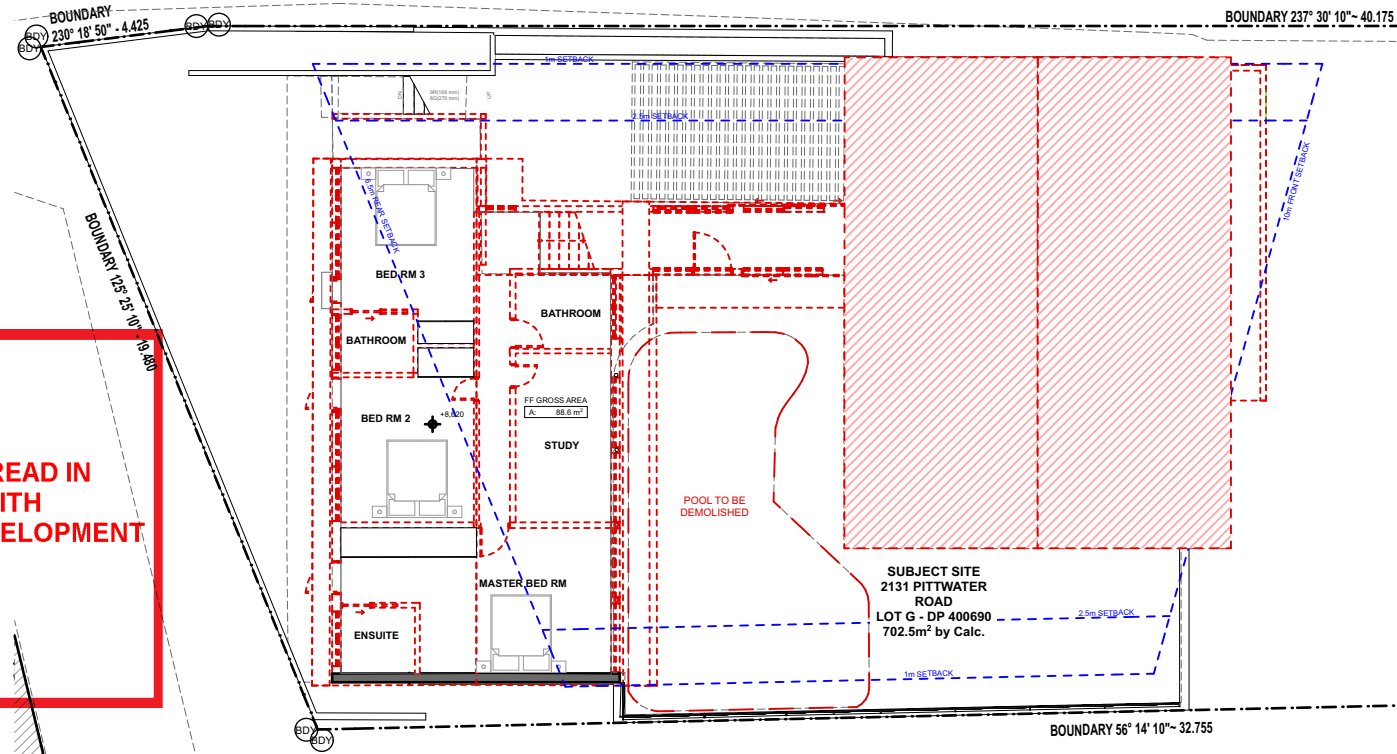
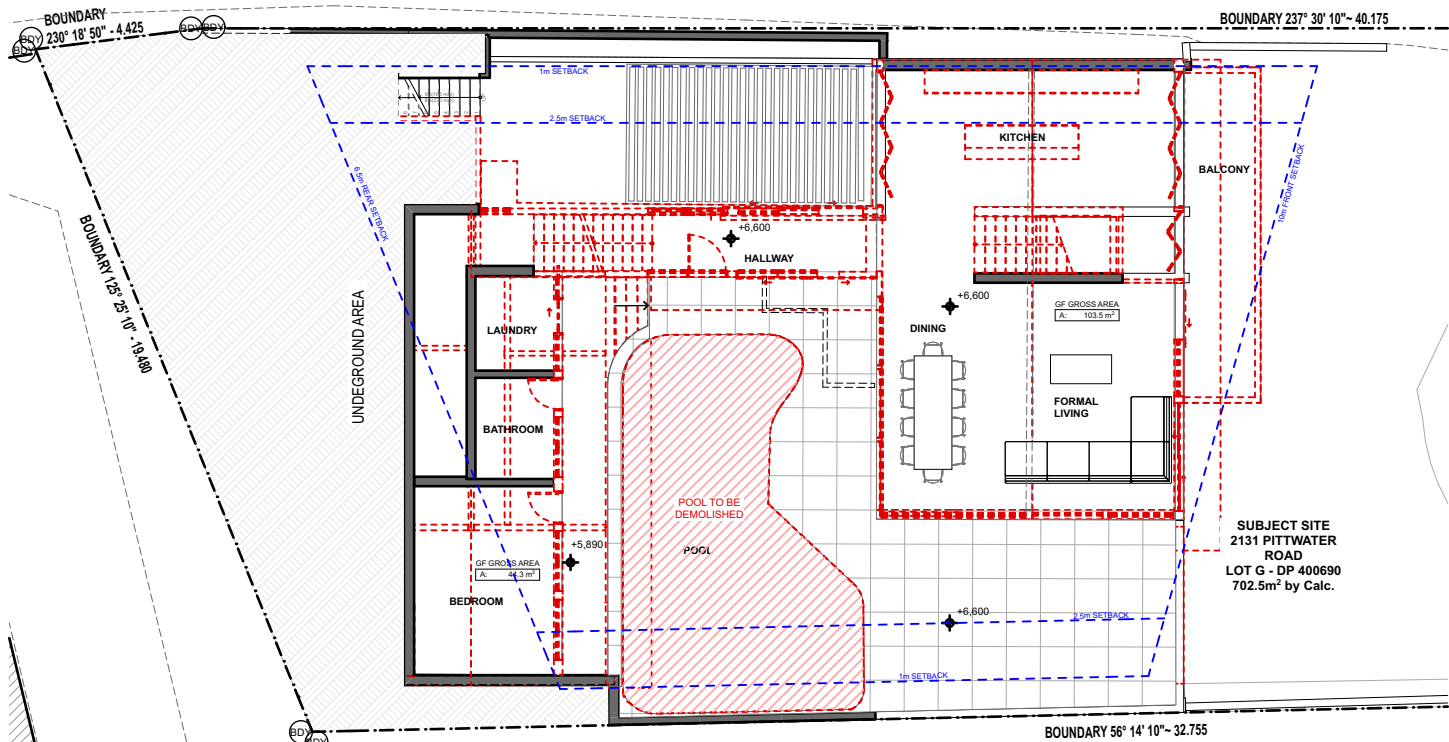


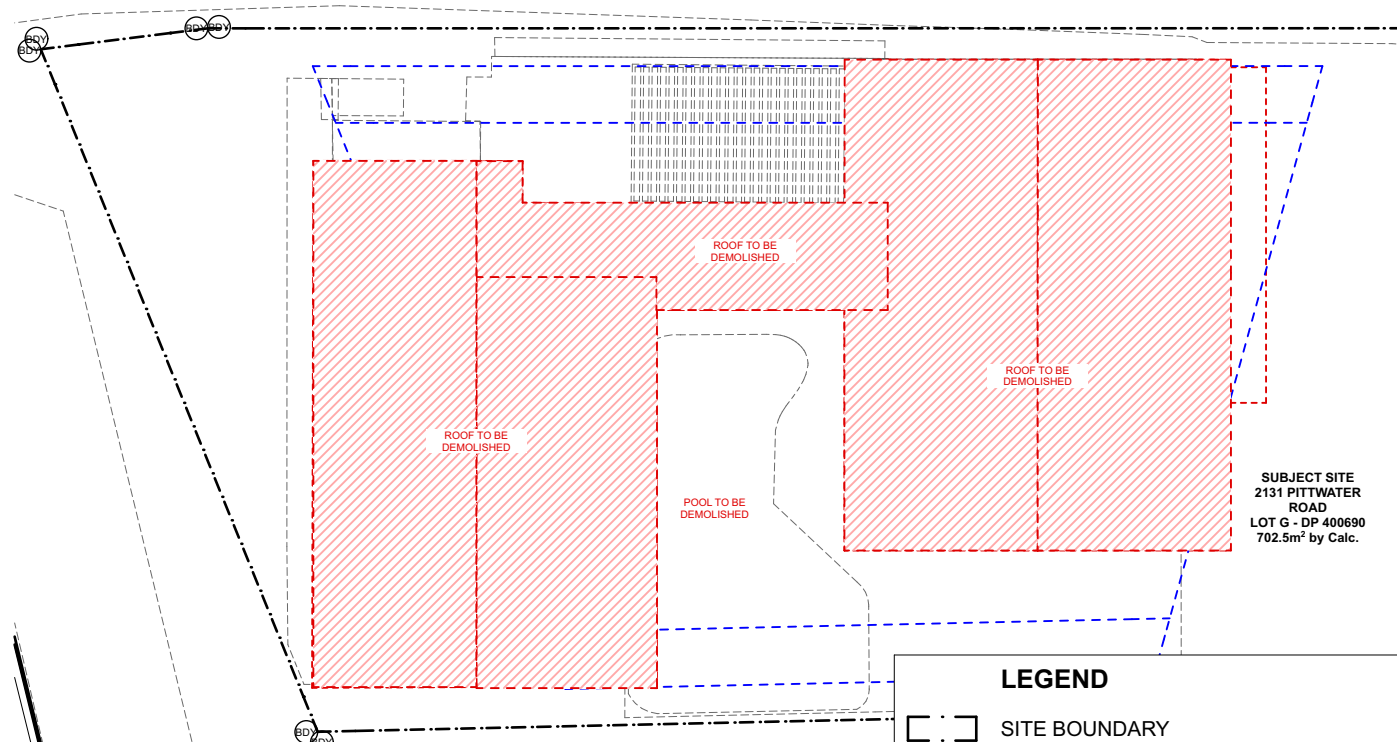
1 LGF DEMOLITION



3 FF DEMOLITION



2 GF DEMOLITION



4 ROOF DEMOLITION

LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- BUILDING ENVELOPE REQUIREMENTS
- DEMOLISHED

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REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS
Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**

Client: **Brad & Louise Dowe**

Project: **2251**

DRAWING TITLE :
DEMOLITION PLANS

PROJECT NAME :
**2131 Pittwater Road,
Church Point**

REVISION NO.
01

DRAWING NO.
DA09

SCALE:
1:200 @ A3

EXISTING FSR, PRIVATE OPEN SPACE & LANDSCAPE CALCULATION:

TOTAL SITE AREA: 702.5m²

MINIMUM PRIVATE OPEN SPACE REQUIRED: 50m²

EXISTING PRIVATE OPEN SPACE: 47m²

MINIMUM LANDSCAPED AREA REQUIRED: 60 % OF SITE
(421.5m²)

EXISTING LANDSCAPE AREA : 25% OF SITE (176m²)



northern
beaches
council

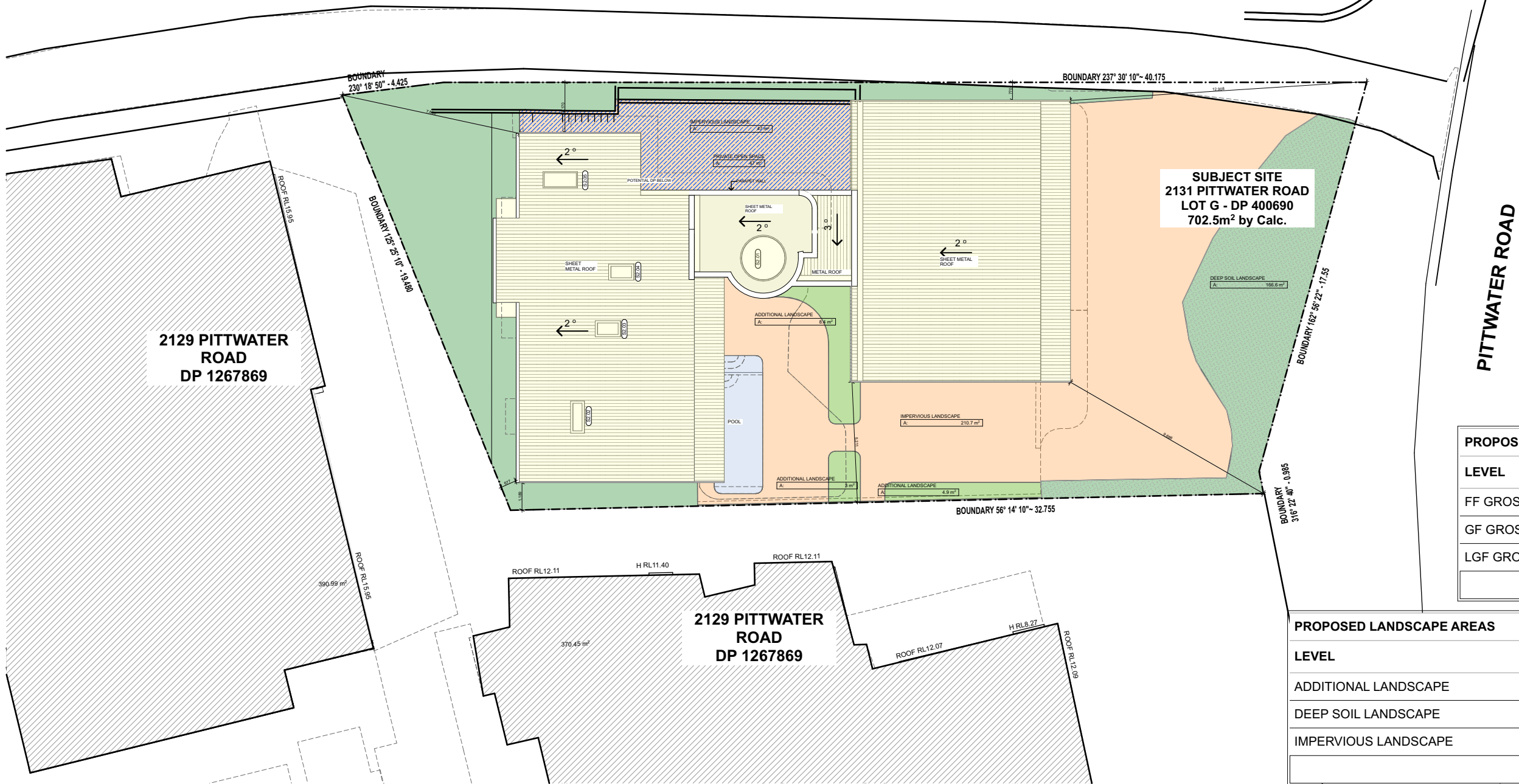
2137 PITTWATER
ROAD

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2024/1530

SITE LEGEND

- PROPOSED LANDSCAPE
- PROPOSED PRIVATE OPEN SPACE
- IMPERVIOUS LANDSCAPE
- POOL
- PROPOSED ADDITIONS
- BUILDING ENVELOPE REQUIREMENTS



PROPOSED GROSS INTERNAL FLOOR AREAS	
LEVEL	FLOOR AREA (m2)
FF GROSS AREA	112.79
GF GROSS AREA	188.45
LGF GROSS AREA	186.00
	487.24 m ²

PROPOSED LANDSCAPE AREAS	
LEVEL	FLOOR AREA (m2)
ADDITIONAL LANDSCAPE	16.32
DEEP SOIL LANDSCAPE	166.80
IMPERVIOUS LANDSCAPE	257.78
	440.90 m ²

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REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS

Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**
Client: **Brad & Louise Dowe**
Project: **2251**

DRAWING TITLE :

PROPOSED SITE PLAN

PROJECT NAME :

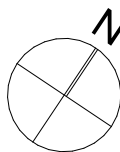
**2131 Pittwater Road,
Church Point**

REVISION NO.

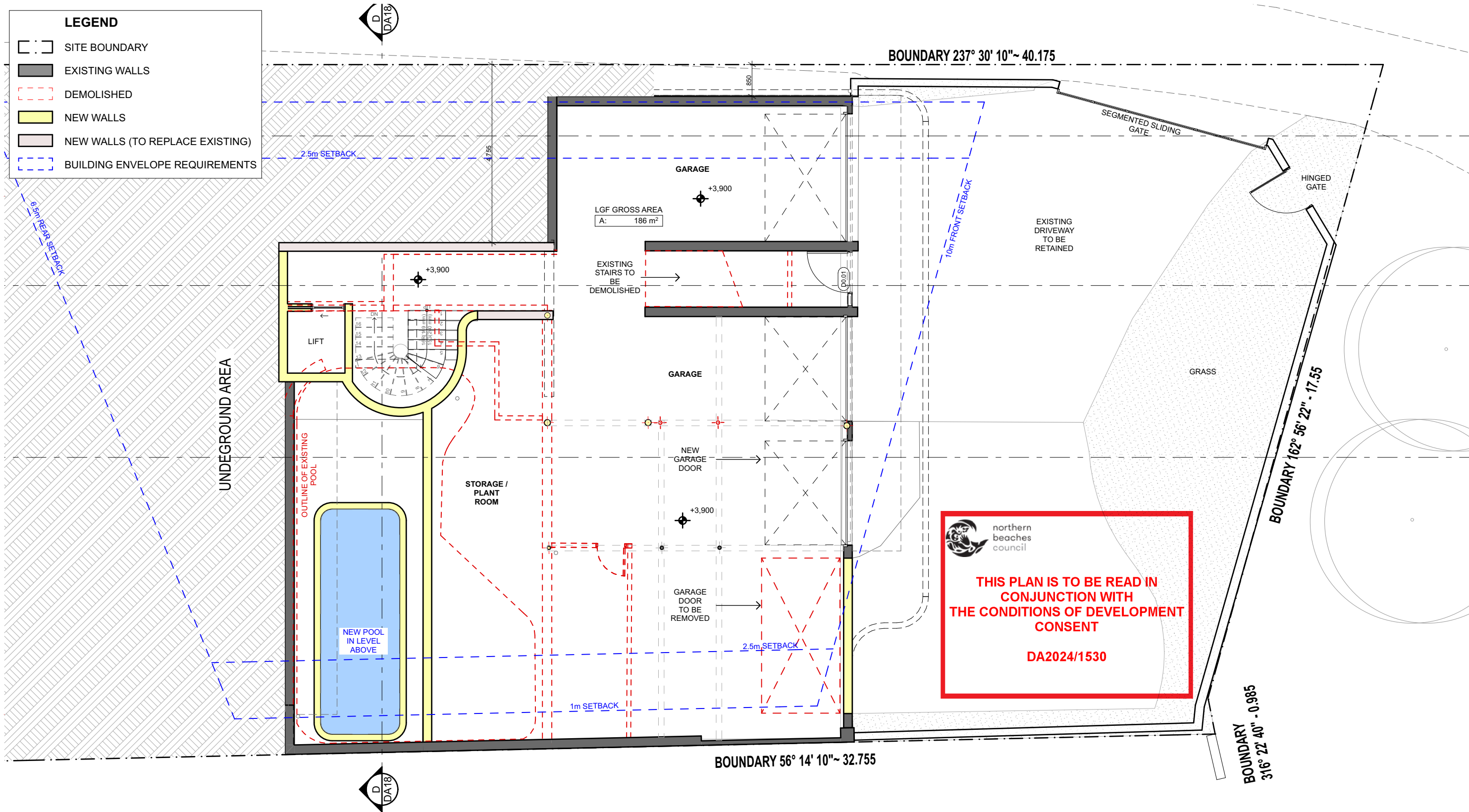
01

DRAWING NO.

DA10



SCALE:
1:200 @ A3



2129 PITTWATER
ROAD
DP 1267869

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REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS
Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**

Client: **Brad & Louise Dowe**

Project: **2251**

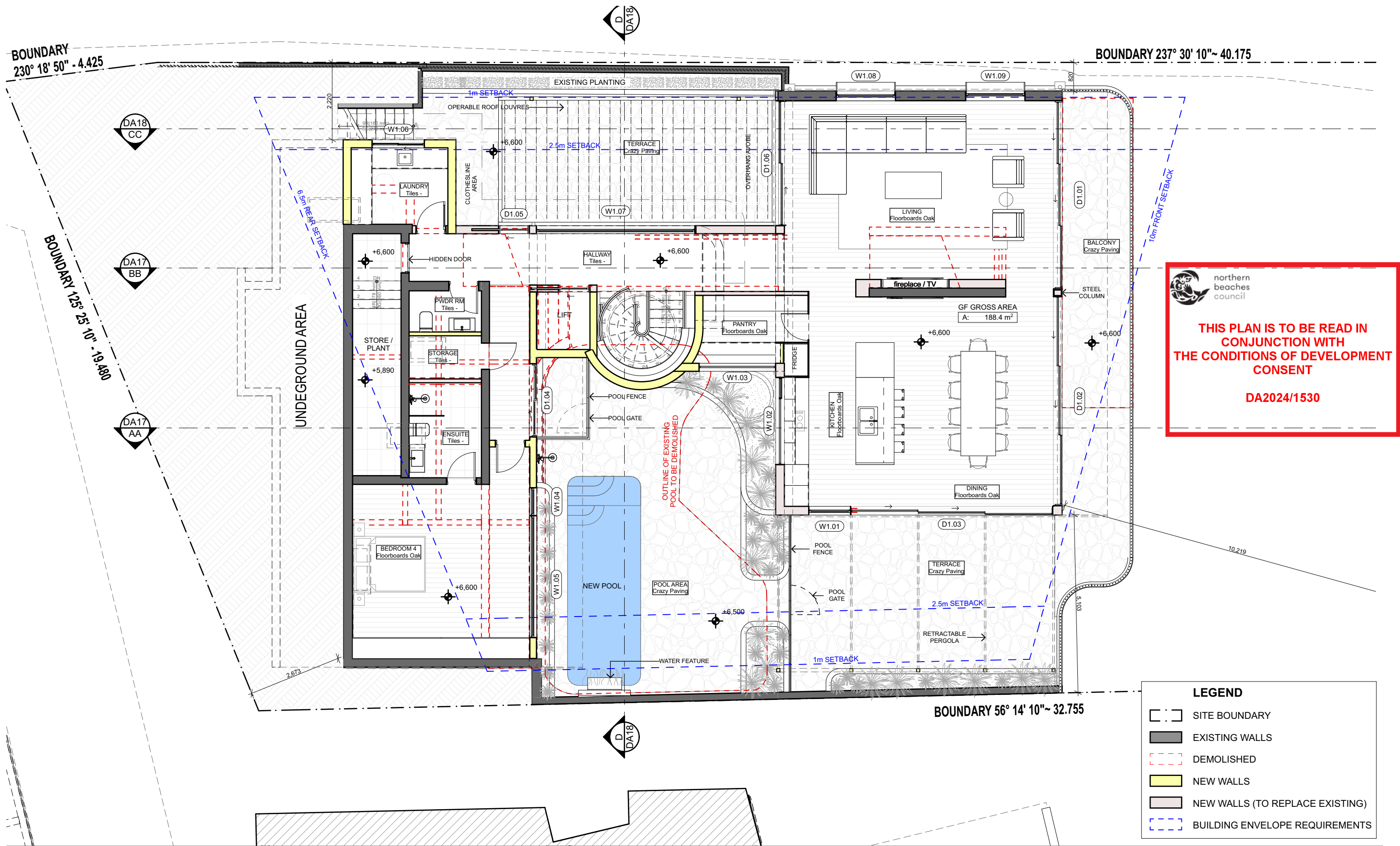
DRAWING TITLE :
**PROPOSED LOWER
GROUND FLOOR PLAN**

PROJECT NAME :
**2131 Pittwater Road,
Church Point**

REVISION NO.
01

DRAWING NO.
DA11

SCALE:
1:100 @ A3



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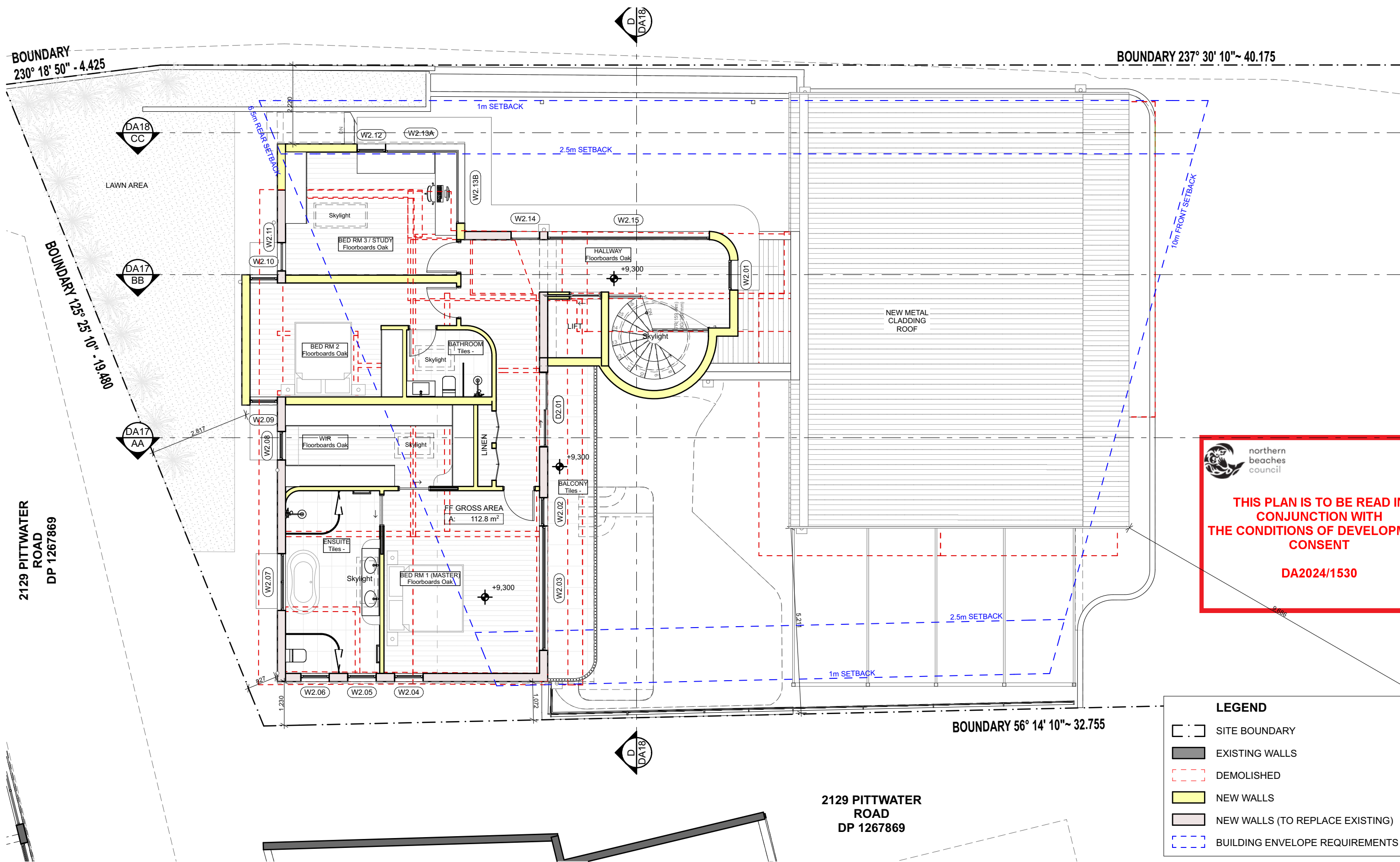
REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS
Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**
Client: **Brad & Louise Dowe**
Project: **2251**

DRAWING TITLE :
PROPOSED GROUND FLOOR PLAN
PROJECT NAME :
2131 Pittwater Road, Church Point

REVISION NO.
01
DRAWING NO.
DA12

SCALE:
1:100 @ A3



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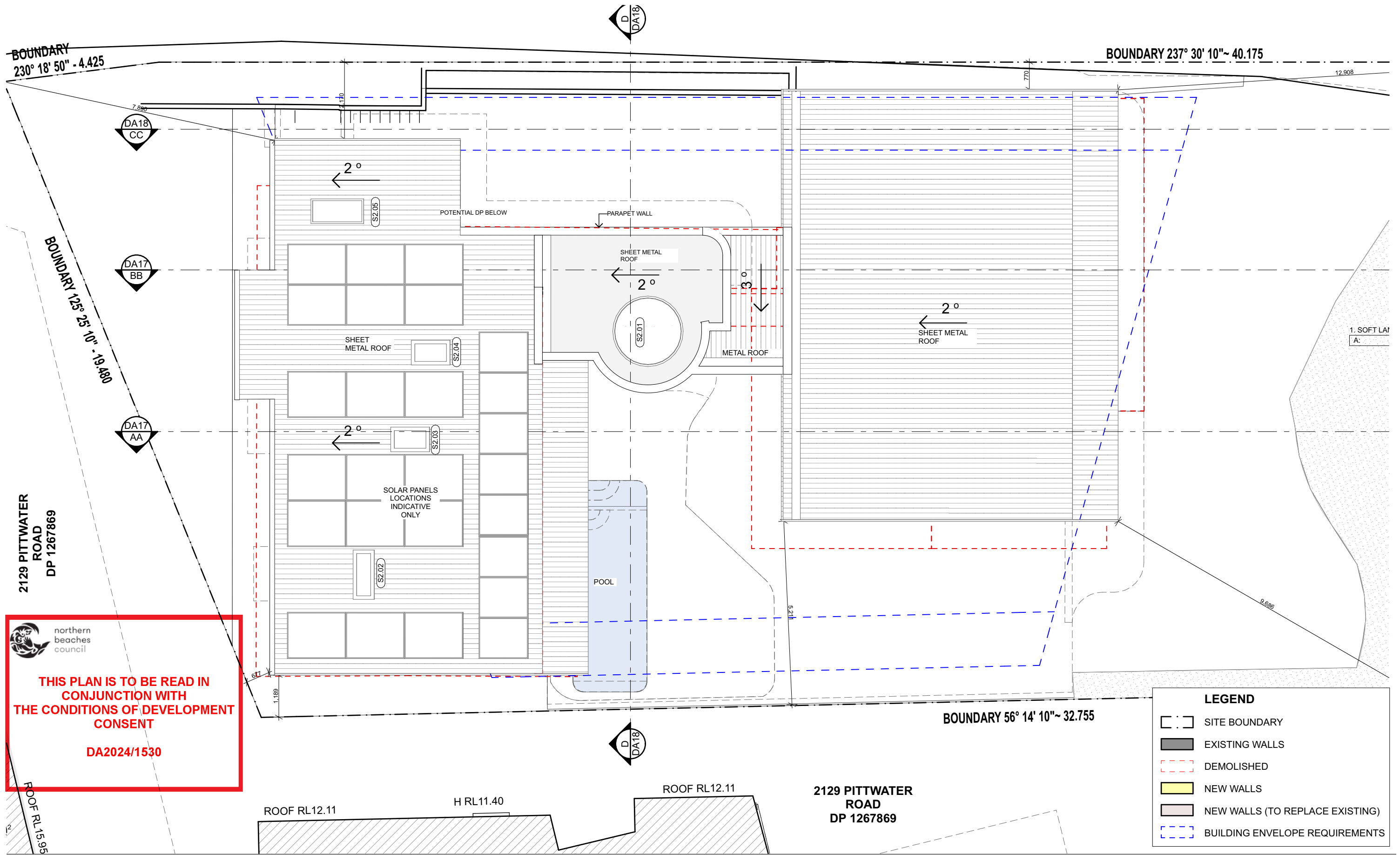
REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS
Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**
Client: **Brad & Louise Dowe**
Project: **2251**

DRAWING TITLE :
PROPOSED FIRST FLOOR PLAN
PROJECT NAME :
**2131 Pittwater Road,
Church Point**

REVISION NO.
01
DRAWING NO.
DA13

SCALE:
1:100 @ A3



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1530

LEGEND	
	SITE BOUNDARY
	EXISTING WALLS
	DEMOLISHED
	NEW WALLS
	NEW WALLS (TO REPLACE EXISTING)
	BUILDING ENVELOPE REQUIREMENTS

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REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS

Drawn | Checked **JG - RR - RP**

Plot Date: **28/10/2024**

Project Status **Development Application**

Client: **Brad & Louise Dowe**

Project: **2251**

DRAWING TITLE :

PROPOSED ROOF PLAN

PROJECT NAME :

**2131 Pittwater Road,
Church Point**

REVISION NO.

01

DRAWING NO.

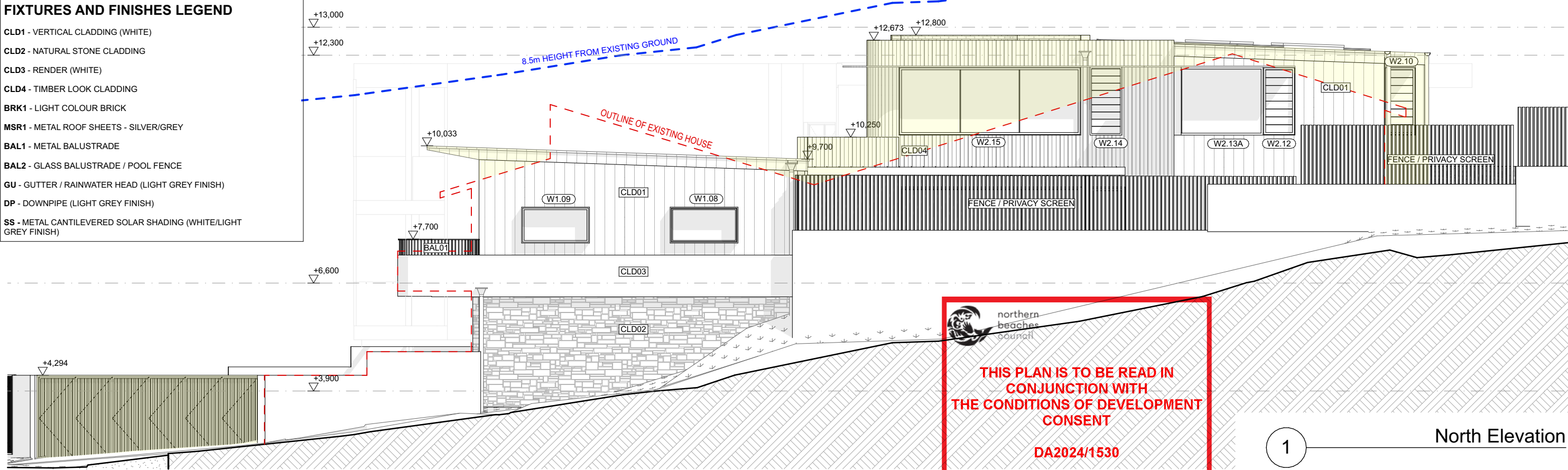
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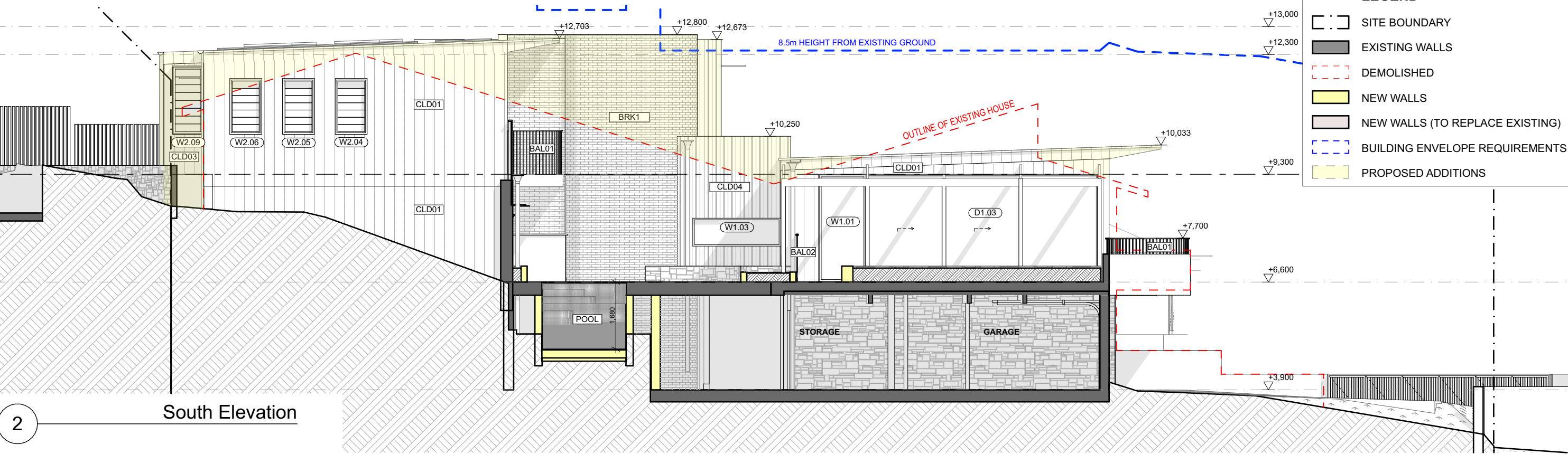
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FIXTURES AND FINISHES LEGEND

- CLD1 - VERTICAL CLADDING (WHITE)
CLD2 - NATURAL STONE CLADDING
CLD3 - RENDER (WHITE)
CLD4 - TIMBER LOOK CLADDING
BRK1 - LIGHT COLOUR BRICK
MSR1 - METAL ROOF SHEETS - SILVER/GREY
BAL1 - METAL BALUSTRADE
BAL2 - GLASS BALUSTRADE / POOL FENCE
GU - GUTTER / RAINWATER HEAD (LIGHT GREY FINISH)
DP - DOWNPIPE (LIGHT GREY FINISH)
SS - METAL CANTILEVERED SOLAR SHADING (WHITE/LIGHT GREY FINISH)



North Elevation



South Elevation

LEGEND

- SITE BOUNDARY
■ EXISTING WALLS
□ DEMOLISHED
■ NEW WALLS
■ NEW WALLS (TO REPLACE EXISTING)
□ BUILDING ENVELOPE REQUIREMENTS
■ PROPOSED ADDITIONS

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REV DATE DESCRIPTION

01 23/10/2024 STAGE 2 - DA

PROJECT DETAILS

Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**
Client: **Brad & Louise Dowe**
Project: **2251**

DRAWING TITLE :

PROPOSED NORTH & SOUTH ELEVATIONS

PROJECT NAME :

**2131 Pittwater Road,
Church Point**

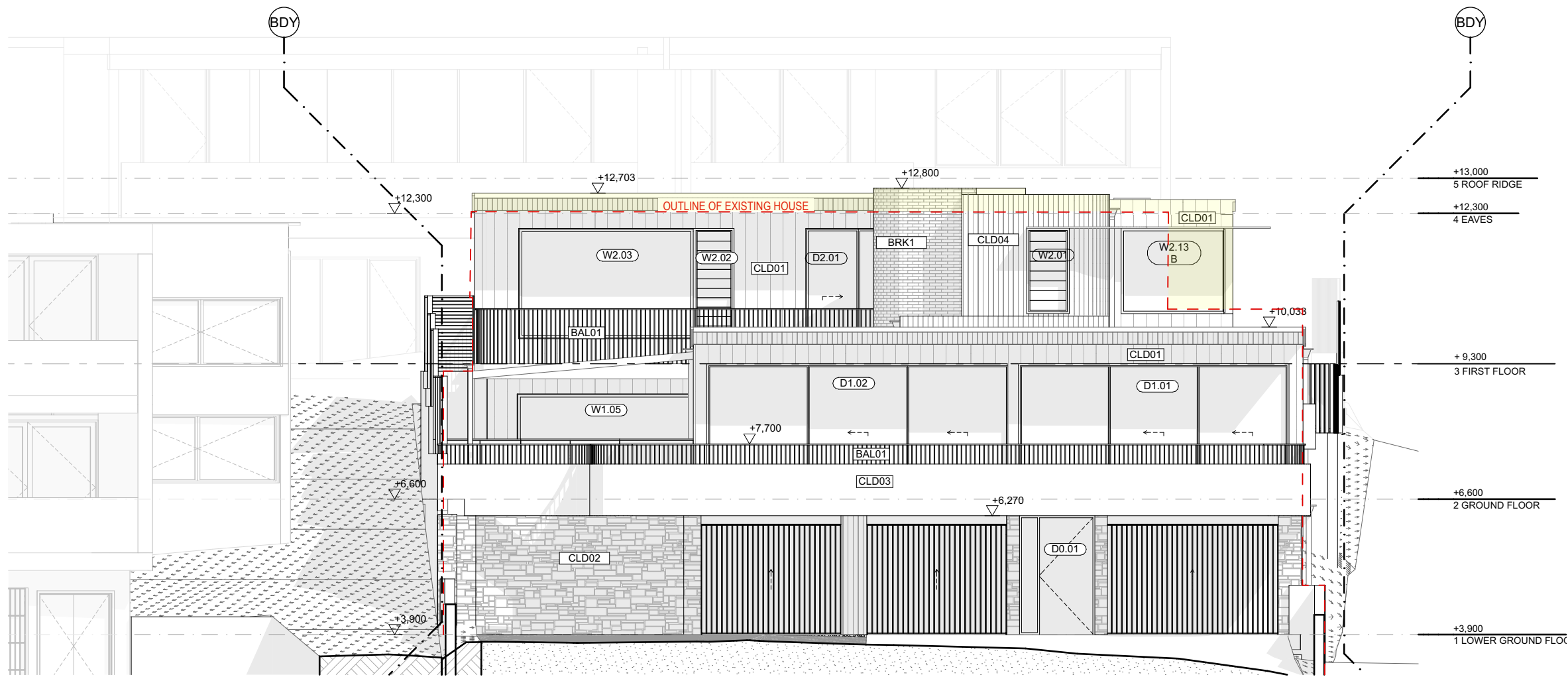
REVISION NO.

01

DRAWING NO.

DA15

SCALE:
1:100 @ A3



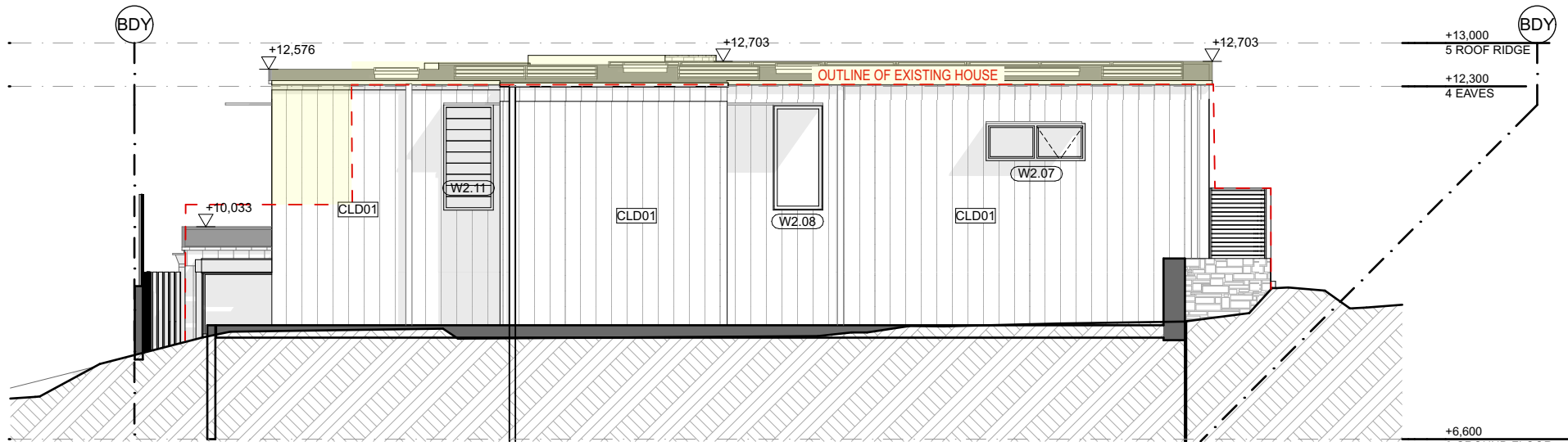
LEGEND	
	SITE BOUNDARY
	EXISTING WALLS
	DEMOLISHED
	NEW WALLS
	NEW WALLS (TO REPLACE EXISTING)
	BUILDING ENVELOPE REQUIREMENTS
	PROPOSED ADDITIONS



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2024/1530

1 EAST ELEVATION



FIXTURES AND FINISHES LEGEND

CLD1 - VERTICAL CLADDING (WHITE)
CLD2 - NATURAL STONE CLADDING
CLD3 - RENDER (WHITE)
CLD4 - TIMBER LOOK CLADDING
BRK1 - LIGHT COLOUR BRICK
MSR1 - METAL ROOF SHEETS - SILVER/GREY
BAL1 - METAL BALUSTRADE
BAL2 - GLASS BALUSTRADE / POOL FENCE
GU - GUTTER / RAINWATER HEAD (LIGHT GREY FINISH)
DP - DOWNPIPE (LIGHT GREY FINISH)
SS - METAL CANTILEVERED SOLAR SHADING (WHITE/LIGHT GREY FINISH)

2 West Elevation

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REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS
Drawn | Checked **JG - RR - RP**
Plot Date: **28/10/2024**
Project Status **Development Application**
Client: **Brad & Louise Dowe**
Project: **2251**

DRAWING TITLE :
**PROPOSED EAST & WEST
ELEVATIONS**
PROJECT NAME :
**2131 Pittwater Road,
Church Point**

REVISION NO.
01
DRAWING NO.
DA16

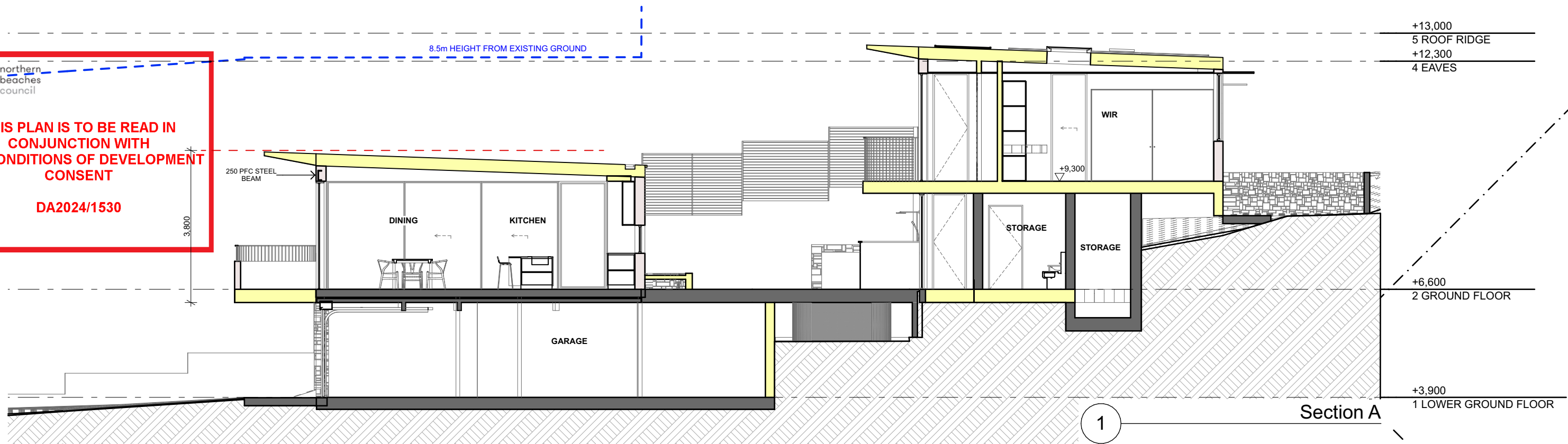
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





northern
beaches
council

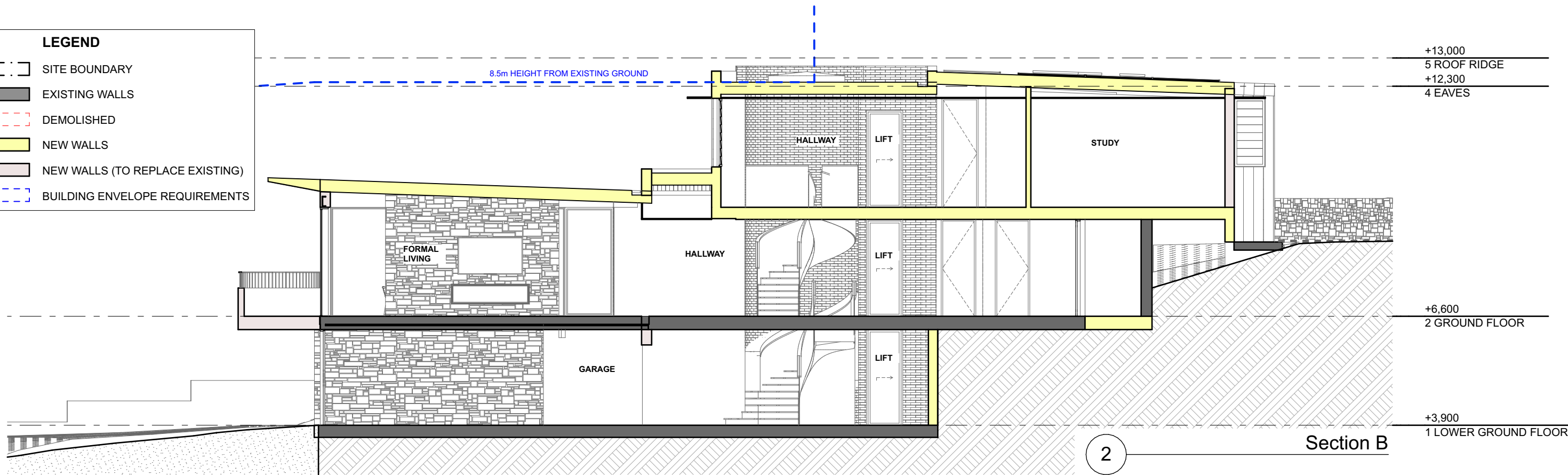
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CONSENT

DA2024/1530



LEGEND

-  SITE BOUNDARY
-  EXISTING WALLS
-  DEMOLISHED
-  NEW WALLS
-  NEW WALLS (TO REPLACE EXISTING)
-  BUILDING ENVELOPE REQUIREMENTS



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REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA

PROJECT DETAILS

Drawn | Checked **JG - RR - RP**

Plot Date: **28/10/2024**

Project Status **Development Application**

Client: **Brad & Louise Dowe**

Project: **2251**

DRAWING TITLE :

PROPOSED SECTIONS A & B

PROJECT NAME :

**2131 Pittwater Road,
Church Point**

REVISION NO.

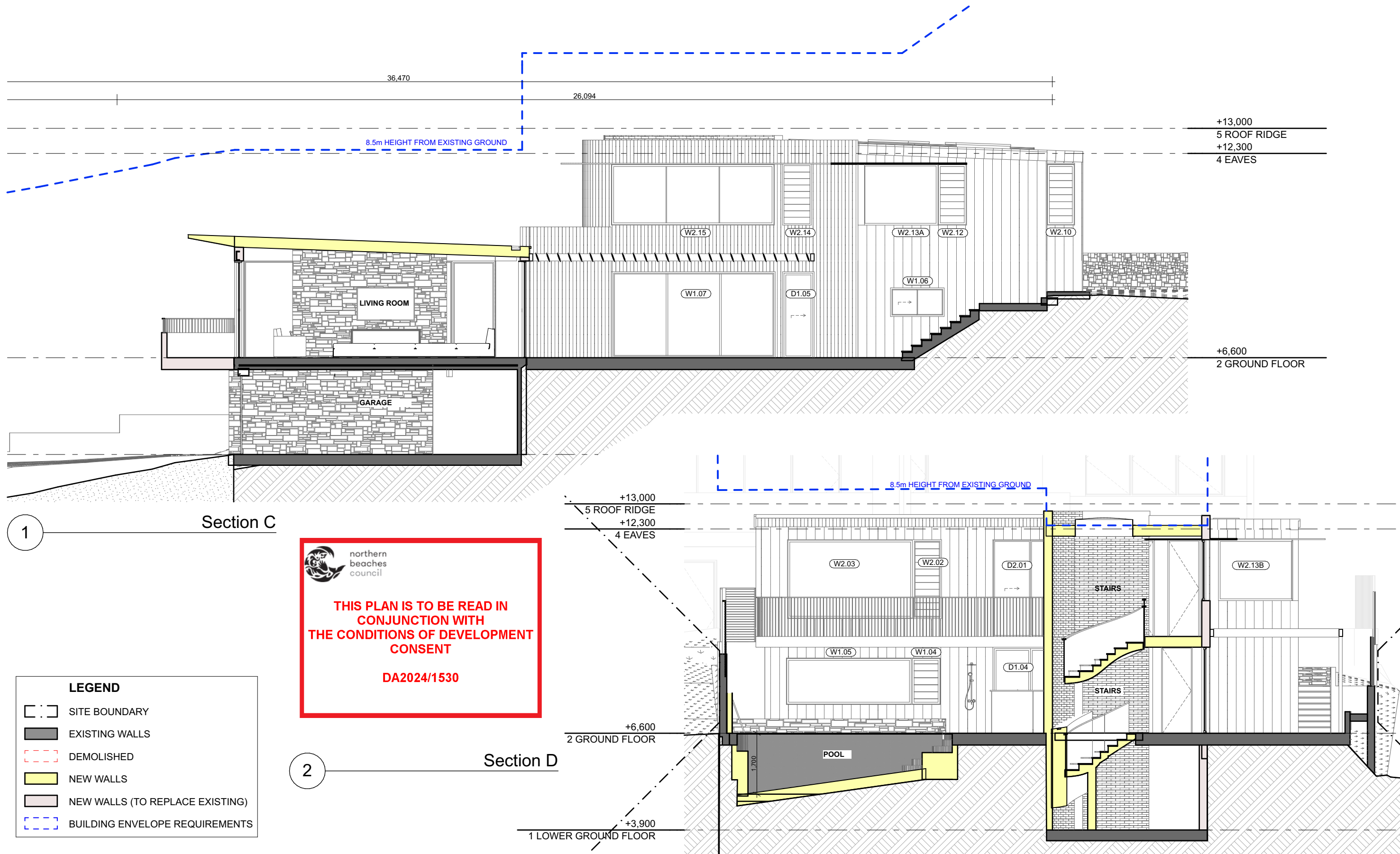
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DRAWING NO.

DA17

SCALE:

1:100 @ A3



REV	DATE	DESCRIPTION
01	23/10/2024	STAGE 2 - DA



LEGEND

- CONCRETE SURFACE TREATMENT
- GARDEN AREA
- MASONRY WALL
- PROPOSED LAWN AREA
- SELECTED PAVED SURFACE
- BOUNDARY LINE
- STEPPING STONES

NOTE

POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021.
POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE
BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT:
Brad and Louise Dowe
2131 Pittwater Road,
Church Point NSW 2105

NOTES

- All works shall comply with building code of Australia and all relevant Australian standards.
- All works shall be in accordance with development application and construction certificate conditions of consent all levels to shd.
- Refer to survey information relating to existing site data.
- Verify all dimensions prior to works.
- Do not scale from drawings.
- Use figured dimensions in preference to scaling.
- Refer all discrepancies to landscape architect for determination.
- This drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.

DATE	REV	ISSUE
03/09/24	A	DRAFT
11/09/24	B	REV.
19/09/24	C	REV.
01/11/24	D	REV.

DATE: 01/11/2024

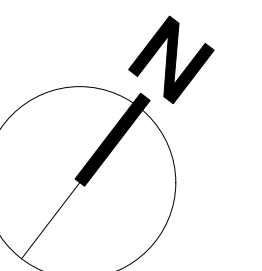
SCALE: 1:100@A1
1:200@A3

DRAWN: CC

DRAWING
SITE PLAN

DRAWING NO : C-1

REV: D



PLANTING PLAN

Scale 1:100 @ A1

PLANT SCHEDULE					
Botanic Name	Common Name	Quantity	Pot Size	Designed Spread	Designed Height
Bismarckia nobilis	Bismark Palm	2	45lt	3000	12000
Buxus japonica	Japanese Box	15	200mm	400	500
Correa alba	Correa alba	6	300mm	1500	1500
Crassula 'Max Cook'	Crassula	10	300mm	750	1000
Crassula ovata 'Blue Bird'	Crassula	12	300mm	900	1000
Dianella 'Clarity Blue'	Clarity Blue	17	200mm	500	500
Dichondra 'Silver Falls'	Silver Falls	57	140mm	500	100
Doryanthes excelsa	Gymea Lily	9	200mm	1000	1500
Kalanchoe 'Silver Spoons'	Silver Spoons	7	200mm	800	300
Magnolia 'Little Gem'	Magnolia	1	25lt	2500	3000
Pennisetum alopecuroides	Swamp Fountain Grass	5	200mm	900	900
Pittosporum tenuifolium	Golf Ball	33	200mm	700	800
Sansevieria laurentii	Mother in Law Tongue	25	250mm	500	1500
Santolina chamaecyparissus	Cotton Lavender	38	200mm	600	400
Senecio serpens	Chalk Sticks	51	140mm	400	300
Viburnum odoratissimum	Sweet Viburnum	11	300mm	1500	2500
Westringia 'Mundi'	Dwarf Coastal Rosemary	21	200mm	1000	500
Zoysia tenuifolia	No-Mow Grass	50	140mm	300	300

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT:
Brad and Louise Dowe
2131 Pittwater Road,
Church Point NSW 2105

NOTES

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- All works shall be in accordance with development application and construction certificate conditions of consent.
- all levels to ahd.
- Refer to survey information relating to existing site data.
- Verify all dimensions prior to works.
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DATE	REV	ISSUE
03/09/24	A	DRAFT
11/09/24	B	REV.
19/09/24	C	REV.
01/11/24	D	REV.



DATE: 01/11/2024

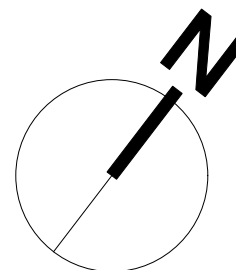
SCALE: 1:100@A1
1:200@A3

DRAWN: CC

DRAWING
PLANTING PLAN

DRAWING NO : C-3

REV: D



LEGEND

- CONCRETE SURFACE TREATMENT
- GARDEN AREA
- MASONRY WALL
- PROPOSED LAWN AREA
- SELECTED PAVED SURFACE
- BOUNDARY LINE
- STEPPING STONES