used by
Council officers only for processing purposes

Signature of Applicant:



Date: 22.05.13

Details of Waste Management - Construction Phase

MATERIALS ON SITE			DESTINATION		
Type of Materials	Estimated		Reuse and Recycling		Disposal
	Vol. (m3)	Wt. (t)	ON-SITE Specify proposed reuse or on-site recycling methods	OFF-SITE Specify contractor and recycling outlet	
Excavation material	60		Cut and fill re-used on site		
Green waste	N/A				
Hebel	7		Designated storage area	M.A.D Excavations	
Concrete	N/A				
Timber	6		Designated storage area	M.A.D Excavations	
Plasterboard	4		Designated storage area	Boral Plasterboard	
General mixed waste	12		Designated storage area	M.A.D Excavations	



metricon

EXTERIOR (TERRY 6152673)

GUTTER/ /ROOF/
GARAGE / FRONT DOOR

COLORBOND DUNE

HEBEL / DOWNPIPE/
TIMBER POST/ PORTICO BEAM

DULUX GREY PEBBLE

EAVES/ LINING/
RAFTERS

Lexicon Half W

DULUX LEXICON HALF

ALU WINDOWS

WEATHERBOARD



Pearl White

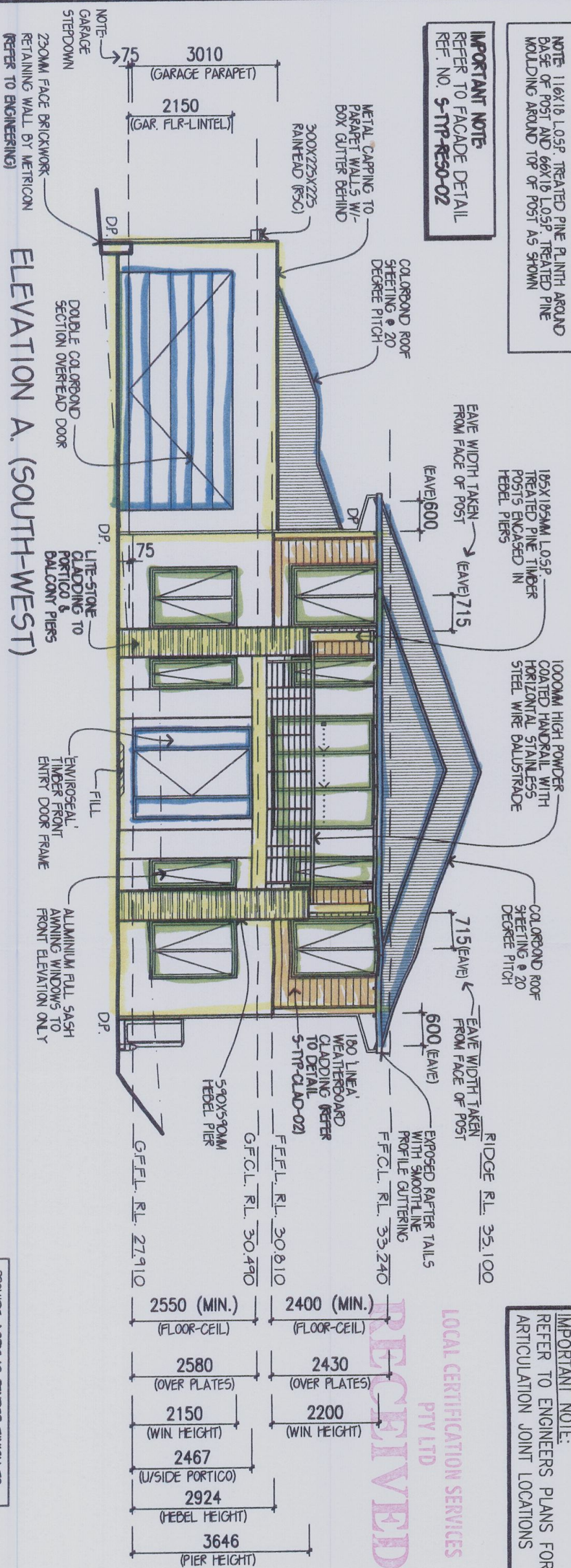
PEARL WHITE

DULUX GREY PEBBLE HALF

Note: Developer/Council application will commence upon completion of this colour schedule. Therefore additional changes will not be accepted.

NOTE: 116X18 L.O.S.P. TREATED PINE PLINTH AROUND BASE OF POST AND 66X18 L.O.S.P. TREATED PINE MOLDING AROUND TOP OF POST AS SHOWN

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. S-TP-R30-02



IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR ARTICULATION JOINT LOCATIONS

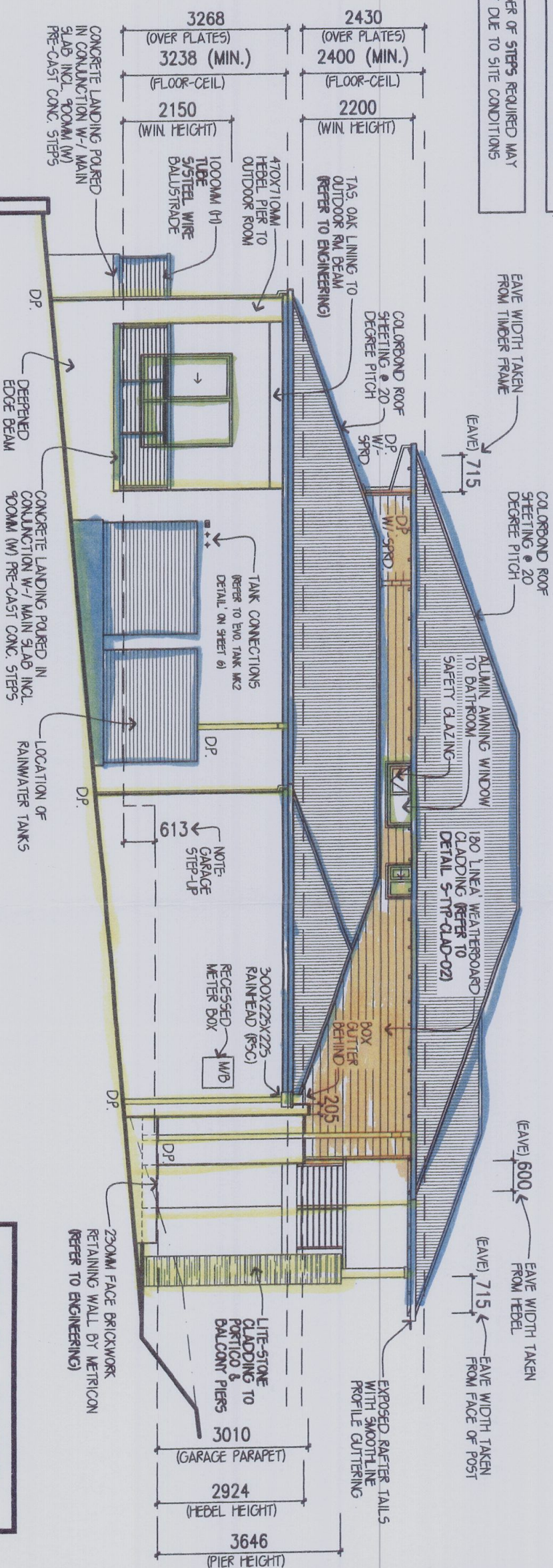
LOCAL CERTIFICATION SERVICES
PTY LTD

RECEIVED

PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS



ELEVATIONS 1:100

ELEVATION B. (NORTH-WEST)

HEBEL PANEL CONSTRUCTION

NOTES:
* WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
* ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
* WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
roof/courtesy covered front door.
aluminum door
- pearl white.
wooding - silver
and pearl white
Hebel - silver
and pearl white.

ELEVATIONS

DESIGN: NEWHAVEN 33
FACADE: RESORT
CEILING: 25, L
GARAGE: DOUBLE
LOCATION: J

DESIGNER

by metricon

metricon
Bldg E, Level 4, 32 Uxbridge Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Newwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No. 174 589
A.C.N. 005 108 752 www.metricon.com.au

OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARENDY ROAD,
AVALON BEACH

JOB NO: 652673 DATE: 24.01.13
F.C. DATE: MST VER: P 20 SEP 2010
PERMIT NO:
DRAWN: CADRAFT CHKD: SA SHEET: 4 of 10

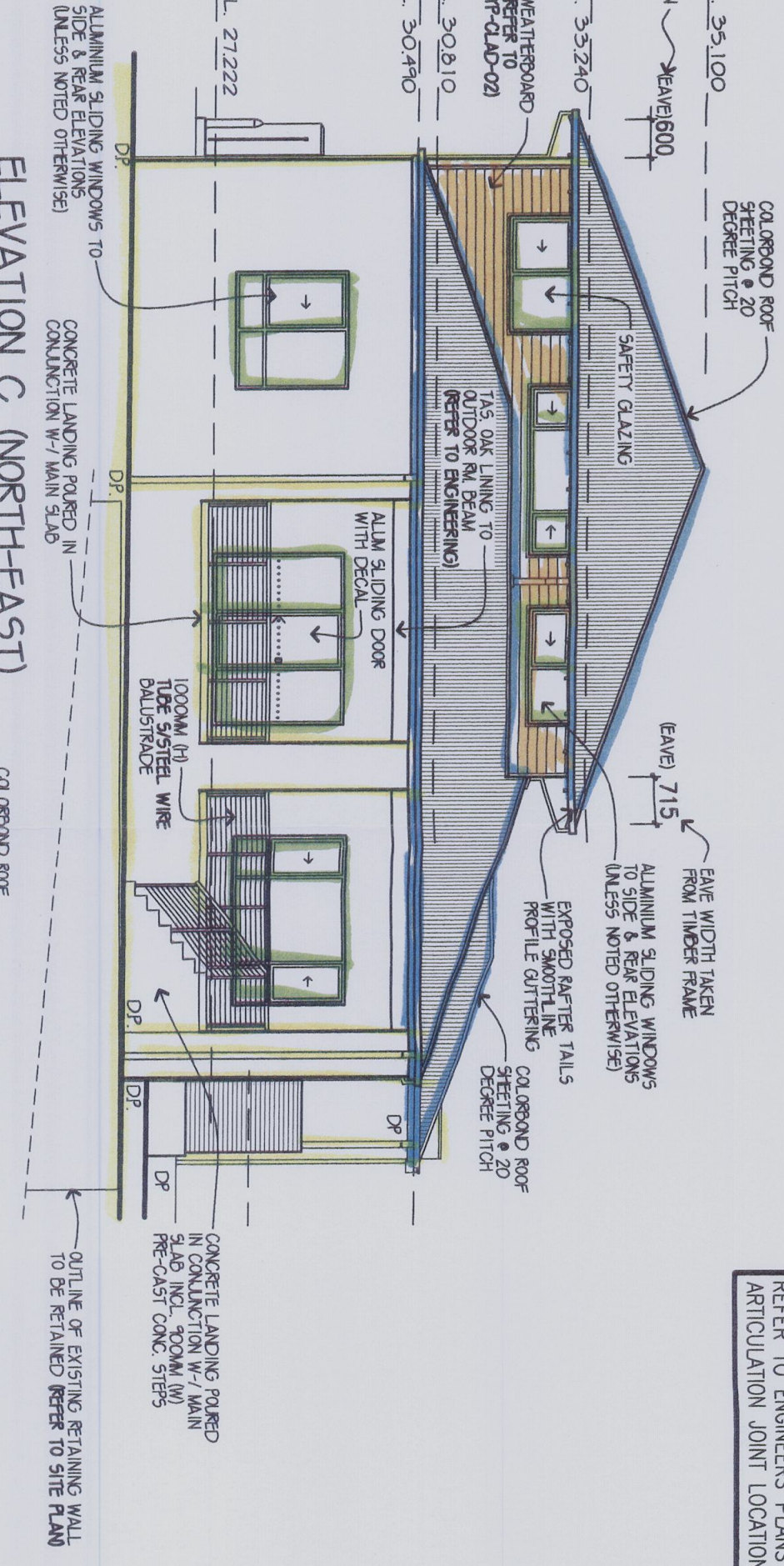
IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS

- NOTES:
- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 - * ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
 - * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.

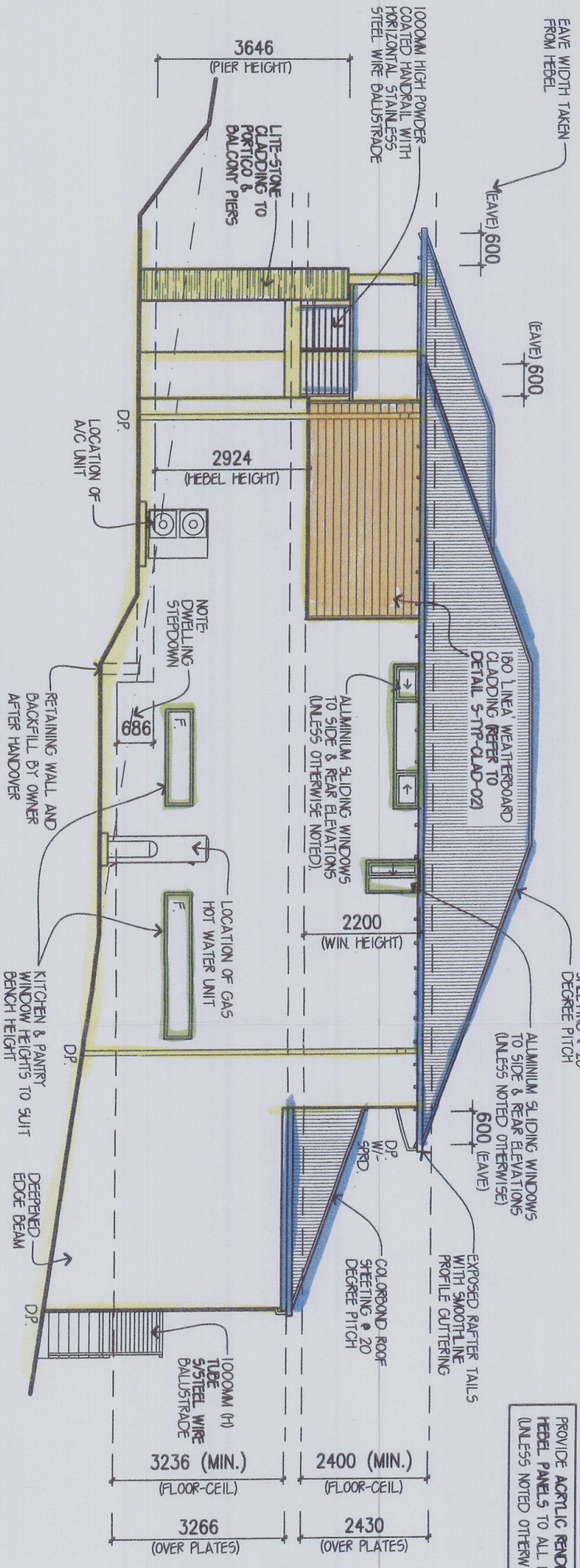
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS

ELEVATION C. (NORTH-EAST)



ELEVATION D. (SOUTH-EAST)



HEBEL PANEL
CONSTRUCTION

DESIGNER
by metricon

metricon
Bldg E, Level 4, 32 Uxbridge Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699
A.C.N. 005 108 752 www.metricon.com.au

OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARENJOEY ROAD,
AVALON BEACH

JOB NO: 652673 DATE: 24.01.13
F.C.DATE: MST VER: P 20 SEP 2010
PERMIT No:
DRAWN: CADRAFT CHECKED: SA SHEET: 5 of 10

ELEVATIONS 1:100



Ibrahim Stormwater Consultants



ABN: 37 116 185 516

Att: Janelle Nader
C/O Private Certifying Authority
Metricon Homes Pty Ltd
Build E, Level 4, 32 Lexington Drive
Baulkham Hills NSW 2153

Job Ref: M4404-652673

5th of June 2013,

STORMWATER DESIGN CERTIFICATION

**RE: PROPOSED DEVELOPMENT
AT 12 OLD BARRENJOEY ROAD
AVALON BEACH
For MR & MRS TERRY**

Pursuant to the provisions of the Environmental Planning and Assessment Act 1979-203, I Mark Ibrahim of *Ibrahim Stormwater Consultants, Suite 25, 15 Terminus Street, Castle Hill*, hereby certify that the stormwater drainage plans have been checked and comply with:

- a) The relevant clauses of Building Code of Australia.
 - b) The relevant sections of DCP 21-2012 Section 5.7, related to the internal drainage system of the proposed dwelling only.
 - c) The relevant parts of Basix Certificate No. 479024S
 - d) The architectural plans 652673 Sheet 1, Issue A, dated 11-1-13 received 4-6-13.
 - e) The landscape plan by owner 652673 Sheet 1, Issue A, dated 11-1-13 received 24-4-13.
 - f) Clause 3.32 of the State Environmental Planning Policy 2008 (Exempt and Complying Development Codes) Amended 2010.
- This certification is limited to the collection of stormwater drainage for the dwelling and driveway runoff only.

My qualification are as stated below and as a competent person in this area and such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings and relevant calculations:

M4404-652673, Sheet 1 and 2, Revision A, dated 4-6-13.

Name of Designer: Mark Ibrahim

Qualifications: B.E. Hons, M.I.E. Aust. CPEng,

Address of designer: P.O. Box 400 Cherrybrook NSW 2126.

Business Telephone No. 9980 5515 Fax: 9980 6114

Name of Employer: Ibrahim Stormwater Consultants

This is only a design certificate and is not a Part 4A certificate, as only a consent authority, the council or an accredited certifier can issue such.

Yours faithfully,

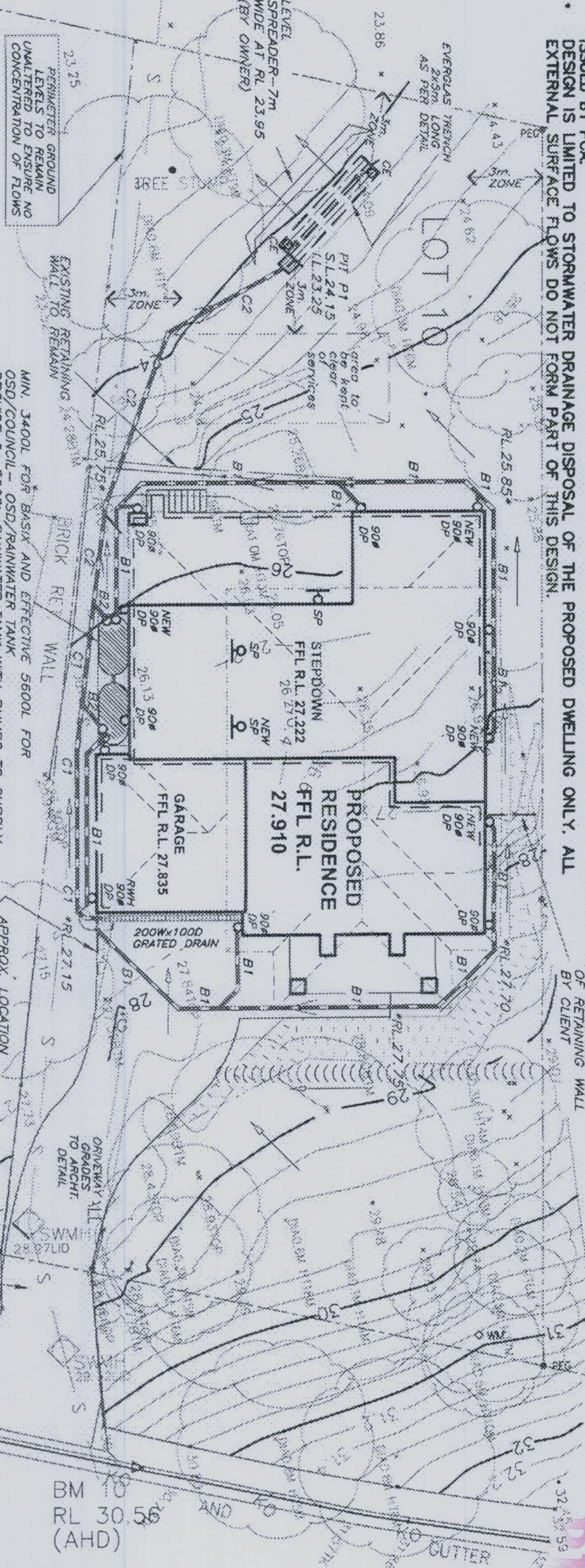
Per Ibrahim Stormwater Consultants
Mark Ibrahim

P.O. Box 400 Cherrybrook NSW 2126
www.stormwater.net.au
Ph: 02 9980 5515 Fax: 02 9980 6114

THESE DRAWINGS ARE IN NO WAY TO BE USED AS CERTIFICATION OF COMPLIANCE WITH ANY CODE OR DOCUMENT WITHOUT A SEPARATE DESIGN CERTIFICATE WHICH MAY REFERENCE THEM.
ALL STORMWATER DRAINAGE WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL DCP AND RELATED POLICIES.
POSITIVE COVENANTS TO BE REGISTERED AS REQUIRED.
WORK AS EXECUTED PLANS SHALL BE PREPARED IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND FINAL STORMWATER CERTIFICATION BE PROVIDED BY ENGINEER PER COUNCIL DCP BEFORE FINAL OCCUPATION CERTIFICATE IS ISSUED BY PCA.
DESIGN IS LIMITED TO STORMWATER DRAINAGE DISPOSAL OF THE PROPOSED DWELLING ONLY. ALL EXTERNAL SURFACE FLOWS DO NOT FORM PART OF THIS DESIGN.

GROUND FLOOR LAYOUT

REFER TO SHEET 2 FOR RAINWATER TANK DETAILS.
LEAF GUTTER GUARDS OR SIMILAR SCREENING RECOMMENDED TO ALL GUTTERS.



LOT 9

STORMWATER LAYOUT NOTES

- PITS UP TO 600 DEEP TO BE 450 x 450 U.N.O. PITS UP TO 900 DEEP TO BE 600 x 600 U.N.O. PITS UP TO 1200 DEEP TO BE 900 x 900 U.N.O. PITS EXCEEDING 1200 DEEP TO BE 300 SQ. U.N.O. PITS TO BE PRECAST CONCRETE OR RENDERED BRICK WITH CONCRETE HEAVY DUTY GRATES. U.N.O. LIGHT DUTY PITS AND GRATES MAY BE USED ONLY IN LIGHT/ROOF TRAFFICABLE AREAS. U.N.O. ALL PITS TO BE BENCHED TO DISCHARGE PIPES U.N.O. GAL. STEP IRONS TO ALL PITS EXCEEDING 900 DEPTH.
- COVER AND SUMP GRATES SHALL COMPLY WITH AS2733 & AS4198.
- DOWNPIPES TO BE 90 DIA IF CHARGED AND 100 x 50 BOX IF GRAVITY. U.N.O. D.P.'S SHALL BE INSTALLED IN ACCORDANCE WITH AS3500.3.2.4.11 & AS4198. ROOF AREA PER DOWNPIPE WITH A NOMINATED GUTTER SIZE TO BE DETERMINED USING MANUFACTURERS SPECIFICATIONS WITH OVERFLOW PROVISIONS BY INSTALLERS.
- PIPES TO HAVE 1% MIN.GRADE U.N.O. BY PIT INVERTS. PIPES TO BE V.C. CLASS 'X' OR U.P.V.C. CLASS STORMWATER PIPE TO AS1254.1250.1273.1477.2179.2 AND WHERE EXPOSED TO DIRECT SUNLIGHT TO HAVE ADEQUATE PROTECTION TO UV RADIATION IN ACCORDANCE WITH AS2032. SEWER GRADE/GAL. PIPES AND KERB ADAPTORS TO BE USED WHERE COUNCIL POLICY OR CONSENT REQUIRE SUCH.
- GUTTER OUTLETS SHALL BE FITTED VERTICALLY TO THE SOLE OF THE EAVE GUTTERS. RAINHEADS TO HAVE AN OVERFLOW DUCT OR WEIR 50mm BELOW THEIR CREST.
- PROVIDE OVERFLOW SPLITTERS TO ALL COVERED BALCONIES/ TERRACES. NOT TO BE DIRECTED ON TO ROOF SURFACES.
- SUBSOIL DRAINS TO BE IN ACCORDANCE WITH AS2439.1 CLASS 100 TO BE USED ONLY IN SINGLE DWELLINGS.
- RISING MAINS (PRESSURE PIPE) TO BE IN ACCORDANCE WITH AS3500.1.2.
- ALL PIPE JOINTS, VALVES TO BE IN ACCORDANCE WITH AS3500.3.2.2.7 & AS3500.3.2.
- EXPANSION JOINTS SHALL COMPLY WITH AS3500.3.2:TABLE 4.1 PVC JOINTS AND ACCESSORIES TO COMPLY WITH AS2179.2 & AS4198.
- ALL TRENCHES TO BE IN ACCORDANCE WITH AS3500.3.2.2.8.14. FURNISHMENT MATERIAL AND TRENCH FILL TO ALL PIPES & SUBSOIL DRAINS TO BE IN ACCORDANCE WITH AS3500.3.2.2. ALL WORKS TO BE IN ACCORDANCE WITH AS1254.1250.1273.1477.2179.2 AND AS2032. SEWER GRADE/GAL. PIPES AND KERB ADAPTORS TO BE USED WHERE COUNCIL POLICY OR CONSENT REQUIRE SUCH.
- IT IS THE BUILDER'S RESPONSIBILITY TO COUNCIL THAT LEVELS AND SURVEYS ARE IN ACCORDANCE WITH LEVELS ON SITE & ARE APPROVED BY COUNCIL & ARCHITECT BEFORE COMMENCING WORK.
- NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS. ALL BASIN WALLS TO BE WATERIGHT & STRUCTURALLY DESIGNED BY A STRUCTURAL ENGINEER.
- ALL FENCES WHICH MAY DIVERT FLOW FROM PROPOSED DIRECTION TO BE RAISED 150mm.
- BUILDER TO ENSURE ALL DRAINAGE AREAS INCLUDING OVERFLOW SECTIONS THROUGH PLANTERS, PARAPETS ETC. PLACE IN THE EVENT OF BLOCKAGE WITH ADEQUATE OVERFLOW SECTION THROUGH PLANTERS, PARAPETS ETC.
- ALL EXTERIOR FINISHED GROUND LEVELS TO BE SLOPING AWAY FROM PERIMETER WALLS IN ALL CASES.
- ALL HEADROOM CLEARANCES TO BE COORDINATED BETWEEN BUILDER & ARCHITECT. NOTIFY ENGINEER FOR APPROVAL IF ANY CHANGES OCCUR.
- ALL GULLY POSITIONS ARE DIAGRAMMATIC ONLY- BUILDER SHOULD CONSULT ARCHITECTURALS FOR DIMENSIONS TO LOCATE STORMWATER ELEMENTS U.N.O.
- FIRE FINISH TO ARCHITECT'S SPECIFICATION.
- ALL FINISHED FLOOR LEVELS ARE NOMINATED BY ARCHITECT.
- ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL ALL WORKERS CARRY OUT SITE INDUCTION, PREPARED AND CARRIED OUT BY BUILDER. ANY HAZARD IDENTIFICATION TO BE REPORTED IMMEDIATELY TO SITE SUPERVISOR AND GEO/TECHNICAL ADVISE SHOULD BE SOUGHT IN ALL CASES.
- CONTAINED SPACES SIGNAGE TO BE INSTALLED IN ACCESSIBLE UNDERGROUND TANKS TO WORK COVER.
- SPECIFICATIONS. ALL PITS EXCEEDING 600mm DEPTH TO HAVE 'J' BOLTS INSTALLED TO GRATES.
- MAINTENANCE DEVICES RECD. BY AUTHORITIES ARE NOT TO BE ASSUMED SHOWN ON DRAWINGS.
- EARTH MOUNDING SHOWN AS TEMPORARY MEASURE UNTIL LANDSCAPING COMPLETED TO DIRECT FLOWS AS SHOWN.

LOT 11

PIPE SCHEDULE

PIPE DIA.	MIN.GRADE	CHARGED
B1	100	2%
B2	100	2%
C1	150	1%
C2	150	2%

GRADED DRAIN BY OWNER

ALL OTHER SURFACE WATERS TO BE STRICTLY CONNECTED TO A SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3.2003 AND BCA PART 3.1.2.3.

RAINWATER TANKS WITH PUMPS TO SUPPLY GARDEN TAPS AND INTERNAL RE-USE AS PER BASIC ASSESSMENT

LEGEND

PIPE DIA.	MIN.GRADE	CHARGED
B1	100	2%
B2	100	2%
C1	150	1%
C2	150	2%

REVISIONS
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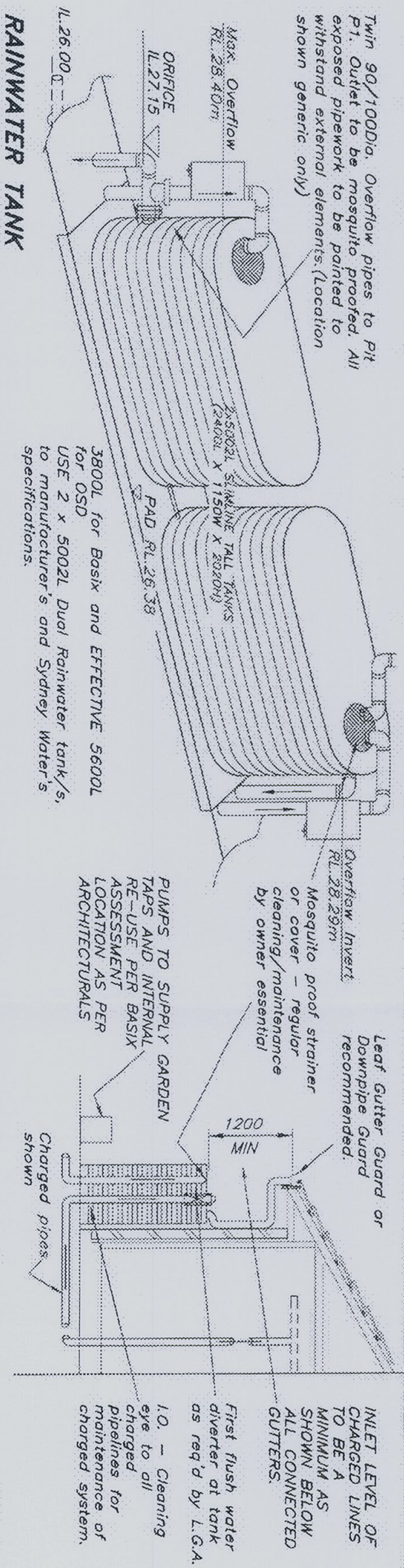
IBRAHIM STORMWATER CONSULTANTS

CONSULTING CIVIL ENGINEERS

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PROPOSED RESIDENCE
AT 12 OLD BARRENJOEY RD
AVALON BEACH
FOR MR & MRS TERRY

THIS DRAWING
STORMWATER
LAYOUT SH.1
M4404-652673
SHEET NO. 1 of 2
REVISION A



THIS IS AN ON-SITE STORMWATER DETENTION SYSTEM REQUIRED BY YOUR LOCAL COUNCIL

IT IS AN OFFENSE TO REDUCE THE VOLUME OR TO INTERFERE WITH THE ORIFICE PLATE THAT CONTROLS THE GUTFLOW

THE BASE OF THE OUTLET CONTROL PIT AND DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND SEDIMENT ON A REGULAR BASIS BY THE OWNER

THIS PLATE MUST NOT BE REMOVED

Signage to be provided adjacent tanks Size: 110 mm x 80mm

TANK DETAILS SHOWN ARE A SUGGESTED CONFIGURATION ONLY. ANY MODIFICATIONS TO TANK VOLUME OR INLET AND OUTLET LEVELS MUST BE APPROVED BY ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION. TANK SHAPE, & DEVICES SHOWN ARE DIAGRAMMATIC ONLY. MINIMUM OF 450 CLEARANCE (UNLESS L.G.A. REQUIRES LARGER SETBACK) TO SIDE BOUNDARIES MUST BE MAINTAINED. CLIENT IS RESPONSIBLE TO ENSURE COMPLIANCE WITH THIS IN THE INSTALLED STATE.

Charged stormwater lines from Roof Areas ONLY to rainwater tank.

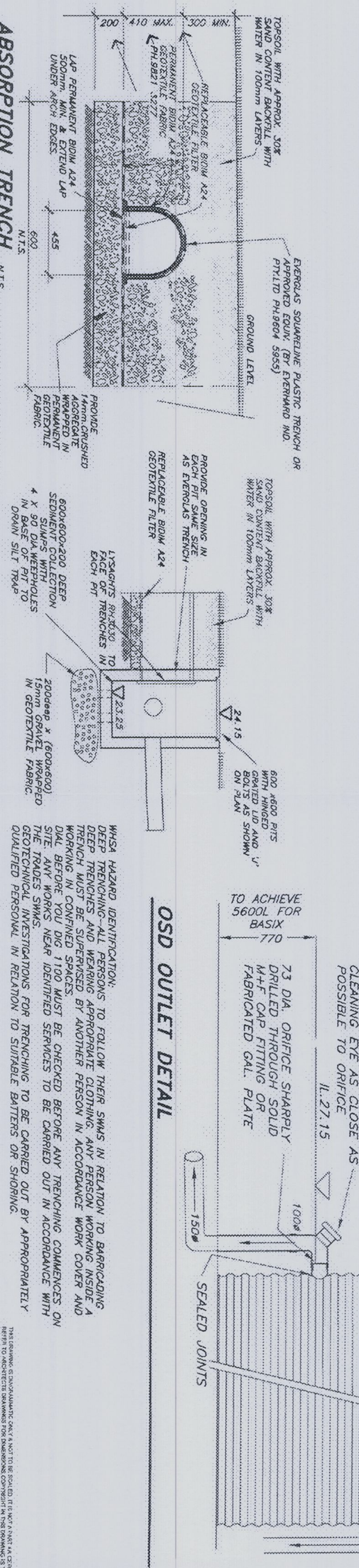
All joints to be solvent welded. All exposed pipework to be painted to withstand external elements.

First flush water diverter at tank to comply with Sydney Water and council DCP's. An approved switch system similar to 'Rainbank' to be used via mains. Pumps to manuf. specs.

Rain tank to be installed and maintained to manufacturers specifications and to comply with all Sydney Water Guidelines.

Client to be responsible for maintenance system of charged pipelines. Debris accumulation significantly affects systems performance. Maintenance program essential.

WHSA HAZARD IDENTIFICATION: PLUMBER/SITE SUPERVISOR TO ASSESS ACCESS SUITABILITY PRIOR OR POST SLAB CONSTRUCTION. INSTALLATION OF TANKS TO BE CARRIED OUT FOLLOWING SWMS OF TANK SUPPLIER AND PLUMBER. APPROPRIATE GLOVES TO BE WORN AT ALL TIMES WHILE HANDLING TANKS.



ABSORPTION TRENCH

TRENCHES TO BE LOCATED PARALLEL TO NATURAL CONTOURS OF SITE. STRICTLY NO PAVING OR HARD SURFACES TO BE CONSTRUCTED OVER TRENCHES.

Geotech Engineers Recommendation for construction of the trench to incorporate roughening of the base and sides of the trench to reduce trafficking of the base of the trench should be avoided during construction of the absorption trench. Trench design and construction should incorporate suitable geotextile lining to the base, sides and top of the trench.

BUILDER/CIENT TO ENSURE THAT ALL SAFETY MEASURES ARE TAKEN DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, SAFETY FENCING, SIGNAGE, OBTAINING APPROPRIATE CLOTHING, ANY PERSON WORKING INSIDE A TRENCH MUST BE SUPERVISED BY ANOTHER PERSON IN ACCORDANCE WITH WORK COVER AND WORKING IN CONFINED SPACES.

DIAL BEFORE YOU DIG 1100 MUST BE CHECKED BEFORE ANY TRENCHING COMMENCES ON SITE. ANY WORKS NEAR IDENTIFIED SERVICES TO BE CARRIED OUT IN ACCORDANCE WITH THE TRADES SWMS.

GEOTECHNICAL INVESTIGATIONS FOR TRENCHING TO BE CARRIED OUT BY APPROPRIATELY QUALIFIED PERSONAL IN RELATION TO SUITABLE BATTERS OR SHORING.

REVISIONS

NO	REVISION
1	Pool redesigned - trenches co-ordinated

ISSUE PRINTS

ISSUE	PRINTS	ISSUED TO	DATE
1	EMAIL	BUILDER/CIENT	15-5-13
2	EMAIL	BUILDER/CIENT	4-8-13

SCALE(S) 1:200, 100 u.m.s.

SCALE BAR - 1m INTERVALS

DATE MAY 2013

DRAWN M.I.

DESIGNED M.I.

APPROVED



IBRAHIM STORMWATER CONSULTANTS

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PROJECT

PROPOSED RESIDENCE

AT 12 OLD BARRENJOEY RD

AVALON BEACH

FOR MR & MRS TERRY

THIS DRAWING

STORMWATER

DETAILS SH.1

BUILDER

METRICON HOMES

JOB NUMBER

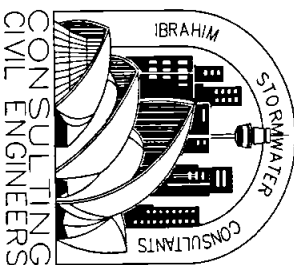
M4404-652673

SHEET No.

2 of 2

REVISION

A



REF : M4404-652673

STORMWATER DESIGN CALCULATIONS

AT 12 Old Barrenjoey Road

Avalon Beach

FOR MR & MRS Terry

Contents

1.0 Detention System Requirements

1.1 Storage-Area calcs.

1.2 Data Files for Pre & Post Developed Conditions

1.3 Summary of Pre & Post Developed Discharges

Files On Disk

M4404-652673 -DRAINS.DRN

2.0 Infiltration System Requirements

Geotech report conducted reporting Ksat = 0.0, 336cm/min and a factor of safety of 2 to be used.
 Permeability rate determined 0.0198 cm/min = 11.88 mm/hr <15mm/hr
 Trenching used to disperse waters as level spreader , OSD contained within raintank used to control 100yr ARI flows as per DCP requirements.

1.0 Detention System Requirements

1.1 Storage-Area calcs.

DATA:

Site Area Assessed due to easements
Site Area = 0.0951 ha 951 sq.m

Impervious Area Pre Development = 341 sq.m

Percentage Impervious Pre Development = 35%

Impervious Area POST Development = 471.8 sq.m

Percentage Impervious POST Development = 50%

Catchment directed through OSD = 282.7 sq.m 59.9 %

OSD Bypass Areas : Impervious 189.1 sq.m 28.3 %

Pervious 479.2 sq.m 71.7 %
Total 668.3 sq.m

Slope of Site = 10.2 % Time of Concentration tc =

Effective Flow Length = 49 m 1 min. 1:5

Horton's n= 0.1 1 min. 1:100

F.F.L. of house = 27.222 m

Roof Gutter Level = 30.49 m

Invert of Boundary Pit= 23.6 m

Invert of Outlet= 23.5 m

Raintank Pad Level = 26.38 m

Freeboard to Roof Gutter= 2.088 m

Detention A

Volume Required 5.66 cu.m
Total Area 4.95 sq.m

Stage Storage-Discharge Relationship

Stage (m)	Storage Area (sq.m)	Avg. Depth (m)	Storage (cu.m)
27.15	0	0	0.000
27.72	5.0	0.571	2.830
28.29	5.0	1.14	5.660

Invert of pit = 27.15 m $Q=d^2 \cdot \sqrt{h} / 0.48$

Orifice Dia. = 73 mm $d=\sqrt{((0.48 \cdot Q) / \sqrt{h}))}$

Max. Water Level achieved = 28.280 m

Storage achieved 5.60 cu.m

Basix Allowance

Raintank Basix = 3400 L

Raintank Provided = 3800 L

Raintank Pad Level = 26.38 m

Water Level in Tank RL for Basix = 27.15 m = orifice IL. Depth=0.77m

Total Effective Tank Required = 9400 L OK Max. WL.=28.28m

OSD Volume Available = 5660 L

Nominal tank Volume used = 10004 L

Total Tank Height = 2.020 m TOP OF TANK.=28.4m

1.2 DRAINS Data File for Pre & Post Developed Conditions

PIT / NODE DETAILS										Version 9											
Name	Type	Family	Size	Ponding Volume	Pressure Change	Surface Elev (m)	Max Pond Depth (m)	Base Inflow	Blocking Factor	x	y	Bolt-down lid	Part Full Shock Loss								
Pre	Node			(cu.m)	Coef. Ku	10		0													
Ground	Node					27.02		0				256	-139								
N1	Node					23.9		0				444	-153								
Outlet	Node					23.65		0				571	-185								
Roof	Node					30.49		0				617.232	-211.091								
												440	-74								
													9								
DETENTION BASIN DETAILS																					
Name	Elev	Surf. Area	Init Vol. (cu.m)	Outlet Type	K	Dia(mm)	Centre RL	Pit Family	Pit Type	x	y	HED	Crest RL	Crest lid							
OSD Basin	27.15	4.9524	0	Orifice		73	27.1858084					558	-103	No							
	27.72	4.9524																			
	28.29	4.9524																			
SUB-CATCHMENT DETAILS																					
Name	Pit or Node	Total Area	Paved Area	Grass Area	Supp Area	Paved Time	Grass Time	Supp Time	Paved Length	Grass Length	Supp Length	Paved Slope(%)	Grass Slope	Supp Slope	Paved Rough	Grass Rough	Supp Rough	Lag Time	Gutter Length	Gutter Slope	Gutter FlowFactor
Pre Site	Pre	0.0951	35	65	0	0	0	0	49	49	0	10.2	10.2	0	0.01	0.25	0	0			
Bypass	Ground	0.0668	28.3	71.7	0	0	0	0	49	49	0	10.2	10.2	0	0.01	0.25	0	0			
Roof Area	Roof	0.0283	100	0	0	0	0	0	21	0	0	20	0	0	0.01	0	0	0			
PIPE DETAILS																					
Name	From	To	Length (m)	U/S IL	D/S IL	Slope (%)	Type	Dia (mm)	I.D. (mm)	Rough	Pipe Is	No. Pipes	Chg From At Chg	Chg (m)	RI	Chg (m)	RL	etc			
Pipe1	Roof	OSD Basin	20	27.35	27.15	3.6	uPVC, not un	150	154	0.03	NewFixed	1	Roof	0							
Pipe2	Ground	N1	49	26.77	23.6	8	uPVC, not un	150	154	0.03	New	1	Ground	0							
Pipe3	OSD Basin	N1	10	27.15	23.6	66	uPVC, not un	150	154	0.03	NewFixed	1	OSD Basin	0							
Pipe4	N1	Outlet	5	23.6	23.5	1	uPVC, not un	150	154	0.03	New	1	N1	0							
DETAILS OF SERVICES CROSSING PIPES																					
Pipe	Chg (m)	Bottom Elev (m)	Height of Set Chg (m)	Bottom Elev (m)	Height of Chg (m)	Bottom Elev (m)	Height of Set etc (m)														
CHANNEL DETAILS																					
Name	From	To	Type	Length (m)	U/S IL (m)	D/S IL (m)	Slope (%)	Base Width (m)	L.B. Slope	R.B. Slope	Manning n	Depth (m)	Roofed								

1.3 DRAINS Summary of Pre & Post Developed Discharges
5 YEAR

DRAINS results prepared 16 May, 2013 from Version 2013.06

PT / NODE DETAILS				Version 8			
Name	Max HGL	Max Pond HGL	Max Surface Flow Arriving Volume (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint
Ground	26.83		0.019				
N34	23.7		0				
Outlet	23.6		0				
Roof	27.79		0.012				
SUB-CATCHMENT DETAILS							
Name	Max Flow Q (cu.m/s)	Paved Max Q (cu.m/s)	Grassed Max Q (cu.m/s)	Paved Tc (min)	Grassed Tc (min)	Supp. Tc (min)	Due to Storm
Pre Site	0.028	0.014	0.015	1.6	11.01		0 AR&R 5 year, 30 minutes storm, average 75 mm/h, Zone 1
Bypass	0.019	0.008	0.012	1.6	11.01		0 AR&R 5 year, 30 minutes storm, average 75 mm/h, Zone 1
Roof Area	0.012	0.012	0	0.73	0		0 AR&R 5 year, 20 minutes storm, average 91 mm/h, Zone 1
Outflow Volumes for Total Catchment (0.08 impervious + 0.11 pervious = 0.19 total ha)							
Storm	Total Rainfall Total Runoff cum	Impervious Runoff cum (Runoff % cum (Runoff %)	Pervious Runoff cum (Runoff %)				
AR&R 5 year, 10 min	38.99	25.74 (66.0%)	15.70 (95.1%)	10.04 (44.7%)			
AR&R 5 year, 20 min	57.69	41.18 (71.4%)	23.61 (96.7%)	17.57 (52.8%)			
AR&R 5 year, 30 min	71.32	51.47 (72.2%)	29.38 (97.3%)	22.09 (53.7%)			
AR&R 5 year, 1 hour	98.9	72.85 (73.7%)	41.05 (98.1%)	31.80 (55.7%)			
AR&R 5 year, 2 hour	132.97	51 (73.9%)	55.05 (98.6%)	42.45 (55.8%)			
AR&R 5 year, 3 hour	155.77	115.48 (74.1%)	65.12 (98.8%)	50.37 (56.1%)			
AR&R 5 year, 6 hour	205.42	149.07 (72.6%)	86.12 (99.1%)	62.95 (53.1%)			

PIPE DETAILS						
Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm	
Pipe2	0.019	3.04	26.827	23.702	AR&R 5 year, 30 minutes storm, average 75 mm/h, Zone 1	
Pipe4	0.028	2.11	23.702	23.602	AR&R 5 year, 30 minutes storm, average 75 mm/h, Zone 1	
Pipe1	0.012	0.66	27.794	27.75	AR&R 5 year, 20 minutes storm, average 81 mm/h, Zone 1	
Pipe3	0.008	5.13	27.172	23.702	AR&R 5 year, 30 minutes storm, average 75 mm/h, Zone 1	
CHANNEL DETAILS						
Name	Max Q (cu.m/s)	Max V (m/s)	Channelage (m)	Max HGL (m)	Due to Storm	
DETENTION BASIN DETAILS						
Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level	
OSD Basin	27.75		3	0.008	0.008	0
CONTINUITY CHECK for AR&R 5 year, 30 minutes storm, average 75 mm/h, Zone 1						
Node	Inflow (cu.m)	Outflow (cu.m)	Storage (cu.m)	Change Difference %		
Pre	24.6	24.6	0	0		
Ground	16.55	16.55	0	0		
NS4	26.87	26.87	0	0		
Outlet	26.87	26.87	0	0		
Roof	10.33	10.33	0	0		
OSD Basin	10.33	10.33	0	0		
N1	0	0	0	0		

Run Log for Pitwater run at 10:23:31 on 16/5/2013

Run Log for Piltwater run at 10:23:31 on 16/5/2013

Flows were safe in all overflow routes.

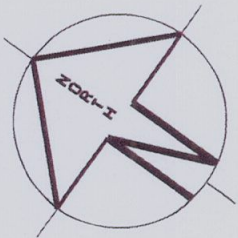
DRAINS results prepared 16 May, 2013 from Version 2013.06

PIT / NODE DETAILS			Version 8				
Name	Max HGL	Max Pond HGL	Max Surface Flow Arriving (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint
Ground	26.85		0.036				
N34	23.83		0				
Outlet	23.65		0				
Roof	28.37		0.019				
SUB-CATCHMENT DETAILS							
Name	Max Flow Q (cu.m/s)	Paved Max Q (cu.m/s)	Grassed Max Q (cu.m/s)	Paved Tc (min)	Grassed Tc (min)	Supp. Tc (min)	Due to Storm
Pre Site	0.052		0.021	0.031	1.3	8.94	0 AR&R 100 year, 30 minutes storm, average 126 mm/h, Zone 1
Bypass	0.036		0.012	0.024	1.3	8.94	0 AR&R 100 year, 30 minutes storm, average 126 mm/h, Zone 1
Roof Area	0.019		0.019	0	0.59	0	0 AR&R 100 year, 20 minutes storm, average 152 mm/h, Zone 1
Outflow Volumes for Total Catchment (0.08 impervious + 0.11 pervious = 0.19 total ha)							
Storm	Total Rainfall cu.m	Total Runoff cu.m	Impervious Runoff % cum (Runoff %)	Pervious Runoff % cum (Runoff %)			
AR&R 100 year, 10 r	64.03	50.88 (79.5%)	26.29 (97.0%)	24.59 (66.6%)			
AR&R 100 year, 20 r	96.37	79.48 (82.5%)	39.98 (98.0%)	39.50 (71.1%)			
AR&R 100 year, 30 r	119.83	99.68 (83.2%)	49.90 (98.4%)	49.78 (72.0%)			
AR&R 100 year, 1 ho	169.28	142.70 (84.3%)	70.83 (98.9%)	71.87 (73.6%)			
AR&R 100 year, 2 ho	224.44	189.56 (84.5%)	94.17 (99.2%)	95.39 (73.7%)			
AR&R 100 year, 3 ho	260.19	218.68 (84.0%)	109.30 (99.3%)	109.38 (72.9%)			
AR&R 100 year, 6 ho	337.8	278.24 (82.4%)	142.14 (99.4%)	136.10 (69.9%)			

PIPE DETAILS						
Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm	
Pipe2	0.036	3.66	26.85	23.825	AR&R 100 year, 30 minutes storm, average 126 mm/h, Zone 1	
Pipe4	0.048	2.56	23.825	23.654	AR&R 100 year, 30 minutes storm, average 126 mm/h, Zone 1	
Pipe1	0.019	1.03	28.372	28.276	AR&R 100 year, 20 minutes storm, average 152 mm/h, Zone 1	
Pipe3	0.012	5.68	27.176	23.825	AR&R 100 year, 1 hour storm, average 89 mm/h, Zone 1	
CHANNEL DETAILS						
Name	Max Q (cu.m/s)	Max V (m/s)	Chainage (m)	Max HGL (m)	Due to Storm	
DETENTION BASIN DETAILS						
Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level	
OSD Basin	28.28	5.6	0.012	0.012	0	
CONTINUITY CHECK for AR&R 100 year, 30 minutes storm, average 126 mm/h, Zone 1						
Node	Inflow (cu.m)	Outflow (cu.m)	Storage Chang (cu.m)	Difference %		
Pie	48.68	48.68	0	0		
Ground	33.45	33.45	0	0		
N34	51	51	0	0		
Outlet	51	51	0	0		
Roof	17.55	17.55	0	0		
OSD Basin	17.55	17.55	0	0		
N1	0	0	0	0		

Run Log for Pittwater run at 10:23:06 on 16/5/2013
Flows were safe in all overflow routes.

NORTH



APPROXIMATE POSITION ONLY

LOT 11

LOCAL CERTIFICATION SERVICES
PTY LTD
RECEIVED

LOCALITY SKETCH
UBD AREA: SYD REVISION:
MAP: 119 REF: A3
GPS
E

OLD BARRENJOEY ROAD



SCALE 1:200

COPYRIGHT

COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILES (WHERE APPLICABLE) IS RESERVED BY THE SURVEYOR. THE PLAN AND CAD FILES SHALL ONLY BE USED BY THE ADDRESSED CLIENT OR FOR THE PURPOSE FOR WHICH THE SURVEY WAS COMPLETED.

GENERAL NOTES

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE BEEN APPROXIMATELY DETERMINED FROM VISUAL EVIDENCE.
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE.
- APPROXIMATE POSITIONS OF SERVICES SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY AND FOR REDUCED LEVELS ON PARTICULAR FEATURES.

SYMBOLS & ABBREVIATIONS

SYMBOL	ABBREVIATION
GP	GULLY PIT
HYD	HYDRANT
SIP	SURFACE INLET PIT
SIC	SEWER INSPECTION COVER
SM	SEWER MANHOLE
W/M	WATER METER
EL	ELECTRICITY CONDUIT
EC	ELECTRICITY BOX
W	WATER CONDUIT
W	WATER STOP
SWH	STOP
AN	ANCHOR
TK	TOP OF KERB
OP	OVERHEAD ELEC LINE
GP	GAS METER
LP	LIGHT POLE
EC	ELECTRICITY CONDUIT
EC	ELECTRICITY BOX
W	WATER CONDUIT
W	WATER STOP
SWH	STOP
AN	ANCHOR
TK	TOP OF KERB

ASPECT DEVELOPMENT & SURVEY PTY LTD
CONSULTING REGISTERED SURVEYORS
ABN 60 078 649 000

SUITE 1
PO BOX 161
KINGSROVE
VIC 3013
PHONE (03) 9534 8388
FAX (03) 9534 8588

PROJECT

DATE	DESCRIPTION
20/11/12	20/11/12
27/09/08	27/09/08
09/11/12	09/11/12
10/02/12	10/02/12
19/11/12	19/11/12

CLIENT

METRCON HOMES Pty Ltd
REF: 652673
TERRY
ADDRESS: OLD BARRENJOEY ROAD
SUBURB: AVALON

ISSUE	REVISION	DATE	DRAWN
A	DETAILS ADDED	20/11/12	KM

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Dolfin No: D12/3-13867

Quick Check Ref No: 8413477

e-Developer Case No: 3841

Property Location

Street No: 12

Lot No:

Street Name: OLD BARRENJOEY RD,

Suburb: AVOLON BEACH

Building/Structure Description: NEW RESIDENCE

Building Plan No: 652673

Engineers Plan No:

Proposed building/structure is APPROVED to construct OVER/ADJACENT TO a Sydney Water asset, subject to the following requirements:

(NB. Delete non applicable requirements)

1. No part of the building/structure or its foundations to be less than a minimum 0.600 metre, horizontal distance from the centreline of the sewer.
2. No part of the building/structure or swimming pool coping to be less than 1 m horizontal distance from outside edge of maintenance hole rim / maintenance shaft rim / lamp hole rim / vertical rim / rodding point or edge of vent shaft.
3. No Piering of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of piers.
4. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
5. All foundations/piers are to be founded to below the zone of influence or to solid rock.
- 6.

Warning - Document current at time of printing or downloading.

SPECIAL REQUIREMENTS

- (a) PIER INSPECTION REQUIRED
- (b) SITE INSPECTION REQUIRED
- (c) ENGINEER DETAILS REQUIRED

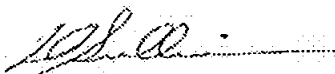
NOTE:

Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

APPROVED BY

WSC Company Name: AUSTRALIAN WATER PROJECT MANAGEMENT CASTLE HILL

Name of Key Personnel:



Signature of Key Personnel:

Date: 29/05/2013



Application Lodgement Summary



Reference Number 8413477

Date Requested: Wed April 24 2013

DOLFIN Number D12/3-13867

Agent Cooks Castle Hill, 2 Victoria Avenue Castle Hill
Applicant Metricon, Po Box 7510 Norwest Bussiness Baulkham Hills 2153
Property/Asset 12 Old Barrenjoey Rd, Avalon Beach 2107 (Sj Terry MI Terry) PNum: 3439681
150 mm VC Sewer Main - (3135977) (WasteWater)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$16.71	\$0.00	\$16.71

REFERRAL FOR BUILDING PLAN APPROVALS**Quick Check Agent**

The Quick Check Agent has lodged your application with Sydney Water and determined that your proposed building/structure may potentially impact on Sydney Water's infrastructure.

The Quick Check Agent has advised you to contact a Water Servicing Coordinator for approval of your proposed building/structure. The Water Servicing Coordinator acts as your contact in dealing with Sydney Water.

Water Servicing Coordinator

Some of the activities required prior to approving your plan may include;

- Reviewing your proposed building/structure plans and discussing options.
- Advise if a Service Protection Report (also known as a Pegout) is required.
- Advise if structural engineering detail is required.
- Arrange supervision of concrete encasement and piling.
- Specify asset protection requirements and/or alternative options.

Water Servicing Coordinators are located across Sydney, Illawarra and the Blue Mountains. Sydney Water recommends that you contact several Water Servicing Coordinators to ensure you choose the one that is most appropriate for you.

To assist in your selection, Sydney Water recommends you ask each Water Servicing Coordinator the following type of questions:

1. How long will it take to obtain the Building Plan Approval?
2. How much do you charge for a Building Plan Approval?
3. If I require a Service Protection Report (pegout), how much will it cost?
4. Are there any other charges that I may have to pay?

For more information and a list of Water Servicing Coordinators, visit the Building, Developing and Plumbing section of Sydney Water's website at www.sydneywater.com.au. Alternatively you may obtain a list from the Sydney Water call centre on Tel: 13 20 92.

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.



Application Lodgement Summary



Reference Number 8413478 **Date Requested:** Wed April 24 2013

Agent Cooks Castle Hill, 2 Victoria Avenue Castle Hill

Applicant Metricon, Po Box 7510 Norwest Bussiness Baulkham Hills 2153

Property/Asset 12 Old Barrenjoey Rd, Avalon Beach 2107 (Sj Terry MI Terry)
PNum: 3439681
150 mm VC Sewer Main - (3135977) (WasteWater)

Product Plumbing and Drainage Audit Inspection Application

Charge	Product Cost	GST	Total
Plumbing and Drainage Audit Inspection Application	\$185.00	\$0.00	\$185.00
Inspection Charge	\$98.00	\$0.00	\$98.00

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

You must contact NSW Fair Trading on 1300 889 099 at least 2 working days prior to the inspection time to arrange for inspection of the works.

Properties in recycled water areas are required to pay for additional inspections, as inspections are required to be carried out on both the potable and recycled water services. These fees will generally be charged upon payment of the Plumbing and Drainage Audit Inspection application, or as directed by NSW Fair Trading.

Recycled water areas require full inspections for all water and sewer drainage installations and a final inspection before occupation. If you have any further inquiries or need to organise the inspection please call NSW Fair Trading on 1300 889 099.

Re-use of greywater (eg washing machine) or blackwater (eg treated sewage) requires the installation/s to be fully inspected by NSW Fair Trading, and a testable backflow prevention

device fitted to the water service at the meter installation. The application must be supported by written approval from the local council and also include details of the changes to the house drainage/sanitary plumbing.

Conditions

- All fees are NON REFUNDABLE and NON TRANSFERABLE
- Any Plumbing or Drainage work MUST BE carried out by or under the immediate Supervision of Authorised Licensees who MUST lodge a separate Application to commence the work.
- This Application will lapse if the relevant work shown hereon has not commenced within 12 months of the date shown on the receipt.
- Where the Sewer is not available Sydney Water cannot accept any responsibility for the locations, lines and levels of the Supervised work for connection to the Sewer when it becomes available
- Owner's please note: You should obtain a 'Certificate of Compliance' from your Plumber or Drainer. This is your warranty for work done.

EXTRACT FROM THE WATER BOARD (CORPORATION) ACT 1994 - Clause 21 (5) Water (Finance) Regulation

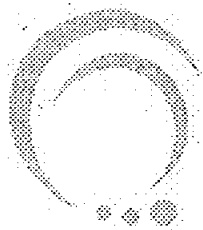
1. An owner or occupier of land shall not refuse to give, wilfully omit to disclose, or wilfully misstate to an Officer of Sydney Water:-
 - a. any information required for, or likely to affect, a valuation or determination to be made for the purpose of this clause;
 - b. in the case of an occupier, the name of the owner of the land or the person who receives, or is Authorised to receive, the rent for the land. MAXIMUM PENALTY:\$5,000 IN THE CASE OF A CORPORATION, OR IN OTHER CASES, \$2,000.

CUSTOMER FILE **metricon**
excellence

metricon
excellence

Contract Number:	652673	CSC - Hannah
Site Address:	Lot 10, No 12 OLD BARRENJOEY ROAD AVALON NSW 2107	
Customer Name/s:	Mr S Terry & Mrs M Terry	
Home Address:	224 Lower Plateau Road BILGOLA NSW 2107	
Contact 1 Phone	Mr Simon Terry	
	Work:	
	Home: 02 99734429	
	Mobile: 0407640564	
	Email: sterry@gwgroup.com.au	
Contact 2 Phone	Mrs Megan Terry	
	Work:	
	Home: 02 99734429	
	Mobile: 0448223981	
	Email: megansimonterry@bigpond.com	
House Type:	LIBERTY 42 Plantation	
Sales Consultant:	Nicole Cookson	

[illegible]



STRATHFIELD PLUMBING PTY LTD

ABN: 42 003 889 636

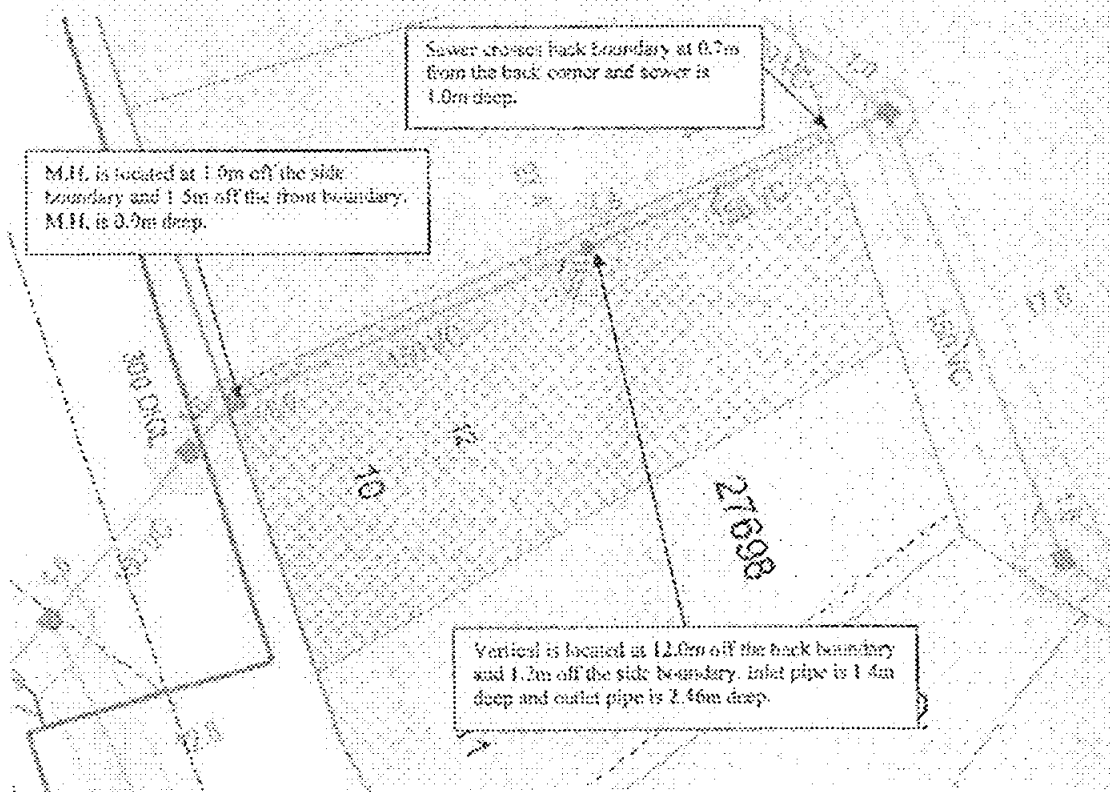
LIC NO. 27884C

SUPPLIER No. 1279

SERVICE PROTECTION REPORT

PROPERTY ADDRESS: 12 OLD BARRENJOEY RD, AVALON.

Pipe Size:	150	Pipe Type:	VC	Strata	CLAY	
CLAY	ROCK	ROCK TRENCH	SAND	SHALE	SOIL	TUNNEL



Note: For the purpose of this report, 'boundary' refers to fixed structures (fence, retaining walls, buildings, etc.) used to fix location of the Sydney Water asset(s), and may not always correspond to the property boundary (as identified on site survey plan). Do not scan this plan.

I, Ray Roumanous of Strathfield Plumbing Pty Ltd, being accredited to carry out a Service Protection Report, certify that the information shown on the Report is accurate and has been prepared in accordance with the relevant instructions.

Report completed by: Ray Roumanous

Signed:

Date: 20/3/13

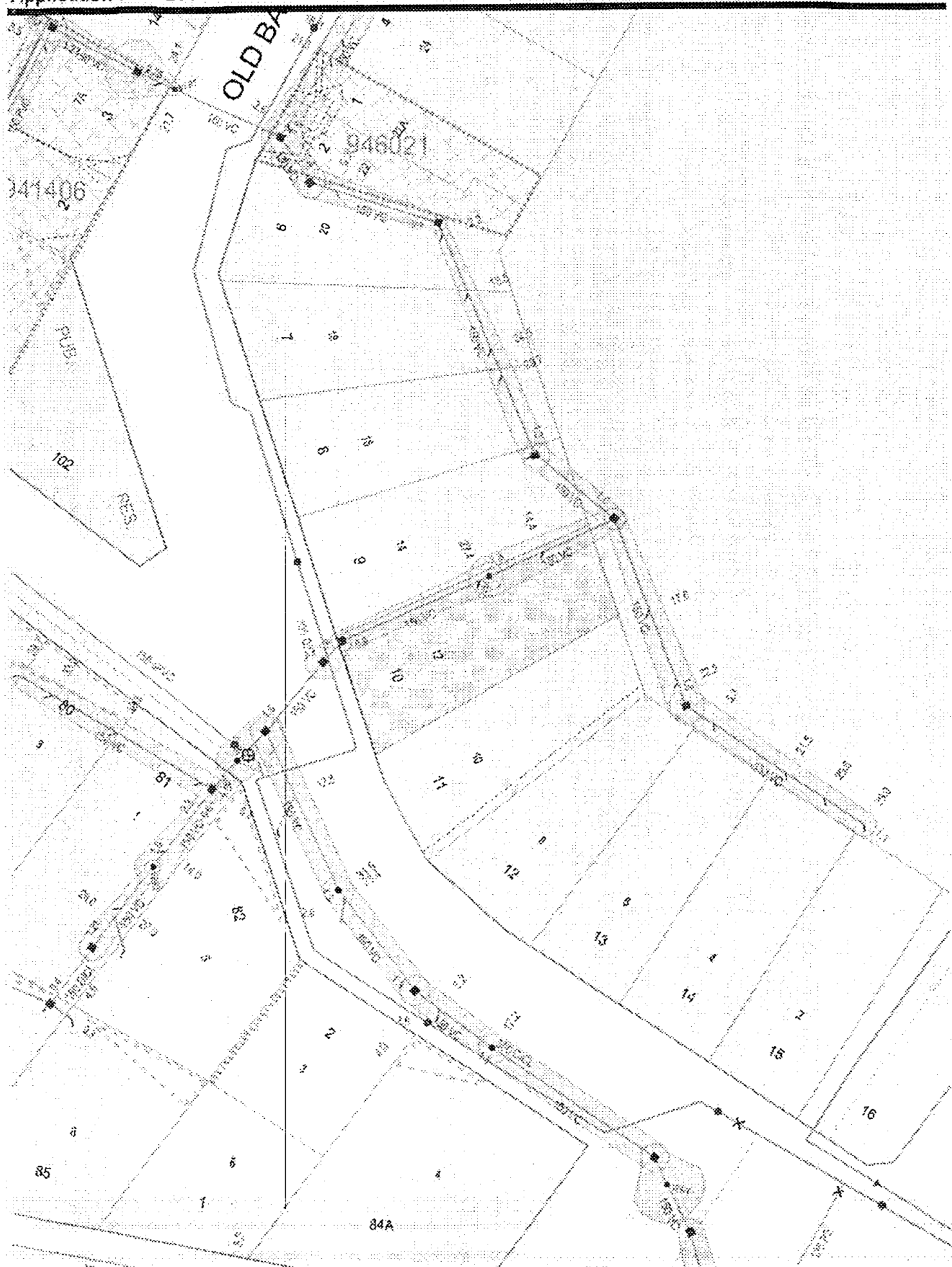
PHONE: 0410 441 441

FAX : 9703 7422

P.O. BOX 674 STRATHFIELD NSW 2135

EMAIL: info@strathfieldplumbing.com.au

www.strathfieldplumbing.com.au



NOTE: This diagram only indicates availability of a sewer and any sewerage service shown as existing in Sydney Water's records. The existence and position of Sydney Water's sewers, stormwater channels, pipes, mains and structures should be ascertained by inspection of maps available at any of Sydney Water's Customer Centres. Position of structures, boundaries, sewers and sewerage services shown hereon are approximately only.

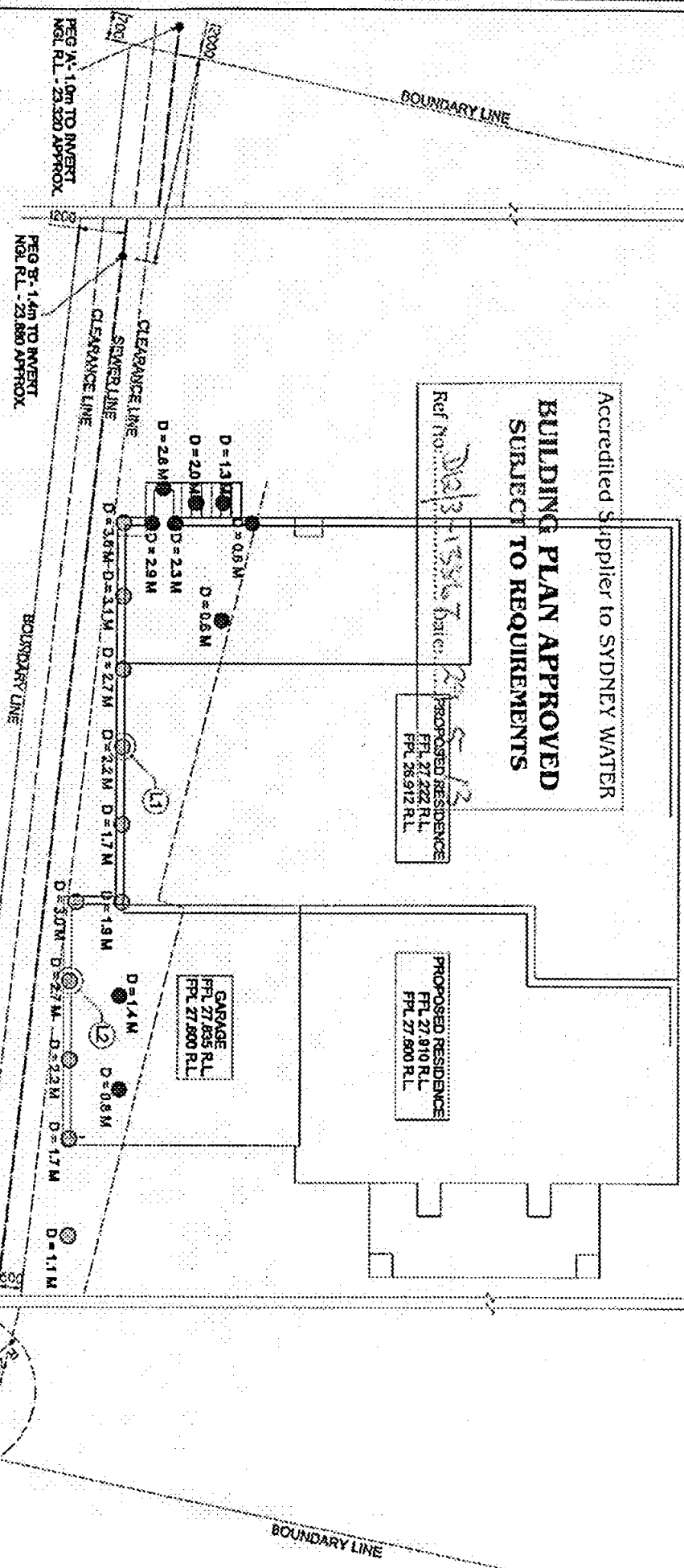
BOUNDARY LINE

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

Ref No: 2013-15367
PROPOSED RESIDENCE
FPL 27,422 RL
FPL 26,912 RL

PROPOSED RESIDENCE
FPL 27,810 RL
FPL 27,800 RL

GARAGE
FPL 27,835 RL
FPL 27,800 RL



RAFFLETOS

APPROVED BY
LEVEL 2, 100 WARRICK STREET
ROCKSWORTH NSW 2280
PO BOX 91 ROCKSWORTH NSW 2280



ZANUTTINI

ENGINEERS
FACSIMILE: (02) 8944 8744
TEL: (02) 8944 8744
EMAIL: info@zanuttini.com.au

DATE: 10/10/13

metricon

SITE AND B.A.S.B.O.S DETAIL PLAN

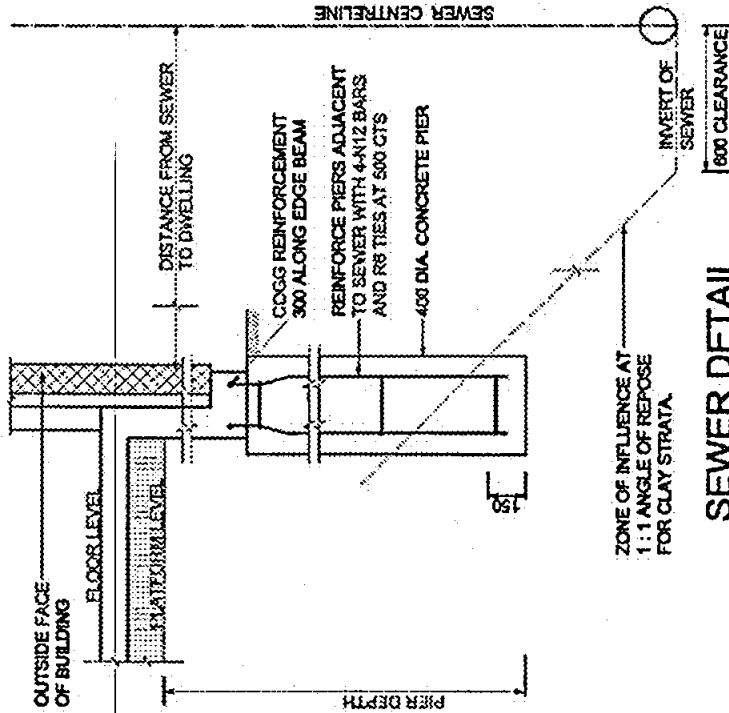
CLIENT	TERRY	LOCATION	LOT 10, No.12 OLD BARREBUOY RD, AVALON BEACH	AS
DRAWN	JJ	SCALE	1:100	SHEET No. 6
ISSUE	A	DATE	22/04/13	JOB No. 53982 LIT

SEWER NOTES:

- POSITION OF SEWER IS ONLY APPROXIMATE
- POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- PIERS ARE TO BE FOUND ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

SEWER CALCULATIONS

	L1	L2
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)	1.311	0.989
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =	26.937	27.800
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =	24.233	25.038
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =	2.2	2.7
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =	3.394	3.164
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =	23.477	26.174



SEWER DETAIL

L1 L2



RAFAELITOS
6/55 23 575 047 495
LEVEL 2, 103 VALUERS STREET
KINGSGARAGE NSW 2208
PO BOX 91 KINGSGARAGE NSW 2208

ZANUTTINI
P/L
FACSIMILE: (02) 9344 8794
TEL/FAX: (02) 9344 8311
EMAIL: znm@znm.com.au

[Signature]
D.L. MILE AUST.

metricon

SEWER SECTIONS PLAN

CLIENT	TERRY	A3
LOCATION	LOT 10, No.12 OLD BARRENJOEY RD, AVALON BEACH	
DRAWN	J.J.	SCALE 1:20
ISSUE	A	DATE 22/04/13
REFERENCE	652073	SHEET No. 7
		JOB No. 53882 MT

[illegible]

CONCRETE			
CONCRETE REINFORCEMENT SPECIFICATIONS ARE AS FOLLOWS: ADJUST TYPE & QUANTITY WITH EACH APPROPRIATE SIZE OF CHAIR AND BARGE SLAP			
LOCATION	NOMINAL FC	BAR SIZE	BAR TYPE
POLO	30 MPa	20 MPa	20 MPa
BLAD	30 MPa	20 MPa	20 MPa
STAY FOOTING	30 MPa	20 MPa	20 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOWS:			
LOCATION	FORMED & UNSET	FORMED & EXPOSED	POURED ON GROUND
BLADE & HANDLE	20	20	20
WHEEL	20	20	20
COLLARS	20	20	20
STAY FOOTING	20	20	20

[illegible]

CONSTRUCTION ITEMS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE
APPROVAL OF THE ENGINEER.

ALL REINFORCEMENT TO BE ADDITIONALLY SUPPORTED IN ITS ASSIGNED POSITION
AND OTHER PLACING PLACEMENT OF CONCRETE
APPLIED ON CONCRETE SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO
REINFORCEMENT WITHIN THE APPROXIMATE OF THE REINFORCEMENT.

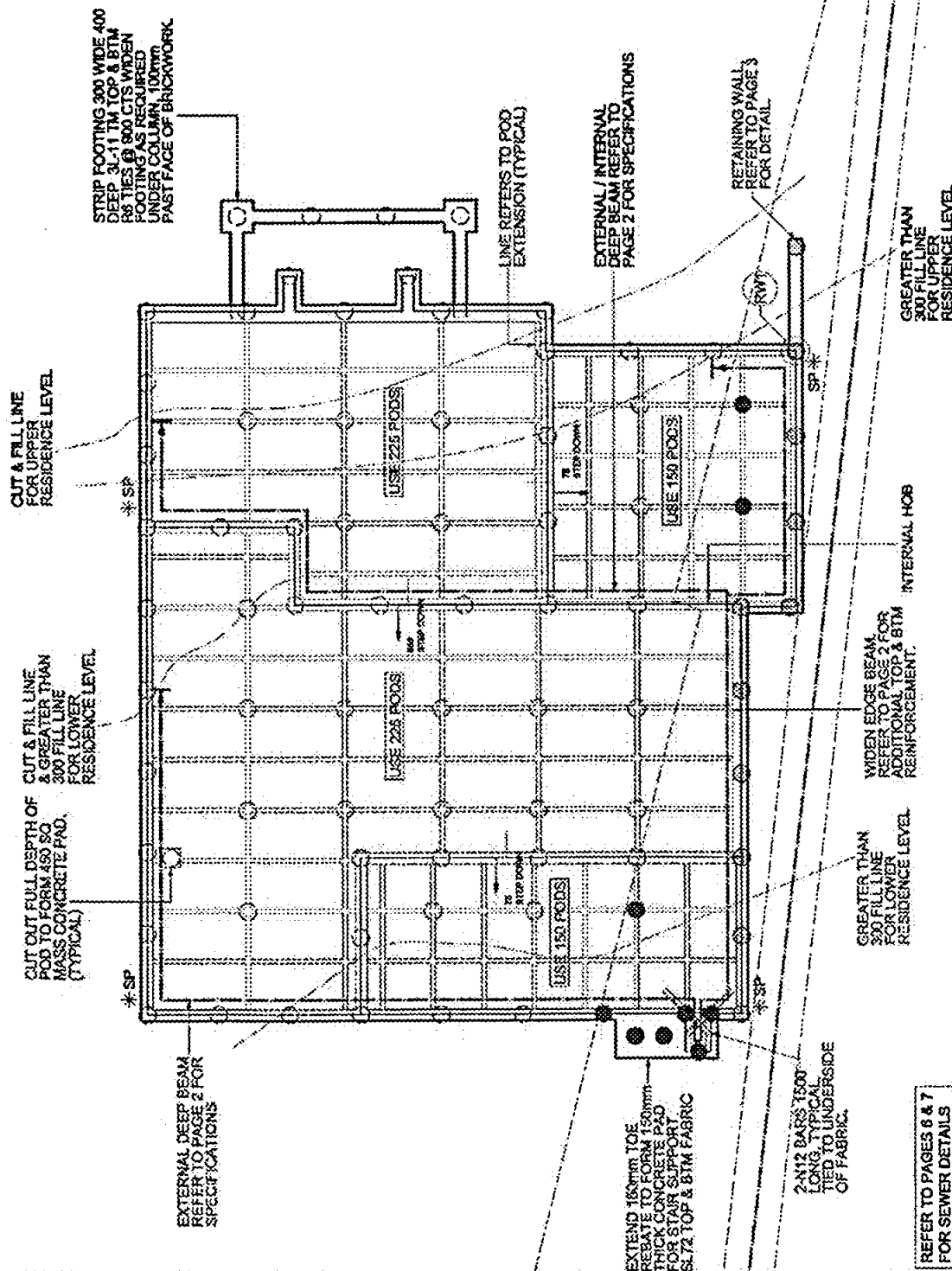
ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CHEMICALLY
CURED INCLUDING THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK.

THE ABOVE INFORMATION WAS OBTAINED FROM THE RECORDS OF THE
FEDERAL BUREAU OF INVESTIGATION, WASHINGTON, D. C. 20535.
IT IS THE POLICY OF THE FBI TO MAKE AVAILABLE TO THE
PUBLIC INFORMATION CONTAINED IN ITS RECORDS UNLESS IT
DURING THE PAST FEW YEARS, THE FBI HAS RECEIVED
INFORMATION THAT THE DISCLOSURE OF SUCH INFORMATION
COULD BE DETERMINED TO BE IN THE INTERESTS OF
NATIONAL DEFENSE.

CALL FOR AN ADVERSE DISSEMINATION LETTER SYSTEM

● REMOVED CONC. MARK ● UNREMOVED CONC. MARK
● DUBIOUS AFFIRMED MARK ? ARTICULATION JOINT
⊕ BROWN MARK ✱ STARTING POINT

DISSEMINATED ON 8-6-90 BY THE U.S. SECRETARY OF DEFENSE



STRUCTURAL SLAB DETAIL PLAN

metricon		CLIENT	TERRY	LOT 10, No.12 OLD BARRENJOEY RD, AVALON BEACH	A3		
		LOCATION					
REFERENCE	852973	DRAWN	J.J	SCALE	1:100	SHEET No.	1
		ISSUE	A	DATE	22/04/13	JOB No.	53892 MT

ZARUTTINI

RAFFLETTOS
 1/2 PRZ 33 078 047 499
 LEVEL 2, 100 VANESSA STREET
 KINGSGROVE NSW 2208
 PO BOX 91 KINGSGROVE NSW 2208

NOB No. 53892 MT

100-55555 - 100-55555 - 100-55555

COMPLYING DEVELOPMENT
NSW HOUSING CODE SEPP 2006

SITE AREA	751 SQM
PROPOSED ROOF COVERAGE	2027 SQM
ROOF COVERAGE AREA	2027 SQM
FLOOR AREA	2144 SQM
GROUND FLOOR	1242 SQM
FIRST FLOOR	906 SQM
TOTAL LIVING AREA	2144 SQM
INCLUDES EXIST. WALLS & GARAGE	
EXCLUDES PORCHES, TERRACES, ETC.	
MAX. ALLOWABLE BY NSW HC006	450 SQM

SITE COVERAGE	2144 SQM
TOTAL SITE COVERAGE	2144 SQM
EXCLUDES PORCHES, TERRACES, ETC.	
MAX. ALLOWABLE BY NSW HC006	40%

LANDSCAPED AREA	6017 SQM
EXCL. ALL HARD SURFACES	655%
MIN. REQUIRED BY NSW HC006	40%

SITE AREA	2711 SQM
LANDSCAPED AREA	2006 SQM
FORWARD OF BUILDING LINE	77%

MIN. REQUIRED BY NSW HC006	50%
PRIVATE OPEN SPACE	24 SQM
TOTAL PRIVATE OPEN SPACE	24 SQM
MIN. REQUIRED BY NSW HC006	24 SQM

MIN. REQUIRED BY NSW HC006	24 SQM
BUILDING HEIGHT RESTRICTION	MAXIMUM 8.5 M RISE HEIGHT
MAXIMUM 8.5 M RISE HEIGHT	
MAXIMUM 1000MM CUT	

REINFORCING WALL REQUIREMENTS	
REINFORCING WALLS TO BE MAXIMUM	2000MM FROM DWELLING FOOTPRINT
REINFORCING WALLS TO BE MAXIMUM	2000MM FROM DWELLING FOOTPRINT

TECHNICAL PROTECTION	
PROVIDE TECHNICAL PROTECTION	IN ACCORDANCE WITH AS3660.1

SURVEYORS NOTES	
THE SURVEY IS SPECIFICALLY FOR CONVEYANCE	
THE SURVEY IS SPECIFICALLY FOR CONVEYANCE	

CONVEYANCE	
CONVEYANCE	

CONVEYANCE	
CONVEYANCE	

CONVEYANCE	
CONVEYANCE	

CONVEYANCE	
CONVEYANCE	

EXISTING TREES TO BE REMOVED/REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS
SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND OR FENCE TREES WHICH WILL IMPED THE BUILDING AREA PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED.

DEMOLITION REQUIREMENTS
SITE TO BE CLEARED OF ALL EXISTING BUILDINGS, FENCES, ETC. PRIOR TO THE SATISFACTION OF METRICON HOMES PT LTD.

BUILDING ADJACENT SEWER
SEWER PROTECT AND DETAILS REQUIRED

LOT 9
EXISTING RETAINING WALL TO REMAIN

1350MM (H) DEEPENED EDGE DEAM
PROVIDE CONC. LANDING, STAIRS & BALUSTRADE BY METRICON

PREFERRED LOCATION OF FUTURE BLINDLINE ABOVE GROUND RAINWATER TANK(S)
TO MEET OSD 2.0

REQUIREMENTS TO MEET OSD 2.0
(EXCEPT TO DRAIN & HYDRAULIC ASSESSMENTS)

LOCATION OF RETAINING WALL BY METRICON

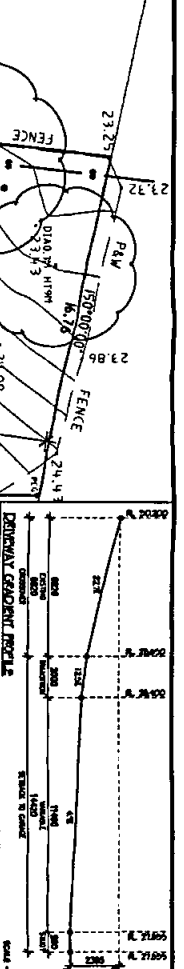
DRIVEWAY, GRADED DRAIN, CROSSOVER AND FRONT RESPONSIBILITY OF THE OWNER AFTER HANDOVER

EXISTING CROSSOVER TO REMAIN

OLD BARRENOJOEY ROAD

SCALE 1:250

AUSTRALIAN WATER PROJECT MANAGEMENT CASTLE HILL



Accredited Supplier to Sydney Water
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

ASSET NOT AFFECTED
Ref No. 21847/Date: 29.5.13

Concrete Encasement Inspection Required
24 hr Notice Required

Accredited Supplier to Sydney Water
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

ASSET NOT AFFECTED
Ref No. 21847/Date: 29.5.13

Concrete Encasement Inspection Required
24 hr Notice Required

Accredited Supplier to Sydney Water
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

ASSET NOT AFFECTED
Ref No. 21847/Date: 29.5.13

Concrete Encasement Inspection Required
24 hr Notice Required

Accredited Supplier to Sydney Water
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

ASSET NOT AFFECTED
Ref No. 21847/Date: 29.5.13

Concrete Encasement Inspection Required
24 hr Notice Required

LOT NO	10
DEPOSITED PLAN	27678
COUNCIL / LOCAL	PITTWATER
SLAB CLASS	M
WIND SPEED	N2

EXCAVATION NOTES
EXCAVATE APPROX 1000MM ON RL 27600 & RETAIN FILL WITHIN DEEP EDGE DEAM

LOWER LEVEL
EXCAVATE APPROX 300MM ON RL 26912 & RETAIN FILL WITHIN DEEP EDGE DEAM

IMPORTANT NOTES
SITE CUS ARE SUBJECT TO COUNCIL APPROVAL

STORMWATER TO DRAIN TO INFILTRATION SYSTEM VIA ON-SITE DETENTION RAINWATER TANK(S)

TEMPORARY SITE FENCING
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

ALL WEATHER ACCESS
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

ASPECT SURVEY DATE: 18/11/12
CONTROL INTERVALS: 200MM

SITE PLAN

DATE: 13/12/12
SCALE: 1:250

JOB No 652673

MR & MRS TERRY AVALON BEACH



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PITTWATER COUNCIL

Section 149 Pt 2 Planning Certificate

Environmental Planning & Assessment Act, 1979

Applicant: SIMON TERRY
224 LOWER PLATEAU ROAD
BILGOLA NSW 2107

Cert. No: e149Pt2/13/0188
Cert. Date: 15 April 2013
Fee: \$53.00
Property No: 49073

Your Reference: Simon Terry

Address of Property: 12 OLD BARRENJOEY ROAD
AVALON BEACH NSW 2107

Description of Property: Lot 10 DP 27698

Strata Unit Details (if applicable):

County: Cumberland

Parish: Narrabeen

PLEASE NOTE:

The zoning information in this certificate is based on the lot and plan number referred to in this Certificate. If the lot and plan number is not the current description of the land then this Certificate will be incorrect. Persons relying on this Certificate should satisfy themselves by reference to the Title Deed that the land to which this Certificate relates is identical to the land the subject of the enquiry.

A reference in this certificate to any instrument, including Pittwater Local Environmental Plan 1993, is a reference to that instrument, as amended.

Pittwater Council ABN 61 340 837 871

All correspondence to be addressed to General Manager:
Village Park,
1 Park Street,
MONA VALE NSW
P O Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02) 9970 1111
Facsimile (02) 9970 1200
Internet: www.pittwater.nsw.gov.au
Email: pittwater_council@pittwater.nsw.gov.au

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The prescribed matters required by Section 149 (2) of the Environmental Planning & Assessment Act are as follows and relate to the subject land at the date of this certificate.

ZONING AND LAND USE

EP&A Regulations 2000
Schedule 4 Clause 2

The following information identifies the purposes for which development may be carried out with or without development consent and the purposes for which the carrying out of development is prohibited, for all zones affecting the land as identified on the maps to which PLEP 1993 applies.

ZONING MAP

ZONE NO. 2(a) (RESIDENTIAL "A")

1. Without development consent

Nil.

2. Only with development consent

Any purpose other than a purpose for which development may be carried out without development consent or a purpose for which development is prohibited.

3. Prohibited

Boarding-houses; bulk stores; car repair stations; caravan parks; commercial premises; generating works; group buildings; helipads; heliports; industries; institutions; junk yards; liquid fuel depots; mines; motels; motor showrooms; places of assembly; recreation areas; recreation establishments; refreshment rooms; residential flat buildings; retail plant nurseries; sawmills; service stations; shops; stock and sale yards; transport terminals; warehouses.

Note: In addition to the controls contained in Pittwater Local Environmental Plan, 1993, clause 29 of the Environmental Planning & Assessment (Savings and Transitional) Regulation 1998 sets out further circumstances where development consent will be required for particular development. These circumstances may include development that does not require consent under Pittwater Local Environmental Plan 1993. A copy of clause 29 is attached and marked with the letter "A".

DUAL OCCUPANCY MAP

WITHIN AREA 3 FOR DUAL OCCUPANCY DEVELOPMENT - (see clauses 21C, 21D (where applicable), 21F, 21H)

MULTI-UNIT HOUSING MAP

FLAT MAP

SECONDARY DWELLINGS MAP

WITHIN THE SECONDARY DWELLINGS AREA - (see clauses 21P, 21Q, 21R)

Identified as coloured red on the "Pittwater Local Environment Plan 1993 (Amendment No 58) - Secondary Dwellings Map"

HERITAGE CONSERVATION MAP – SCHEDULE 9

Note: Information is only listed where applicable under the headings "DUAL OCCUPANCY MAP; MULTI-UNIT HOUSING MAP; FLAT MAP; SECONDARY DWELLINGS MAP; HERITAGE CONSERVATION MAP – SCHEDULE 9".

ADDITIONAL PURPOSES FOR WHICH DEVELOPMENT IS PERMISSIBLE WITH DEVELOPMENT CONSENT - SCHEDULE 10

Additional purposes for which development is permissible with development consent pursuant to Clause 44 and Schedule 10 of Pittwater Local Environmental Plan 1993:-

Note: Where no additional purposes have been listed under the heading "ADDITIONAL PURPOSES FOR WHICH DEVELOPMENT IS PERMISSIBLE WITH DEVELOPMENT CONSENT", then clause 44 of Pittwater Local Environmental Plan 1993 is inapplicable to the land the subject of this certificate.

FURTHER PLANNING CONTROLS

EP&A Regulations 2000
Schedule 4 Clause 2 (e) (f) (g) (h)

Development standard fixing minimum land dimensions required for the erection of a dwelling house

The erection of a dwelling house on the land is not prohibited because of development standard relating to the minimum area on which a dwelling house may be erected. In relation to development standards prescribing minimum areas for other types of development, please refer to Pittwater Local Environmental Plan 1993.

Note: Where no information has been provided under the heading "FURTHER PLANNING CONTROLS", then such information is inapplicable to the land the subject of this certificate.

Note: Any reference to Draft Local Environmental Plans affecting this land is made in the following section under the heading "PROPOSED LOCAL ENVIRONMENTAL PLANS".

CLAUSES FROM PITTWATER LOCAL ENVIRONMENTAL PLAN 1993

The following clauses, extracted from Pittwater Local Environmental Plan 1993, relate to the subject land. A number of these clauses identify the purposes for which development may be carried out with and without development consent and purposes for which the carrying out of development is prohibited. Council advises any person wishing to rely upon the contents of this document, to rely only upon the text of the Pittwater Local Environmental Plan 1993 and the Environmental Planning and Assessment Model Provisions 1980 as published in the New South Wales Government Gazette.

6. Model Provisions

(1) The Environmental Planning and Assessment Model Provisions 1980 (in this clause referred to as the "Model Provisions"), except -

- (a) the definitions of "advertising structure", "advertisement", "car repair station", "dwelling", "educational establishment", "general store", "home occupation", "light industry", "major road frontage", "mineral sand mine", "parking space", "professional consulting rooms", "public utility undertaking", "recreation facility", "roadside stall", "rural worker's dwelling", "site area", "tavern", "tourist facilities" and "units for aged persons" in clause 4(1); and

- (b) clauses 5(5), 8, 12, 15, 16, 17, 18, 23, 24, 26, 27, 28, 30, 31, 32, 33 and 34 and items 1 and 10 of Schedule 1,

are adopted for the purposes of this plan.

(2) For the purposes of this plan, the Model Provisions shall be deemed to be amended -

- (a) by inserting in clause 5(1) after the word "within" the words "a foreshore scenic protection area or within";
- (a1) DELETED
- (b) DELETED
- (c) by omitting from clause 35(c) the words "carried on in dwelling-houses";
- (d) by inserting in Item 2 of Schedule 1 after the word "drainage" the words "telecommunication services"; and
- (e) by inserting in Item 2 (d) of Schedule 1 after the word "electricity" the words "or to provide telecommunication services".

10. **Restrictions on certain development**

A person shall not, without the consent of the council, carry out any of the following development:

- (a) subdivision of land, including subdivision for the purpose of a strata scheme under the Strata Schemes (Freehold Development) Act 1973 or a leasehold strata scheme under the Strata Schemes (Leasehold Development) Act 1986.
- (b) earthworks, including landfill, whether or not ancillary to or preparatory for a purpose for which development may be carried out without development consent pursuant to the Table to clause 9, except in respect of development the subject of consent already granted under the Act or works required pursuant to the implementation of an approval under the Local Government Act 1993;
- (c) development in respect of:
 - (i) land below high water mark;
 - (ii) the bed of a creek, lagoon, river, bay or other natural watercourse; or
 - (iii) any reclaimed or accreted land

other than development on land to which Pittwater Local Environmental Plan 1993 (Amendment No. 1) applies.

- (d) development for the purpose of an aircraft landing field, helipad, heliport or any other facility for the landing or taking off of aircraft or helicopters.

16. Dwelling-houses in Zone No. 2(a), 2(b) or 2(e)

A person shall not erect a dwelling-house on an allotment of land within Zone No 2(a), 2(b) or 2(e) unless that allotment was lawfully created.

DIVISION 3 - Group buildings and residential flat buildings

18. Provision of services

The council shall not grant consent to the erection of a group building or residential flat building on any land within Zone No. 2(a), 2(b) or 2(e) unless it is satisfied that, at the time of completion of the building, a reticulated sewerage system will be available to the land on which the building will be erected.

19. Group buildings in Zone No. 2(a), 2(b) or 2(e)

(1) Except as provided by this clause, the erection of a group building on land within Zone No. 2(a), 2(b) or 2(e) is prohibited.

(2) A group building may be erected on land within Zone No. 2(a), 2(b) or 2(e) only in an area shown edged heavy black and identified by the symbols "GB", "2" or "3" on the Flat Map.

(3) A group building may be erected on all lots (excepting Lots 1 and 26) in DP 270121, being land between Waratah and Park Streets, Mona Vale, despite subclause (2).

20. Residential flat buildings in Zone No. 2(a) or 2(b)

(1) Except as provided by this clause, the erection of a residential flat building on land within Zone No. 2(a) or 2(b) is prohibited.

(2) A two storey residential flat building may be erected on land within Zone No. 2(a) or 2(b) only in an area shown edged heavy black and identified by the symbol "2" or "3" on the Flat Map.

(3) A three storey residential flat building may be erected on land within Zone No. 2(a) or 2(b) only in an area shown edged heavy black and identified by the symbol "3" on the Flat Map.

(4) A development application that was made but not fully determined before the commencement of Pittwater Local Environmental Plan 1993 (Amendment No. 29) shall be determined under this plan as in force immediately prior to the commencement of Pittwater Local Environmental Plan 1993 (Amendment No. 29).

DIVISION 3A - Dual occupancy development

21C. Attached dwellings permitted in Areas 2 and 3

Despite any other provision of this plan, a person may, with the consent of the council, on land within Area 2 or 3 as shown on the Dual Occupancy Map:

- (a) alter or add to a dwelling house erected on an allotment so as to create 2 attached dwellings; or
- (b) erect an attached dwelling on an allotment,

but only if there are not more than 2 dwellings on the allotment after the development has been carried out.

21F. Dual occupancy subdivision

- (1) On and after the day on which Pittwater Local Environmental Plan 1993 (Amendment No. 11) commences, consent must not be granted for a subdivision which creates separate allotments for each of the two dwellings resulting from dual occupancy development carried out in accordance with this Division.
- (2) The separate occupation of the proposed lots illustrated by a proposed strata plan relating to the two dwellings resulting from any such dual occupancy development is prohibited.
- (3) This clause does not apply to any two dwellings resulting from development carried out pursuant to a consent:
 - (a) granted in accordance with this Division later than 14 days after Pittwater Local Environmental Plan 1993 (Amendment No. 11) was first exhibited under the Act, but only if the application for the consent was made before the expiration of that 14 day period; or
 - (b) granted in accordance with this Division on or after 3 March 1995 and before the expiration of that 14 day period; or
 - (c) granted before 3 March 1995 in accordance with Sydney Regional Environmental Plan No. 12 - Dual Occupancy and Part 2 of State Environmental Planning Policy No. 25 - Residential Allotment Sizes and Dual Occupancy Subdivision; or
 - (d) granted on or after 3 March 1995 in accordance with Sydney Regional Environmental Plan No. 12 - Dual Occupancy and Part 2 of State Environmental Planning Policy No. 25 - Residential Allotment Sizes and Dual Occupancy Subdivision as continued in force for certain development applications made before that date by clause 8 (Savings) of Pittwater Local Environmental Plan 1993 (Amendment No. 6).

21H. Standards for dual occupancy development in Areas 2 and 3

- (1) The Council must not grant its consent to dual occupancy development on land within Area 2 or 3 as shown on the Dual Occupancy Map (other than on land within Zone No. 1(a), 1(a1), 1(b) or 1(c)) unless it is satisfied that the development complies with each of the development standards specified in the following table:

Column 1	Column 2	Column 3	Column 4	Column 5	Column 6
Area description and type of development	Minimum lot/ subdivision size	Maximum floor space ratio	Maximum site coverage	Maximum height	Minimum carparking
Area 2 – attached dwellings	400m ² per dwelling (and 800m ² per site)	0.3:1	40%	8.5m	2 car spaces per dwelling
Area 3 – attached dwellings	300m ² per dwelling (and 600m ² per site)	0.4:1	50%	8.5m	2 car spaces per dwelling
Area 3 (south of Mona Vale Road) – detached dwellings	400m ² per dwelling (and 800m ² per site)	0.4:1	50%	8.5m for one dwelling and 3.6m for the other dwelling	2 car spaces per dwelling

21N. Multi-unit housing in Zone No 2(a) or 2(b)

- (1) Except as provided by this clause, the erection of multi-unit housing on land within Zone No. 2(a) or 2(b) is prohibited.
- (2) Despite any other provision of this plan, multi-unit housing (except shop-top housing) may be erected with the consent of the Council on land within Zone No. 2(a) or 2(b) only in an area shown edged heavy black and identified by the symbols "MUH" on the multi-unit housing map.
- (3) Multi-unit housing referred to in subclause (2) shall not be erected at a density exceeding 1 dwelling per 200 square metres of site area.

DIVISION 3C - Secondary Dwellings

21P. Aims

The aims of this Division are:

- (a) to encourage a greater diversity of housing types and wider housing choice in appropriate locations with adequate physical and social infrastructure, and
- (b) to provide additional opportunities for more compact and affordable forms of housing with minimal environmental impact, and
- (c) to improve utilisation of building stock and infrastructure.

21Q. Definitions

In this Division:

secondary dwelling means a self-contained dwelling that:

- (a) is established in conjunction with another dwelling (the **principal dwelling**), and

(b) is on the same lot of land (not being an individual lot in a strata plan or community title scheme) as the principal dwelling, and

(c) is located within, or is attached to, or is separate from, the principal dwelling.

secondary dwellings map means the map marked "Pittwater Local Environmental Plan 1993 (Amendment No 58)- Secondary Dwellings Map", as amended by the maps (or, if any sheets of maps are specified, by the specified sheets of the maps) marked as follows:

Pittwater Local Environmental Plan 1993 (Amendment No 58)

21R. Secondary dwellings in Zone No 2 (a), 2 (b), 2 (e) or 2 (f)

- (1) Except as provided by this clause, the erection of secondary dwellings on land within Zone No 2 (a), 2 (b), 2 (e) or 2 (f) is prohibited.
- (2) A secondary dwelling may be erected with the consent of the council on land within Zone No 2 (a), 2 (b), 2 (e) or 2 (f) only in an area shown coloured red on the secondary dwellings map.
- (3) The total floor area of the secondary dwelling (excluding any area used for parking) must not exceed whichever of the following is greater:
 - (a) 60 square metres,
 - (b) 20% of the total floor area of both the self-contained dwelling and the principal dwelling.
- (4) The council must not grant its consent for the carrying out of development for the purpose of a secondary dwelling unless it is satisfied that the development will not have an adverse effect of any significance on:
 - (a) the protection of rare and endangered flora and fauna species and the protection of habitats for native flora and fauna, or
 - (b) the protection of wildlife corridors and vegetation links with nearby bushland, or
 - (c) the protection of bushland as a natural stabiliser of the soil surface and the protection of existing landforms such as natural drainage lines and watercourses, or
 - (d) the protection of bushland for scenic values and the retention of the unique visual identity of the landscape, or
 - (e) the retention of tree canopy and the protection of the visual amenity of the area, including its visual amenity when viewed from other residences, from the water, and from any public place, or
 - (f) Aboriginal sites.

DIVISION 8 - Conservation

33. Preservation of trees or vegetation.

(1) The objective of this clause is to preserve the amenity of the area, including biodiversity values, through the preservation of trees and other vegetation.

(2) This clause applies to species or kinds of trees or other vegetation that are prescribed for the purposes of this clause by a development control plan made by the Council.

Note. A development control plan may prescribe the trees or other vegetation to which this clause applies by reference to species, size, location or other manner.

(3) A person must not ringbark, cut down, top, lop, remove, injure or wilfully destroy any tree or other vegetation to which any such development control plan applies without the authority conferred by:

(a) development consent, or

(b) a permit granted by the Council.

(4) The refusal by the Council to grant a permit to a person who has duly applied for the grant of the permit is taken for the purposes of the Act to be a refusal by the Council to grant consent for the carrying out of the activity for which a permit was sought.

(5) This clause does not apply to a tree or other vegetation that the Council is satisfied is dying or dead and is not required as the habitat of native fauna (within the meaning of the standard instrument prescribed by the Standard Instrument (Local Environmental Plans) Order 2006).

(6) This clause does not apply to a tree or other vegetation that the Council is satisfied is a risk to human life or property.

(7) A permit under this clause cannot allow any ringbarking, cutting down, topping, lopping, removal, injuring or destruction of a tree or other vegetation:

(a) that is or forms part of a heritage item or that is within a heritage conservation area, or

(b) that is or forms part of an Aboriginal object or that is within a place of Aboriginal heritage significance, unless the Council is satisfied that the proposed activity:

(c) is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, place of Aboriginal heritage significance or heritage conservation area, and

(d) would not adversely affect the heritage significance of the heritage item, Aboriginal object, place of Aboriginal heritage significance or heritage conservation area.

Note. As a consequence of this subclause, the activities concerned will require development consent. The heritage provisions of clause 32 will be applicable to any such consent.

(8) This clause does not apply to or in respect of:

(a) the clearing of native vegetation (within the meaning of the Native Vegetation Act 2003):

(i) that is authorised by a development consent or property vegetation plan under the Native Vegetation Act 2003, or

- (ii) that is otherwise permitted under Division 2 or 3 of Part 3 of that Act, or
- (b) the clearing of vegetation on State protected land (within the meaning of clause 4 of Schedule 3 to the Native Vegetation Act 2003) that is authorised by a development consent under the provisions of the Native Vegetation Conservation Act 1997 as continued in force by that clause, or
- (c) trees or other vegetation within a State forest, or land reserved from sale as a timber or forest reserve under the Forestry Act 1916, or
- (d) action required or authorised to be done by or under the Electricity Supply Act 1995, the Roads Act 1993 or the Surveying and Spatial Information Act 2002, or
- (e) plants declared to be noxious weeds under the Noxious Weeds Act 1993.

DIVISION 9 - Other land uses and miscellaneous

39. Suspension of covenants, etc.

- (1) For the purpose of enabling development to be carried out in accordance with this plan (as in force at the time the development is carried out) or in accordance with a consent granted under the Act, any covenant, agreement or similar instrument imposing a restriction on the carrying out of the development does not, to the extent necessary to serve that purpose, apply to the development.
- (2) Nothing in this clause affects the rights or interests of the Council under any covenant, agreement or similar instrument.
- (3) Pursuant to section 28 of the Act, before the making of this clause the Governor approved of this clause.

40. Restriction on excavation

Where, immediately before 27 June 1951, any land within Zone No. 2(a) or 2(b) was used for the purpose of winning extractive materials, no excavation for that purpose shall be made, opened or extended within 15 metres of adjoining land which is within Zone No. 2(a) or 2(b) and was not, immediately prior to 27 June 1951, in the same ownership.

46. Provision of adequate water and sewerage services

The council shall not grant consent to the carrying out of development in accordance with this plan unless it is satisfied that adequate provision has been made for the supply of water.

48. Outdoor advertising

- (1) The aim of this clause is to ensure that outdoor advertising:
 - (a) conveys advertisers' messages and images while complementing and conforming to both the building on which it is displayed and the character of the surrounding locality; and

- (b) does not adversely affect the area in which it is located in terms of appearance, size, illumination, overshadowing or in any other way; and
 - (c) does not lead to visual clutter through the proliferation of signs.
- (2) Notwithstanding any other provision of this plan, the following advertisements may be erected, without consent:
- (a) an advertisement within a site which is not visible (due to built form) from outside that site (but not an advertisement on a heritage item or on a site within a heritage conservation area);
 - (b) a business identification sign on land:
 - (i) within Zone No. 2(a), 2(b) or 2(e) but only if:
 - the sign is not erected on a heritage item and;
 - the sign does not exceed 0.75 square metres in area; or
 - (ii) within Zone No. 3(a), 3(b2), 3(b3), 3(c), 3(d) or 3(e), but only if it is not erected on a heritage item and it meets any of the following descriptions:
 - a sign located on a shop at a point below the level of the awning and which covers no more than 33% of the area of the shopfront; or
 - if it is located on a shop with no awning, a sign located at a point 3 metres or below the level of the bottom of the first floor, and which covers no more than 33% of the area of the shopfront; or
 - an awning fascia sign; or
 - a suspended under-awning sign, but not more than one for every 3 metres of shopfront length, being a sign not exceeding 2.5 metres in length and 0.5 metre in height and at no point less than 2.6 metres from ground level; or
 - (iii) within Zone No. 4(b) or 4(b1), but only if it does not exceed 10 square metres in area and covers no more than 20% of the area of the façade of the building;
 - (c) a real estate sign on any land;
 - (d) a temporary sign on any land;
 - (e) a public notice displayed by a public authority/utility giving information or directions about the services provided by it;

- (f) a different advertisement replacing an advertisement for which consent was granted;
- (g) a sign behind, painted or letters stuck onto the glass line of a shop window;
- (h) an advertisement on a motor vehicle used principally for the conveyance of goods or passengers.

DIVISION 10 - Exempt and complying development

55. Exempt and complying development

- (1) Development of minimal environmental impact listed as exempt development in Development Control Plan No 22: Exempt and Complying Development as adopted by Council on 22 November 1999 is exempt development, despite any other provision of this plan.
- (2) Development listed as complying development in Pittwater Development Control Plan No. 22: Exempt and Complying Development as adopted by Council on 22 November 1999 is complying development if:
 - (a) it is local development of a kind that can be carried out with consent on the land on which it is proposed, and
 - (b) it is not an existing use, as defined in section 106 of the Act.
- (3) Development is exempt or complying development only if it complies with the development standards and other requirements applied to the development by Pittwater Development Control Plan No 22: Exempt and Complying Development as adopted by Council on 22 November 1999.
- (4) A complying development certificate issued for any complying development is to be subject to the conditions for the development specified in Pittwater Development Control Plan No 22: Exempt and Complying Development as adopted by Council on 22 November 1999, as in force when the certificate was issued.

Note: There are other provisions and development standards within the Pittwater LEP 1993 (including model provisions) which affect the carrying out of development. If you propose to carry out development on the land, you should consider these clauses. You are also advised to consider obtaining professional advice regarding the full effect of the Pittwater LEP and other environmental planning instruments, which may affect the land.

RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS

EP&A Regulations 2000
Schedule 4 Clause 1

LOCAL ENVIRONMENTAL PLAN

EP&A Regulations 2000
Schedule 4 Clause 1 (1)

Pittwater Local Environmental Plan 1993

PROPOSED LOCAL ENVIRONMENTAL PLANS

EP&A Regulations 2000

Schedule 4 Clause 1 (2)

Draft Pittwater Local Environmental Plan 2013

The purpose of this plan is to replace Pittwater Local Environmental Plan 1993 (as amended).

PROPOSED PITTWATER LOCAL ENVIRONMENTAL PLAN 2013 ZONING AND LAND USE

EP&A Regulations 2000
Schedule 4 Clause 2

The following information identifies the proposed purposes for which development may be carried out with or without development consent and the purposes for which the carrying out of development is prohibited, for all proposed zones affecting the land as identified on the maps to which Draft Pittwater Local Environmental Plan 2013 applies.

PROPOSED PITTWATER LOCAL ENVIRONMENTAL PLAN 2013 LAND ZONING MAP

EP&A Regulations 2000
Schedule 4 Clause 2 (a) (b) (c) (d)

Zone R2 Low Density Residential

2 Permitted without consent

Home businesses; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Child care centres; Community facilities; Dual occupancies; Dwelling houses; Educational establishments; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home-based child care; Home industries; Jetties; Places of public worship; Respite day care centres; Roads; Secondary dwellings; Veterinary hospitals; Water recreation structures

4 Prohibited

Any development not specified in item 2 or 3

PROPOSED PITTWATER LOCAL ENVIRONMENTAL PLAN 2013 HERITAGE MAP

EP&A Regulations 2000
Schedule 4 Clause 2 (g) (h)

Note: Where no information has been provided under the heading "PROPOSED LOCAL ENVIRONMENTAL PLANS", Council is unaware of any Proposed Local Environmental Planning Instrument that is or has been the subject of community consultation or on public exhibition under the Act, applying to the land.

DEVELOPMENT CONTROL PLANS

EP&A Regulations 2000
Schedule 4 Clause 1 (3)

Pittwater 21 Development Control Plan

The purpose of this plan is to provide best practice standards for development.

DCP No. 22 - Exempt and Complying Development

This Plan was adopted to:

To clearly define types of development that do not require consent and can be carried out without any formal application to Council - this is known as "exempt" development.

To clearly define development that may be carried out with consent, that is not an "existing use" as defined in the Environmental Planning and Assessment Act, and that requires a complying development certificate to be issued by Council or an accredited private certifier before starting construction. This is known as "complying" development.

STATE ENVIRONMENTAL PLANNING POLICIES AND PROPOSED STATE ENVIRONMENTAL PLANNING POLICIES

EP&A Regulations 2000
Schedule 4 Clause 1 (1)

Deemed SEPP - Hawkesbury-Nepean River (No. 2 - 1977)

- SEPP NO. 1 - Development Standards (gazetted 17.10.80)**
- SEPP NO. 4 - Development Without Consent and Miscellaneous Exempt and Complying Development (gazetted 4.12.81)**
- SEPP NO. 6 - Number of Storeys in a Building (gazetted 10.12.82)**
- SEPP NO. 19 - Bushland in Urban Areas (gazetted 24.10.86)**
- SEPP NO. 21 - Caravan Parks (gazetted 24.4.92)**
- SEPP NO. 22 - Shops and Commercial Premises (gazetted 9.1.87)**
- SEPP NO. 30 - Intensive Agriculture (gazetted 8.12.89)**
- SEPP NO. 32 - Urban Consolidation (Redevelopment of Urban Land) (gazetted 15.11.91)**
- SEPP NO. 33 - Hazardous and Offensive Development (gazetted 13.03.92)**
- SEPP NO. 44 - Koala Habitat Protection (gazetted 6.01.95)**
- SEPP NO. 50 - Canal Estate Development (gazetted 10.11.97)**
- SEPP NO. 55 - Remediation of Land (gazetted 28.08.98)**
- SEPP NO. 62 - Sustainable Aquaculture**
- SEPP NO. 64 - Advertising and Signage (gazetted 16.3.2001)**
- SEPP NO. 65 - Design Quality of Residential Flat Development (gazetted 26/07/2002) Amendment 2 (gazetted 4/07/2008)**
- SEPP - (Housing for Seniors or People With a Disability) 2004 (gazetted 28.07.2007)**
- SEPP - Building Sustainability Index: BASIX (gazetted 1.7.2004)**
- SEPP - (Major Development) 2005 (gazetted 25.05.2005)**
- SEPP - (Mining, Petroleum Production & Extractive Industries) 2007 (gazetted 16.02.2007)**
- SEPP - (Temporary Structures) 2007 (gazetted 28.09.2007)**
- SEPP - (Infrastructure) 2007 (gazetted 21.12.2007)**
- Draft SEPP NO. 66 - Integration of Land Use and Transport**
- Draft SEPP (Application of Development Standards) 2004**
- SEPP - (Affordable Rental Housing) 2009**
- SEPP - (Exempt & Complying Development Codes) 2008 (gazetted 12.12.2008) As amended**

Note: Clause 29 of the Environmental Planning and Assessment (Savings and Transitional) Regulation 1998 affects the provisions of certain State Environmental Planning Policies and how they apply to the land. A copy of clause 29 is attached and should be read in conjunction with the State Environmental Planning Policies listed.

ZONING AND LAND USE UNDER STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006

EP&A Regulations 2000
Schedule 4 Clause 2A

Note: Where no information has been provided under the heading "ZONING AND LAND USE UNDER STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006", then such information is inapplicable to the land the subject of this certificate.

COMPLYING DEVELOPMENT

EP&A Regulations 2000
Schedule 4 Clause 3

GENERAL HOUSING CODE

Complying development under the General Housing Code may be carried out on the land.

RURAL HOUSING CODE

Complying development under the Rural Housing Code may be carried out on the land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code may be carried out on the land.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code may be carried out on the land.

GENERAL COMMERCIAL AND INDUSTRIAL CODE

Complying development under the Commercial & Industrial Code may be carried out on the land.

SUBDIVISION CODE

Complying development under the Subdivision Code may be carried out on the land.

DEMOLITION CODE

Complying development under the Demolition Code may be carried out on the land.

Note: State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 ("SEPP") must be read and applied in conjunction with Pittwater Local Environmental Plan, 1993. In particular, clause 1.18 of the SEPP sets out a number of general requirements that the development must satisfy in order for it to constitute complying development. This includes, at clause 1.18(b), that the development "must be permissible, with consent, in the land use zone in which it is carried out".

COASTAL PROTECTION

EP&A Regulations 2000
Schedule 4 Clause 4

The Council has not been notified by the Department of Services, Technology and Administration that the land is affected by the operation of section 38 or 39 of the Coastal Protection Act 1979.

CERTAIN INFORMATION RELATING TO BEACHES AND COASTS

EP&A Regulations 2000
Schedule 4 Clause 4A

- 1) Council is not aware of any order made under Part 4D of the *Coastal Protection Act 1979* in relation to emergency coastal protection works to the land the subject of this certificate, or on public land adjacent to that land.
- 2) Council has not been notified under section 55X of the *Coastal Protection Act 1979* that emergency coastal protection works have been placed on the land subject of this certificate, or on public land adjacent to that land.
- 3) No land within the coastal zone of the Pittwater local government area has been categorised into risk categories under section 56B of the *Coastal Protection Act 1979*.

ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 1993 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS

EP&A Regulations 2000
Schedule 4 Clause 4B

Council is not aware of any charges under section 496B of the *Local Government Act 1993* for coastal protection services levied upon land the subject of this certificate.

MINE SUBSIDENCE

EP&A Regulations 2000
Schedule 4 Clause 5

The land has not been proclaimed to be a mine subsidence district within the meaning of Section 15 of the Mine Subsidence Compensation Act, 1961.

ROAD WIDENING AND ROAD REALIGNMENT

EP&A Regulations 2000
Schedule 4 Clause 6

- (a) The land is not affected by any road widening or road realignment under Division 2 of Part 3 of the *Roads Act 1993*.
- (b) The land is not affected by any road widening or road realignment under Pittwater Local Environmental Plan 1993.
- (c) The land is not affected by any road widening or road realignment under any resolution of Council.

Further to clause (b) above, the land is not affected by any road widening or road realignment under Draft Pittwater Local Environmental Plan 2013.

Note: The Roads and Traffic Authority may have proposals that are not referred to in this item. For advice about affectation by RTA proposals, contact the Roads and Traffic Authority.

COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS

EP&A Regulations 2000
Schedule 4 Clause 7

Council has adopted a number of policies with regard to various hazards or risks which may restrict development.

The identified hazard or risk and the respective Council policies which affect the property, if any, are listed below.

The property is affected by the following policies adopted by any other planning authority and notified to the Council for the express purpose of its adoption by that authority being referred to in planning certificates that restricts development of the property from the following acid sulphate soils:

Acid Sulfate Soil Manual

Council also has regard to the Acid Sulphate Soil Manual prepared jointly by the Department of Land and Water Conservation and the Department of Urban Affairs and Planning. For further information please contact Council's Natural Resources Unit.

The property is not affected by any other policy adopted by any other planning authority and notified to the Council for the express purpose of its adoption by that authority being referred to in planning certificates that restricts development of the property because of the likelihood of land slip, bushfire, tidal inundation, subsidence or any other risk (other than flooding):

Note 1: The absence of a policy to restrict development of the land because of the likelihood of any other risk does not imply that the land is free from risk. Detailed investigation carried out in conjunction with the preparation or assessment of an application may result in the Council imposing restrictions on development that are not identified above.

Note 2: The Geotechnical Risk Management Policy for Pittwater also applies to certain forms of development as outlined in clause 3.2 (b) (iii) and (iv) of that policy. For your information, see extract below:

3.2 (b) (iii)

Development Applications that include:

- excavations greater than 1 metre deep, the edge of which is closer to the site boundary or a structure to be retained on the site, than the overall depth of the excavation and/or
- any excavation greater than 3 metres deep below the existing surface and/or
- any excavation that has the potential to destabilize a tree capable of collapsing in a way that any part of the tree could fall onto adjoining structures (proposed or existing) or adjoining property and/or
- any fill greater than 1.0 metres and/or
- any works that may be affected by geotechnical processes or which may impact on geotechnical processes including but not limited to construction on sites with low bearing capacity soils.

3.2 (b) (iv)

Utility Companies and Public Authorities including Pittwater Council

- The Geotechnical Risk Management Policy-2007 is to apply to all works by Council or any Authority on public land where identified on the Geotechnical Risk Management Map (P21DCP – BCMDCP083) and subject to Part 4 of the Environmental Planning and Assessment Act requiring the lodgement of a Development Application.
- In relation to other works on public lands and on road reserves subject to Part 5 of the Environmental Planning & Assessment Act, is to be in accordance with Pittwater Council's Geotechnical Risk Management strategy for Council Assets.

FLOOD RELATED DEVELOPMENT CONTROLS INFORMATION

EP&A Regulations 2000
Schedule 4 Clause 7A

The land in question is not subject to flood related development controls for the purposes (where permissible) of dwelling houses, dual occupancies, multi dwelling housing or residential flat buildings.

Also, the land in question is not subject to flood related development controls for any other purpose.

LAND RESERVED FOR ACQUISITION

EP&A Regulations 2000
Schedule 4 Clause 8

This land is not affected by any provisions within Pittwater Local Environmental Plan 1993 that would provide for the acquisition of the land by a public authority, as referred to in section 27 of the Act.

This land is not affected by any provisions within Draft Pittwater Local Environmental Plan 2013 that would provide for the acquisition of the land by a public authority, as referred to in section 27 of the Act.

CONTRIBUTIONS PLANS

EP&A Regulations 2000
Schedule 4 Clause 9

S.94 Plan No. 2 - Open Space Bushland and Recreation

This Plan was approved by Council to levy monetary contributions to ensure that an adequate level of open space, bushland and recreation opportunities are provided as new development occurs.

S.94 Plan No. 3 - Public Library Services

This Plan was approved by Council to levy monetary contributions to meet the recreational and informational needs of the potential incoming population as a result of residential subdivision of land; dual occupancy development; and medium density residential development. This will be achieved by increasing available library resources and equipment and improving the capacity of library infrastructure

S.94 Plan No. 10 - Material Public Benefits and Dedication of Land

This Plan was approved by Council to enable Council to accept a material public benefit (other than the dedication of land or payment of money), and to enable Council to accept a dedication of land where there is a need for public services or public amenities as a result of new development.

S.94 Plan No. 18 - Community Service Facilities

This Plan was approved by Council to levy monetary contributions for the provision of an adequate level of community service facilities to meet the demand as new residential development occurs.

S.94 Plan No. 19 - Village Streetscapes

This Plan was approved by Council to levy contributions towards the provision, extension or augmentation of village streetscapes in Pittwater's main commercial areas which will be required as a consequence of development in the Pittwater Local Government Area.

BIODIVERSITY CERTIFIED LAND

EP&A Regulations 2000
Schedule 4 Clause 9A

Note: Where no information has been provided under the heading "BIODIVERSITY CERTIFIED LAND", then such information is inapplicable to the land the subject of this certificate.

BIOBANKING AGREEMENTS

EP&A Regulations 2000
Schedule 4 Clause 10

Certificate No: e149Pt2/13/0188 Date:15 April 2013

Note: Where no information has been provided under the heading "BIOBANKING AGREEMENTS", then Council is unaware of any such agreement applying to the land the subject of this certificate.

BUSH FIRE PRONE LAND

EP&A Regulations 2000
Schedule 4 Clause 11

This land the subject of this certificate is not identified on a Bush Fire Prone Land map certified by the Commissioner of the NSW Rural Fire Service as being bush fire prone land as per the Rural Fires and Environmental Assessment Legislation Amendment Act 2002 No 67.

PROPERTY VEGETATION PLANS

EP&A Regulations 2000
Schedule 4 Clause 12

Note: Where no information has been provided under the heading "PROPERTY VEGETATION PLANS", then such information is inapplicable to the land the subject of this certificate.

ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006

EP&A Regulations 2000
Schedule 4 Clause 13

Note: Where no information has been provided under the heading "ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006", then such information is inapplicable to the land the subject of this certificate.

DIRECTIONS UNDER PART 3A

EP&A Regulations 2000
Schedule 4 Clause 14

Note: Where no information has been provided under the heading "DIRECTIONS UNDER PART 3A", then such information is inapplicable to the land the subject of this certificate.

SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR SENIORS HOUSING

EP&A Regulations 2000
Schedule 4 Clause 15

Note: Where no information has been provided under the heading "SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR SENIORS HOUSING", then Council is unaware of any such site compatibility certificate applying to the land the subject of this certificate.

SITE COMPATIBILITY CERTIFICATES FOR INFRASTRUCTURE

EP&A Regulations 2000
Schedule 4 Clause 16

Note: Where no information has been provided under the heading "SITE COMPATIBILITY CERTIFICATES FOR INFRASTRUCTURE", then Council is unaware of any such site compatibility certificate applying to the land the subject of this certificate.

SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR AFFORDABLE RENTAL HOUSING

EP&A Regulations 2000
Schedule 4 Clause 17

Certificate No: e149Pt2/13/0188 Date:15 April 2013

Note: Where no information has been provided under the heading "SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR AFFORDABLE RENTAL HOUSING", then Council is unaware of any such site compatibility certificate applying to the land the subject of this certificate.

MATTERS ARISING UNDER THE CONTAMINATED LAND MANAGEMENT ACT 1997

Contaminated Land Management Act 1997
Section 59 (2)

Note: Where no information has been provided under the heading "MATTERS ARISING UNDER THE CONTAMINATED LAND MANAGEMENT ACT 1997", then such information is inapplicable to the land the subject of this certificate.

Persons relying on this certificate should read the environmental planning instruments referred to in this certificate.

The Environmental Planning and Assessment Amending Act 1997 commenced operation on the 1st July 1998. As a consequence of this Act the information contained in this certificate needs to be read in conjunction with the provisions of the Environmental Planning and Assessment (Amendment) Regulation 1998, Environmental Planning and Assessment (Further Amendment) Regulation 1998, Environmental Planning and Assessment (Savings and Transitional) Regulation 1998 and Environmental Planning and Assessment Amendment Regulation 2000.

MARK FERGUSON
General Manager

ANNEXURE "A"

Extract clause 29 Environmental Planning and Assessment (Savings and Transitional) Regulation 1998

29 Certain activities require development consent under amended EP&A Act 1979

- (1) This clause applies to development consisting of:
 - (a) a prescribed activity proposed to be carried out within the area of a council, or
 - (b) the subdivision of land within the area of a council, including development proposed to be carried out in connection with an existing use, but not including development referred to in subclause (2).
- (2) This clause does not apply to development of the kind referred to in subclause (1) that consists of:
 - (a) any activity that, immediately before the appointed day, was specified in item 6 of Part A of the Table to section 68 of the unamended LG Act 1993 (relating to the use and occupation of uncompleted buildings), or
 - (b) any prescribed activity (other than an activity referred to in paragraph (a)) that, immediately before the appointed day, was exempted, excluded or suspended from the requirement for approval under the unamended LG Act 1993:
 - (i) by the *Local Government (Approvals) Regulation 1993*, as in force immediately before the appointed day, or
 - (ii) by a local approvals policy in force under the unamended LG Act 1993 (being a local approvals policy that is still in force at the time the development application for development consent is made), or
 - (iii) by or under the provisions of any Act, including the provisions of an environmental planning instrument of a kind referred to in section 28 of the unamended EP&A Act 1979, or
 - (c) any subdivision of land that, immediately before the appointed day, was exempted from the requirements for approval under the repealed LG Act 1919 by or under the provisions of that or any other Act, including the provisions of an environmental planning instrument of a kind referred to in section 28 of the unamended EP&A Act 1979, or
 - (d) any development:
 - (i) carried out by the Crown, or
 - (ii) carried out by any person prescribed by the amended EP&A Regulation 1994 for the purposes of section 115M of that Act (as referred to in section 115H (a) of that Act) in relation to Crown building work, being development that, immediately before the appointed day, constituted an activity within the meaning of Part 5 of the unamended EP&A Act 1979,
 - (d1) any development consisting of the demolition of a building or work:
 - (i) carried out by the Crown, or
 - (ii) carried out by any person prescribed by the amended EP&A Regulation 1994 for the purposes of section 115M of that Act (as referred to in section 115H (a) of that Act) in relation to Crown building work,
 - (d2) any development consisting of subdivision:
 - (i) carried out by the Crown, or
 - (ii) carried out by any person prescribed by the amended EP&A Regulation 1994 for the purposes of section 115M of that Act (as referred to in section 115H (a) of that Act) in relation to Crown building work,
 - (d3) any non-structural alterations to a building:
 - (i) carried out by the Crown, or
 - (ii) carried out by any person prescribed by the amended EP&A Regulation 1994 for the purposes of section 115M of that Act (as referred to in section 115H (a) of that Act) in relation to Crown building work,
 - (e) any prohibited development, or
 - (f) (Repealed)
 - (g) any activity within the meaning of Part 5 of the Act:
 - (i) in respect of which an application for approval to a determining authority within the meaning of that Part has been made, but not finally determined, immediately before the appointed day, or
 - (ii) which was approved by a determining authority within the meaning of that Part before the appointed day and that commences pursuant to that approval not later than 3 years after the appointed day.
- (3) Development to which this clause applies may not be carried out except with development consent.
- (4) Development consent may not be granted in relation to development for a prescribed activity that involves the erection of a building unless the requirements of Division 4 of Part 1 of Chapter 7 of the unamended LG Act 1993 have been complied with.
- (5) The requirements relating to the notification of proposed development under the amended EP&A Act 1979 (including any requirements applied by clause 32 (1)) do not apply to a development application for development for which the requirements referred to in subclause (4) are required to be complied with.
- (6) Subclauses (4) and (5) apply only if a local approvals policy (being a local approvals policy with respect to the notification of applications for approvals) is in force under the unamended LG Act 1993 at the time the development application for development consent is made.
- (7) This clause has effect:
 - (a) despite the existing provisions of an existing EPI, and
 - (b) despite any rezoning of land (whether effected by existing or new provisions of an existing EPI or otherwise), but is otherwise subject to the provisions of any new EPI and to any new provisions of an existing EPI.
- (7A) Nothing in this clause requires development consent to be obtained for any development for which development consent is required to be obtained otherwise than by operation of this clause.
- (8) The consent authority for the purposes of development to which this clause applies is the council unless, by or under the Act, some other person is the consent authority for the purposes of that development.
- (9) Despite Part 9 of the amended EP&A Regulation 1994, the fee for an application to carry out development of the kind to which this clause applies, being the erection of a building within the meaning of the unamended LG Act 1993, is the fee determined in accordance with an order under clause 33.
- (10) (Repealed)
- (11) This clause ceases to have effect on 1 July 2001.

Home Warranty Insurance
Certificate of Insurance

Policy Number BNR043344BWI-54



Home Warranty
Insurance Fund

QBE Insurance (Australia) Ltd
Level 3, 85 Harrington St
SYDNEY NSW 2000
Phone: 1300 790 723
Fax: 02 8275 9330
ABN: 78 003 191 035
AFS License No: 239545



SIMON & MEGAN TERRY
224 LOWER PLATEAU ROAD
BIGOLA NSW 2107

Name of Intermediary
WILLIS (METRICON HOMES)
GPO BOX 956
MELBOURNE VIC 3001

Account Number
BNWMETRIC
Date Issued
15/04/2013

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 has been issued by QBE Insurance (Australia) Limited as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

In Respect of	NEW SINGLE DWELLING CONSTRUCTION CONTRACT
At	652673 LOT 10,12 OLD BARRENJOEY ROAD AVALON BEACH NSW 2107
Carried Out By	BUILDER METRICON HOMES PTY LTD ABN: 55 201 276 124
Declared Contract Price	\$575,207.00
Contract Date	10/04/2013
Builders Registration No.	U 174699C
Building Owner / Beneficiary	SIMON & MEGAN TERRY

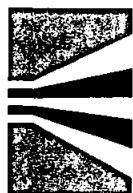
Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to the Building Owner/Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

Signed for and on behalf of NSW Self Insurance Corporation (SICorp)

Ty Ayscough

IMPORTANT NOTICE:

In addition to this certificate of insurance, a policy wording which outlines the terms and conditions of the cover provided is available from the HWIF website. To access that policy wording visit www.homewarranty.nsw.gov.au



LOCAL

RECORD OF SITE INSPECTION

P.O. Box 7321
BAULKHAM HILLS NSW 2153
P: 1300 368 534
F: 02 9836 5722
E: info@localgroup.com.au

Date of Application: 23 May 2013

Our Reference: 8011860

Subject Land: LOT: 10
DP: 27698
12 OLD BARRENJOEY ROAD
AVALON BEACH NSW 2107

Date of Inspection: 27 May 2013

This document is to serve as a record of the inspection carried out in relation to the development above, as required by Clause 129C of the Environmental Planning and Assessment Regulation 2000.

INSPECTION DETAILS

Do the plans and specifications accompanying the Complying Development Certificate application adequately and accurately depict the conditions of any affected existing building?

☒ YES ☐ NO

Are there any features of the site, or of any building on the site that would result in the proposed development not being complying development?

☐ YES ☒ NO

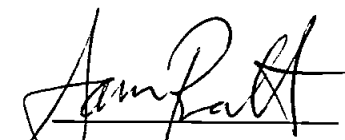
Are there any features of the site, or of any building on the site that would result in the proposed development not complying with the Building Code of Australia?

☐ YES ☒ NO

Details of Existing Fire Safety Measures Attached:

☐ YES ☒ N/A

This document will accompany any Complying Development Certificate issued in relation to this development in accordance with the requirements of Clause 130(4)(d) of the Environmental Planning and Assessment Regulation 2000. This document should not be misconstrued as a Compliance Certificate. Should additional information be required in relation to this matter, please contact the undersigned during office hours at your convenience.


Sam Pratt

Accredited Certifier
Building Professionals Board
BPB0732

27 May 2013

Date

Levy - 652673 - May



27 May 2013

METRICON HOMES
PO BOX 7510
NORWEST BUSINESS PARK NSW 2153

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

Levy Receipt

Receipt No.

00138477

Received from: (Name of person or organisation paying for levy)

the amount of

METRICON HOMES

\$2,013.00

Payment details:

Cheque 004686 \$2,013.00 METRICON HOMES P/L

being payment for Long Service Levy as detailed below

Levy Payment Form number	0326483
Council/Department/Authority	PITTWATER COUNCIL
C.D.C. Number	CDC8011860
Work address	12 OLD BARRENJOEY ROAD AVALON BEACH NSW 2107
Estimated value of work	\$575,207.00
Levy payable (No exemption)	\$2,013.00
Total levy paid	\$2,013.00
Credit Card Surcharge (non-refundable)	\$0.00
Total Amount Paid	\$2,013.00

Signed: (Signature of authorised person)

Lynette Page

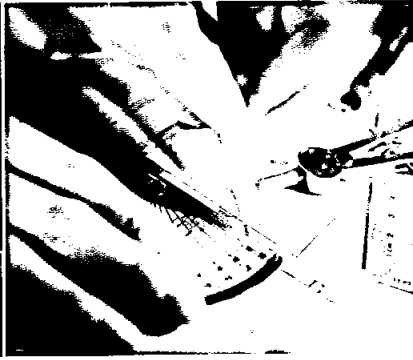
Date

27 MAY 2013



members
best in the business

General Housing Specifications



ADDRESS OF PROPERTY :

Lot 1000 Barrenjoey Rd
Avalon Beach

GENERAL HOUSING SPECIFICATIONS BETWEEN :

OWNER:

Mr & Mrs Terry

AND

CONTRACTOR:

Meticon
174699C

CONTRACTOR LICENCE NO:

HIA GENERAL HOUSING SPECIFICATIONS - NSW
(INCORPORATING THE HIA GUIDE TO MATERIALS & WORKMANSHIP)
REVISED SEPTEMBER 2012

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This is the Specification referred to in the *Contract* No..... Date:.....

Owner 1

Name:				
Owner's Signature:			Date:	
Witness's name:			Witness's signature:	

Owner 2

Name:				
Owner's Signature:			Date:	
Witness's name:			Witness's signature:	

Builder

Name:				
Builder's Signature:			Date:	
Witness's name:			Witness's signature:	

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**HIA GENERAL HOUSING SPECIFICATIONS - NSW
(INCORPORATING THE HIA GUIDE TO MATERIALS & WORKMANSHIP)
REVISED SEPTEMBER 2012**

1. INTRODUCTION

1.1 General

This Specification forms part of the *Contract* documents referred to in the building *Contract* and details the works to be executed and the materials to be used in carrying out those works at the site.

This Specification is to be read as a general specification only. The extent of the works shall be governed by the approved plans and other requirements under the *Contract*.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with the *National Construction Code (NCC) Series*, the relevant manufacturer's instructions or *Engineer's Instructions*.

1.2 Preliminary Use

This Specification forms part of the *Contract* and should be read in conjunction with the other contract documents.

1.3 Prevailing Documents

Where there is a difference between the plans and this Specification, this Specification shall take precedence. The *Builder* must at all times maintain a legible copy of the plans and this Specification bearing the approval of the relevant *Local Authority*.

Otherwise to the extent of any conflict between documents, the order of precedence set out in the building contract shall apply.

1.4 Size and Dimensions

Unless otherwise stated, all dimensions given in this specification are in millimetres and are nominal only.

1.5 Prime Cost and Provisional Sum Items

Prime Cost and Provisional Sums Items are items that the Owner is to select after the contract has been entered into. The prices listed are the Builder's reasonable estimate of the "cost price" of those items including GST. The prices listed do not include unquantifiable components including the "Builder's margin", cost of cartage and freight.

1.6 Definitions

In this Specification the following definitions shall apply:

- "NCC" Series includes NCC Series Volume 2, "Building Code of Australia Class 1 and Class 10 Buildings also known as the 'Housing Provisions', NCC Series Volume 3 Plumbing Code of Australia is also included.

- "*Engineer's Instruction* " includes any soil classification report, preliminary footings report, construction footings report and any other report, recommendation, site or other instruction, calculations or plans prepared by an engineer in respect of the works.
- Where the term "*Local Authority*" is mentioned it shall mean the local council, or other governing authority or private certifier with statutory responsibility for the compliance of the work performed.
- Where referred to in this Specification, "*Regulations*" shall mean the building *Regulations* and Codes (including the *NCC*, as amended) statutorily enforceable at the time application is made for a construction certificate or other permits, consents or approvals relating to the *Contract*.
- The "*HIA Guide*" means the HIA Guide to Materials & Workmanship for Residential Building Work.

Unless the context suggests otherwise, terms used in this Specification shall have the same meaning as in the HIA Building Contract between the *Owner* and the *Builder* ("*Contract*").

2. STATUTORY REQUIREMENTS

2.1 The Building Works

The building works outlined in the Schedule of Works, annexed to this Specification, shall be constructed in accordance with:

- the *Regulations* and in particular the Performance Requirements referred to in the *NCC*, Housing Provisions, Volume 2;
- any conditions imposed by the relevant development consent or complying development certificate; and
- commitments outlined in the BASIX Certificate

2.2 Compliance with Requirements of Authorities

The *Builder* is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the *Home Building Act*.

2.3 Electricity

Where there is no existing building, the *Builder* is to make arrangements for any electrical power to be used in the construction of the building works. The cost of providing and installing any poles, wiring, service risers or underground wiring etc, as may be required by the electricity supply authority, shall be borne by the *Owner*.

2.4 Sanitary Accommodation

Prior to the commencement of the building works, unless toilet facilities exist on the site, the *Builder* shall provide temporary toilet accommodation for the use of site personnel. Where the *Local Authority* requires the temporary toilet to be connected to sewer mains, the cost of this work shall be borne by the *Owner*. On completion the *Builder* shall remove the convenience.

3. OWNER'S OBLIGATIONS

3.1 Engineer's Instructions

If the *Contract* indicates, the *Owner*, at their expense, shall provide the *Builder* with engineer's reports and specifications (including wind and soil classifications) for the foundation or footing requirements.

In these circumstances, if the *Builder* instructs any party to provide such reports, the *Builder* does so only as agent for the *Owner*.

3.2 Water Supply

Where there is no existing building on the site, the *Owner*, at their expense, shall supply adequate water to the site for construction purposes. The contract documents must include all details for management of water providing clarity for the *Owner* and *Builder* regarding items such as rainwater tanks, septic systems and the like.

3.3 Sanitation

Unless otherwise specified the *Owner* shall supply sewerage connection and pay the standard sewer connection fee to the sewerage supply authority.

4. PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Subject to a contrary requirement under the *Contract*, the *Builder* shall lodge all necessary application notices, plans and details with the *Local Authority* for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mine subsidence, the appropriate authority is to be consulted and any work carried out in accordance with the authority's requirements.

4.3 Setting Out

The *Builder* shall accurately set out the building works in accordance with the site plan and within the boundaries of the site.

5. EXCAVATIONS

5.1 Excavations

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan.

Top soil shall be cut to a depth sufficient to remove all vegetation.

Excavations for all footings shall be in accordance with the *Engineer's Instructions* or the *NCC* requirements.

6. FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with the *NCC*.

6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with the *NCC*.

6.3 Vapour Barrier

The vapour barrier installed under slab-on-ground construction shall be installed in accordance with the *NCC*.

6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with the *Engineer's Instructions* and the *NCC*.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete placement.

6.5 Concrete

Except where otherwise approved by an engineer, structural concrete shall be in accordance with the *NCC*. Pre-mixed concrete shall be manufactured in accordance with the *NCC* with delivery dockets kept on site or available for inspection by the engineer, or the *Local Authority*.

Concrete shall be placed and compacted in accordance with good building practice and the *NCC*.

6.6 Curing

All concrete slabs shall be cured in accordance with the *NCC*.

6.7 Footings and Slabs on Ground

Concrete slabs and footings shall not be placed until approval to do so is given by the engineer or the *Local Authority*.

Unless otherwise specified bench and floor levels indicated on the site plan shall be regarded as nominal.

6.8 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the *Engineer's Instructions*.

6.9 Foundation Walls

Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the height of the underside of the floor bearer or bottom wall plate.

6.10 Sub-Floor Ventilation

All sub floor spaces to suspended ground floors shall be provided with adequate ventilation in accordance with the *NCC*.

6.11 Sub-Floor Access

Where required, access to suspended sub floor areas shall be located as indicated on the plan.

7. RETAINING WALLS

7.1 Retaining Walls

Where the *Builder* is required by the Schedule of Works annexed to this Specification, the *Builder* shall construct retaining walls as shown on the approved plans. Where a retaining wall is not included in the Schedule of Works, the construction of any retaining wall shall be the responsibility of the *Owner*.

8. EFFLUENT DISPOSAL/DRAINAGE

8.1 Effluent Disposal/Drainage

In both sewered and unsewered areas:

- (a) Any bath, wash basin, kitchen waste, wash tubs, pedestal pan and the floor grate to a shower recess shall be located in the position shown on the plan (refer to Schedule of Works); and
- (b) waste pipes with traps shall be provided to the above fittings and connected to the drainage system.

The whole of the work is to be performed in accordance with the *NCC* and requirements of the sewerage authority concerned.

8.2 Septic System

The *Builder* will provide and install a septic system where applicable to the requirements of the *Local Authority* and in accordance with the manufacturer's instructions.

8.3 Storm Water Drainage

Stormwater drainage shall be carried out in accordance with the *NCC*.

The *Builder* will allow for the supplying and laying of stormwater drains as shown on the site plan.

9. TIMBER FRAMING

9.1 Generally

All timber framing shall comply with the *NCC*, alternative structural framing shall be to structural engineer's details and certification.

Timber Engineered products may be used provided their design comply with the *NCC* and they are installed in accordance with the manufacturer's instructions.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

9.1.1 Floor Framing

All floor framing is to be framed at the level shown on the plan.

9.1.2 Wall Framing

Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab.

The interface between masonry and wall framing will conform with the *NCC*.

9.1.3 Heads Over Opening (Lintels)

- All solid timber lintels shall conform to the *NCC*.
- Glue laminated beams conforming to AS 1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may also be used.

9.1.4 Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and be erected, fixed and braced in accordance with the manufacturer's instructions.

9.1.5 Bracing

Bracing units shall be determined and installed in accordance with the *NCC* as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.

9.1.6 Flooring

Strip and sheet timber floors shall be installed in accordance with the *NCC*.

The selection, installation and waterproofing of wet area floors shall conform to the *NCC* when listed in Schedule of Works. Where specified in the contract floors shall be sanded to provide an even surface and shall be left clean throughout.

9.1.7 Roof Framing

Roofs shall be pitched to the slope shown on plan.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of the *NCC*.

9.1.8 Timber Posts

Unless otherwise specified and where required by the *NCC* posts supporting carports, verandas and porches shall be timber suitable for external use.

9.2 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with the *NCC*.

9.3 Hot Water Storage Units

Where a hot water storage unit or solar panels are supported by the roof structure the structure shall be specifically designed to support all imposed loads.

10. STEEL FRAMING

10.1 Generally

Steel framing shall be installed in accordance with the manufacturer's recommendations and the *NCC*.

11. ROOFING CLADDINGS

All roof cladding is to comply with the relevant structural performance and weathering requirements of the *NCC* and be installed as per the manufacturer's specifications.

11.1 Tiled Roofing

The *Builder* shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with the *NCC*. Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Metal Roofing

The *Builder* shall provide and install a metal roof together with accessories as determined in the contract documents in accordance with the *NCC* and the manufacturer's recommendations.

Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed.

11.3 Gutters and Downpipes

Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with the *NCC*.

11.4 Corrosion protection

Materials used for flashings, fasteners, gutters and downpipes shall be compatible.

11.5 Sarking

Sarking under roof coverings must comply with and be fixed in accordance with the *NCC*.

11.6 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.7 Flashing

Flashings shall comply with, and be installed in accordance with the *NCC*.

12. MASONRY

12.1 Bricks

All masonry construction and units shall comply with the *NCC*.

Tolerances shall only be applied to the total measurements over 20 units, and not to the individual units. As clay masonry units are natural kiln fired products their individual size may vary due to the manufacturing process.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with the *NCC*. Concrete blockwork shall be constructed in accordance with the *NCC*.

Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with the *NCC*.

The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.

12.4 Cavity Ventilation (Weepholes)

Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with the *NCC*.

12.5 Mortar and Joining

Mortar and joint tolerances shall comply with the *NCC*.

12.6 Masonry Accessories

Masonry accessories shall comply with the *NCC* and accepted building practices. Articulated joints shall be constructed in accordance with the *NCC*.

12.7 Lintels

Lintels used to support masonry above openings in walls must be suitable for the purpose as required by the *NCC*. Lintels are to be provided to each wall leaf and are to be corrosion protected appropriate for the site environment and location of the lintel within the structure in accordance with the *NCC*.

12.8 Cleaning

All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13. CLADDING AND LININGS

13.1 External Claddings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches.

13.2 Internal Wall and Ceilings Linings

Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards.

Plasterboard sheets are to be of a minimum 10 mm thick with recessed edges to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling.

Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively the joint may be set as required for vertical internal angles.

Wet area linings are to be fixed in accordance with the manufacturer's recommendations.

The ceiling access hole shall be of similar material to the adjacent ceiling.

13.3 Waterproofing

All internal wet areas are to be waterproofed in accordance with the NCC. External tiled decks and balconies where required are to be waterproofed in accordance with the NCC and relevant manufactures specifications.

14. JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.

14.2 Door Frames

External door frames shall be suitable for the expose conditions and to receive doors. Internal jamb linings shall be suitable to receive doors as specified in the contract documents. Manufactured door frames shall be installed in accordance with the manufacturer's instructions.

14.3 Doors and Doorsets

All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.

14.4 Window and Sliding Doors

Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS 2047.

All glazing shall comply with the NCC and any commitments outlined in the relevant BASIX Certificate.

14.5 Architraves and Skirting

Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with accepted building practice.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Where required stairs or ramps to any change in levels shall be provided and balustrades or barriers fitted in accordance with the *NCC*.

15. SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the *NCC* Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber.

Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications.

Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.

15.2 Electrical

All electrical work is to be carried out by a licensed electrical contractor to AS/NZS 3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents.

Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority.

15.4 Smoke Detectors

Smoke alarms shall be installed in accordance with the *NCC*.

15.5 Thermal Insulation

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the *NCC* or as outlined in the relevant BASIX Certificate.

16. TILING

16.1 Materials

Tiles shall be as listed in the Schedule of Works or as selected by the *Owner*.

Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's specifications.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.1 or the manufacturer's recommendations and accepted building practices.

Where practicable, spacing between tiles should be even and regular.

Expansion joints shall be installed in accordance with AS 3958.1 or the tile manufacture's specifications.

All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with flexible mould resistant sealant.

All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice.

As tiles are made of natural products a slight variation in colour is acceptable.

Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

16.3 Walls

Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

16.4 Floors

Floors shall be tiled to areas where indicated by the contract documents with selected tiles. Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or metal angle to exposed edges in doorways or hob-less showers in wet areas shall be provided in accordance with the *NCC*.

Where required, adequate falls shall be provided to wastes in accordance with the *NCC*.

17. PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Schedule of Works or other relevant contract document. All surfaces to be painted shall be properly prepared to manufacturer's instructions.

18. WORKMANSHIP STANDARDS AND TOLERANCES

18.1 General

These general specifications incorporate the *HIA Guide*. By agreeing to these specifications, the *Owner* agrees that he/she has been provided with a copy and has had the opportunity to read the *HIA Guide*.

The *HIA Guide* is to be used by the *Builder* and *Owner* as a point of reference for information on workmanship standards and tolerances, and amongst other things, in deciding whether an alleged defect exists and/or whether the materials used and/or workmanship is in accordance with the plans and specifications.

The parties agree to use the *HIA Guide* in precedence over any other non-legislated guide to standards and tolerances.

ANNEXURE
Schedule of Works

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www.hia.com.au



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EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

DEMOLITION REQUIREMENTS

SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.

BUILDING ADJACENT SEWER SEWER REGOUT AND DETAILS REQUIRED

LOT 9

EXISTING RETAINING WALL TO REMAIN _____

1350MM (H) DEFENDED EDGE BEAM _____

PROVIDE CONC. LAN STEPS & BALUSTRA BY METRICON _____

LOCATION OF 2ND 500Z SLIMLINE ABOVE GROUND RAINWATER TANK(S) TO MEET OSD. REQUIREMENTS

CUT RAINWATER TANK PLATFORM LEVEL TO RL 26.145 _____

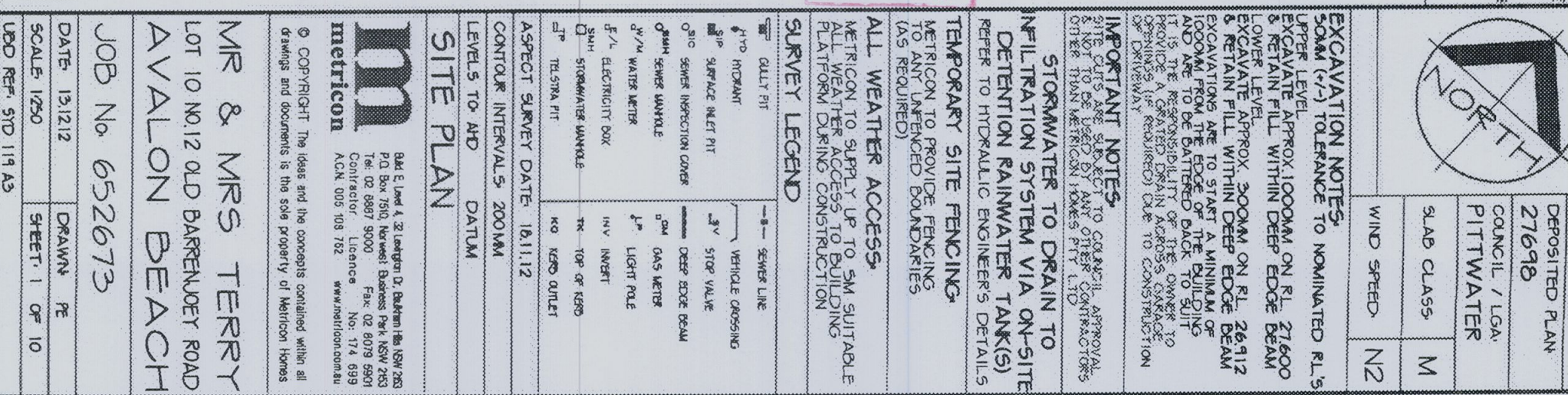
APPROX LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER



LOCATION OF RETAINING WALL BY METRICON _____

DRIVEWAY GRATED DOWN CROSSOVER AND FRONT ENTRY PATH TO BE THE RESPONSIBILITY OF THE OWNER AFTER HANDOVER

H/D 238

EXISTING CROSSOVER TO REMAIN _____



		DEPOSITED PLAN 27698	
COUNCIL / LGA. PITTWATER		SLAB CLASS M	
WIND SPEED N2		EXCAVATION NOTES: 50MM (+/-) TOLERANCE TO NOMINATED R.L.'S UPPER LEVEL EXCAVATE APPROX. 1000MM ON R.L. 27600 & RETAIN FILL WITHIN DEEP EDGE BEAM LOWER LEVEL EXCAVATE APPROX. 300MM ON R.L. 26912 & RETAIN FILL WITHIN DEEP EDGE BEAM EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SLOTT IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRADED DRAIN ACROSS CARPARK OR OTHERWISE REQUIRED DUE TO CONSTRUCTION OR OTHERWISE	
IMPORTANT NOTES: SITE CUTS ARE SUBJECT TO CORRECTION. APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD			
STORMWATER TO DRAIN TO INFILTRATION SYSTEM VIA ON-SITE DETENTION RAINWATER TANK(S) REFER TO HYDRAULIC ENGINEER'S DETAILS			
TEMPORARY SITE FENCING METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)			
ALL WEATHER ACCESS. METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION			
SURVEY LEGEND			
1. GULLY PIT 2. RIDGANT 3. SURFACE INLET PIT 4. SEWER INSPECTION COVER 5. SEWER MANHOLE 6. WATER METER 7. F/L ELECTRICAL BOX 8. STORMWATER MANHOLE 9. TELESTRA PIT	10. SEWER LINE 11. VEHICLE CROSSING 12. STOP VALVE 13. DEEP EDGE BEAM 14. GAS METER 15. LIGHT POLE 16. INV INVERT 17. TR - TOP OF ROAD 18. NO ZERO OUTLET		
ASPECT SURVEY DATE 18/11/12 CONTOUR INTERVAL 5 200MM LEVELS TO AHD DATUM			
SITE PLAN			
 944 E. Lindt A, 32 Longford Dr, Bakers Hill NSW 2653 PO Box 7510, Northwest Business Park, NSW 2653 Tel: 02 9887 9000 Fax: 02 8079 6901 Contractor Licence No: 174 699 A/CN 005 103 702 www.metricon.com.au			
© COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes			
MR & MRS TERRY LOT 10 NO.12 OLD BARENDEY ROAD AVALON BEACH JOB No. 6522673			
DATE 13/12/12	DRAWN PE		
SCALE 1:250	SHEET 1 OF 10		
UNDO REF. 510 119 A3			

LOT NO.	10
DEPOSITED PLAN	27698
COUNCIL / LGA	PITTWATER
SLAB CLASS	M
WIND SPEED	N2

This information relates to
 Construction/Complying Development Certificate
 8011860
 Issued by Paul Morgan (02) 9836 5711
 Registering Professionals Board (BP60276)

ASPECT SURVEY DATE	18.11.12
CONTOUR INTERVALS	200MM
LEVELS TO	AD DATUM
BASIX COMMITMENTS	

m
metricon
 Bld E Level 4, 42 Leighton Dr, Bakkara Hills NSW 2653
 P.O. Box 7510, Northwest Business Park NSW 2653
 Tel: 02 8887 9000 Fax: 02 8079 5901
 Contractor Licence No: 174 699
 A.C.N. 005 108 752 www.metricon.com.au

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MR & MRS TERRY
 LOT 10 NO.12 OLD BARRENOUEY ROAD
 AVALON BEACH

JOB No. 652673

DATE	22.05.13	DRAWN	JN
SCALE	--	SHEET	ID OF 10
UDO REF.	STD 119 A3		

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method				
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or if the development is exempt from the requirement to apply for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.				
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.				
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the Cooling and Heating Loads shown on the front page of this certificate.				
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, and the Assessor Certificate must be accompanied by the application for a construction certificate (or complying development certificate, if applicable), all thermal performance calculations set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.				
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.				
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.				
Floor and wall construction	Area			
Floor - concrete slab on ground	All or part of floor area square metres	✓	✓	✓

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.				
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.				
The applicant must install a fixed outdoor clothes drying line as part of the development.				

Schedule of BASIX commitments				
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.				
Water Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures				
The applicant must install showerheads with a minimum rating of 3 star (≥ 7.5 but <= 9 L/min) in all showers in the development.				
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.				
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.				
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.				
Alternative water				
Rainwater tank				
The applicant must install a rainwater tank of at least 3400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.				
The applicant must configure the rainwater tank to collect rain runoff from at least 235 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).				
The applicant must connect the rainwater tank to:				
<ul style="list-style-type: none"> all toilets in the development the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with possible water supply.) 				

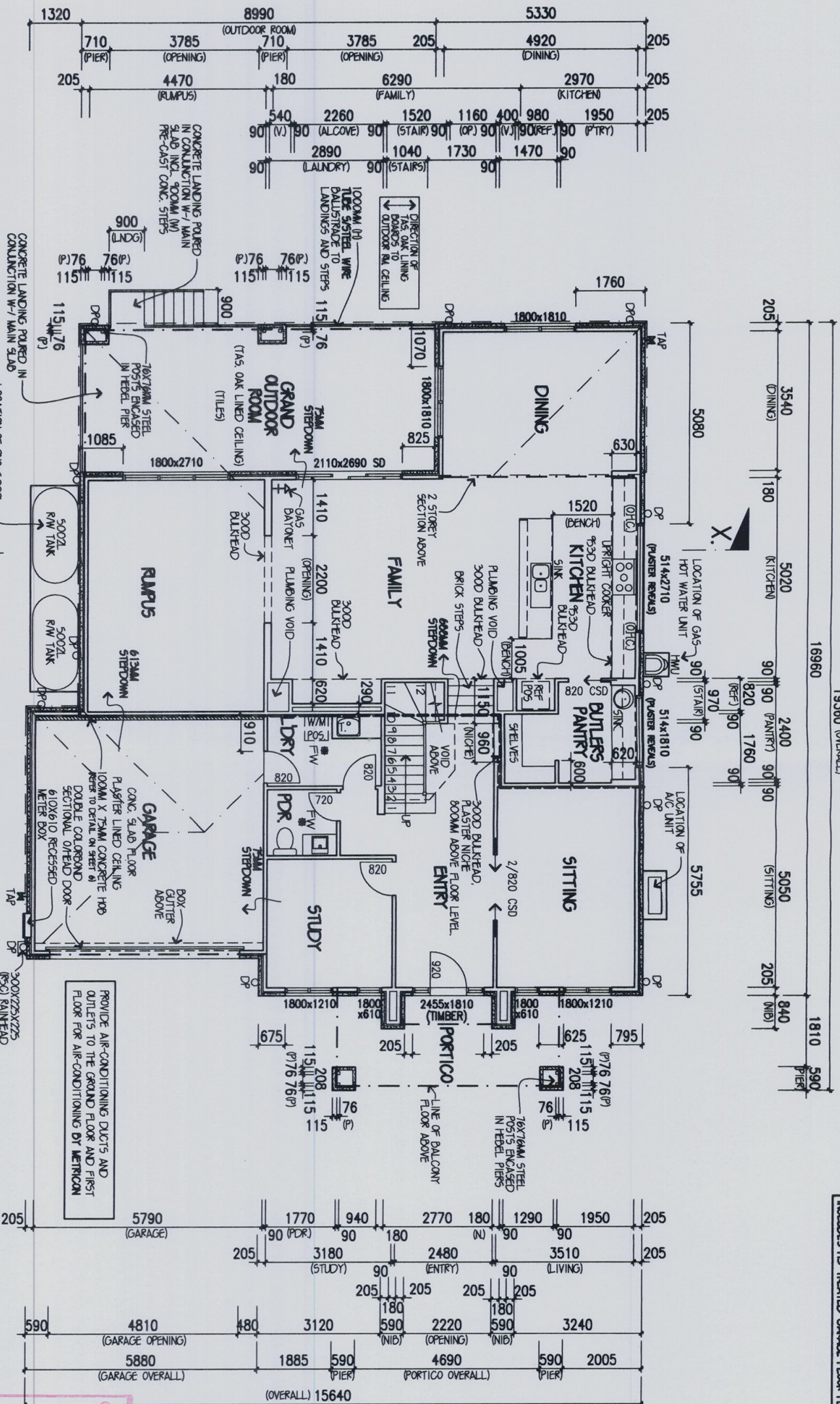
Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water				
The applicant must install the following hot water system in the development, or a system with a higher energy rating, gas storage with a performance of 5 stars.				
Cooling system				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0				
The cooling system must provide for day/night zoning between living areas and bedrooms.				
Heating system				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5				
The heating system must provide for day/night zoning between living areas and bedrooms.				
Ventilation				
The applicant must install the following exhaust systems in the development:				
At least 1 Bathroom: individual fan, ducted to outside or roof; Operation control: manual switch on/off				
Kitchen: individual fan, ducted to outside or roof; Operation control: manual switch on/off				
Laundry: individual fan, ducted to outside or roof; Operation control: manual switch on/off				
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.				
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.				
Other				



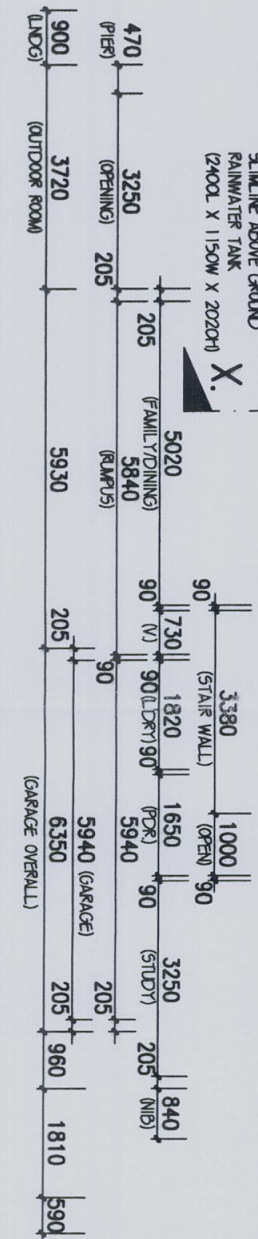
19360 (OVERALL)

PROVIDE WHITE ANT
TREATED FRAME
INCLUDES 10 TREATED GARAGE FLOOR PLATE

HEBEL PANEL
CONSTRUCTION



GROUND FLOOR PLAN 1:125



*NOTES:
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
*WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
*ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4055-1992 FOR WINDLOADING.
*WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
*GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.
*ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.8.3.

VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):		AREAS:	
No:	Date:	GRD FLR:	17631 SQM
VOX	XX	1ST FLR:	13000 SQM
VOX	XX	PORCH:	1291 SQM
VOX	XX	BALCONY:	1027 SQM
VOX	XX	OUTDOOR RM:	33.44 SQM
VOX	XX	SUBTOTAL:	30631 SQM
VOX	XX	TOTAL:	40009 SQM
VOX	XX		4307 SQM

DESIGN: NEWHAVEN 33
FACADE: RESORT
CEILING: 25.1
GARAGE: DOUBLE
LOCATION: J
FLOOR PLAN
METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.

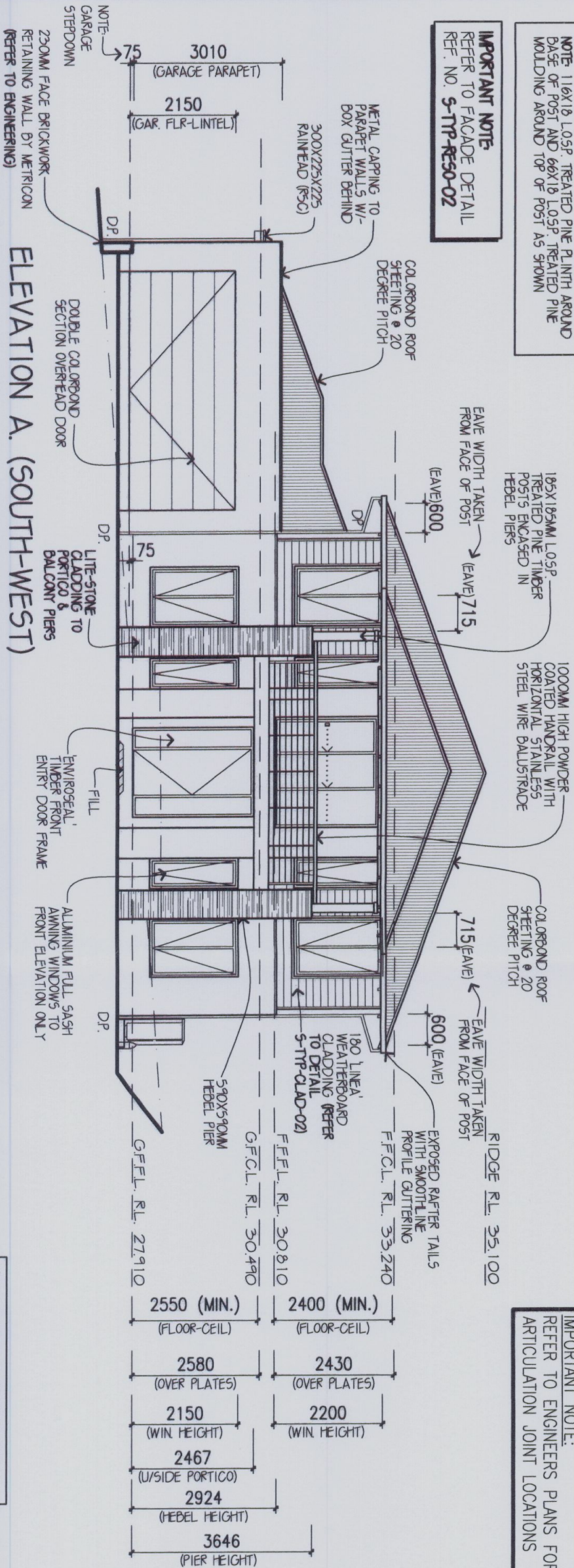
DESIGNER
by metricon
metricon
Bld E, Level 4, 22 Langdon Dr, Bulkrum Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699
www.metricon.com.au

OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARRADEY ROAD,
AVALON BEACH
JOB NO: 652673
DATE: 24.01.13
F.C. DATE: MST VER: P 20 SEPT 2010
PERMIT No:
DRAWN: CADOKRAFT
CHECKED: SA
SHEET: 2 of 10

This information relates to
Construction/Complying Development Certificate's
8011860
Issued by Paul Morgan (02) 9836 5711
E: jk@pmp.com.au
B: jk@pmp.com.au

NOTE: 116X18 L.O.S.P. TREATED PINE PLINTH AROUND BASE OF POST AND 66X18 L.O.S.P. TREATED PINE MOLDING AROUND TOP OF POST AS SHOWN

IMPORTANT NOTE
REFER TO FACADE DETAIL
REF. NO. S-TTP-RE50-02



ELEVATION A. (SOUTH-WEST)

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR ARTICULATION JOINT LOCATIONS

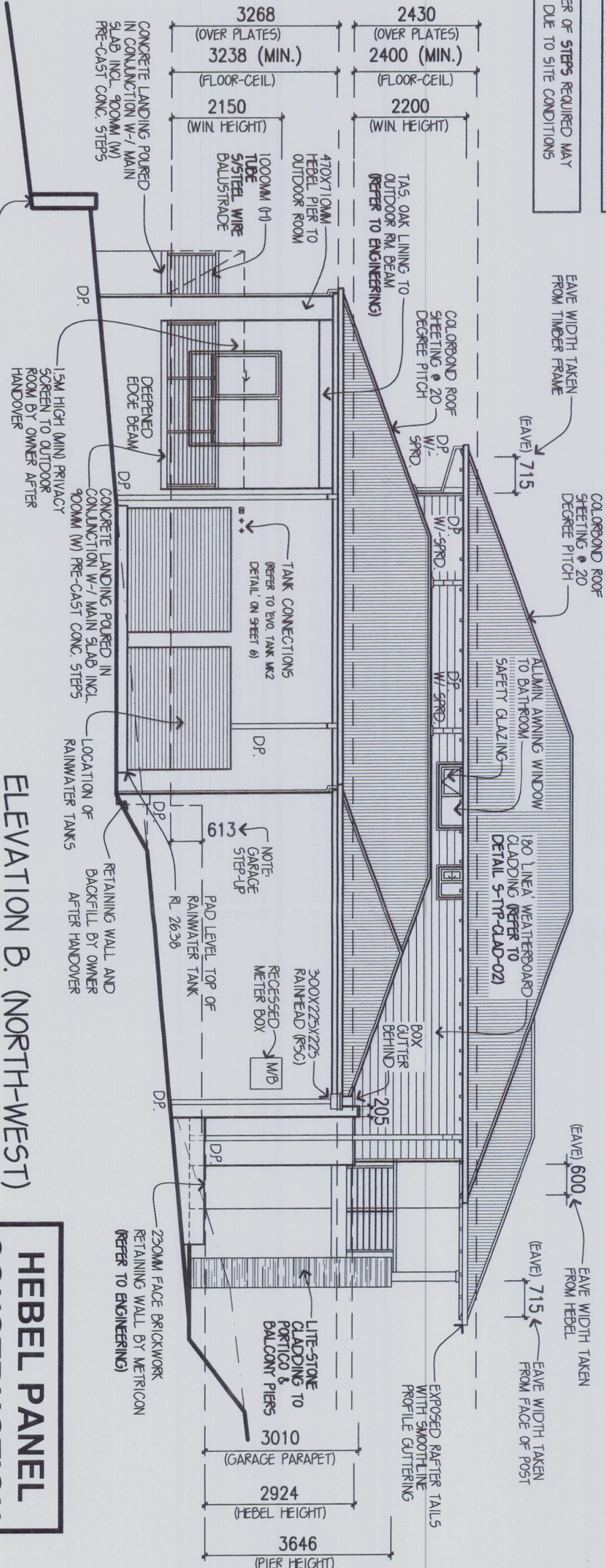
NOTES:
* WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
* ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
* WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
* PROVIDE PROTECTION TO ALL WINDOWS IN ACCORDANCE WITH B.C.A. 3.9.2.5 2013

This information relates to
Construction/Combining Drawn/Variant Certificates
8011860
Issued by Paul Morgan (02) 9836 5711
Building Professionals Board (BPB0276)

PROVIDE ACRYLIC RENDER FINISH TO
HEBEL PANELS TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY
VARY DUE TO SITE CONDITIONS



ELEVATION B. (NORTH-WEST)

HEBEL PANEL
CONSTRUCTION

ELEVATIONS 1:100

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FORBIDDEN AND WILL BE PROSECUTED.

ELEVATIONS

DESIGN: **NEWHAVEN 33**
FACADE: **Resort** CEILING: **23.1**
GARAGE: **DOUBLE** LOCATION: **J**

DESIGNER
by metricon

metricon
Bldg E, Level 4, 32 Lavergnia Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Northwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 6993
A.C.N. 005 108 752 www.metricon.com.au

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OWNER: **MR & MRS TERRY**
LOT 10 NO.12 OLD BAREHEAD ROAD,
AVALON BEACH

JOB NO: **652673** DATE: **24.01.13**

F.C. DATE: MST VER: **P 20 SEP 2010**

PERMIT No:

DRAWN: CAODRAFT CHKD: SA

SHEET: 4 of 10

NOTES:

- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
- * ALL GLAZING TO COMPLY WITH A.S. 1288 – 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 – 1992 FOR WINDLOADING.
- * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- * PROVIDE PROTECTION TO ALL WINDOWS IN ACCORDANCE WITH B.C.A. 3.9.2.5 2013

ELEVATIONS

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IN

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OWNER: MR & MRS TERR
LOT 10 NO.12 OLD BARENDEY ROAD
AVALON BEACH

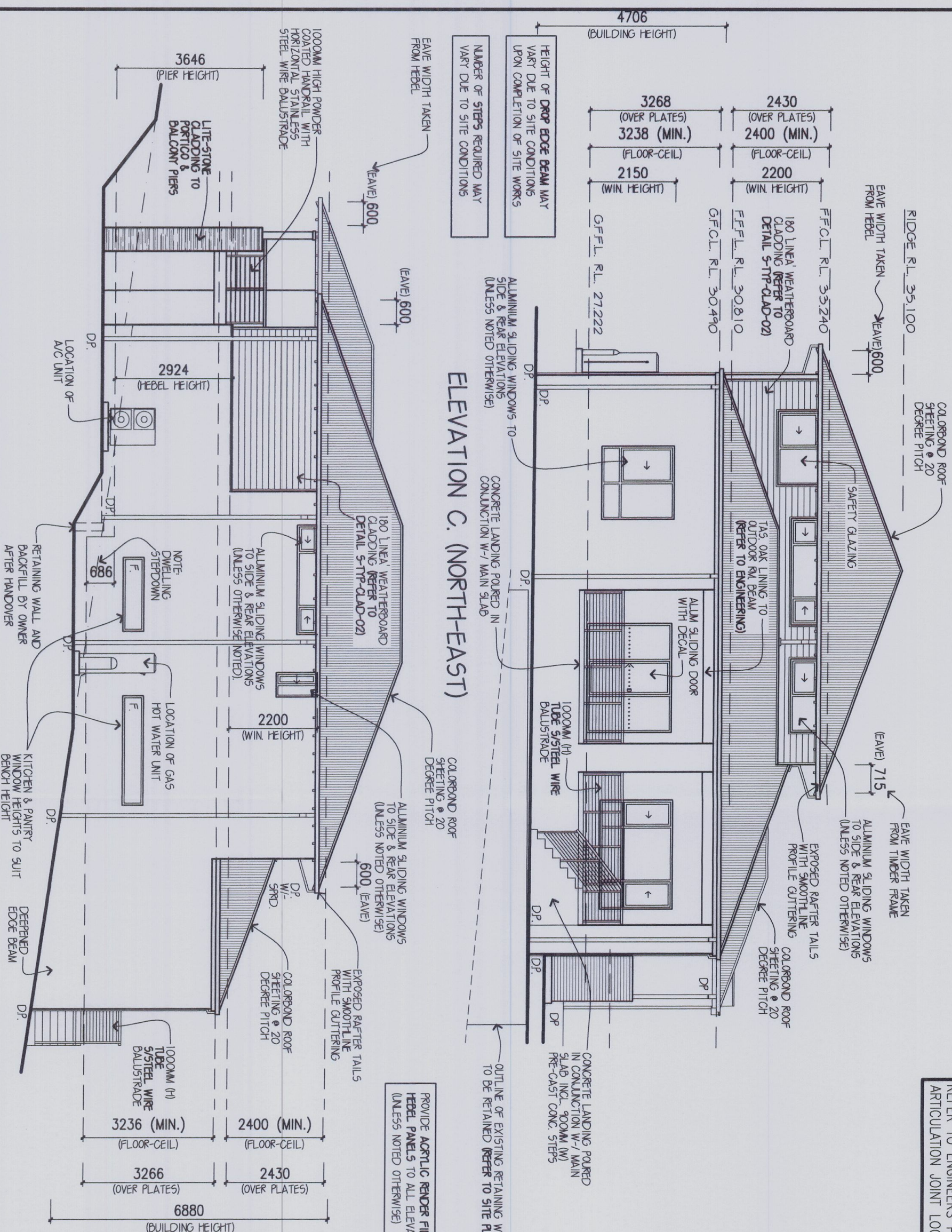
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PERMIT No:

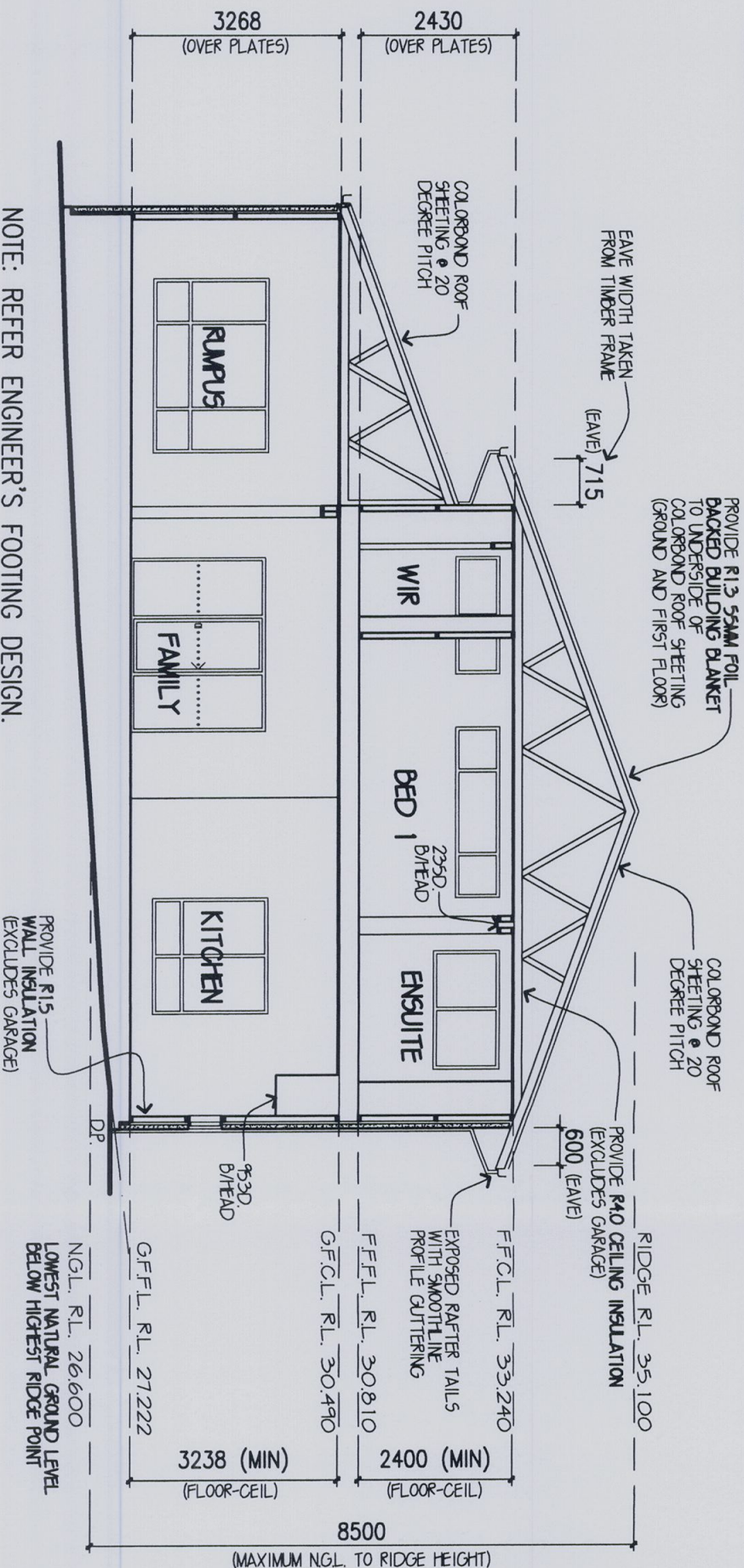
CADDRAFT	CHKD: SA	SHEET: 5 of 1
DRAWN:		

ELEVATION D. (SOUTH-EAST)

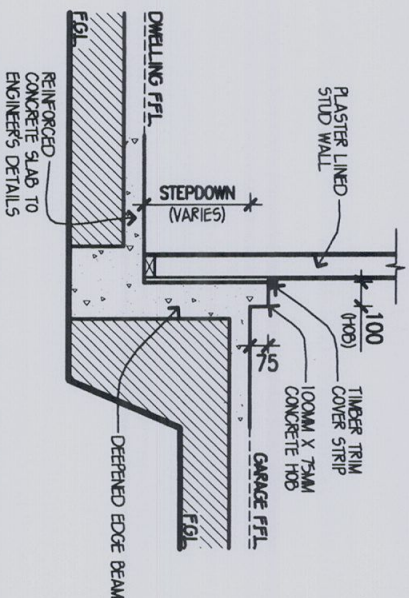
ELEVATIONS 1:100



NOTE: PROVIDE R20 WALL INSULATION TO ALL WALLS WITH LIGHTWEIGHT CLADDING



NOTE: REFER ENGINEER'S FOOTING DESIGN.
SECTION X-X



CONCRETE HOB TO REAR OF GARAGE
DWELLING FFL BELOW GARAGE FFL (TYPICAL DETAIL)

SECTION 1:100

HEBEL PANEL CONSTRUCTION

DUE TO PROXIMITY TO COASTAL WATERS
PROVIDE THE FOLLOWING ADDITIONAL ITEMS:

- PROVIDE UPGRADED FIXING SCREWS AND CALKING FOR HEBEL WALL PANELS (IN ACCORDANCE WITH MANUF. SPEC'S)
- LINTELS AND ANT EXPOSED STEEL IN ACCORDANCE WITH B.C.A. REQUIREMENTS
- COLORBOND VALLEY GUTTERS

PROVIDE WHITE ANT
TREATED FRAME
INCLUDES H3 TREATED GARAGE FLOOR PLATE

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE P35 CONTROL JOINT TO STAIRWELL

PROVIDE 2340MM (H) INTERNAL
DOORS TO GROUND FLOOR ONLY
(EXCLUDING SLIDING ROBE DOORS)

PROVIDE SQUARE SET CEILING CORNERS TO

- ENSUITE
- BATHROOM
- POWDER
- LAUNDRY
- SEPARATE W.C.'S

PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METRICON

HOT WATER SYSTEM

- GAS STORAGE, WITH PERFORMANCE OF 5 STARS
- COOKING
- GAS COOKTOP WITH ELECTRIC OVEN

OWNER TO PROVIDE THE FOLLOWING BASIS
REQUIREMENTS

- WEATHER SEALS/STRIPS TO EXTERNAL HINGED DOORS
- EXTERNAL CLOTHES DRYING LINE

RAINWATER TANK MUST CONNECT TO ALL
TOILETS IN THE DEVELOPMENT. WATER TAP
THAT SUPPLIES WASHING MACHINE AND ONE
GARDEN TAP

MEDIUM EXTERNAL WALL COLOUR
DARK EXTERNAL ROOF COLOUR

GENERAL NOTES:

- * ALL STEPS & STAIRS TO HAVE A 240mm MIN. & 355mm MAX. TREAD WIDTH, 115mm MIN. & 190mm MAX. RISER HEIGHT & MUST COMPLY WITH B.C.A. 3.9.1.
- * BALUSTRADE IN ACCORDANCE WITH B.C.A. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND LEVEL.
- * PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- * WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3740 &/OR B.C.A. 3.8.1.10

* ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 - 2006 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS' STRUCTURAL COMPUTATIONS.

8011860

Prepared by Paul Morgan (02) 9836 5711
Building Professionals Board (BPPB0276)

DESIGN: NEWHAVEN 33
FAÇADE: RESORT CEILING: 25, L

SECTION

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DESIGNER
by metricon

metricon
Basil E. Lind & Jo Langdon P. Builders 18th NSW 2153
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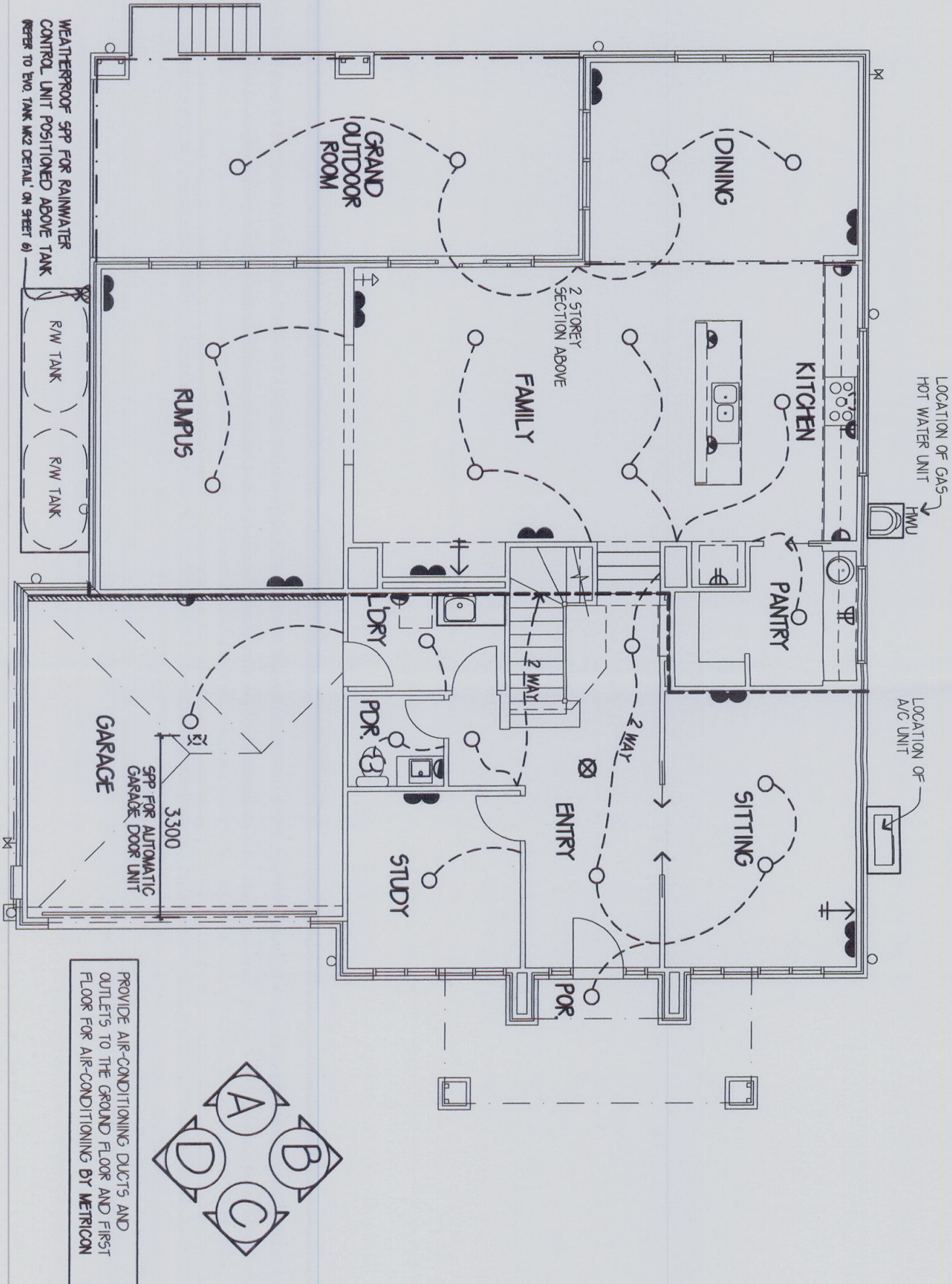
OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BAREHEAD ROAD,
AVALON BEACH

JOB NO: 652673 DATE: 24.01.13

F.C. DATE: MST VER: P 20 SEPT 2010

PERMIT No:

DRAWN: CAD/CRAFT CHKD: SA SHEET: 6 of 10



This information relates to
Construction/Compiling Development Certificate
8011860
Issued by Paul Morgan (02) 9838 5711
E-licensing Professionals Board (BP60276)

DESIGN: NEWHAVEN 33

FACADE: RESORT CEILING: 25, L

GARAGE: DOUBLE LOCATION: J

ELECTRICAL PLAN

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DESIGNER
by metricon

metricon
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OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARRAKLEY ROAD,
AVALON BEACH

JOB NO: 652673 DATE: 24.01.13

F.C. DATE: MST VER: P 20 SEPT 2010

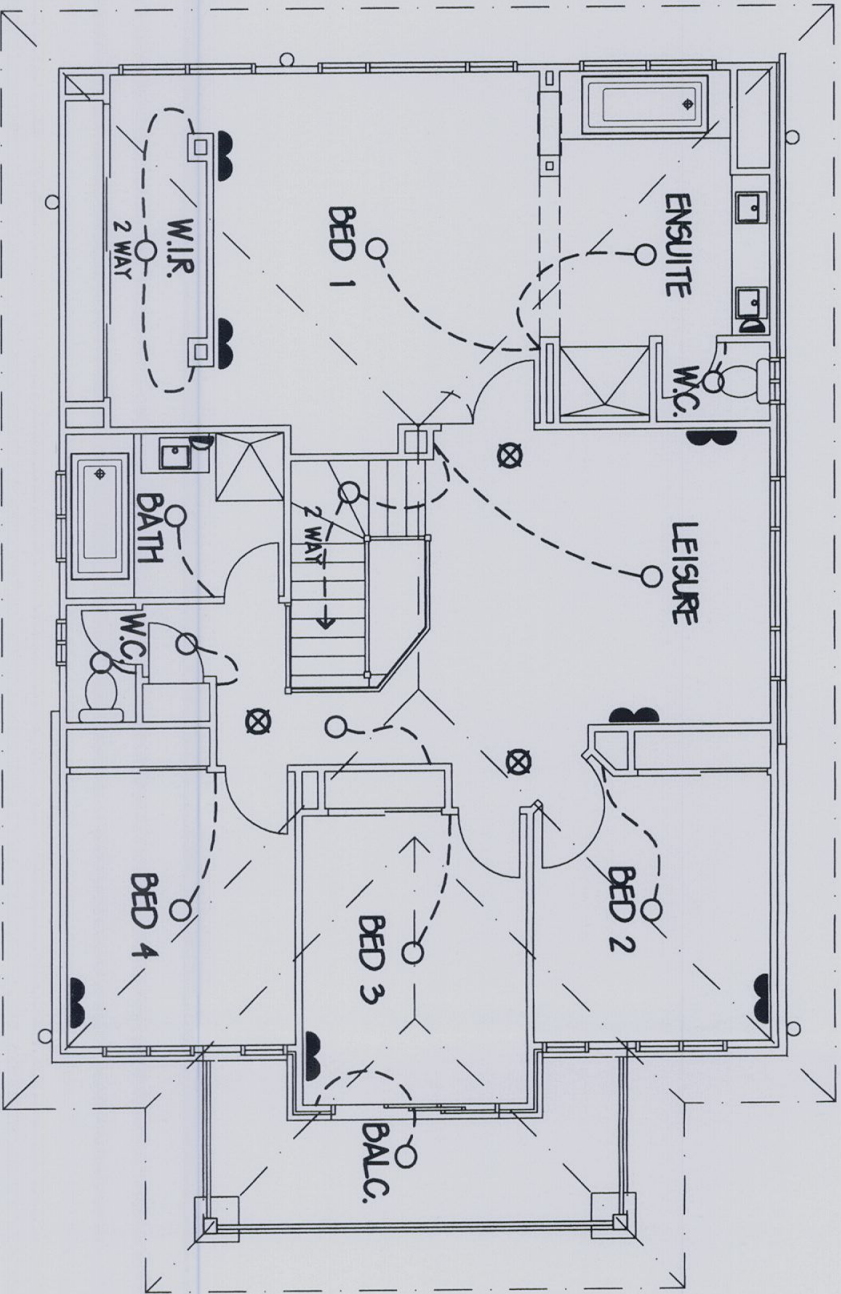
PERMIT No:

DRAWN: CADRAFT CHECKED: SA SHEET: 7 of 10

LEGEND:

- SINGLE POWER POINT @ 200MM.
- DOUBLE POWER POINT @ 200MM.
- RECESSED DOUBLE POWER POINT @ 1200MM.
- SINGLE P.POINT @ 650MM FOR COOKTOP ELECTRONIC IGNITION
- SINGLE POWER POINT @ 750MM.
- DOUBLE POWER POINT @ 750MM.
- SINGLE POWER POINT @ 1050MM.
- DOUBLE POWER POINT @ 1050MM.
- DOUBLE POWER POINT @ 1400MM.
- SINGLE POWER POINT @ 1650MM.
- SINGLE POWER POINT @ 2000MM.
- DOUBLE POWER POINT @ 2000MM.
- SGL. WEATHER PROOF P.POINT @ 1050MM.
- DOUBLE WEATHER PROOF P.POINT @ 1050MM.
- SGL. P.POINT @ 600MM ON SEP. CIRCUIT.
- DOUBLE P.POINT @ 600MM ON SEP. CIRCUIT.
- ⌘ SGL. P.POINT TO CEIL-REMOTE CONT. UNIT
- ⌘ SGL. POWER POINT HARD WIRED.
- ⌘ ISOLATING SWITCH FOR ELECTRIC COOKTOP @ 1050MM
- ⌘ ISOLATING SWITCH FOR ELECTRIC OVEN @ 1050MM
- ⌘ WEATHER PROTECTED LIGHT SWITCH
- ⌘ LIGHT OUTLET & SNG. P.POINT TO ROOF
- CEILING LIGHT OUTLET.
- WALL LIGHT @ 1750MM.
- PARAFLOOD LIGHT @ 2150MM.
- LOW VOLTAGE DOWNLIGHT.
- 100mm RECESSED DOWNLIGHT
- EXHAUST FAN, TO COMPLY WITH A.S.1988.2. INSTALLED AS PER S.C.A. 3.8.5. &
- ⊠ IXL TASTIC LIGHT/FAN/HEATER COMBINATION.
- ⊠ SMOKE DETECTOR S.C.A. 3.7.2. & TO COMPLY WITH A.S.3786. APPROX. POSITION INSTALLED AS PER
- ⊠ RECESSED WALL LIGHT @ 300MM.
- METER BOX.
- ⊠ H.W.U. POSITION.
- ⌘ T.V. POINTS.
- ⌘ RECESSED T.V. POINTS. @ 1200 HIGH
- ⬇ TELEPHONE POINTS.
- ⊠ JUNCTION BOX.
- ⊠ PENDANT LIGHT.
- ⊠ CEILING FAN
- ⊠ FLOOR TILING

GROUND FLOOR ELECTRICAL PLAN 1:100



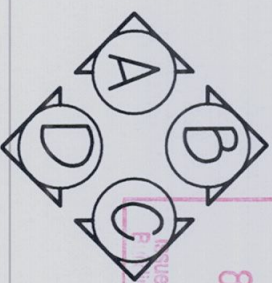
PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METRICON

LEGEND:

- SINGLE POWER POINT @ 200MM.
- DOUBLE POWER POINT @ 200MM.
- RECESSED DOUBLE POWER POINT @ 1200MM.
- SINGLE P.POINT @ 650MM FOR COOKTOP ELECTRONIC IGNITION
- SINGLE POWER POINT @ 750MM.
- DOUBLE POWER POINT @ 750MM.
- SINGLE POWER POINT @ 1050MM.
- DOUBLE POWER POINT @ 1050MM.
- SINGLE POWER POINT @ 1400MM.
- SINGLE POWER POINT @ 1650MM.
- SINGLE POWER POINT @ 2000MM.
- DOUBLE POWER POINT @ 2000MM.
- SGL WEATHER PROOF P.POINT @ 1050MM.
- DOUBLE WEATHER PROOF P.POINT @ 1050MM.
- SGL P.POINT @ 600MM ON SEP. CIRCUIT.
- DOUBLE P.POINT @ 600MM ON SEP. CIRCUIT.
- ✂ SGL P.POINT TO CELL-REMOTE CONT. UNIT
- ✂ SGL POWER POINT HARD WIRED.
- ✂ ISOLATING SWITCH FOR ELECTRIC COOKTOP @ 1050MM
- ✂ ISOLATING SWITCH FOR ELECTRIC OVEN @ 1050MM
- WEATHER PROTECTED LIGHT SWITCH
- LIGHT OUTLET & SNG. P.POINT TO ROOF
- CEILING LIGHT OUTLET.
- WALL LIGHT @ 1750MM.
- PARAFLOOD LIGHT @ 2150MM.
- LOW VOLTAGE DOWNLIGHT.
- 100mm RECESSED DOWNLIGHT
- EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1688.2
- ✂ IXL TASTIC LIGHT/FAN/HEATER COMBINATION.
- ✂ SMOKE DETECTOR. APPROX. POSITION INSTALLED AS PER B.C.A. 3.7.2. & TO COMPLY WITH A.S.3786.
- RECESSED WALL LIGHT @ 300MM.
- METER BOX.
- ⊗ H.W.U. POSITION.
- ⊕ T.V. POINTS.
- ⊕ RECESSED T.V. POINTS. @ 1200 HIGH
- ▲ TELEPHONE POINTS.
- ⊕ JUNCTION BOX.
- ⊕ PENDANT LIGHT.
- ⊕ CEILING FAN
- FLOOR TILING

FIRST FLOOR ELECTRICAL PLAN 1:100

DESIGN: NEWHAVEN 33	DESIGNER by metricon		OWNER: MR & MRS TERRY LOT 10 NO.12 OLD BARENDSEY ROAD, AVALON BEACH	
FACADE: RESORT	CEILING: 25.1			
GARAGE: DOUBLE	LOCATION: J			
ELECTRICAL PLAN				
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 <small>Bldg. E Land 4, 32 Lonsington Dr, Bulahram Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 www.metricon.com.au</small>				
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PERMIT NO:		JOB NO: 652673	DATE: 24.01.13	
		F.C.DATE:	MST VER: P 20 SEPT 2010	
DRAWN: CADRAFT		CHECKED: SA		
		SHEET: 8 of 10		



This information relates to
Construction/Complying Development
8011860
Issued by Paul Morgan (02) 9836 5744
Registered Professional Engineer (BR80273)

NOTES:

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- * INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.
- * ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE
- * SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

801860

This information relates to
Construction/Construction Management Certificate
8011860
Issued by Paul Morgan (02) 9836 5731
E: paul.morgan@professionalsboard.gov.au

DESIGN: NEWHAVEN 33
CEILING: 25, L

INTERNAL ELEVATIONS

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DESIGNER

by metricon

metricon

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P.O. Box 7510, Northwest Business Park NSW 2153
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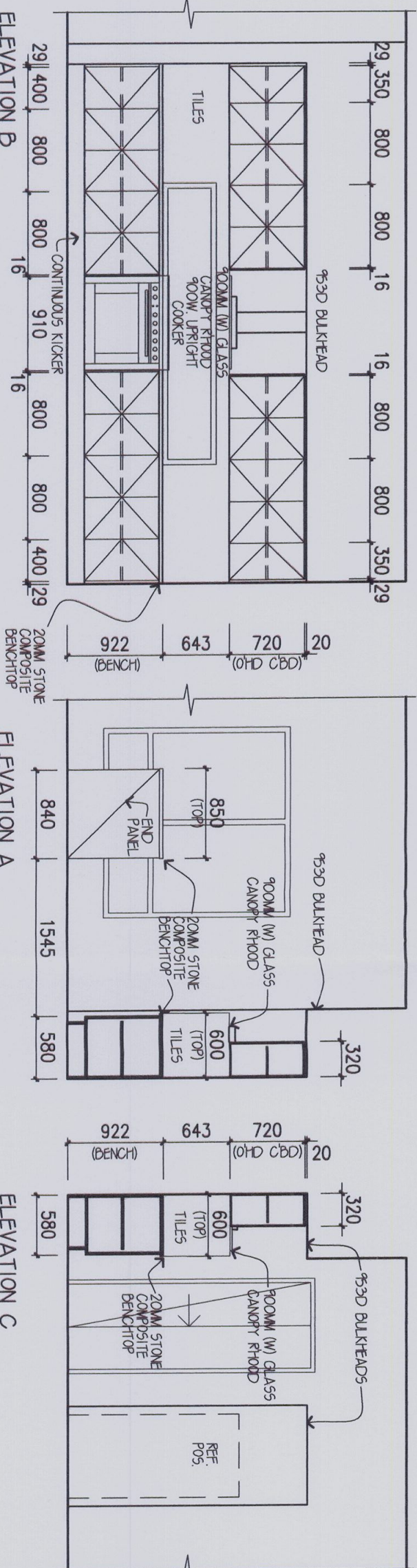
OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARENHURST ROAD,
AVALON BEACH

JOB NO: 652673 DATE: 24.01.13

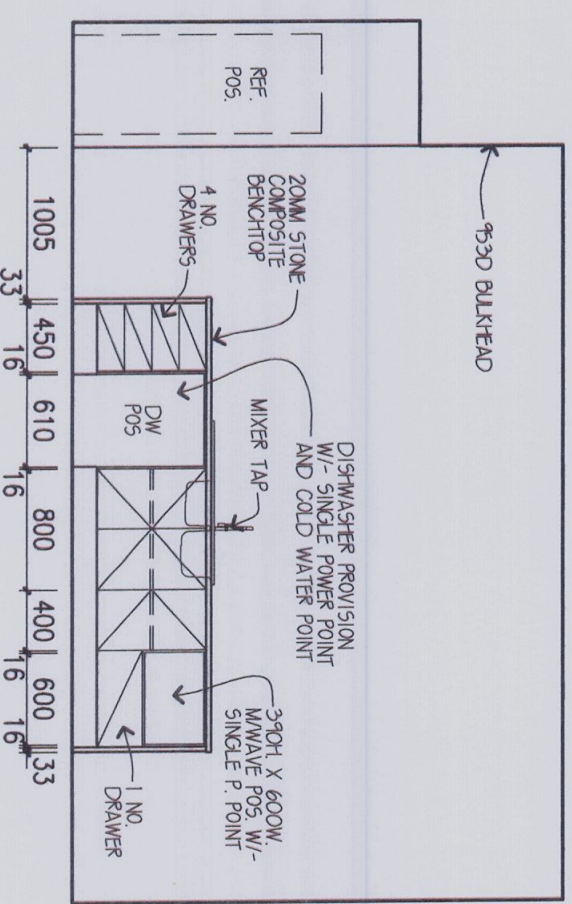
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PERMIT No:

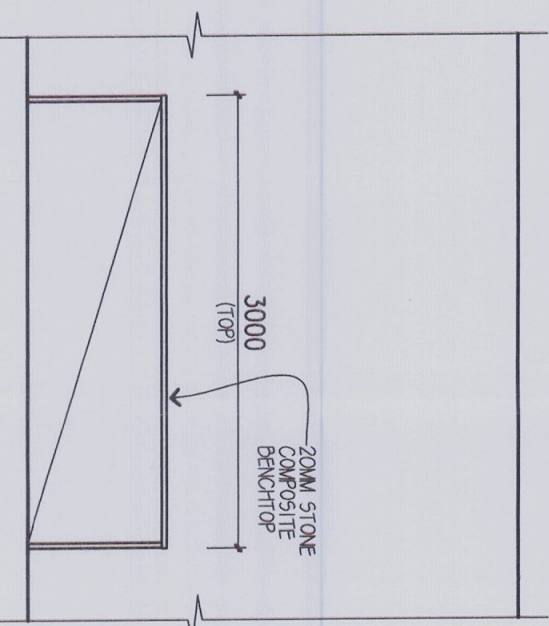
DRAWN: CADDRAFT CHECKED: SA	SHEET: 9 of 10
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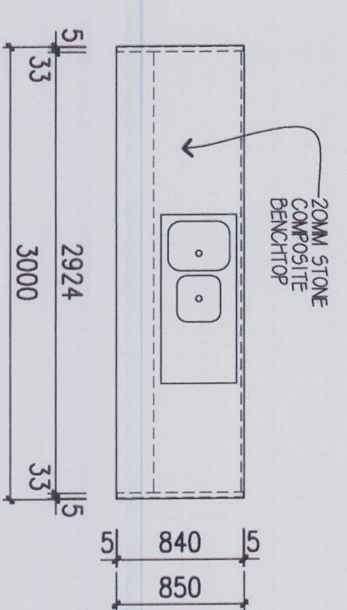
KITCHEN



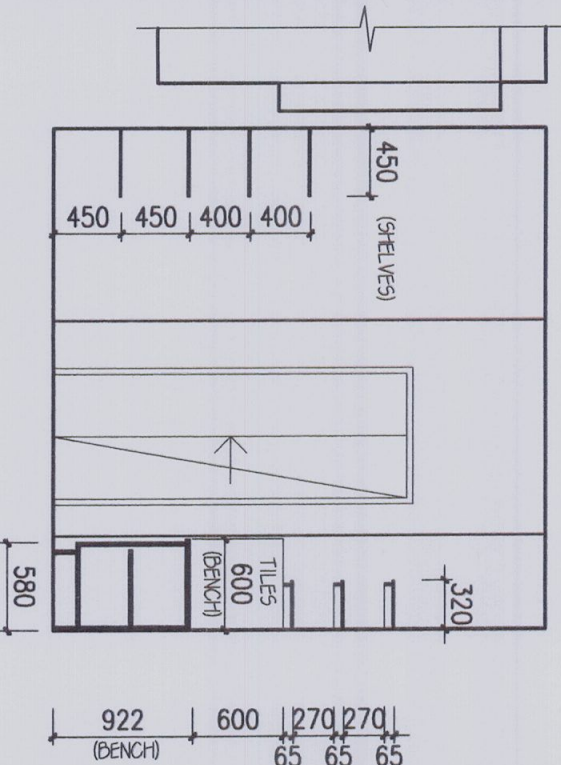
ELEVATION D



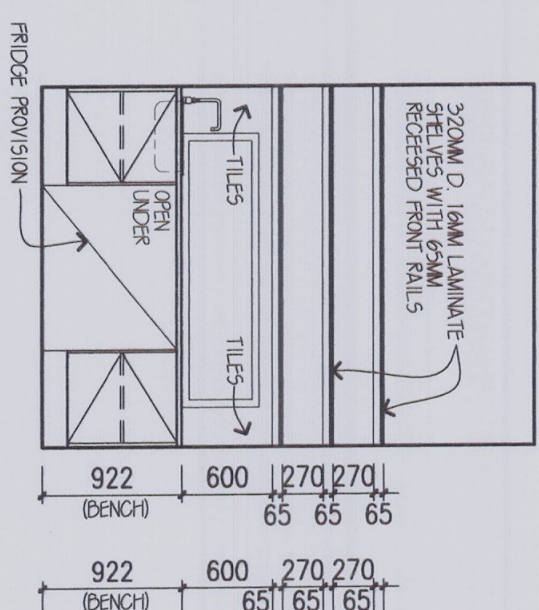
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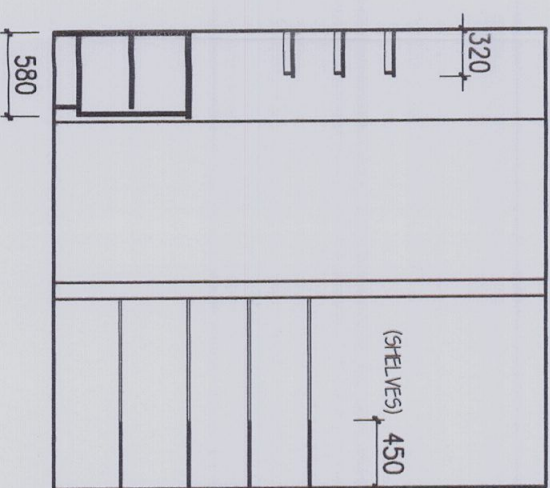
KITCHEN ISLAND
BENCH DETAIL



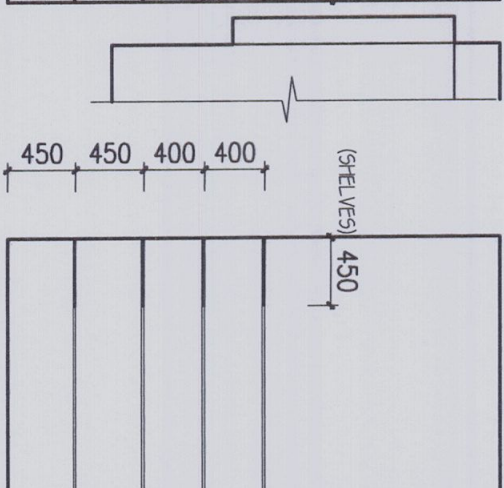
ELEVATION A
BUTLER'S PANTRY



ELEVATION B

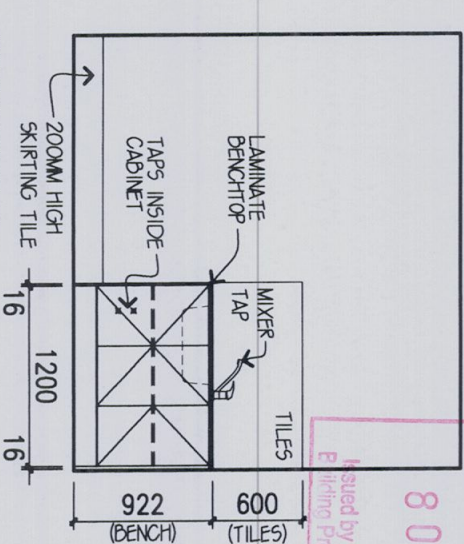
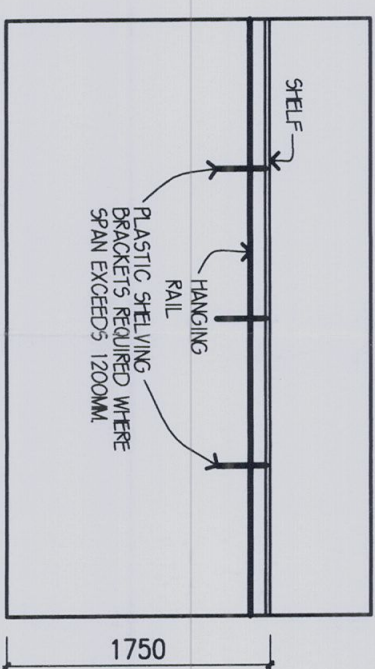
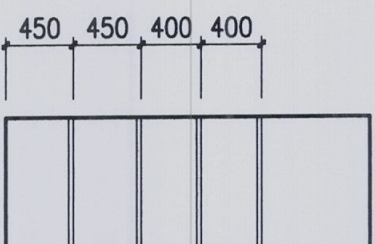
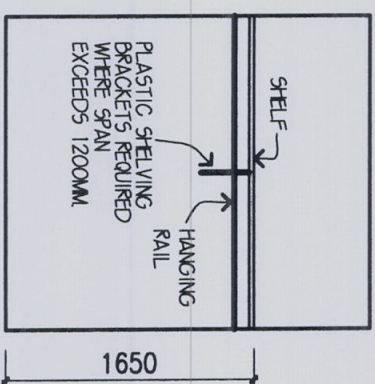
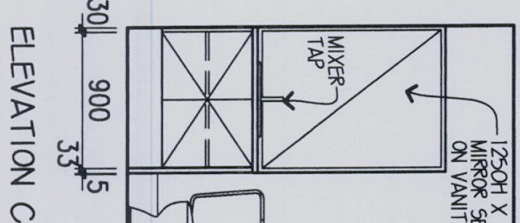
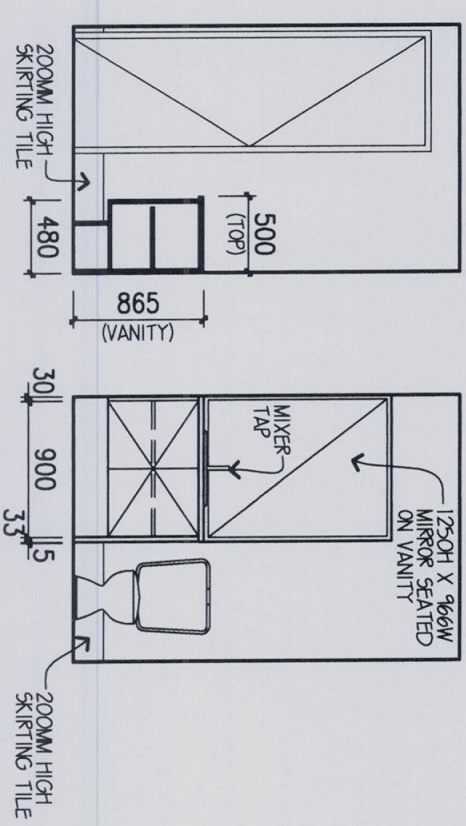
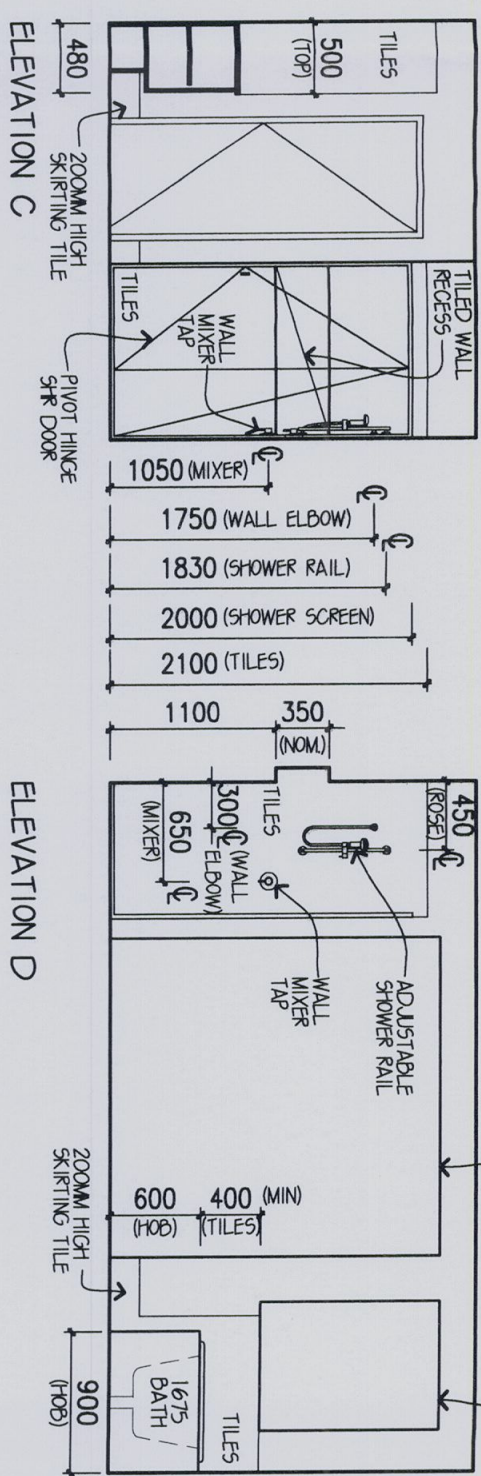
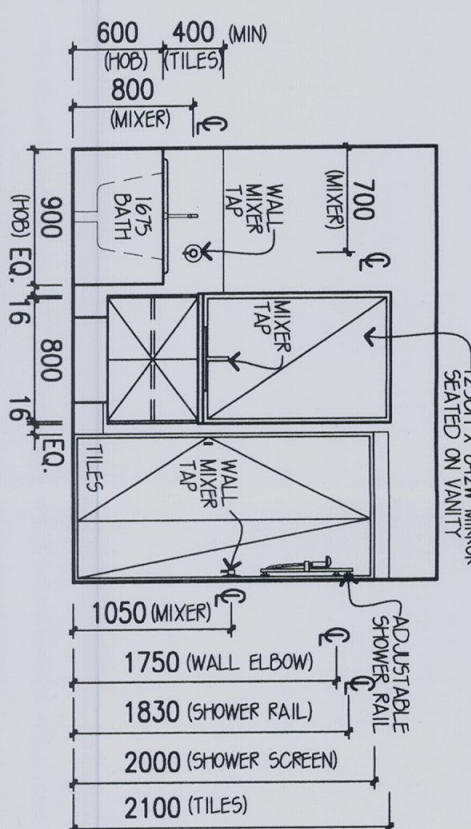
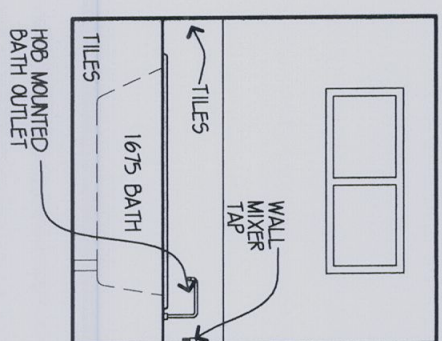
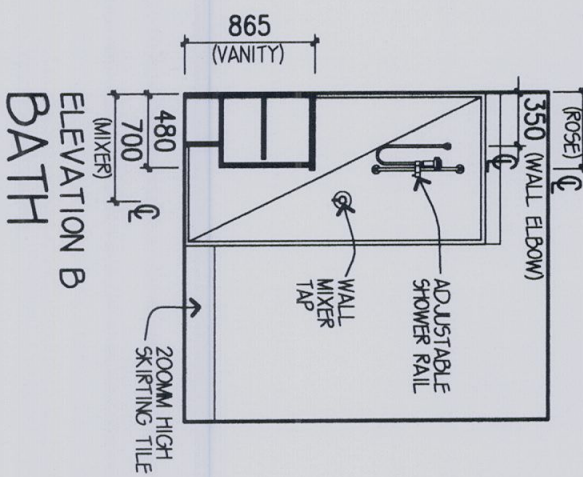
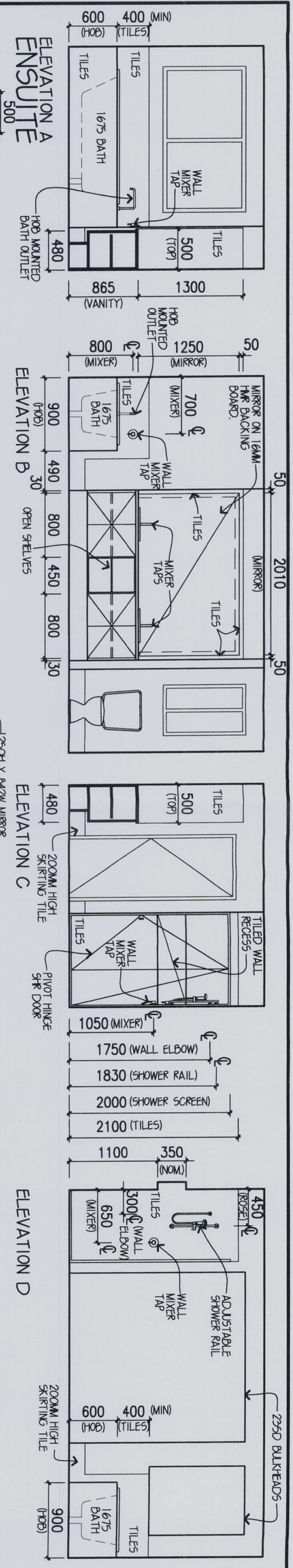


ELEVATION C



ELEVATION D

INTERNALS 1:50



This information relates to
Construction/Commission Development Certificate
8011860
Issued by Paul Morgan (02) 9836 5711
Eliciting Professionals Board (EPB027)

ELEVATION C
LINEN
(FIRST FLOOR)

INTERNALS 1:50

NOTES:

* TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.

* INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.

* ALL DIMENSIONS ARE SUBJECT TO SITE

* SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

DESIGN: NEWHAVEN 33

CEILING: 25, L

INTERNAL ELEVATIONS

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DESIGNER

by metricon

OWNER: MR & MRS TERRY
LOT 10 NO.12 OLD BARENJOEY ROAD,
AVALON BEACH

JOB NO: 652673 DATE: 24.01.13

F.C.DATE: MST VER: P 20 SEPT 2010

PERMIT No.:

DRAWN: CADDRAFT
CHECKED: SA

CHCKED: SA

SHEET: 10 of 10

FILE NO: 8011860
LOT: 10
DP: 27698
ADDRESS: 12 OLD BARRENJOEY ROAD
AVALON BEACH NSW 2107

**STATE ENVIRONMENTAL PLANNING POLICY
(EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008**

CURRENT VERSION AS OF 1 FEBRUARY 2010
PART 3 DIVISION 3

The Complying Development Certificate attached has been approved subject to conditions. Your attention is drawn to the fact that these conditions may require additional works to be carried out prior to the commencement of works on the site. Amongst other things, the conditions require that nearby property owner/s be notified of the proposed commencement date of works two days prior to these works commencing.

Failure to observe the requirements of these conditions may result in the Local Council taking any action in a Court of appropriate jurisdiction or otherwise to rectify any situation that may eventuate.

Should you require any additional information regarding these conditions, or any other matter associated with your consent, please contact your Principal Certifying Authority for further information at your convenience.

**DIVISION 3
CONDITIONS APPLYING TO COMPLYING DEVELOPMENT CERTIFICATE UNDER THIS CODE**

Note: *Complying development must comply with the requirements of the Act, the Environmental Planning and Assessment Regulation 2000 and the conditions listed in this Part.*

Note: *A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan.*

SUBDIVISION 1 CONDITIONS APPLYING BEFORE WORKS COMMENCE

3.37 PROTECTION OF ADJOINING AREAS

- (1) A temporary hoarding, fence or awning must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:
 - (a) Could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
 - (b) Could cause damage to adjoining lands by falling objects, or
 - (c) Involve the enclosure of a public place or part of a public place.
- (2) Repealed.
- (3) Repealed.

Note: *See the entry in the General Exempt Development Code for scaffolding, hoardings and temporary construction site fences.*

3.38 TOILET FACILITIES

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must:
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the Local Government Act 1993, or
 - (c) be a temporary chemical closet approved under the Local Government Act 1993.

3.39 GARBAGE RECEPTACLE

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

3.39A NOTIFICATION

THE PERSON HAVING THE BENEFIT OF THE COMPLYING DEVELOPMENT CERTIFICATE MUST GIVE AT LEAST 2 DAYS NOTICE IN WRITING OF THE INTENTION TO COMMENCE WORKS TO THE OWNER OR OCCUPIER OF EACH DWELLING THAT IS SITUATED WITHIN 20M OF THE LOT ON WHICH THE WORKS WILL BE CARRIED OUT.

3.39B ADJOINING WALL DILAPIDATION REPORT

- (1) If a wall on a lot is to be built to a boundary and there is a wall (the adjoining wall) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall.
- (2) If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall.
- (3) In this clause:
dilapidation report means a report, prepared by a professional engineer, confirming the structural condition of the adjoining wall before the development commences.

SUBDIVISION 2 CONDITIONS APPLYING DURING THE WORKS

Note: The Protection of the Environment Operations Act 1997 and the Protection of the Environment Operations (Noise Control) Regulation 2008 contain provisions relating to noise.

3.40 HOURS

Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no construction or demolition is to be carried out at any time on a Sunday or a public holiday.

3.41 COMPLIANCE WITH PLANS

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

3.42 SEDIMENTATION AND EROSION CONTROLS

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped.

SUBDIVISION 3 CONSTRUCTION REQUIREMENTS

3.43 MAINTENANCE OF SITE

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

3.44 STAGING CONSTRUCTION

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed.
- (2) Any approval that is required for connection to the drainage system under the Local Government Act 1993 must be held before the connection is carried out.
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained.

3.45 UTILITY SERVICES

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.

ADDITIONAL CONDITIONS IMPOSED UPON THIS COMPLYING DEVELOPMENT CERTIFICATE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979 (AS AMENDED) AND THE ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION, 2000.

1. In accordance with section 94EC of the Environmental Planning and Assessment Act, it is also a condition of this complying development certificate that any payment of a monetary contribution or levy required by a contributions plan is paid prior to the commencement of work.
2. In accordance with Clause 136E of the Environmental Planning and Assessment Regulation, the following conditions are imposed:
 - (a) work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 318 of the Occupational Health and Safety Regulation 2001,
 - (b) the person having the benefit of the complying development certificate must provide the principal certifying authority with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
 - (c) any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered.

ADVISORY NOTE

Should the subject site be located within an area that uses recycled or reclaimed water then an approval would be required under Section 68 of the Local Government Act, 1993. Should this be the case separate enquires should be made to the Local Authority to determine if additional inspections will be required. Failure to have these inspections completed and certified as being satisfactory by the Local Authority may prevent the Principal Certifying Authority from issuing an Occupation Certificate.