

# PROPOSED NEW DWELLING

AT

**27 BALGOWLAH ROAD**

**MANLY**

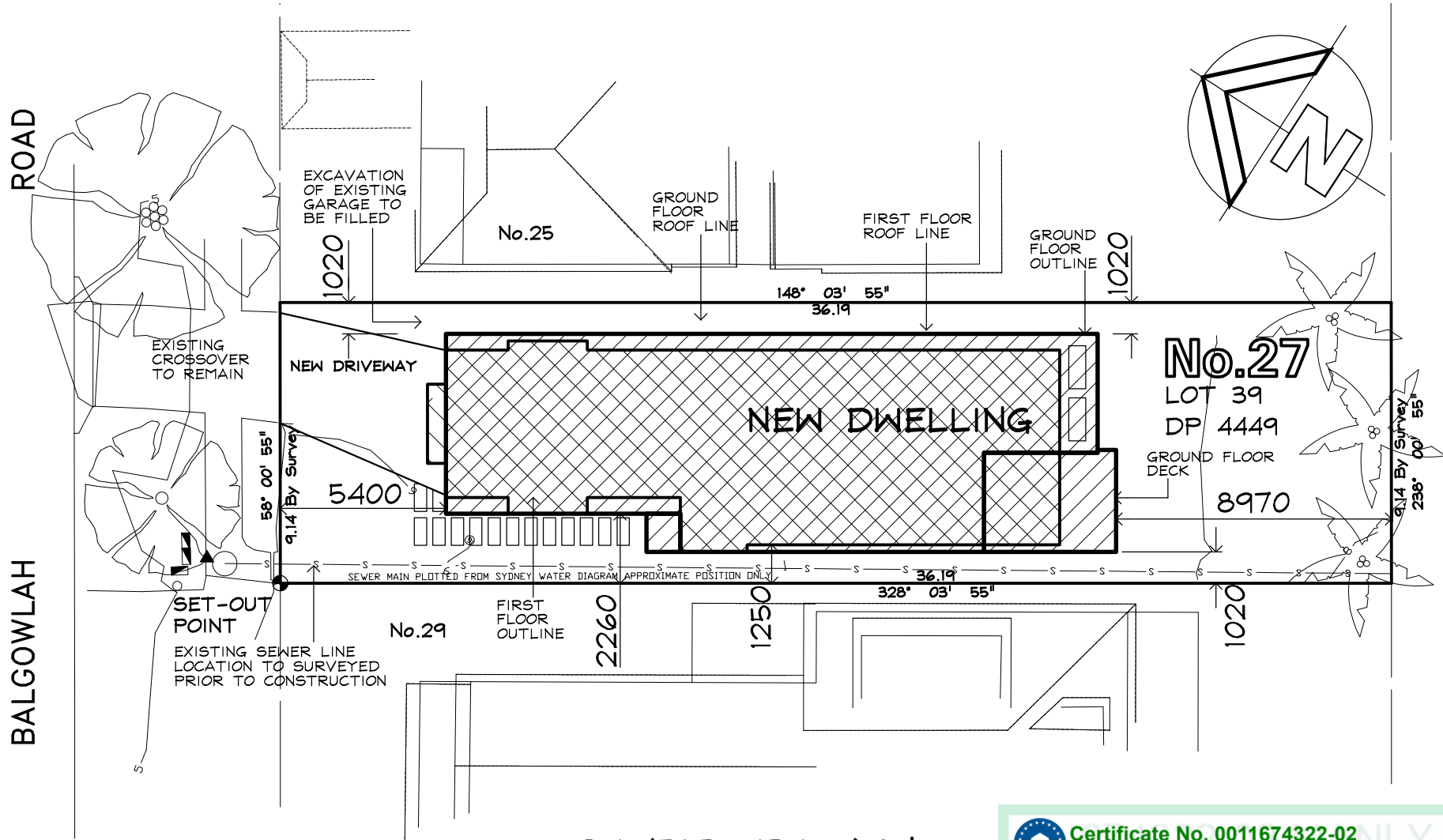
FOR

**Mr. A. & Mrs. A. MADRY**



**MARCH 2025**





## SITE PLAN

### BASIX REQUIREMENTS

TO BE READ INCONJUNCTION WITH THE  
BASIX CERTICATE NUMBER 1789956S\_01

ROOF AREA TO TANK TO BE USED  
FOR TOILET FLUSHING, COLD WATER  
CLOTHS WASHING AND GARDEN  
TAPS SUPPLY (MINIMUM)

150.0 sq.m.

WATER STORAGE TANK CAPACITY

2000 MIN. LITRES

NEW SHOWER HEAD MINIMUM RATING

3 STAR RATING

NEW TOILET MINIMUM RATING

3 STAR RATING

ALL NEW TAP FITTINGS MINIMUM RATING

3 STAR RATING

GLAZING TO ALUMINIUM FRAMED WINDOWS AND TIMBER DOORS OR OTHERWISE  
NOTED ARE TO BE IN ACCORDANCE WITH THE NATHERS/BASIX REPORT

ROOF COLOUR

SA 0.59

GROUND FLOOR SLAB

R2.3 RATING

FLOOR ABOVE GARAGE

R4.0 RATING

ROOF SHEETING ON INSULATION

R1.3 RATING

EXTERNAL WALLS INSULATION

R2.7 RATING

INTERNAL WALLS INSULATION (GARAGE ONLY)

R2.7 RATING

CEILING INSULATION

R4.0-R6.0 RATING

(REFER TO NATHERS CERTIFICATE)

INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THRU-OUT 5 sq.m.  
OF THE SITE TO BE PLANTED REFER LANDSCAPE PLAN.

HOT WATER SERVICE TO BE GAS INSTANTANEOUS WITH A PREFORMANCE OF  
7.0 STARS OR BETTER.

COOLING SYSTEM TO BE IN AT LEAST 2 LIVING AREA & 1 BEDROOM TO BE A  
1-PHASE AIR CONDITIONING WITH AN ENERGY RATING OF EER 3.0-3.5 OR  
BETTER TO BEDROOM ONLY. THE COOLING SYSTEM MUST PROVIDE FOR  
DAY/NIGHT ZONING BETWEEN LIVING & BEDROOM AREAS.

HEATING SYSTEM IN AT LEAST 1 LIVING AREA & 1 BEDROOM TO BE 1-PHASE  
AIR CONDITIONING WITH AN ENERGY RATING OF EER 3.0 - 3.5 OR BETTER.

FIXED OUTDOORS CLOTHES DRYING LINE TO BE INSTALLED

APPLICANT MUST ENSURE THAT A MINMUM OF 80% IS FLOURESCENT OR LIGHT  
EMIITING DIODE (LED) LIGHTING THROUGHOUT THE HOME.

### SITE CRITERIA

No.27 BALGOWLAH ROAD MANLY N.S.W. 2095

LOT 39 SECTION D. D.P. 4449

SITE AREA ..... = 330.7 sq. m.

EXISTING HARDSTAND ..... = 202.4 sq. m. (61.2 %)  
EXISTING DWELLING FOOT PRINT ..... = 132.9 sq. m.  
EXISTING OPEN SPACE ..... = 146.4 sq. m. (44.3 %)  
EXISTING TOTAL OPEN SPACE ..... = 197.8 sq. m. (59.8 %)  
EXISTING LANDSCAPED AREA < 3.0m WIDE ..... = 26.2 sq. m. (7.9 %)  
EXISTING LANDSCAPED AREA > 3.0m WIDE ..... = 102.6 sq. m. (31.0 %)  
EXISTING TOTAL OPEN SPACE (OS3) > 3.0m WIDE ..... = 102.6 sq. m. (31.0 %)

PROPOSED CAR PARKING AREA - GARAGE ..... = 38.0 sq. m.  
PROPOSED TOTAL GROUND FLOOR AREA - (EXC GARAGE) .. = 91.3 sq. m.  
PROPOSED GROUND FLOOR FRONT DECK AREA ..... = 1.4 sq. m.  
PROPOSED GROUND FLOOR REAR DECK AREA ..... = 13.9 sq. m.  
PROPOSED TOTAL FIRST FLOOR AREA ..... = 117.7 sq. m.  
GROSS FLOOR AREAS (GF 123.7 + FF 101.4 less garage 36.3=188.8) = 188.8 sq. m. (0.57.1 )  
FLOOR SPACE RATION (FSR) - 0.6:1 (MAP 003) ..... = 0.6:1 = 198.4 m2  
DWELLING ROOF AREA ..... = 171.1 sq. m.

2 CAR PARKING SPACE PROVIDED IN GARAGE

POST LANDSCAPED AREA < 3.0m WIDE ..... = 56.4 sq. m. (17.1 %)  
POST LANDSCAPED AREA > 3.0m WIDE ..... = 106.6 sq. m. (32.2 %)  
POST TOTAL LANDSCAPED AREA ..... = 163.0 sq. m. (49.3 %)  
POST HARDSTAND AREA ..... = 153.1 sq. m. (46.3 %)  
POST OPEN SPACE ABOVE GROUND ..... = 15.3 sq. m. ( 4.6 %)  
POST TOTAL OPEN SPACE (OS3) ..... = 124.9 sq. m. (37.8 %)  
POST TOTAL OPEN SPACE >2.2m WIDE ..... = 17.2 sq. m. ( 5.2 %)  
POST TOTAL OPEN SPACE >3.0 & 2.2m WIDE ..... = 142.2 sq. m. (43.0 %)

### NOTES:-

1. ALL GLAZING TO WINDOWS & DOORS SHALL BE IN ACCORDANCE WITH THE BASIX REPORT.
2. EXTERNAL WALL CLADDING SHALL BE SELECTED PLANK CLADDING WITH A SPECIFIED PAINTED COLOUR FINISH.
3. AN APPROVED RATED INSULATION TO ALL EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH THE BASIX REPORT.
4. AN APPROVED RATED INSULATION MATERIAL TO BE PLACED IN THE CEILING SPACE WITHIN THE PERIMETER OF ALL EXTERNAL WALLS IN ACCORDANCE WITH THE BASIX REPORT.
5. AN APPROVED RATED CONDENSATION BLANKET PLACED UNDER ROOF SHEETING THRU-OUT IN ACCORDANCE WITH THE BASIX REPORT.
6. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
7. EXTERNAL WALL FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
8. ALL WINDOWS AND DOORS TO HAVE WEATHER STRIPPING.
9. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SPECIFIED COLOUR FINISH.
10. ALL PAINTING TO OWNERS REQUIREMENTS.
11. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
12. ALL GLAZING TO CODE AS1288
13. ALL PEST TREATMENT TO CODE AS3660.1-2000
14. SMOKE DETECTOR DENOTED SD ON PLAN TO BCA/39
15. ALL WATERPROOFING TO WET AREAS TO CODE AS3740
16. ALL TIMBER FRAMING TO CODE AS1684
17. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.



### GENERAL NOTES AND BCA / NCC COMPLIANCE

- EARTHWORKS METHOD OF EXCAVATION AND FILL TO COMPLY WITH PART 3.1.1. B.C.A.
- TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3 OF THE B.C.A. AND AS3660-1
- FOOTINGS AND SLABS TO COMPLY WITH PART 3.2 OF THE B.C.A. , AS2870 AND ENGINEERS DETAILS
- MASONRY CONSTRUCTION TO COMPLY WITH PART 3.3 OF THE B.C.A. AND AS3700
- TIMBER FRAMING TO COMPLY WITH PART 3.4 OF THE B.C.A. AND AS1684
- GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A. AND AS1288
- SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE B.C.A. AND AS3786
- STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 OF THE B.C.A.
- BALISTRADES AND OTHER BARRIERS TO COMPLY WITH PART 3.9.2 OF THE B.C.A.
- NATURAL LIGHT TO COMPLY WITH PART 3.8.4 OF THE B.C.A.
- VENTILATION TO COMPLY WITH PART 3.8.5 OF THE B.C.A.
- ALL DAMP AND WEATHERPROOFING TO COMPLY WITH PART 3.8 OF THE B.C.A.
- ROOFING TO COMPLY WITH PART 3.5.1 OF THE B.C.A. AND AS/NZ1562
- FLOOR SURFACES OF WATER CLOSETS, SHOWER COMPARTMENTS AND THE A LIKE TO BE OF MATERIALS IMPERVIOUS TO MOISTURE AND WALLS FINISHED WITH AN APPROVED IMPERVIOUS FINISH TO COMPLY WITH THE REQUIREMENTS OF PART 3.8 OF THE B.C.A. AND AS3740
- CLOTHS WASHING, DRYING AND COOKING FACILITIES TO BE PROVIDED TO COMPLY WITH PART 3.8.3 OF THE B.C.A.

ABOVE NOTES TO BE READ IN-CONJUNCTION  
WITH THE ARCHITECTURAL PLANS AND THE  
STRUCTURAL ENGINEERS DETAILS

## DA ISSUE

REVISION D. DATE: MAY/2025

- FIRST FLOOR REDUCE IN WIDTH 250mm
- GROUND FLOOR STAIRS CHANGE
- REAR DECK REDUCED 600mm



OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259  
P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261  
Tel : (02) 4352 1189 Fax : (02) 4352 1198  
Builders Lic. 158741C ABN 65 687 862 151

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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAY, 2015** SCALE **1:200**

JOB No.

**CC174**

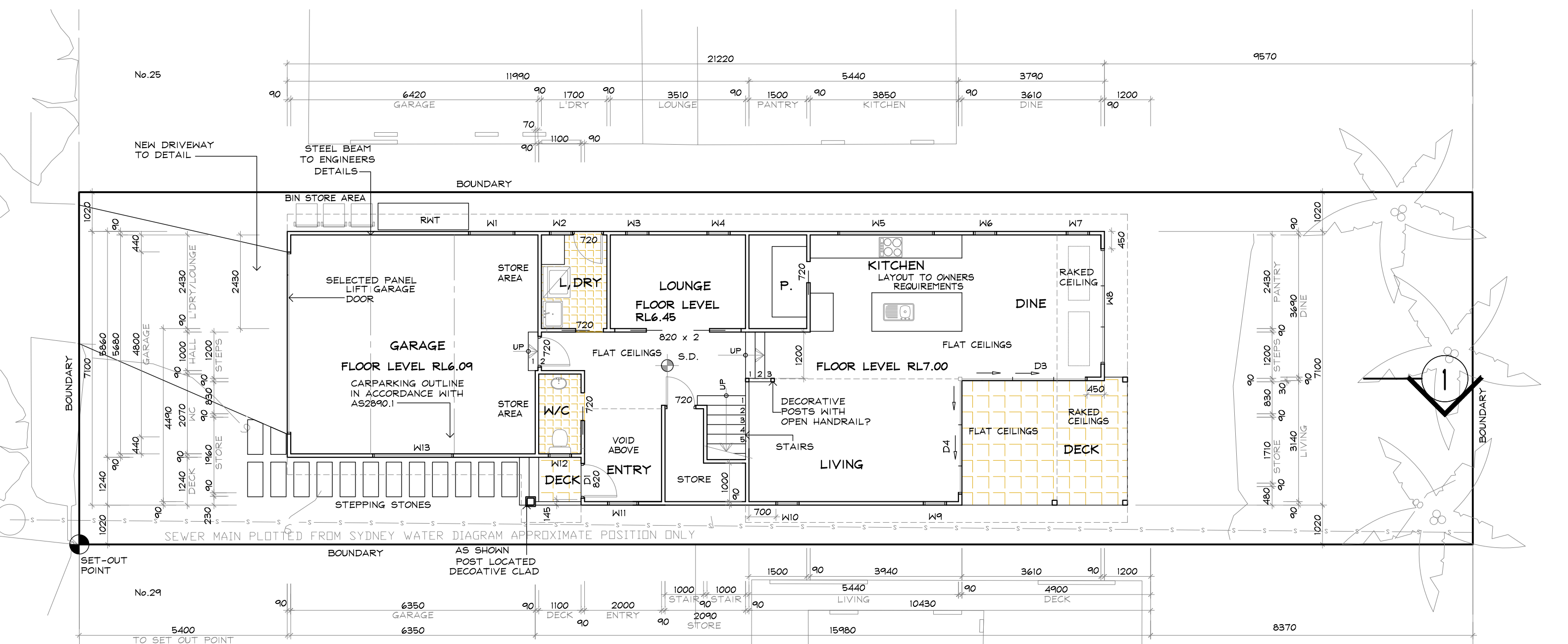
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**01**

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**D**

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DOUBT  
ASK



#### LAUNDRY & POWDER

SELECTED FLOOR TILES OVER SELECTED WATER RESISTENT FLOOR SHEETING GRADED TO FLOOR WASTE.  
SELECTED WALL TILES, CEILING & WALL LINING AS SPECIFIED.

## GROUND FLOOR PLAN



DA ISSUE

REVISION C. DATE: MAY/2025  
- FIRST FLOOR REDUCE IN WIDTH  
- GROUND FLOOR STAIRS CHANGE



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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:100**

JOB No.

**CC174**

DWG. No.

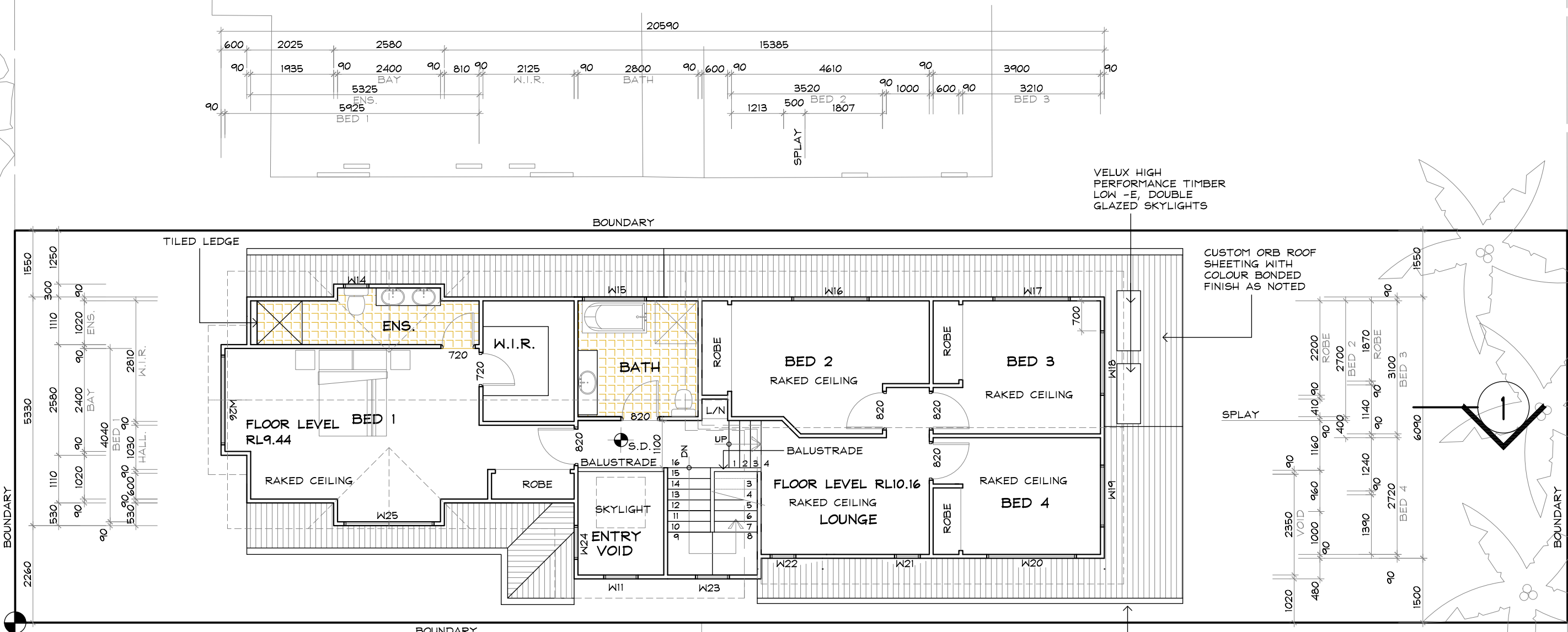
**02**

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**C**

IF IN  
DOUBT  
ASK





**BATHROOM & ENSUITE**  
SELECTED FLOOR TILES OVER SELECTED  
WATER RESISTENT FLOOR SHEETING  
GRADED TO FLOOR WASTE.  
SELECTED WALL TILES, CEILING & WALL  
LINING AS SPECIFIED.

**FIRST FLOOR PLAN**

**Certificate No. 0011674322-02**  
Scan QR code or follow website link for rating details.  
Assessor name Ian Fry  
Accreditation No. DMN/12/1441  
Property Address 27 Balgowlah Road, MANLY NSW, 2095  
hstar.com.au/QR/Generate?p=rXAhLJapR



**DA ISSUE**

**REVISION C. DATE: MAY/2025**  
- FIRST FLOOR REDUCE IN WIDTH  
- GROUND FLOOR STAIRS CHANGE

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**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

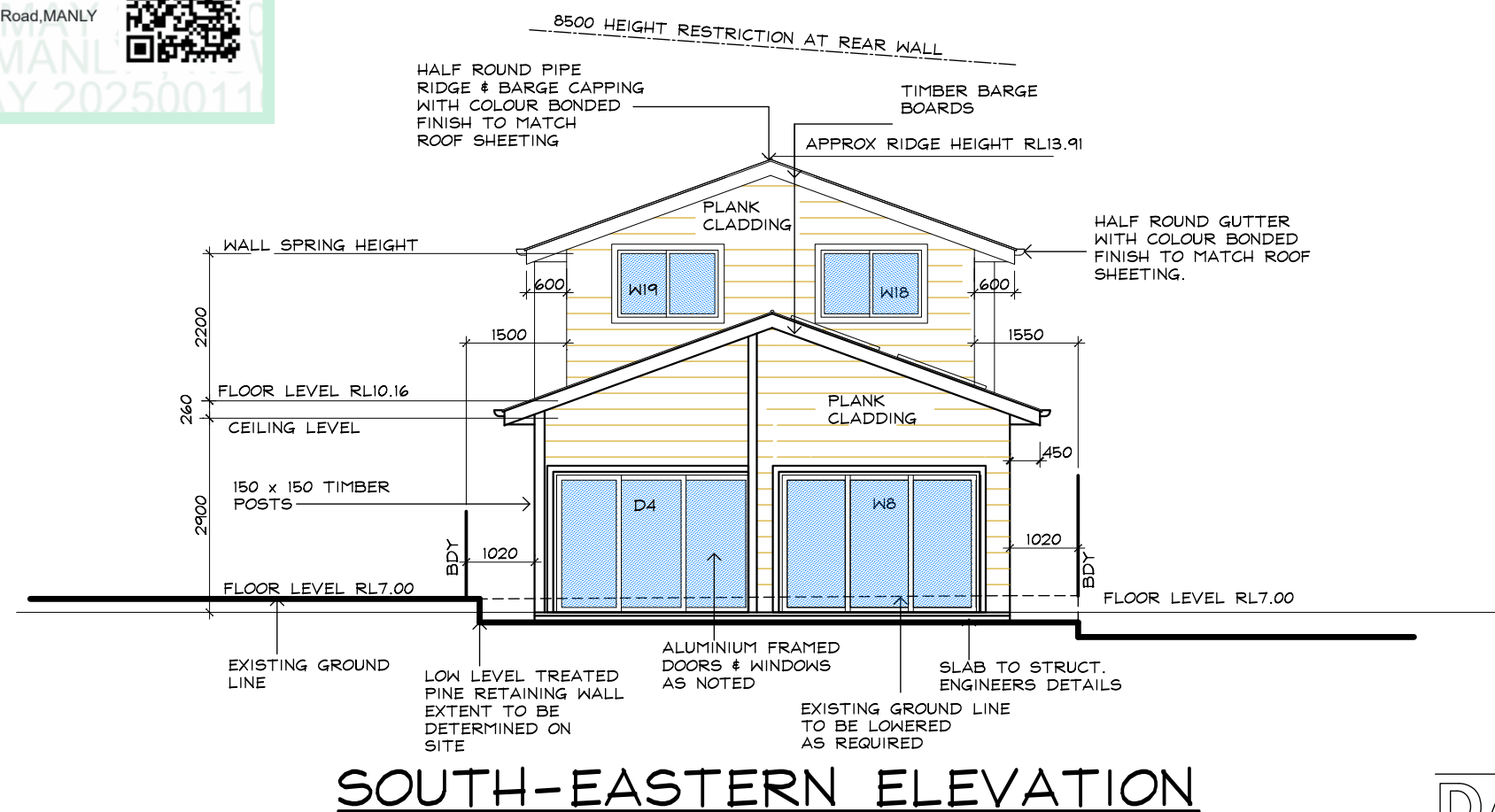
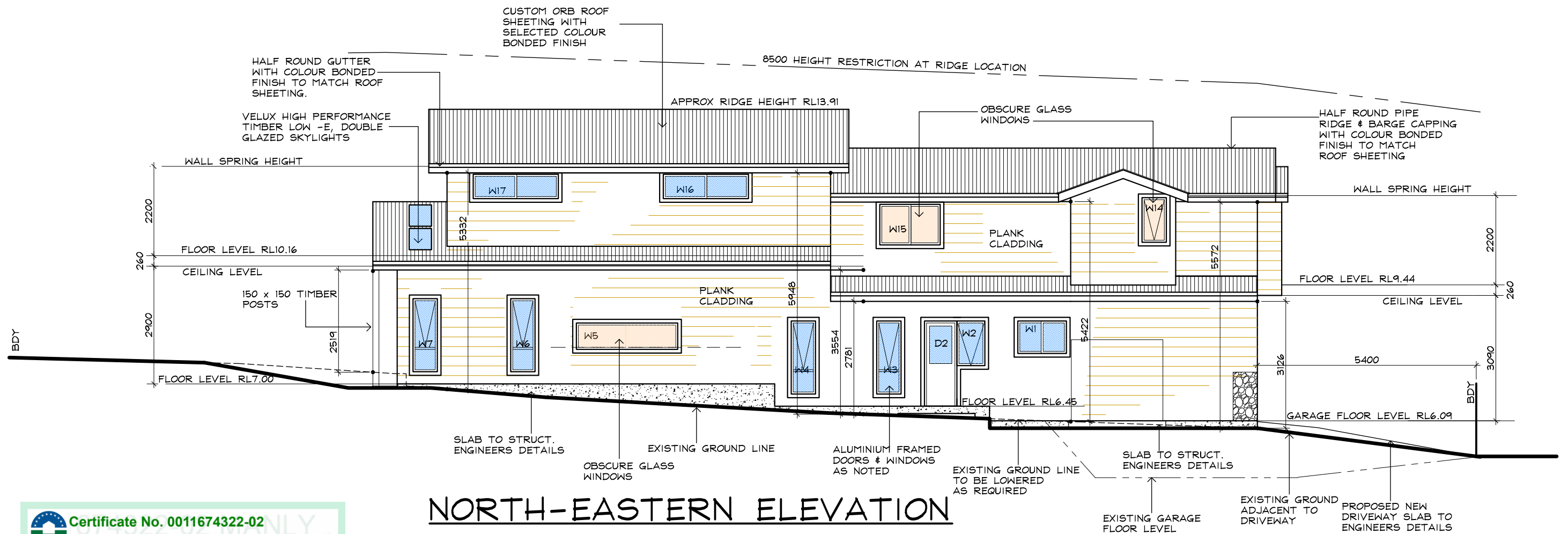
FOR  
**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:100**

JOB No. **CC174** DWG. No. **03** REV **C**

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DOUBT  
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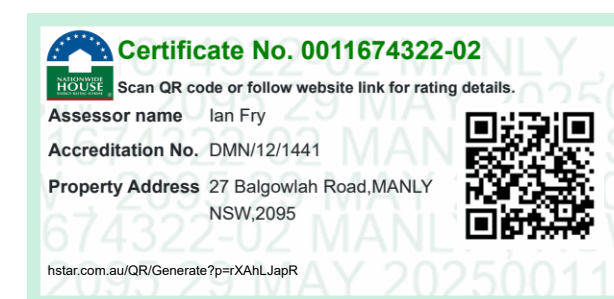
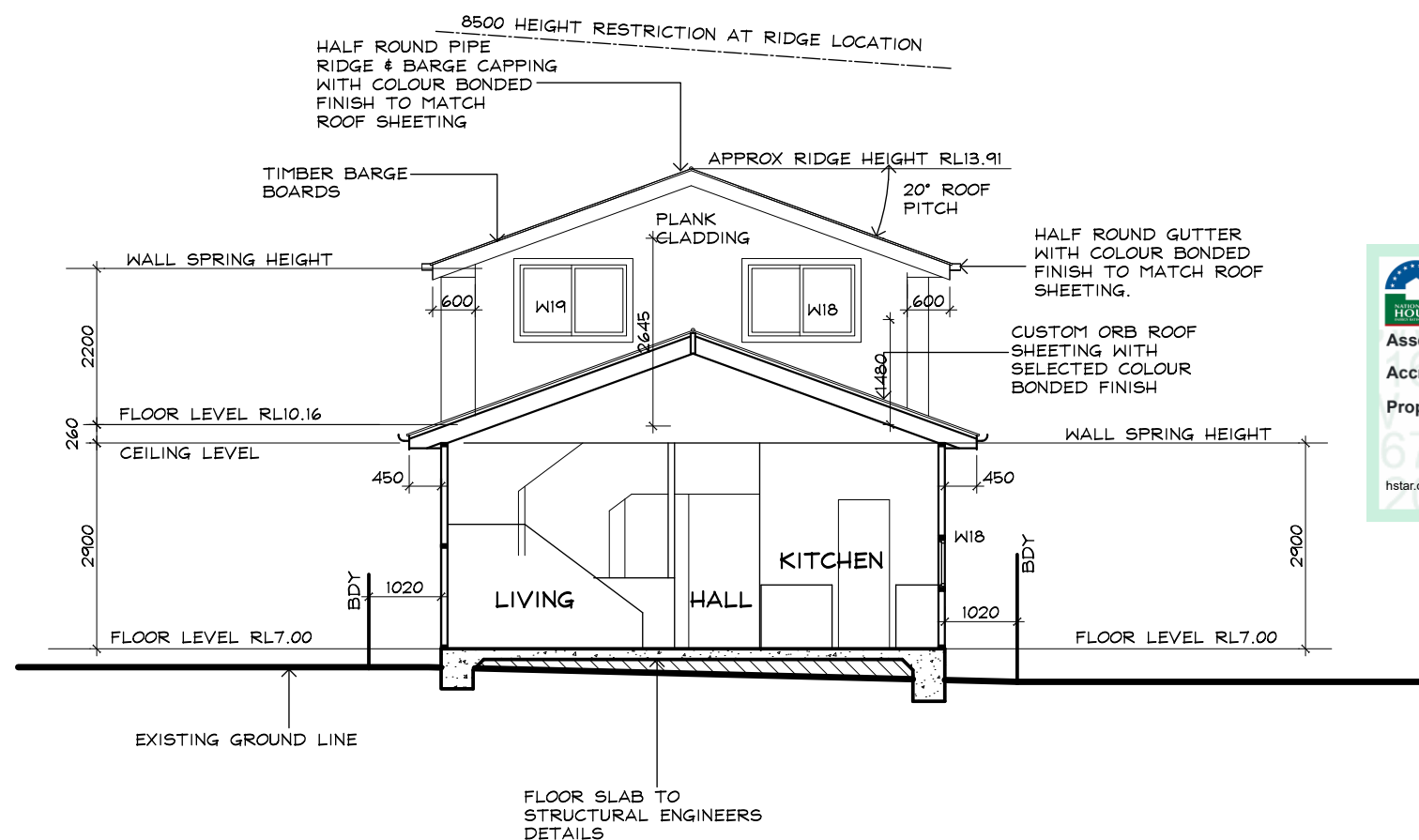
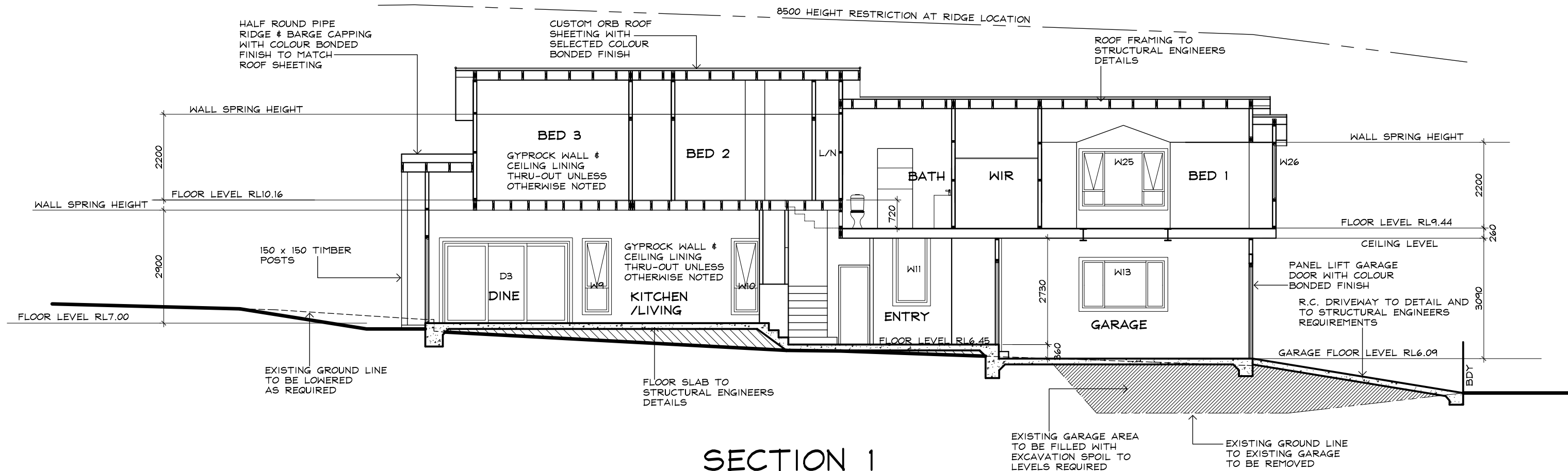
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**PROPOSED NEW DWELLING**  
**27 BALGOWLAH ROAD**  
**MANLY**  
 FOR  
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 DATE **MAR, 2015** SCALE **1:100**  
 JOB No. **CC174** DWG. No. **05** REV **B**

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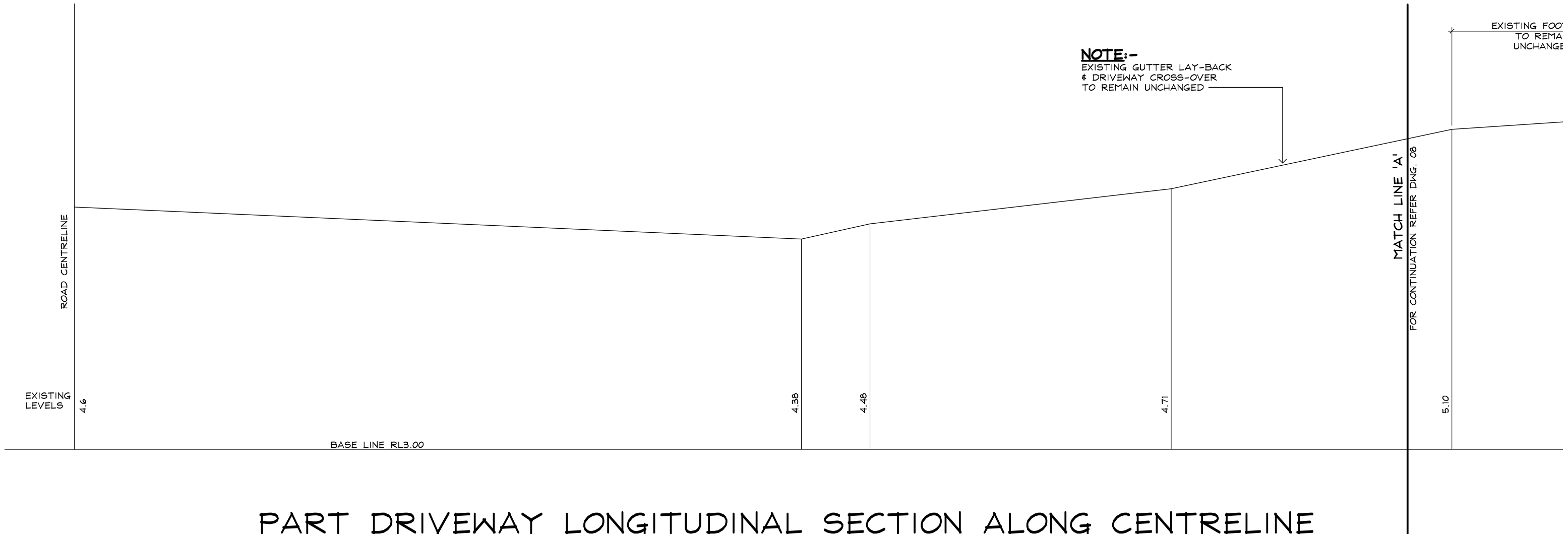


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PROJECT  
**PROPOSED NEW DWELLING**  
**27 BALGOWLAH ROAD**  
**MANLY**  
**FOR**  
**Mr. A. & Mrs. A. MADRY**  
DATE **MAR, 2015** SCALE **1:100**  
JOB No. **CC174** DWG. No. **06** REV **B**

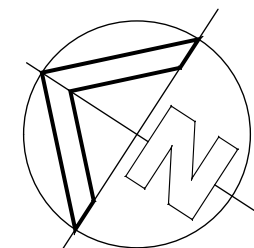
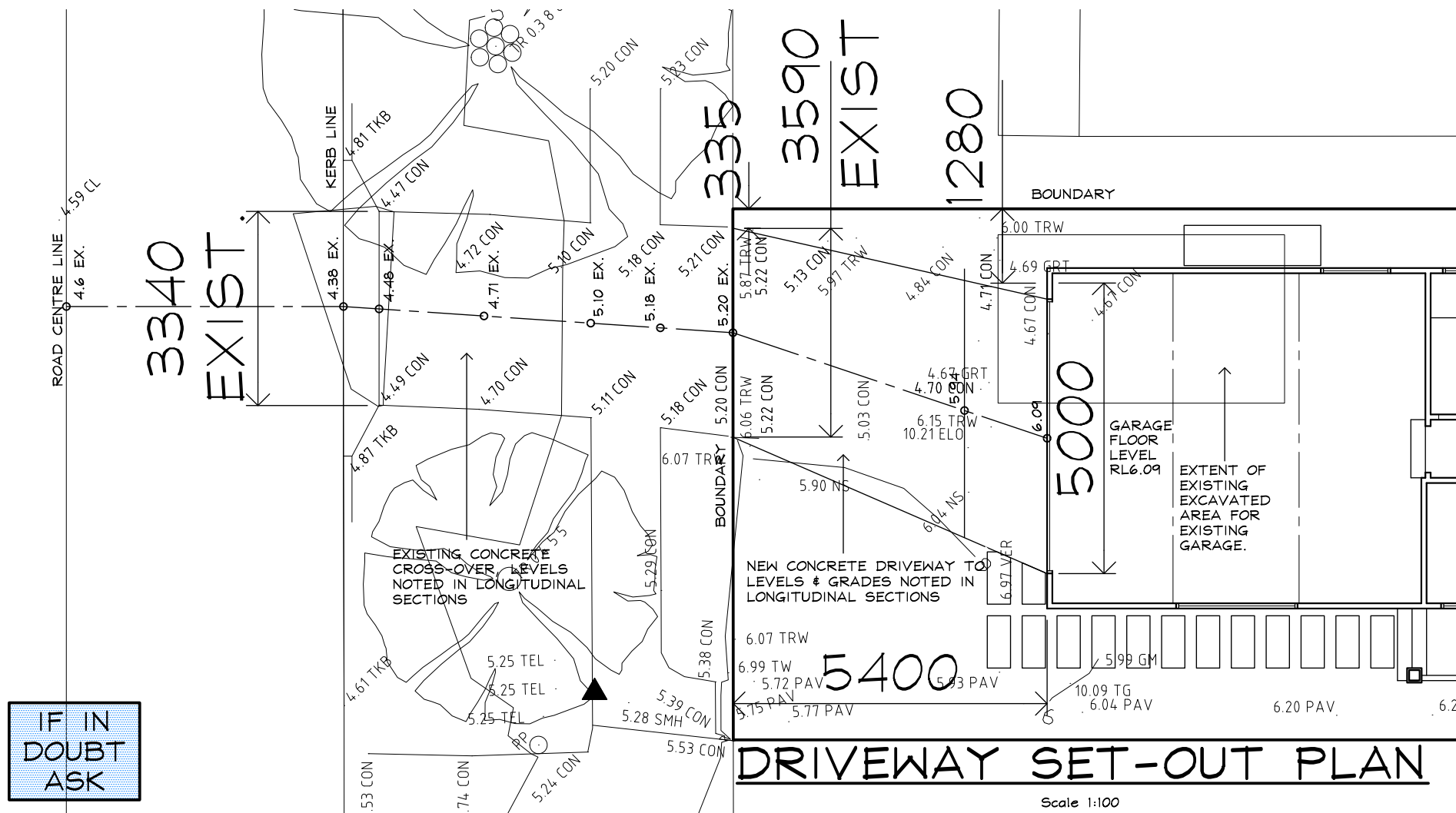
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ASK

DA ISSUE



## PART DRIVEWAY LONGITUDINAL SECTION ALONG CENTRELINE

Scale 1:25



DA ISSUE



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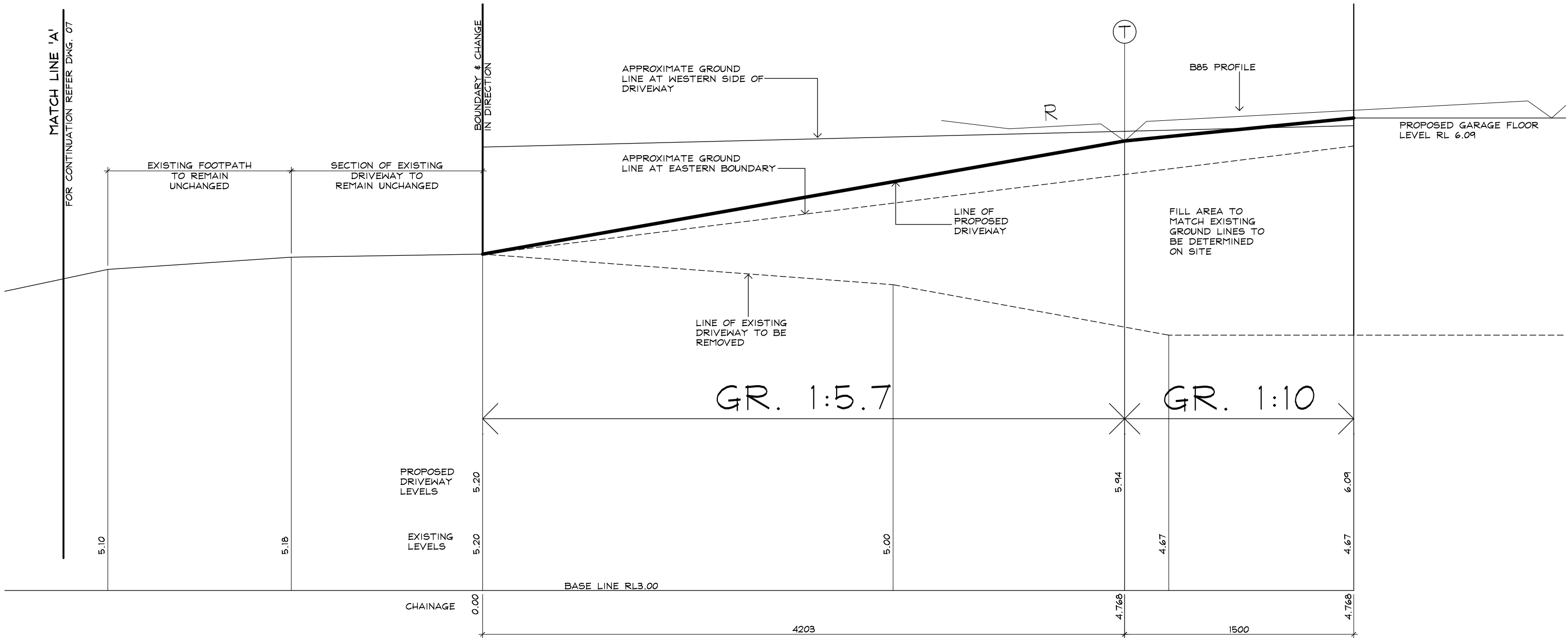
PROJECT  
**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR  
**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:100, 1:25**

JOB No. **CC174** DWG. No. **07** REV **B**





## PART DRIVEWAY LONGITUDINAL SECTION ALONG CENTRELINE

Scale 1:25



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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:25**

JOB No.

**CC174**

DWG. No.

**08**

REV

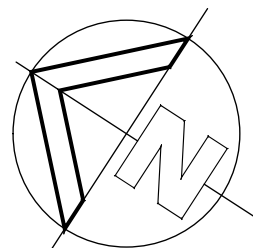
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**DA ISSUE**

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BALGOWLAH ROAD

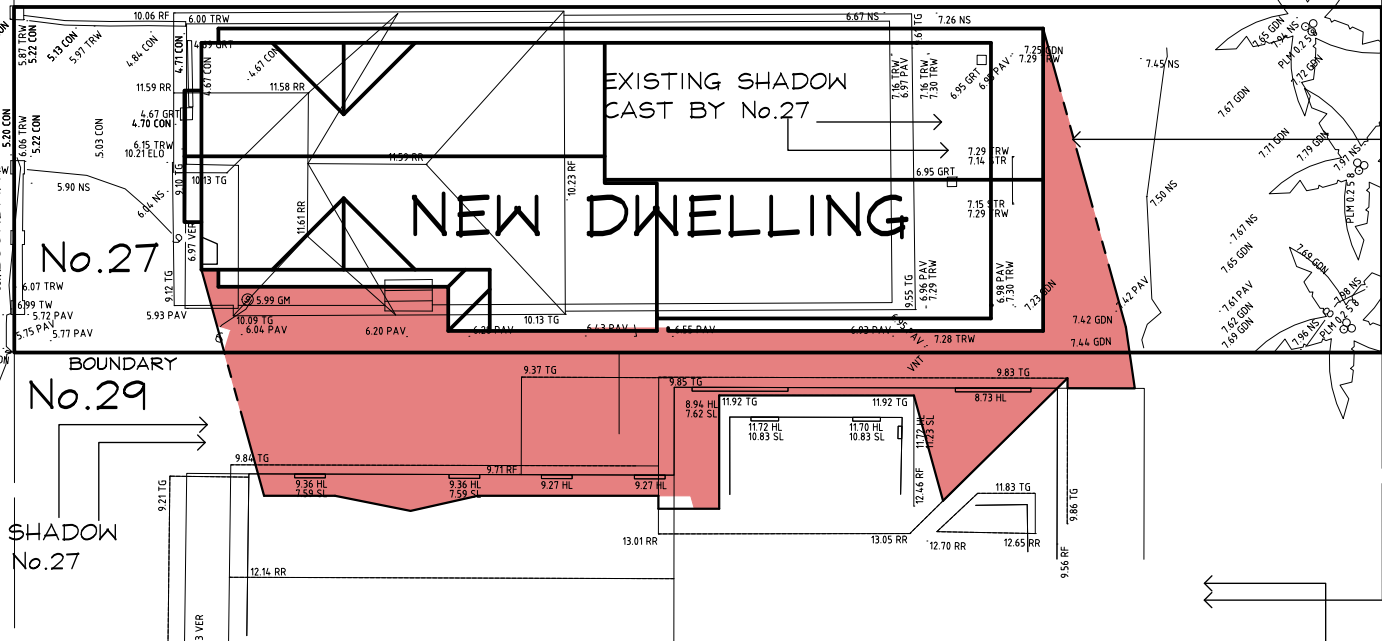
BALGOWLAH ROAD



No.25

No.27

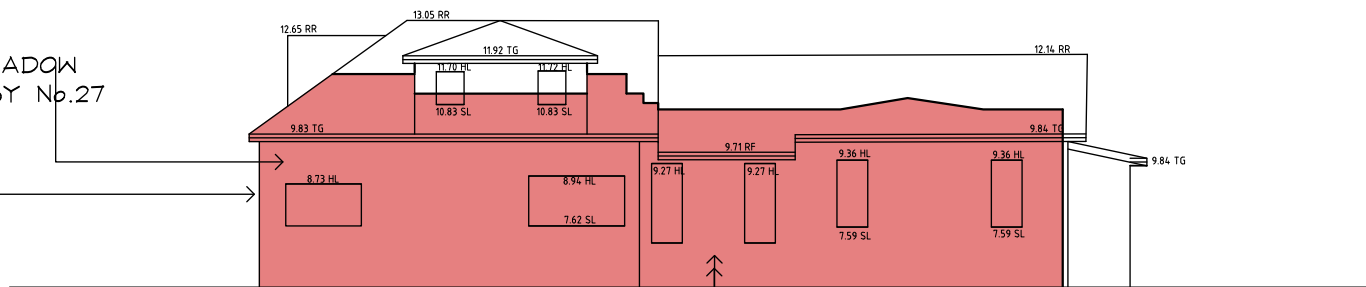
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## SOLAR ANALYSIS PLAN AT 0900 HOURS

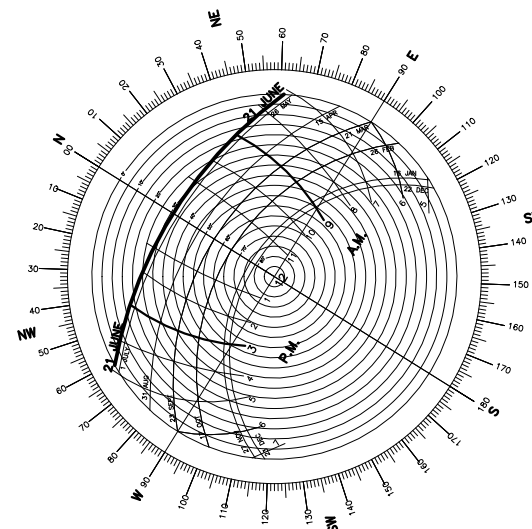
Scale 1:200

NEW SHADOW  
CAST BY No.27



EXISTING SHADOW  
CAST BY No.27

PROPOSED 900 HOUR SHADOW BY No.27  
ON THE EASTERN ELEVATION OF No.29



SOLAR ROSE  
21 st. JUNE

**Certificate No. 0011674322-02**  
Scan QR code or follow website link for rating details.  
Assessor name Ian Fry  
Accreditation No. DMN/12/1441  
Property Address 27 Balgowlah Road, MANLY NSW,2095  
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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:200**

JOB No.

**CC174**

DWG. No.

**09**

REV

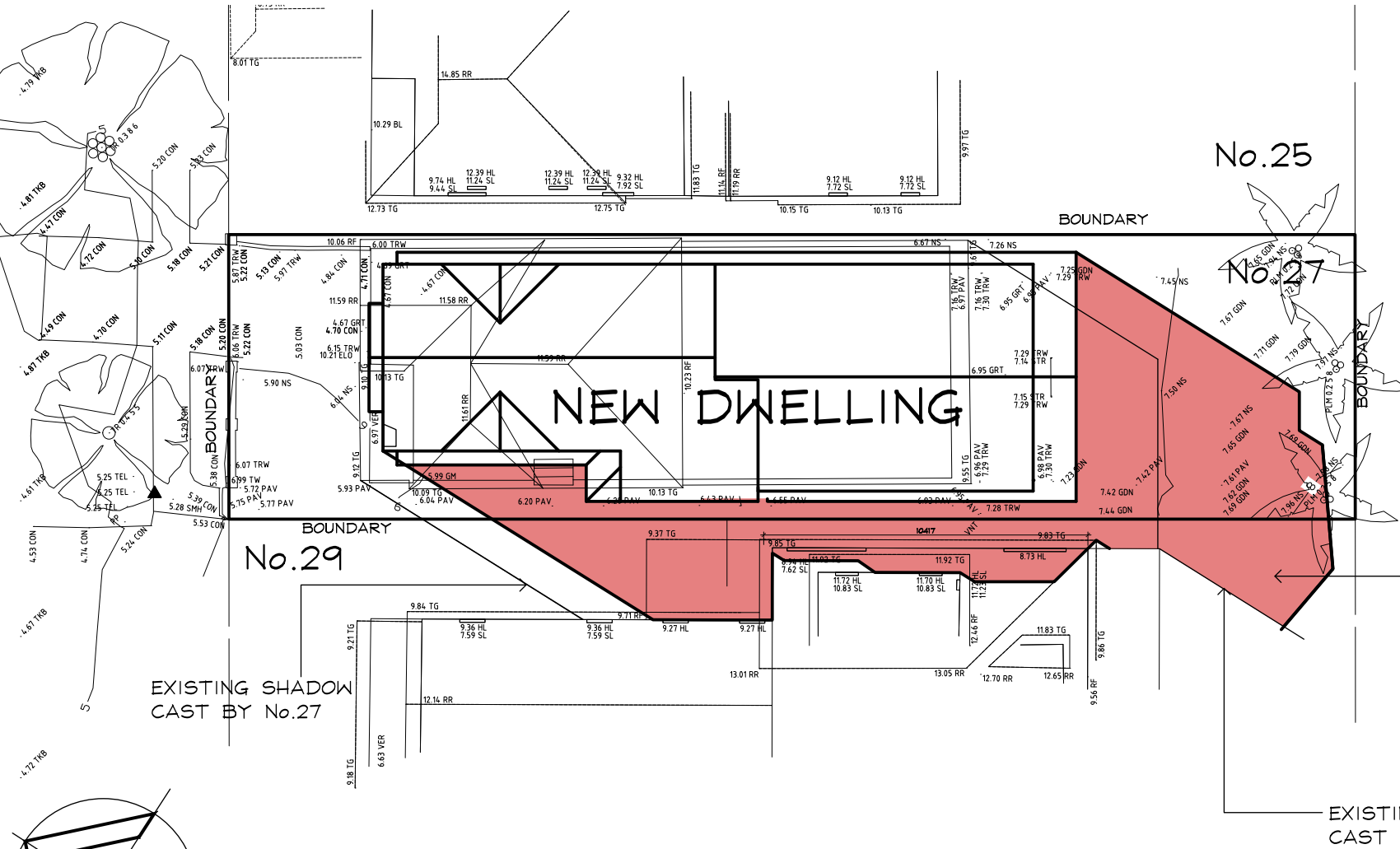
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DOUBT  
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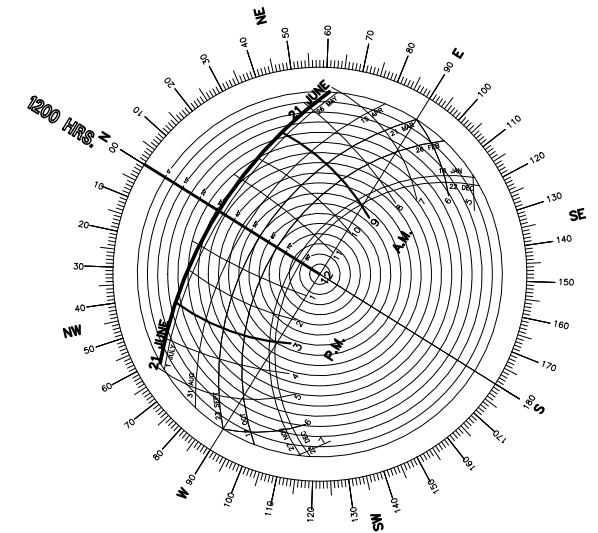
BALGOWLAH ROAD

BALGOWLAH ROAD



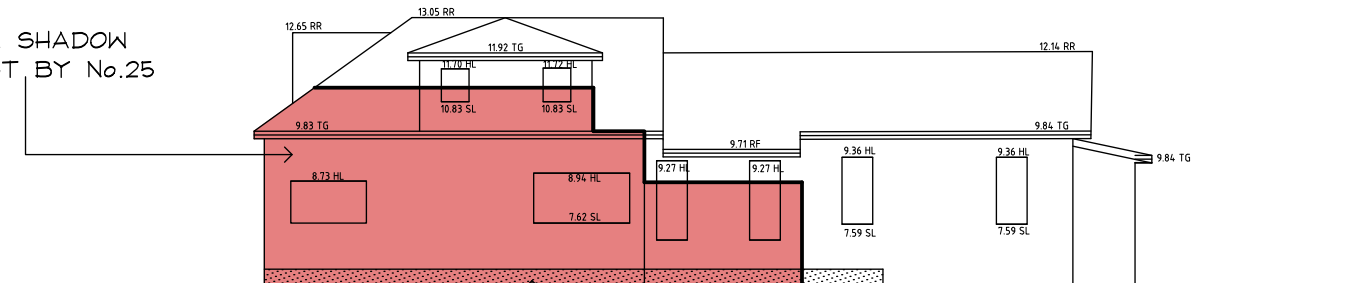
## SOLAR ANALYSIS PLAN AT 1200 HOURS

Scale 1:200



SOLAR ROSE  
21 st. JUNE

NEW SHADOW  
CAST BY No.25



EXISTING SHADOW  
CAST BY No.25

PROPOSED 1200 HOUR SHADOW BY No.27  
ON THE EASTERN ELEVATION OF No.29

**Certificate No. 0011674322-02**  
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Accreditation No. DMN/12/1441  
Property Address 27 Balgowlah Road, MANLY NSW, 2095  
hstar.com.au/QR/Generate?p=rXAhLJapR



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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:200**

JOB No.

**CC174**

DWG. No.

**10**

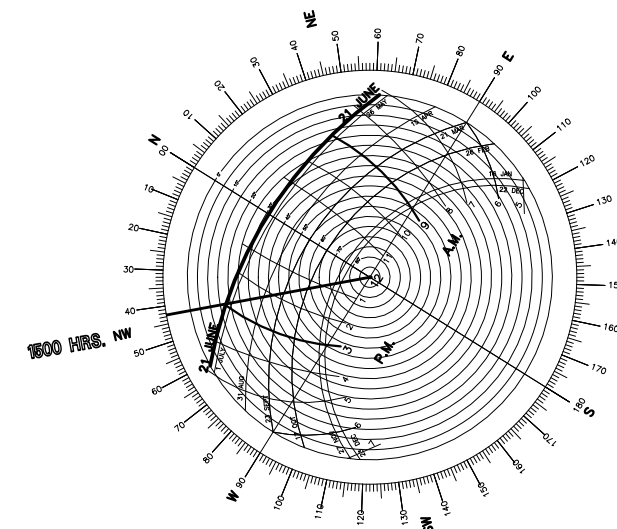
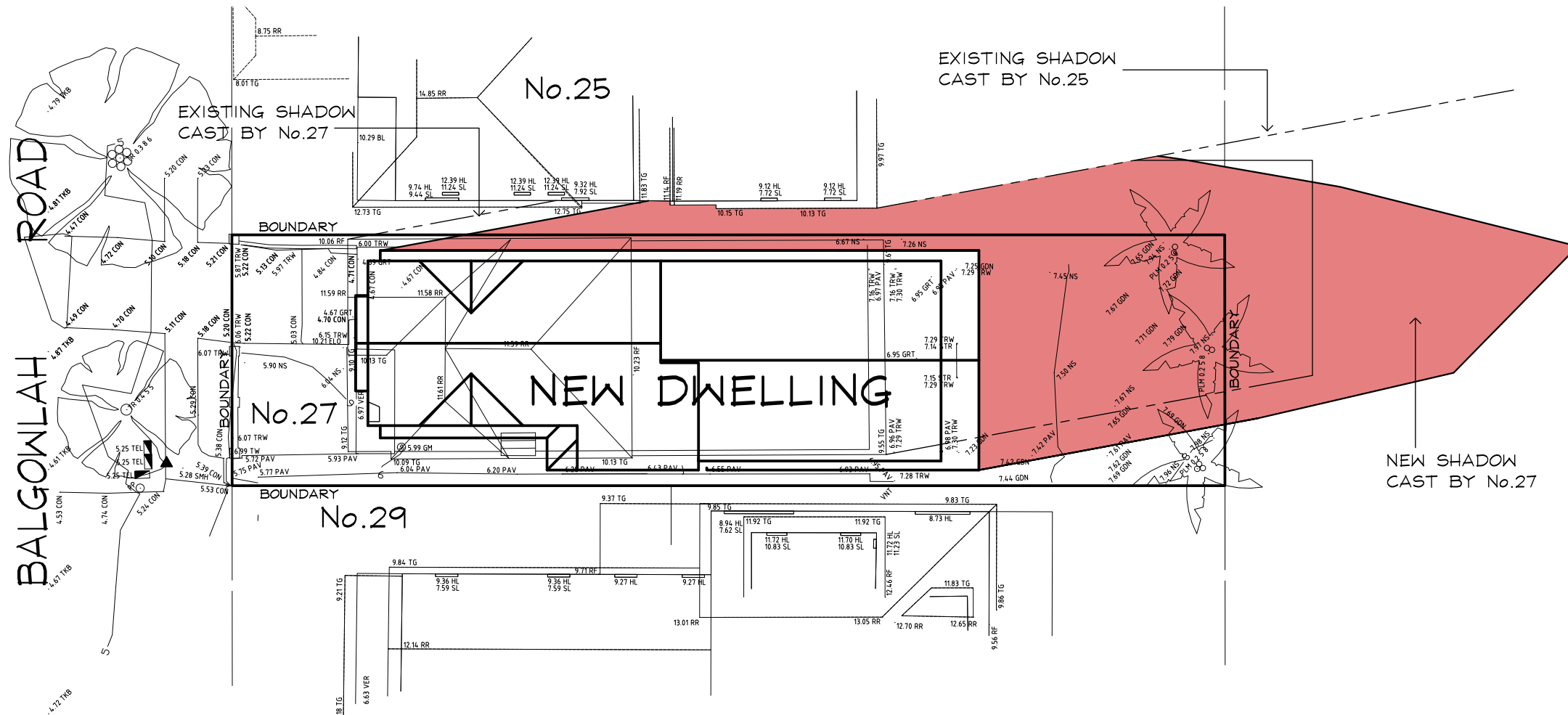
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**B**

IF IN  
DOUBT  
ASK

DA ISSUE

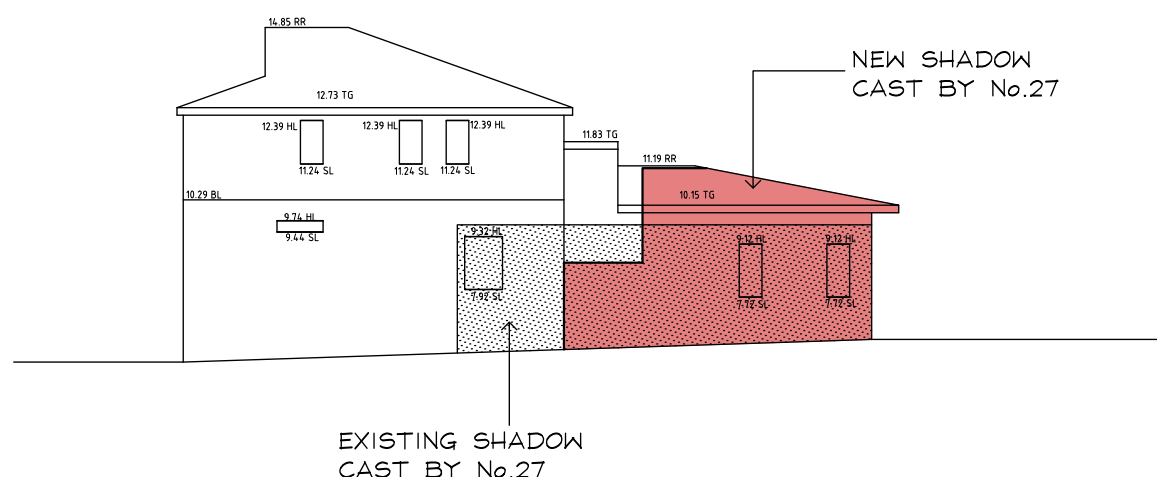
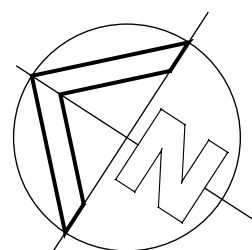




SOLAR ROSE  
21 st. JUNE

## SOLAR ANALYSIS PLAN AT 1500 HOURS

Scale 1:200



PROPOSED 1500 HOUR SHADOW BY No.27  
ON THE WESTERN ELEVATION OF No.25

**Certificate No. 0011674322-02**  
Scan QR code or follow website link for rating details.  
Assessor name Ian Fry  
Accreditation No. DMN/12/1441  
Property Address 27 Balgowlah Road, MANLY NSW, 2095  
hstar.com.au/QR/Generate?p=rXAhLJapR

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DATE **MAR, 2015** SCALE **1:200**

JOB No.

**CC174**

DWG. No.

**11**

REV

**B**

DA ISSUE

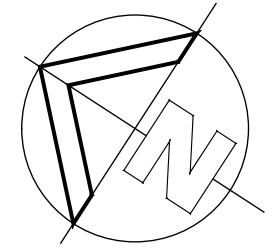
IF IN  
DOUBT  
ASK

BALGOWLAH ROAD

EXISTING CONCRETE CROSS-OVER & LAYBACK TO REMAIN

No.25

EXISTING CONCRETE DRIVEWAY, DWELLING, GARAGES & HARDSTAND TO BE REMOVED



BOUNDARY

No.27

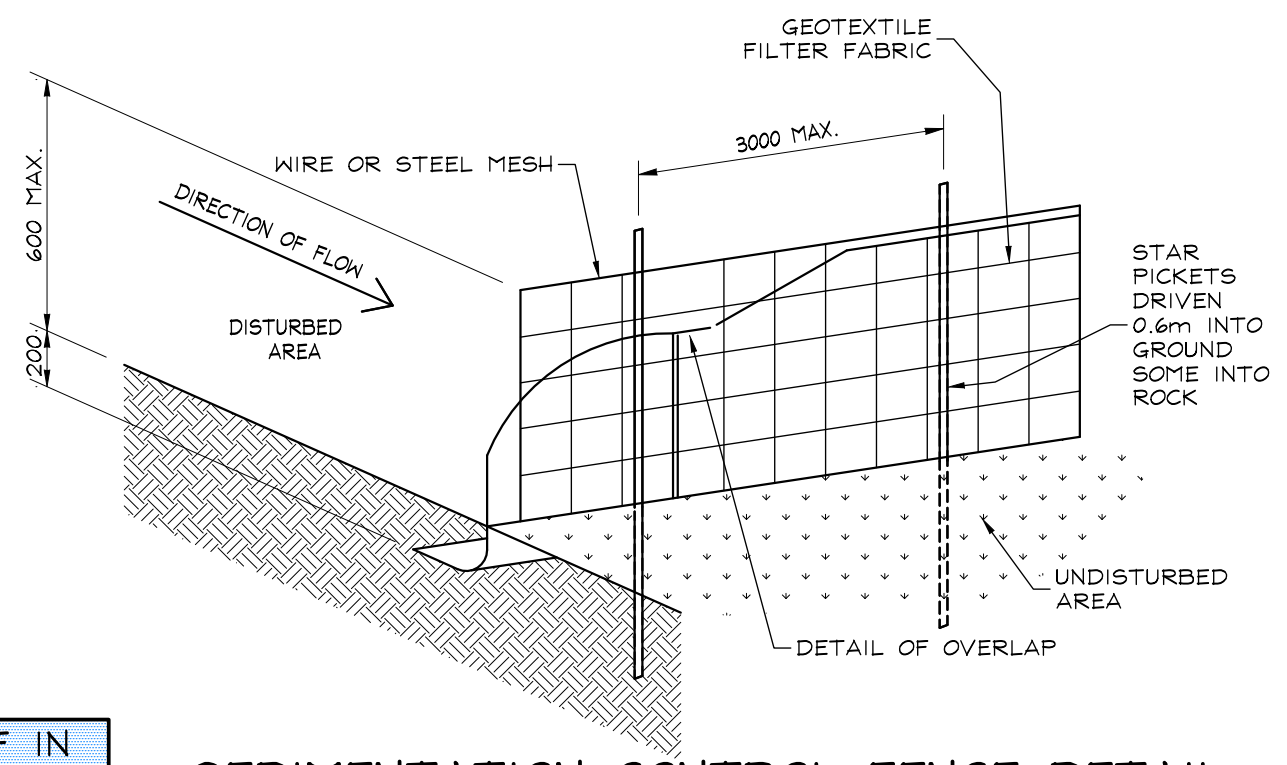
BOUNDARY

No.29

SEDIMENTATION CONTROL

# DEMOLITION AND SEDIMENTATION CONTROL FENCE PLAN

Scale 1:200



## SEDIMENTATION CONTROL FENCE DETAIL

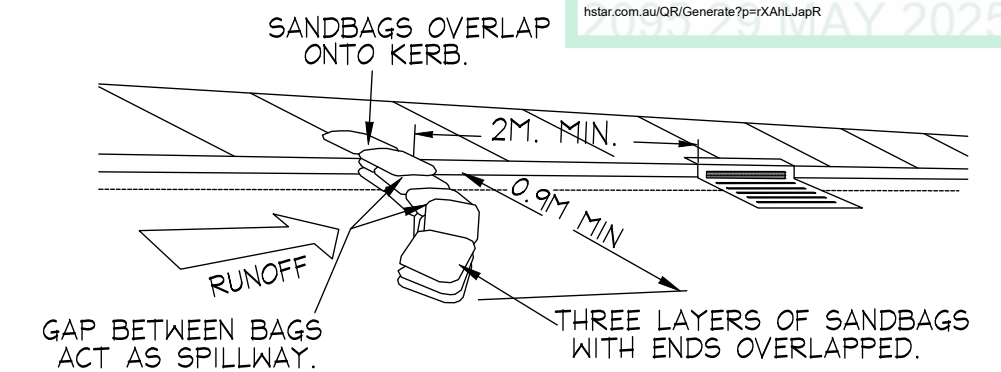
SCALE = N.T.S.

IF IN DOUBT ASK

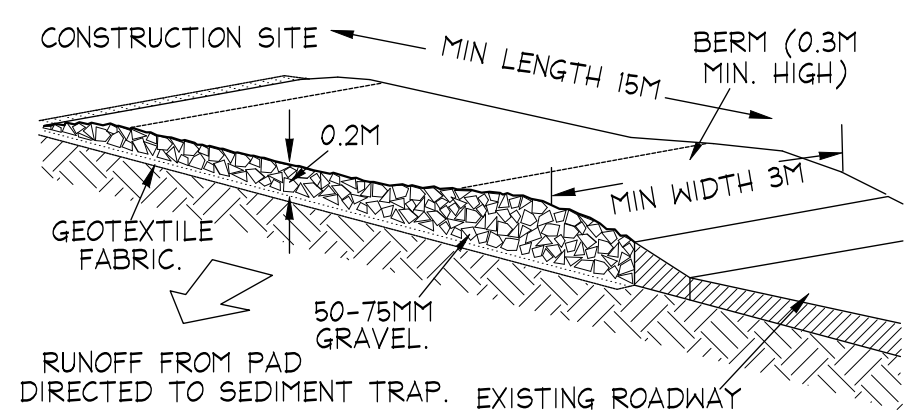
## SEDIMENT CONTROL:

1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.
3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.

**Certificate No. 0011674322-02**  
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Accreditation No. DMN/12/1441  
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hstar.com.au/QR/Generate?p=rXAHJapR



## SANDBAG KERB INLET SEDIMENT TRAP



## TYPICAL TEMPORARY CONSTRUCTION ENTRY/EXIT DETAIL

### CONSTRUCTION NOTES:

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE or 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE or OTHER SEDIMENT TRAP.
6. OR CONSTRUCT A CATTLE GRID LOCATED AT ANY POINT WHERE TRAFFIC ENTERS OF LEAVES THE SITE.

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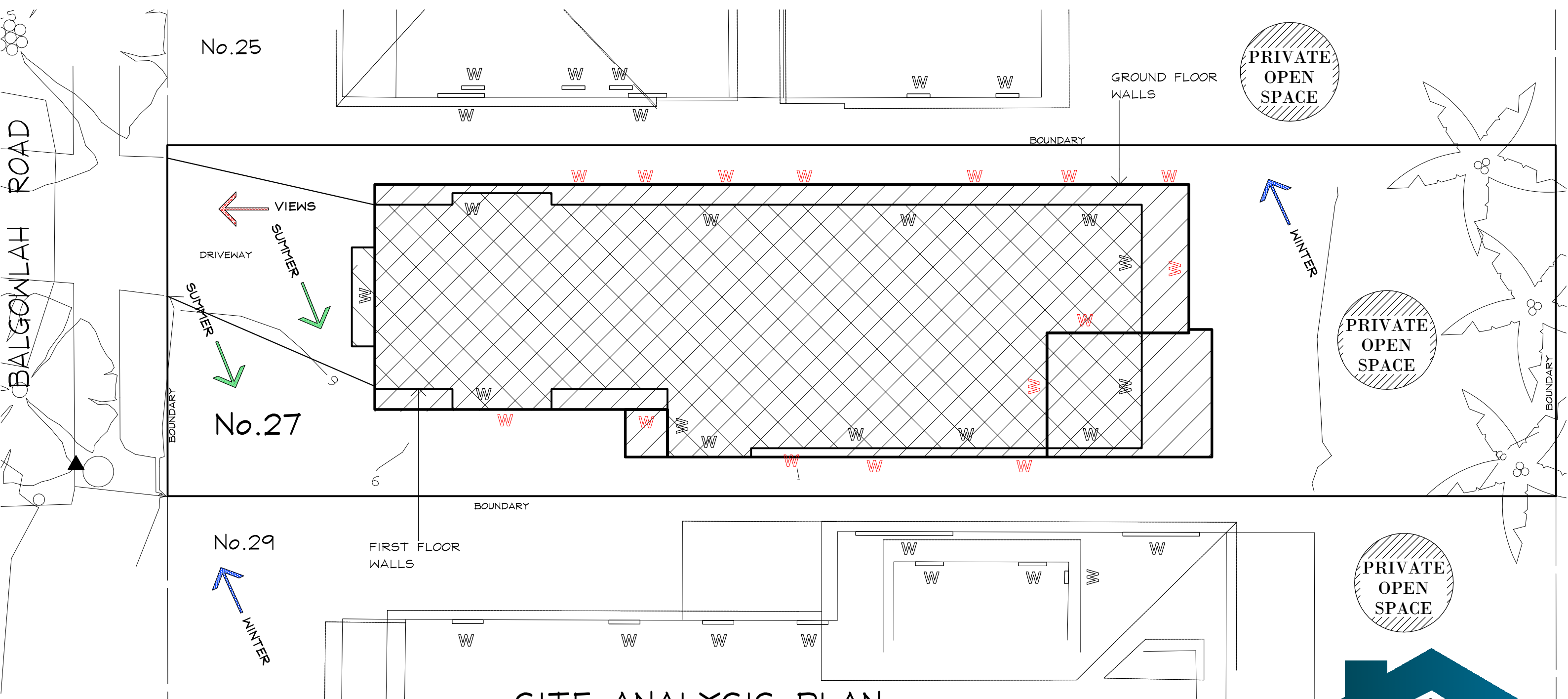
OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259  
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Tel : (02) 4352 1189 Fax : (02) 4352 1198  
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PROJECT  
**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR  
**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:200**

JOB No. **CC174** DWG. No. **12** REV **B**



## SITE ANALYSIS PLAN

Scale 1:100

### KEY

- GROUND FLOOR WINDOWS
- FIRST FLOOR WINDOWS
- CONTOURS
- EXISTING CONTOURS
- BOUNDARY
- BOUNDARY LINE
- VIEWS
- SUMMER
- WINTER
- VIEWS
- SUMMER PREVAILING WINDS
- WINTER PREVAILING WINDS



PRIVATE  
OPEN  
SPACE

PRIVATE OPEN  
SPACE



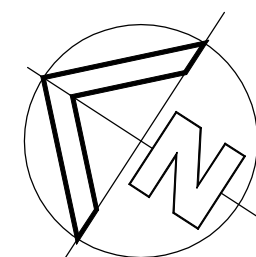
GROUND FLOOR  
COMPONENT



FIRST FLOOR  
COMPONENT



DECK AREA  
COMPONENT



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**CC174**

DWG. No.

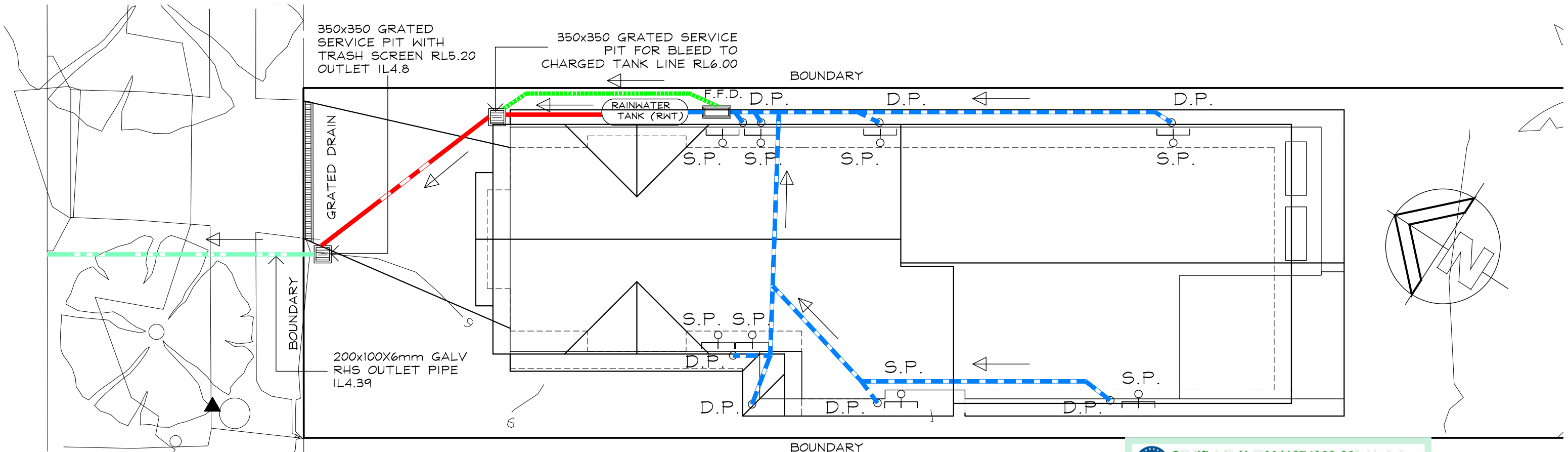
**13**

REV

**D**

IF IN  
DOUBT  
ASK





## STORMWATER MANGEMENT PLAN

Scale 1:100

### KEY

- S.P. --- DOWN PIPE (SPREADER)
- D.P. --- DOWN PIPE 90mm
- FIRST FLUSH DIVERTER
- 100mm DIA STORM WATER PIPE TO STORAGE TANK
- 90mm DIA STORM WATER DISCARD PIPE TO SERVICE PIT STORMWATER PIPE
- 60mm DIA BLEED PIPE
- EXISTING STORMWATER PIPE
- GALVANISED STEEL RHS PIPE TO KERB
- DRAINAGE GRATE
- GRATED PIT 150mm
- RAIN WATERTANK

TABLE 1

#### CATCHMENT AREAS FOR INDIVIDUAL DOWNPIPES AND GUTTERS

CATCHMENT AREAS FOR INDIVIDUAL DOWNPIPES AND GUTTERS	PLAN VIEW AREA m2	AREA INC SLOPE	GUTTER mm2 (CROSS SECTION)	DOWNPIPE SIZE	AVERAGE RECURENCE INTERVAL 1 IN 20 YEAR
A	23.1	24.6	7700	90mm	200mm/hr
B	10.4	11.1	7700	90mm	200mm/hr
C	25.1	26.7	7700	90mm	200mm/hr
D	25.8	27.5	7700	90mm	200mm/hr
E	24.4	26.0	7700	90mm	200mm/hr
F	25.1	26.7	7700	90mm	200mm/hr
G	14.8	15.7	7700	90mm	200mm/hr
H	22.7	24.2	7700	90mm	200mm/hr

#### HYDRAULIC NOTES

- THE CONTRACTOR SHALL GIVE NOTICE TO COUNCIL'S ENGINEER IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS WHEN INSPECTIONS ARE REQUIRED.
- WHERE DEPTH OF STORMWATER DRAINAGE PITS EXCEEDS 1.2m, HOT DIPPED GALVANISED STEEL STEP IRONS SHALL BE PROVIDED.
- ALL PITS SHALL BE PRECAST CONCRETE WITH GRATE OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
- STORMWATER CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE DONE UNDER THE SUPERVISION OF COUNCIL'S ENGINEER.
- ALL STORMWATER PIPES BELOW AND INCLUDING 225ø SHALL BE UPVC OR APPROVED EQUIV. UNLESS NOTED OTHERWISE.
- ALL PIPES ABOVE 225ø SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- MINIMUM PIPE COVER TO BE 700mm UNLESS NOTED OTHERWISE.
- ALL PIPES TO BE LAID AND COVERED WITH SAND TO A MINIMUM DEPTH EQUAL TO THE PIPE DIAMETER, BUT NOT LESS THAN 300mm.
- IN SANDY SOILS THE EXCAVATED SOIL MAY BE REUSED.
- ALL 100ø SUBSOIL DRAINAGE TO BE PLACED A MINIMUM OF 650mm BELOW FINISHED SURFACE LEVELS AND COVERED WITH A MINIMUM OF 500mm GRAVEL.
- PIPE BEDDING SUPPORT SHALL BE H1 UNLESS NOTED OTHERWISE.
- STORMWATER GRATES AND MANHOLE CLASSES SHALL BE IN ACCORDANCE WITH AS3996.
- WHERE PIPE GRADES ARE NOT SHOWN ON DRAWINGS, MINIMUM PIPE GRADES SHALL BE 1% UNO.
- PIPE GRADES INDICATED ON DRAWINGS ARE MINIMUM GRADES. IF MINIMUM GRADES CANNOT BE ACHIEVED CONTACT THE DESIGN ENGINEER PRIOR TO PLACEMENT.

#### RAINWATER TANK NOTES

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS. 3500.3.2.
- THIS PLAN TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE NUMBER LISTED IN BASIX/NATHERS NOTES.
- A TOTAL RAINWATER TANK STORAGE CAPACITY SHOWN IN SECTION 1 OF THIS STORMWATER PLAN.
- MOSQUITO PROTECTION & FIRST FLUSH DEVICE TO BE FITTED TO RAINWATER TANKS
  - ALL TOILETS IN THE DEVELOPEMNT.
  - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
  - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTED: NSW HEALTH DOES NOT RECOMMEND THAT RAINWATER BE USED FOR HUMAN CONSUMPTION.)
- ALL PIPE AND DOWN PIPES TO BE PRESUURE GRADE PIPES TO 500mm ABOVE MAXIMUM WATER LEVEL OF RAIN WATERTANKS.

#### GUTTER NOTES

- ALL GUTTERS TO HAVE A MINIMUM CROSS SECTION AS OUTLINED IN TABLE 1.
- ALL GUTTER GRADIENTS TO BE NOT LESS THAN 1:500
- TOP OF FASCIA TO BE A MINIMUM OF 15mm ABOVE GUTTER SLOTTED OVERFLOW
- DOWNPIPE SIZES TO BE IN ACCORDANCE WITH TABLE 1.

### ONSITE STORMWATER DRAINAGE CALCULATIONS

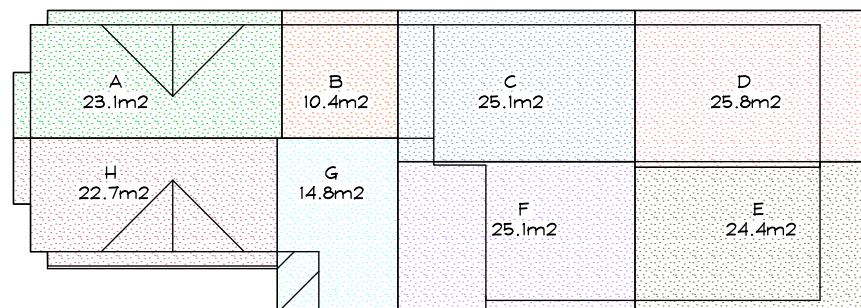
SECTION:	SECTION 3
ZONE:	ZONE 1
TOTAL SITE AREA:	330.7 m2
ROOF CATCHMENT AREA	175.1 m2
OTHER PAVED AREAS (Refer to Site Plan)	18.8 m2
TOTAL POST IMPERVIOUS AREA	189.9 m2 (57.4%)
TOTAL EXISTING IMPERVIOUS AREA	206.2 m2 (62.4%)

RAIN WATER TANK STORAGE (2,265 L X 1905 H X 685 W) 2,000 LITRES

DETERMINATION OF O.S.D. REQUIRMENTS PART 4.3.2.1

a) ON-SITE DETENTION IS NOT REQUIRED AS 330.7 m2 IS < 400m2

b) THE POST DEVELOPMENT IMPREVIOUS AREA IS LESS THAN 190m2



### STORMWATER ROOF PLAN

Scale 1:200

IF IN  
DOUBT  
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Accreditation No. DMN/12/1441  
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DATE **MAR, 2015** SCALE **1:200**

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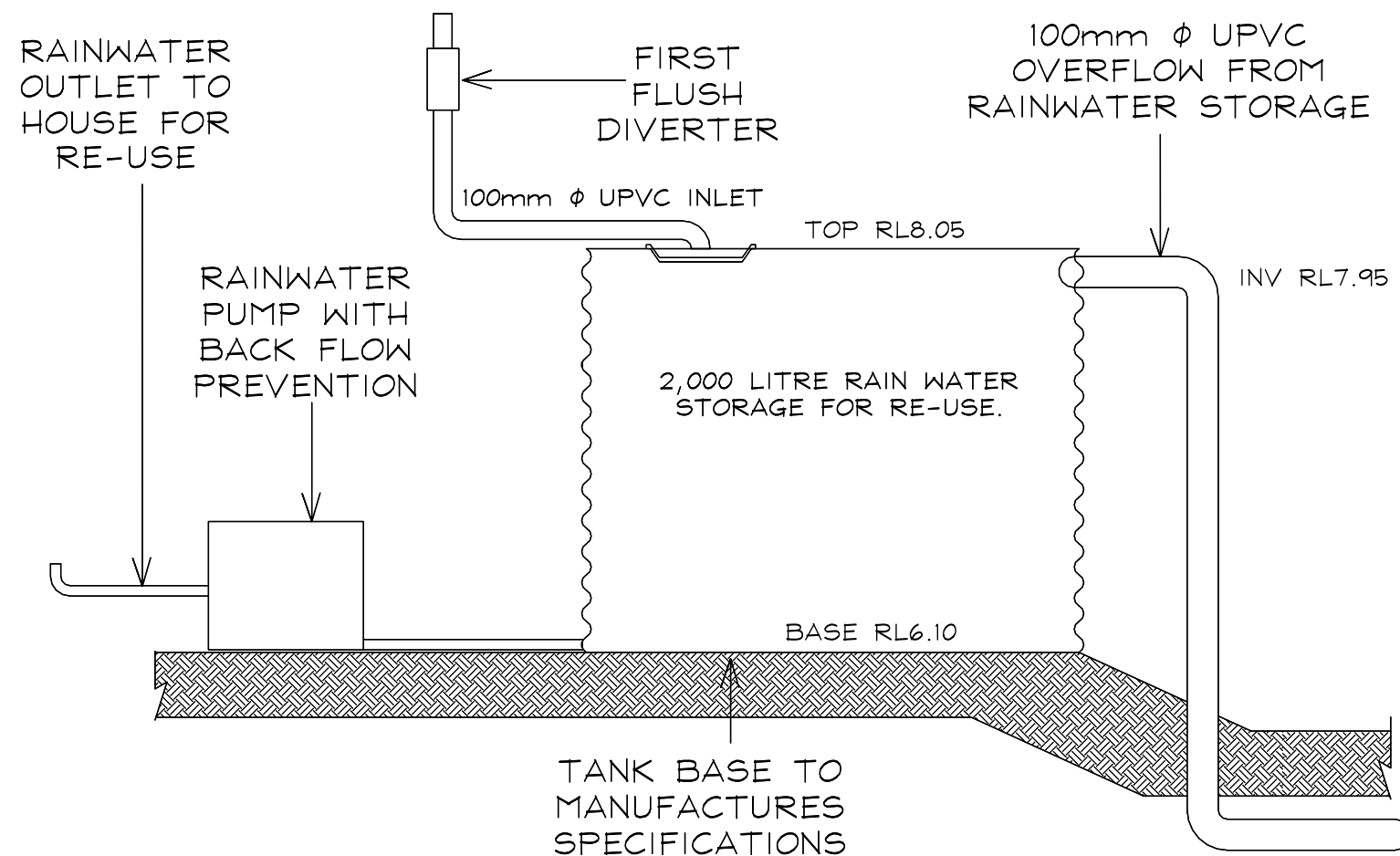
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## SECTION 1 RAINWATER TANK

N.T.S

### HYDRAULIC NOTES

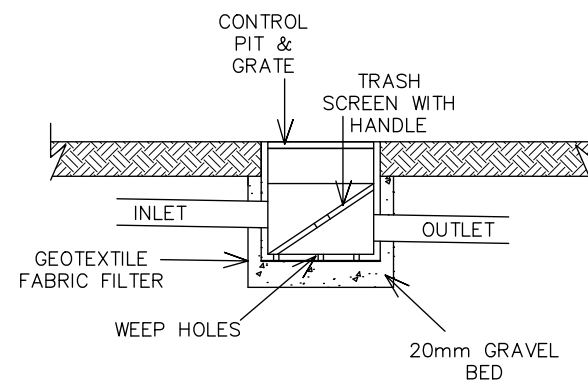
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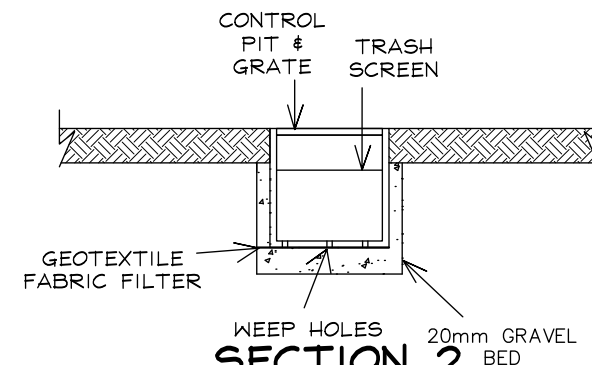
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3. TOP OF FASCIA TO BE A MINIMUM OF 15mm ABOVE GUTTER SLOTTED OVERFLOW
4. DOWNPIPE SIZES TO BE IN ACCORDANCE WITH TABLE 1.



### SECTION CONTROL PIT

N.T.S.



### SECTION 2 CONTROL PIT

N.T.S.



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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAR, 2015** SCALE **1:200**

JOB No.

**CC174**

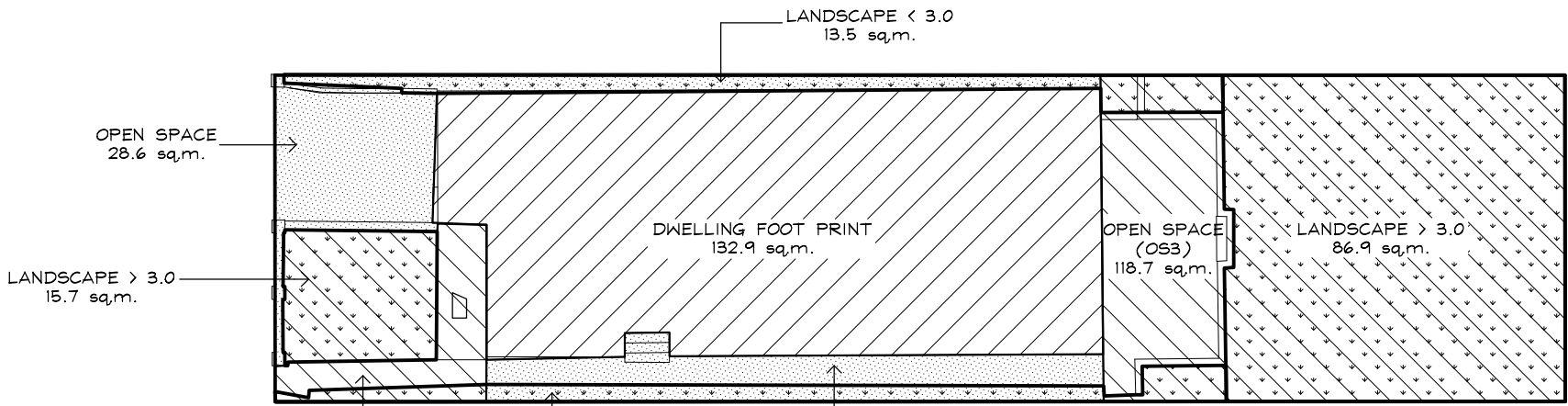
DWG. No.

**15**

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**B**

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EXISTING SITE CALCULATION PLAN

Scale 1:100

EXISTING HARDSTAND	=	202.4	sq. m. (61.2 %)
EXISTING DWELLING FOOT PRINT	=	132.9	sq. m.
EXISTING OPEN SPACE	=	146.4	sq. m. (44.3 %)
EXISTING TOTAL OPEN SPACE	=	197.8	sq. m. (59.8 %)
EXISTING LANDSCAPED AREA < 3.0m WIDE	=	26.2	sq. m. (7.9 %)
EXISTING LANDSCAPED AREA > 3.0m WIDE	=	102.6	sq. m. (31.0 %)
EXISTING TOTAL OPEN SPACE (OS3) > 3.0m WIDE	=	102.6	sq. m. (31.0 %)

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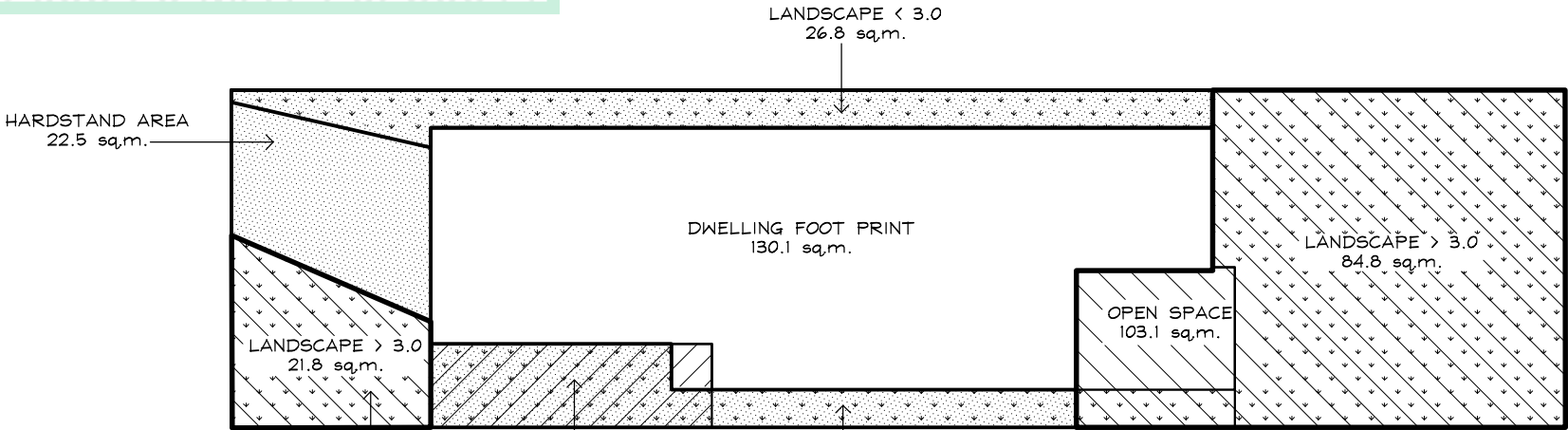
Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 27 Balgowlah Road,MANLY  
NSW,2095



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POST SITE CALCULATION PLAN

Scale 1:100

POST LANDSCAPED AREA < 3.0m WIDE	=	56.4	sq. m. (17.1 %)
POST LANDSCAPED AREA > 3.0m WIDE	=	106.6	sq. m. (32.2 %)
POST TOTAL LANDSCAPED AREA	=	163.0	sq. m. (49.3 %)
POST HARDSTAND AREA	=	153.1	sq. m. (46.3 %)
POST OPEN SPACE ABOVE GROUND	=	15.3	sq. m. ( 4.6 %)
POST TOTAL OPEN SPACE (OS3)	=	124.9	sq. m. (37.8 %)
POST TOTAL OPEN SPACE >2.2m WIDE	=	17.2	sq. m. ( 5.2 %)
POST TOTAL OPEN SPACE >3.0 & 2.2m WIDE	=	142.2	sq. m. (43.0 %)

IF IN DOUBT  
ASK

**NatHERS COMMITMENTS**



Date 24/03/25	Job Number 27 Balgowlah Road	Version 3	REQUIRED CHANGES HIGHLIGHTED			
Unit/Number 27	Lot 39	DP 4449	Street Balgowlah Road	Suburb Manly	Post Code 2095	State NSW
<b>Floors</b>		Material		Added Insulation	To Cantilever/Suspended	Floor Coverings
Ground	Slab on Ground		R4.0 Insulation		R2.3 Insulation hardwood flooring to GF	
1st Floor	Timber		R4.0 Insulation		R4.0 Insulation	
Garage	Slab on Ground					
<b>Walls</b>		Colour	External Material	Insulation	Internal Material	Internal Insulated
Ground	Medium	Fibre Cement on Battens	Timber Frame	R2.7, Non Reflective Wrap	Plaster Timber 90mm	L'dry, Wc R2.5
1st Floor	Medium	Fibre Cement on Battens	Timber Frame	R2.7, Non Reflective Wrap	Plaster Timber 90mm	Bath R2.5
					Garage	R2.5
<b>Ceilings</b>		Material	Insulation to Roof Above	<b>Roof</b>		
Ground	Plaster Timber Frame	R6.0		Insulation	Material	Colour
1st Floor	Plaster Timber Frame	R6.0		Anticon 50mm (R1.3)	Metal	Default
				Anticon 50mm (R1.3)	Metal	Default
<b>Glazing</b>		Please Refer to the NatHERS (or BASIX) Certificate for all external glazing. To comply you must use glazing with the same opening and frame type, the U value must be the same or lower and have an SHGC value within the range given. THE BELOW GLAZING NOMINATIONS ARE AN INDICATION ONLY PLEASE REFERENCE THE CERTIFICATE(S).				
Supplier	AWS		Glazing Type Required	Location(s) of Glazing Required		
			Low-e Double Glaze	Throughout including wet areas		
			Skylight	Entry, Dining (2x)		
Notes						
<b>Ceiling Fans</b>		Location				Fan Size
		Dining/Living and Lounge UF				1200mm
<b>Water</b>		Landscape Area	Low Water Area	Rain Water Tank, connected to.	Roof Area to Tank	Recycled Water, connected to.
		m2	m2	Toilets	Kitchen Taps	Bathroom Taps
Showerheads				No		Swimming Pool
						No
<b>Energy</b>		Hot Water	Rating	Air Conditioning		Other
		Solar Photovoltaic System	Orientation 1	Orientation 2		Cooking
		No				
<b>Ventilation</b>		Laundry	Bathroom		Kitchen	
Notes						
Walls - Double Glazed Windows - SA number 0.806 (unless an issue to Plan, then a white line Double Glazed) - SA No - 0.230						
Roof - Ceilings - Timber Frame - SA number 0.806						
The changes on the ground floor slab on ground (Standard slab) and the two skylights over the dining area are High Performance Timber Framed Floor Skylights - L 400x300mm wide.						
The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.						
Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA20856, BDAV 12/1441, COLA 2011291						

REVISION D. DATE: MAY/2025

- FIRST FLOOR REDUCE IN WIDTH 250mm
- GROUND FLOOR STAIRS CHANGE
- REAR DECK REDUCED 600mm

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PROJECT

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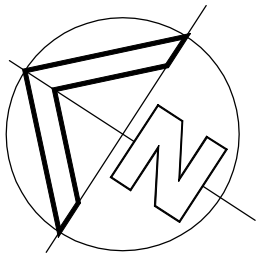
**CC174**

DWG. No.

**16**

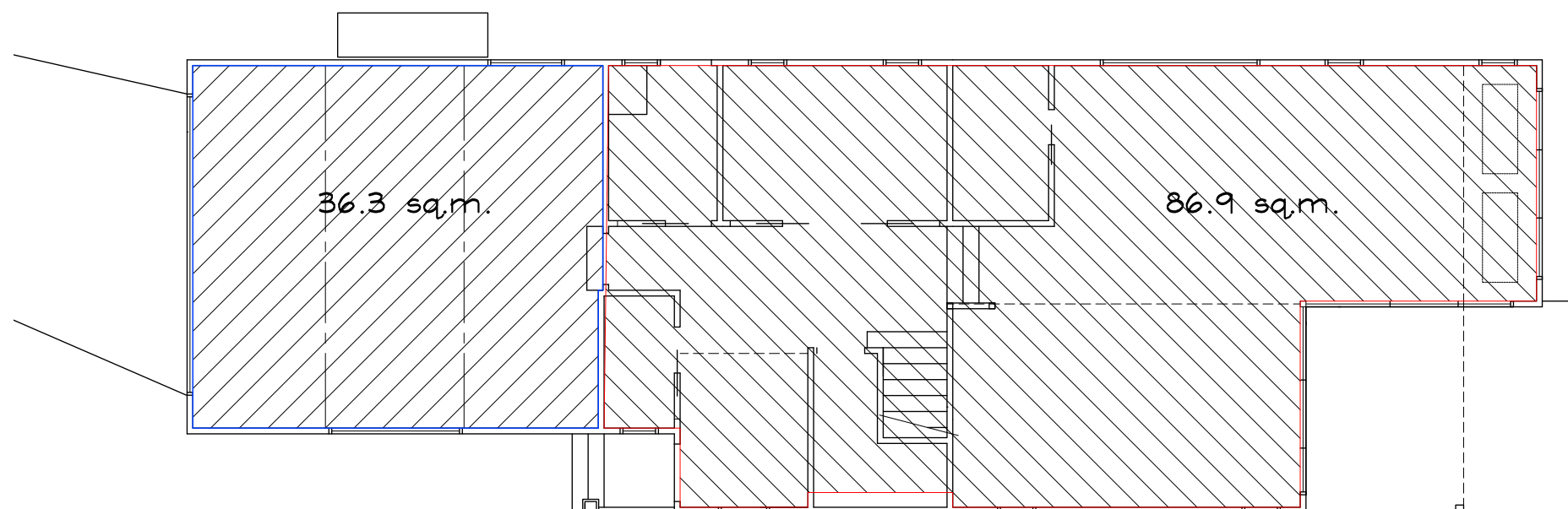
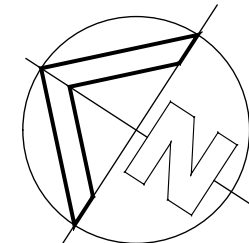
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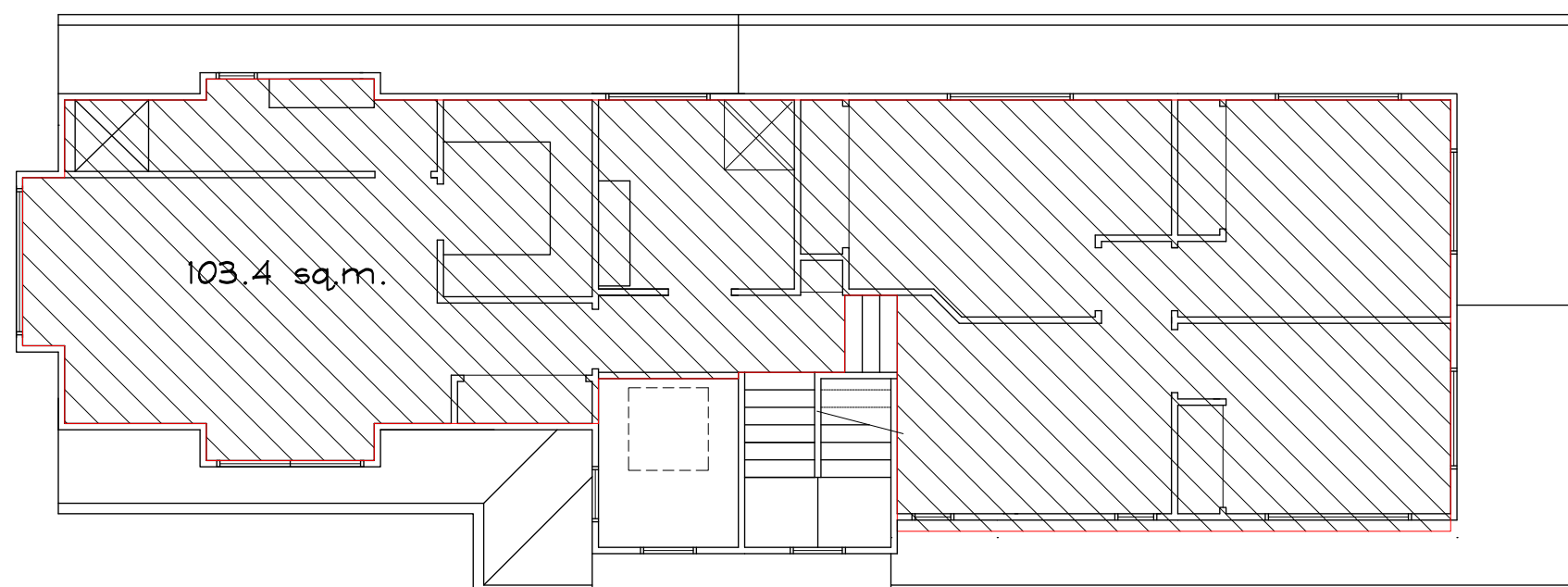


GROUND FLOOR F.S.R. PLAN



## FLOOR SPACE RATIO CALCULATIONS

GROSS FLOOR AREAS (GF 123.2 - FF 103.4 less garage 36.9=189.7) = 189.7 sq. m. (0.57.4)  
FLOOR SPACE RATION (FSR) - 0.6:1 (MAP 003)..... = 0.6:1 = 198.4 m<sup>2</sup>



FIRST FLOOR F.S.R. PLAN

IF IN  
DOUBT  
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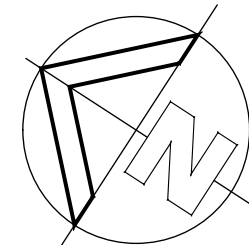
**CC174**

DWG. No.

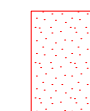
**17**

REV

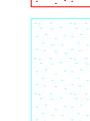
**B**



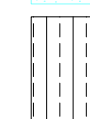
## KEY



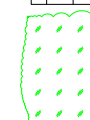
— FIRST FLOOR WINDOWS OF ADJOINING DWELLING



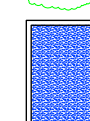
— GROUND FLOOR WINDOWS OF ADJOINING DWELLING



— EXISTING FENCE ON BOUNDARY



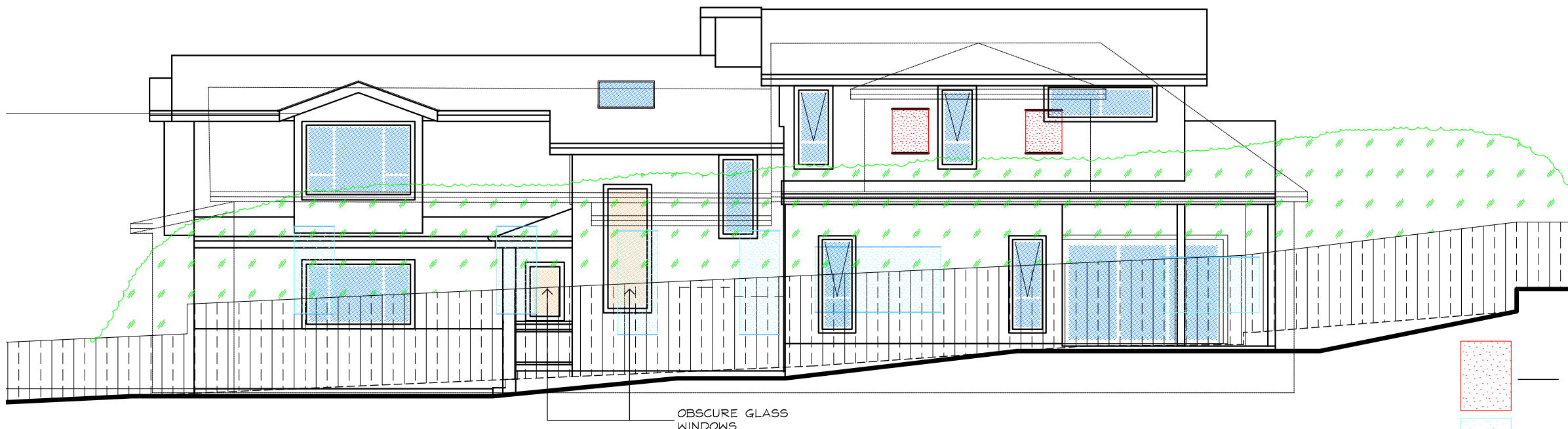
— PROPOSED SCREEN PLANTING AT MATURITY



— PROPOSED WINDOWS OF NO 27

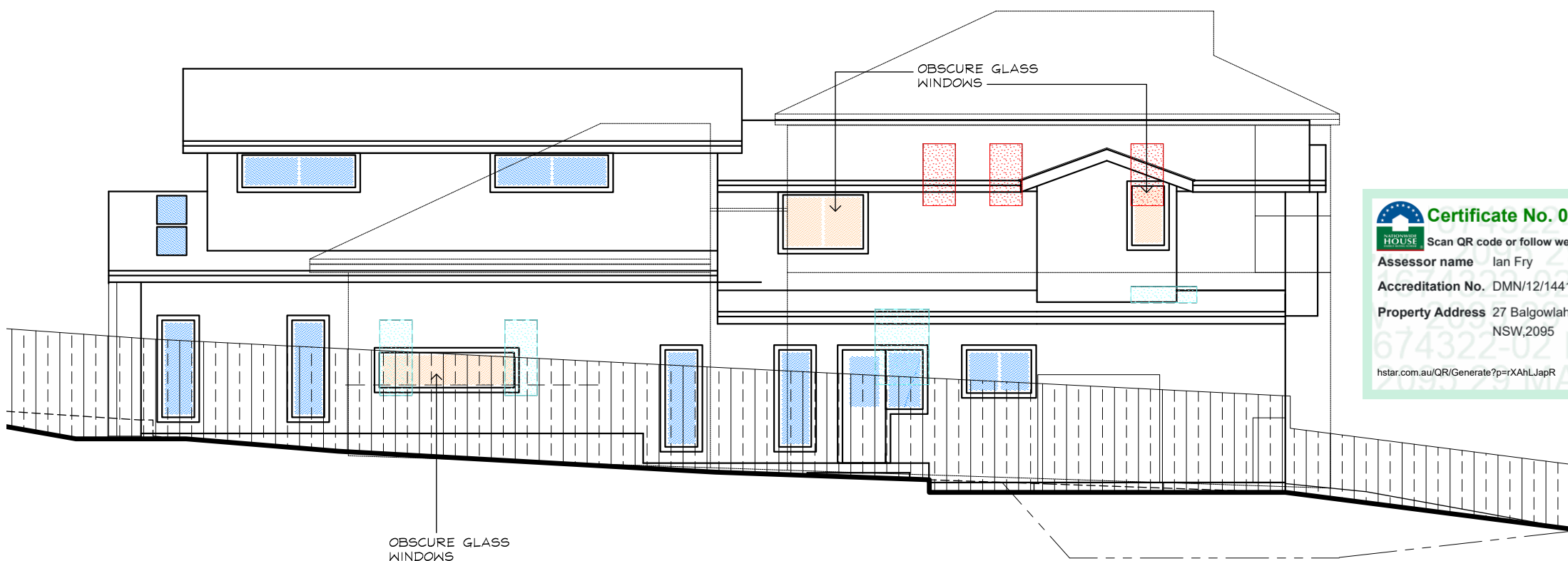


— PROPOSED OBSCURE WINDOWS OF NO 27



## WINDOW PRIVACY ELEVATION No 29

Scale 1:100



## WINDOW PRIVACY ELEVATION No 25

Scale 1:100



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PROJECT

**PROPOSED NEW DWELLING  
27 BALGOWLAH ROAD  
MANLY**

FOR

**Mr. A. & Mrs. A. MADRY**

DATE **MAR. 2025** SCALE **1:100**

JOB No.

**CC174**

DWG. No.

**18**

REV

**B**

IF IN  
DOUBT  
ASK

DA ISSUE