



PROPOSED HOME REMODEL AT:
49 GURNEY CRESCENT, SEAFORTH

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home design

www.bettswhite.com

abn: 77 628 074 117

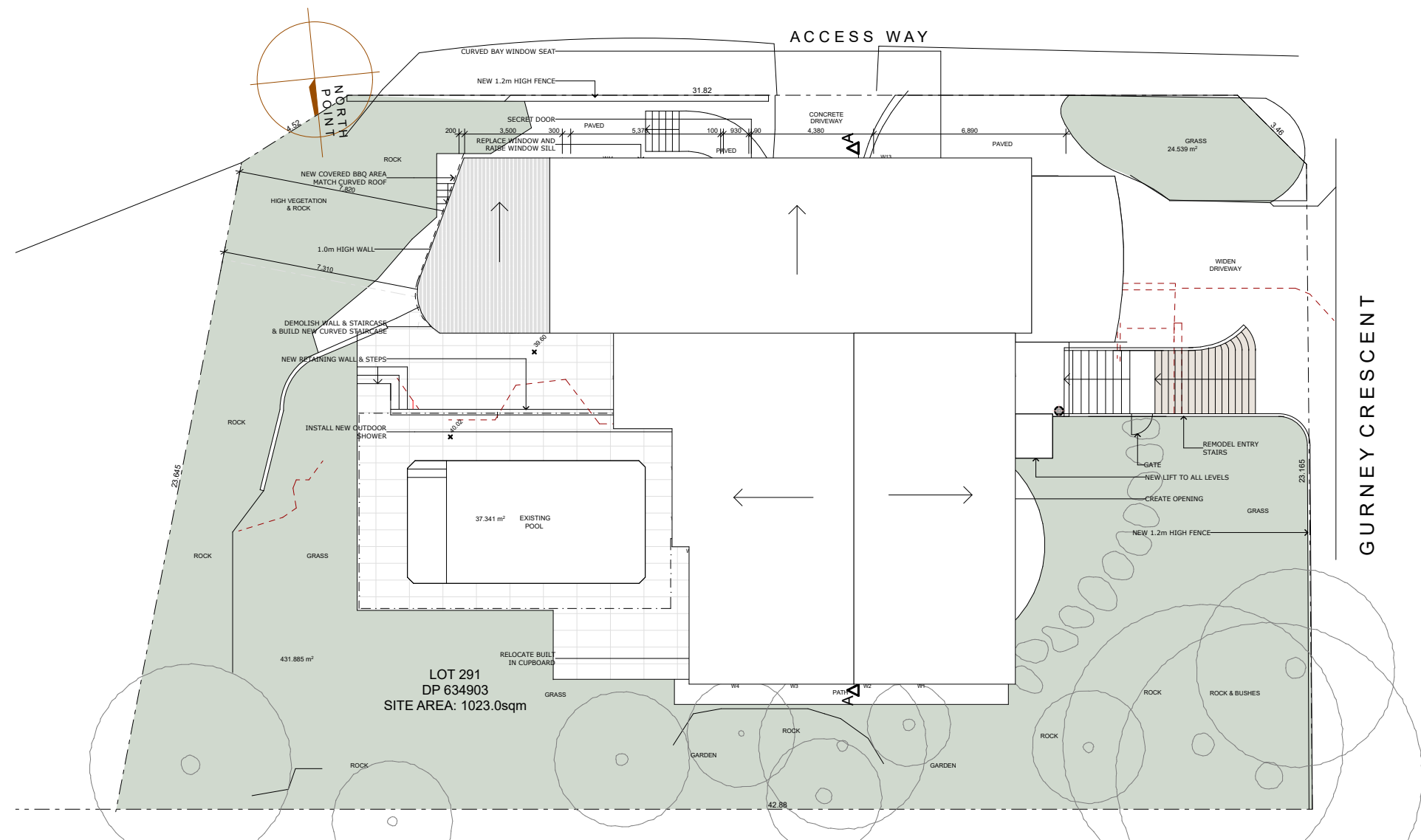
marcus@bettswhite.com

ph: 0411 363 328

Project.
Proposed Home remodel at:
49 Gurney Crescent, Seaforth

G	For Council	20/06/25	MB
F	Updated Window Numbers	19/06/25	MB
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CLIENTS Christine & Louis CAROLL
TITLE: DA Plans **PAGE NO.** 1 / 9
DRAWING NO. 2515 DA 1 **ISSUE** J
SCALE: 1 : 100 **DATE:** 12-05-25 **DWN BY:** JV

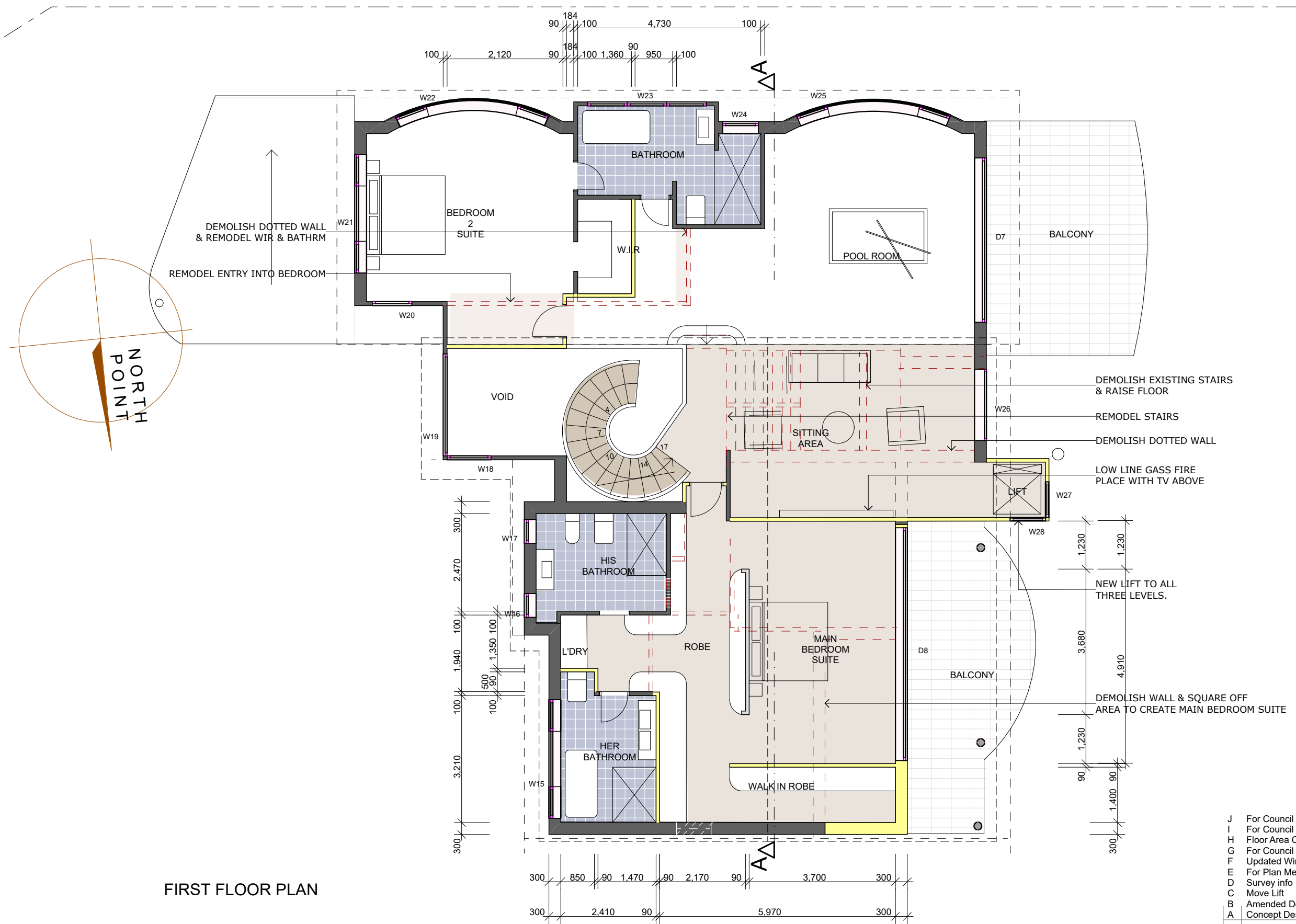


SITE PLAN 1:200

WINDOW SCHEDULE - NEW WINDOWS ONLY	
D1	ASD 2100 X3000
W8	ALW 1600 X 1000
W9	ALW 1100 X 800
W10	ADH 1100 X 300
W12	ALW 1100 x 1660
W27	AFW 2100 X 900
W28	AFW 2100 X 900
D8	AST 2100 X 5820
BASIX REQUIREMENTS	
SEE PAGE 8	

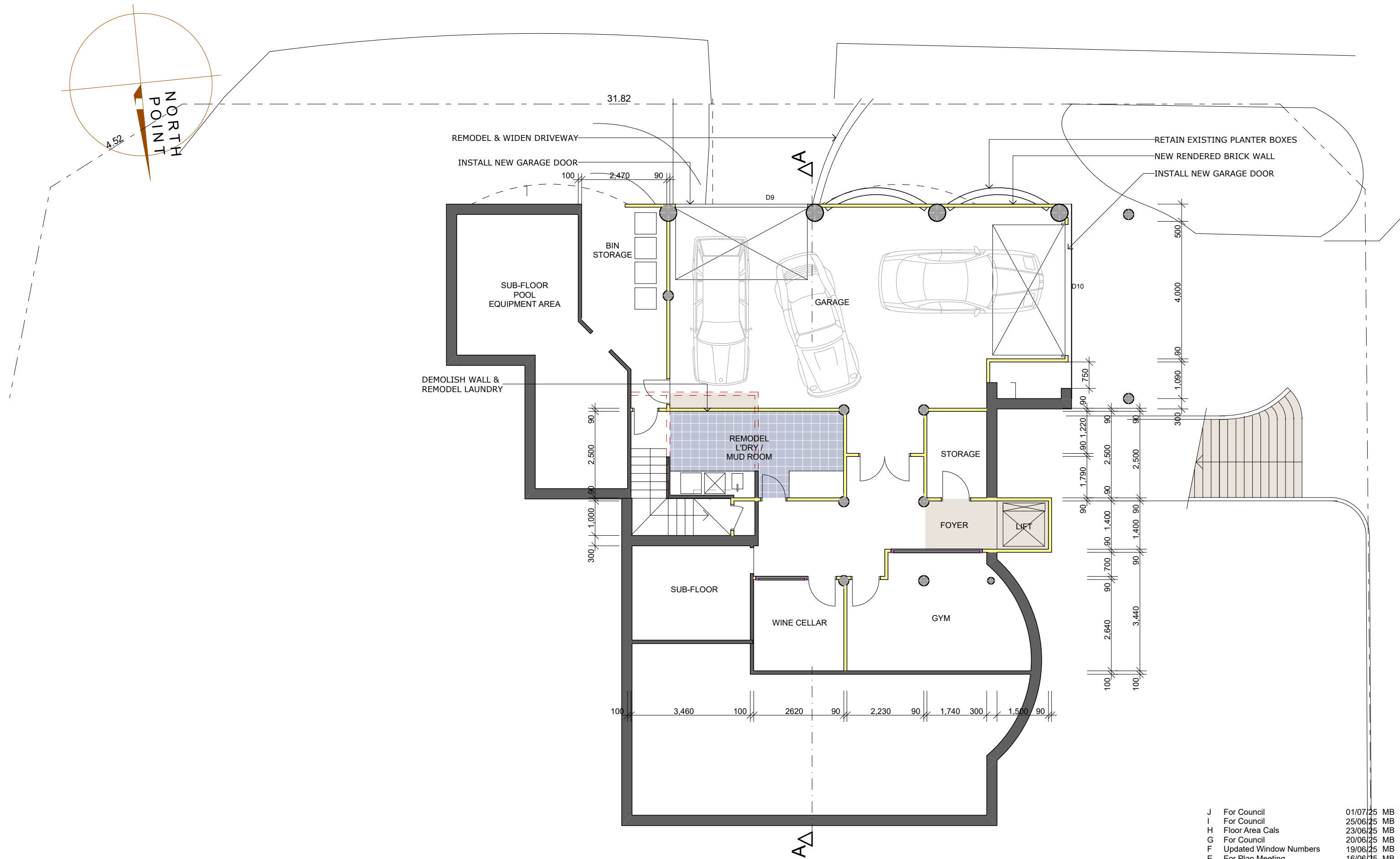
OPEN SPACE CALCULATIONS		
SITE AREA	1023.0sqm	
EXISTING FLOOR AREA	492.7sqm	
PROPOSED TOTAL FLOOR AREA	449.2qm	
SEE CALCULATIONS ON PAGE 8		
ONLY 62.3sqm NEW FLOOR AREA		
EXISTING LANDSCAPING	515.7sqm	50%
TOTAL PROPOSED LANDSCAPING incl pool water	493.6sqm	48%
COLOUR SCHEME & MATERIAL FINISH SCHEDULE		
ROOF - RETAIN EXISTING ROOF		
WALLS - PAINTED 'WHITE'		
WINDOWS - ALUMINIUM WINDOWS 'MONUMENT'		
GUTTERS - 'MONUMENT'		
COLUMNS - 'WHITE'		
FASCIA & ARCHITRAVES - MONUMENT		
BALUSTRADING - MODWOOD TIMBER		

FRAMING NOTES.			
ROOF PITCH	NA		
CEILING HEIGHT	NA		
EAVE	NA		
FRAME AND TRUSS CENTRES	NA		
LEGEND			
B.O	WORK TO BE DONE BY OTHERS		
O.T.A	OWNER TO ADVISE BUILDER		
O.B.&H	OPEN BALUSTRADING AND HANDRAIL		
90P	90 x 90 TIMBER POST		
90PP	90 x 90 TIMBER PRIMED POST		
SHW	SHOWER ENCLOSURE		
V	VANITY UNIT		
WC	TOILET SUITE (WATER CLOSET)		
BIC	BUILT IN CUPBOARD		
ST	STORE		
C.O.S	TO BE CHECKED ON SITE		
STORMWATER DRAINAGE			
CONNECT TO EXISTING STORMWATER SYSTEM.			
GENERAL NOTES			
ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT STANDARDS BY THE STANDARDS ASSOCIATION OF AUSTRALIA.			
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE. ANY DISCREPANCIES ARE TO BE REPORTED TO BETTSWHITE PRIOR TO CONSTRUCTION			
BUILDER TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN AND ENGINEERING PLANS ARE STRICTLY COMPLIED WITH			
DEMOLITION.			
ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS2601 DEMOLITION OF STRUCTURES. MUST BE CARRIED OUT BY A REGISTERED DEMOLISION CONTRACTOR			
TIMBER CONSTRUCTION.			
ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684 - 'TIMBER FRAMING CODE'. EXTERNAL WALLS TO BE WRAPPED IN A BREATHABLE MEMBRANE			
FIRE PROTECTION.			
FIRE PROTECTION OF SEPARATING WALLS TO COMPLY WITH NCC PART 3.7.3.2. FRL 60/60/60 WITHIN 900mm OF BOUNDARY			
BRICKWORK CONSTRUCTION.			
ALL BRICKWORK TO COMPLY WITH AS1640 & AS3700			
BATHROOMS & WET AREAS			
ALL WET AREAS ARE TO BE ADEQUATELY WATERPROOFED AND COMPLY WITH AS3740 & PART 3.8.1 OF THE NCC			
GLAZING			
ALL GLAZING TO COMPLY WITH AS1288 & AS2047 WITH CHILD SAFE LOCKS/SCREENS TO COMPLE WITH NCC PART 3.9.2			
STORMWATER			
CONNECT ALL STORMWATER TO EXISTING STORMWATER SYSTEM WHICH DRAINS TO THE STREET. IN ACCORDANCE WITH AS3500 & PART 3.1.2 DRAINAGE OF THE NCC			
SMOKE ALARMS			
INTERCONNECTED/HARDWIRED SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE NCC CLAUSE 3.7.2.2			
STAIR BALUSTRADING			
STAIRS ARE TO COMPLY WITH NCC PART 3.9.1 & 3.9.2			
TERMITE PROTECTION			
TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3680			
J	For Council	01/07/25	MB
L	For Council	25/06/25	MB
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FIRST FLOOR PLAN

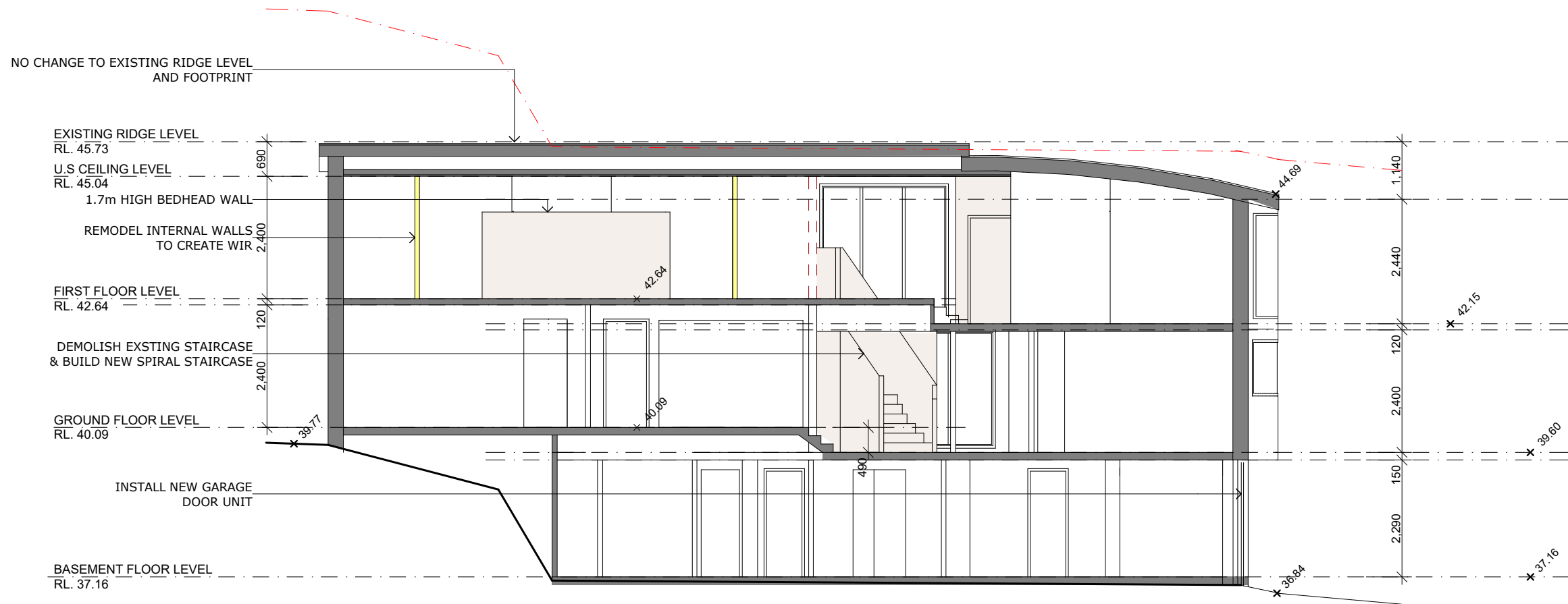
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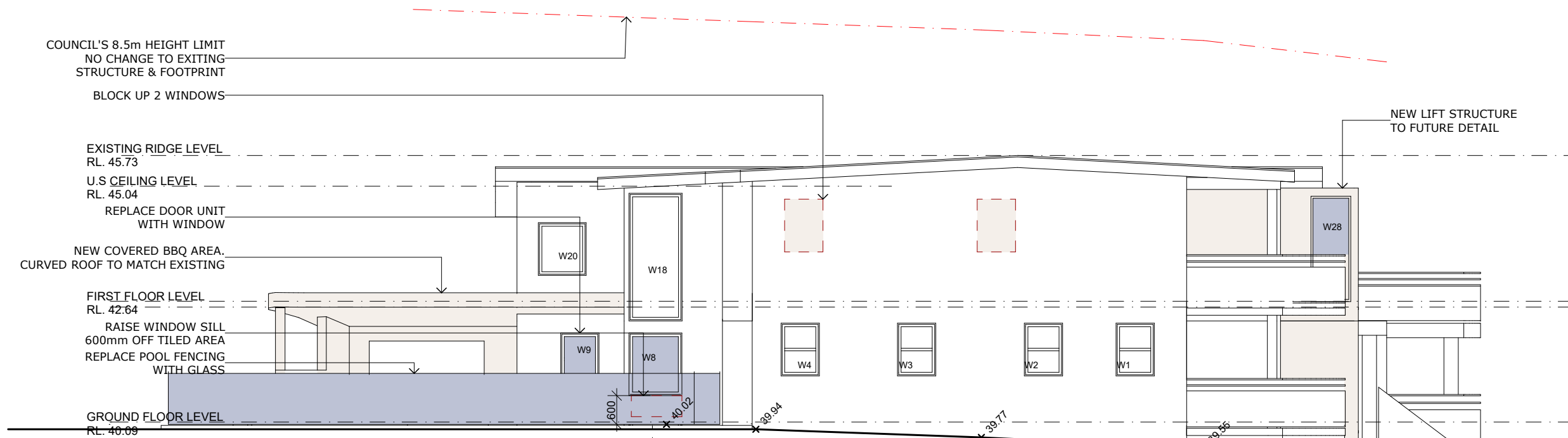
BASEMENT FLOOR PLAN

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I	For Council	25/06/25	MB
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SECTION A-A

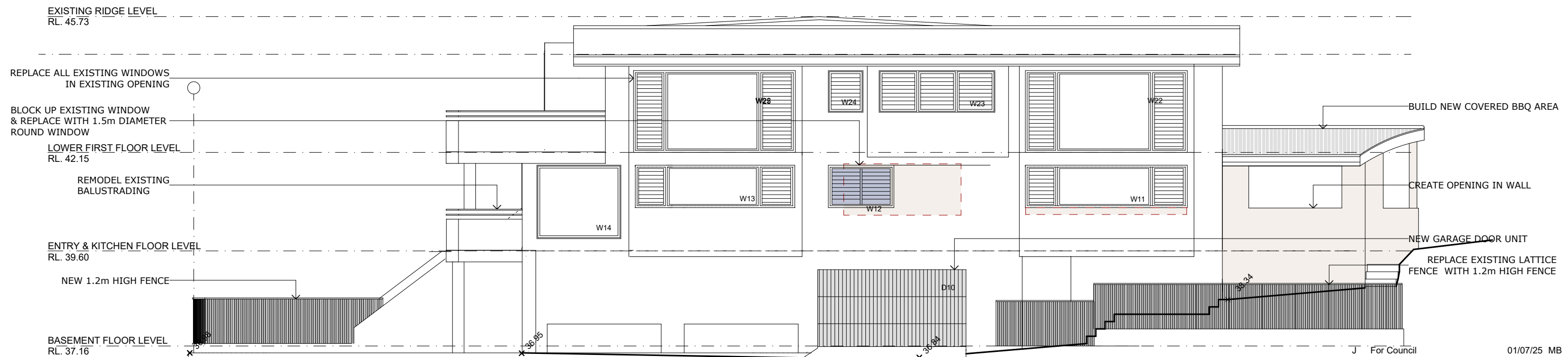


NORTH ELEVATION

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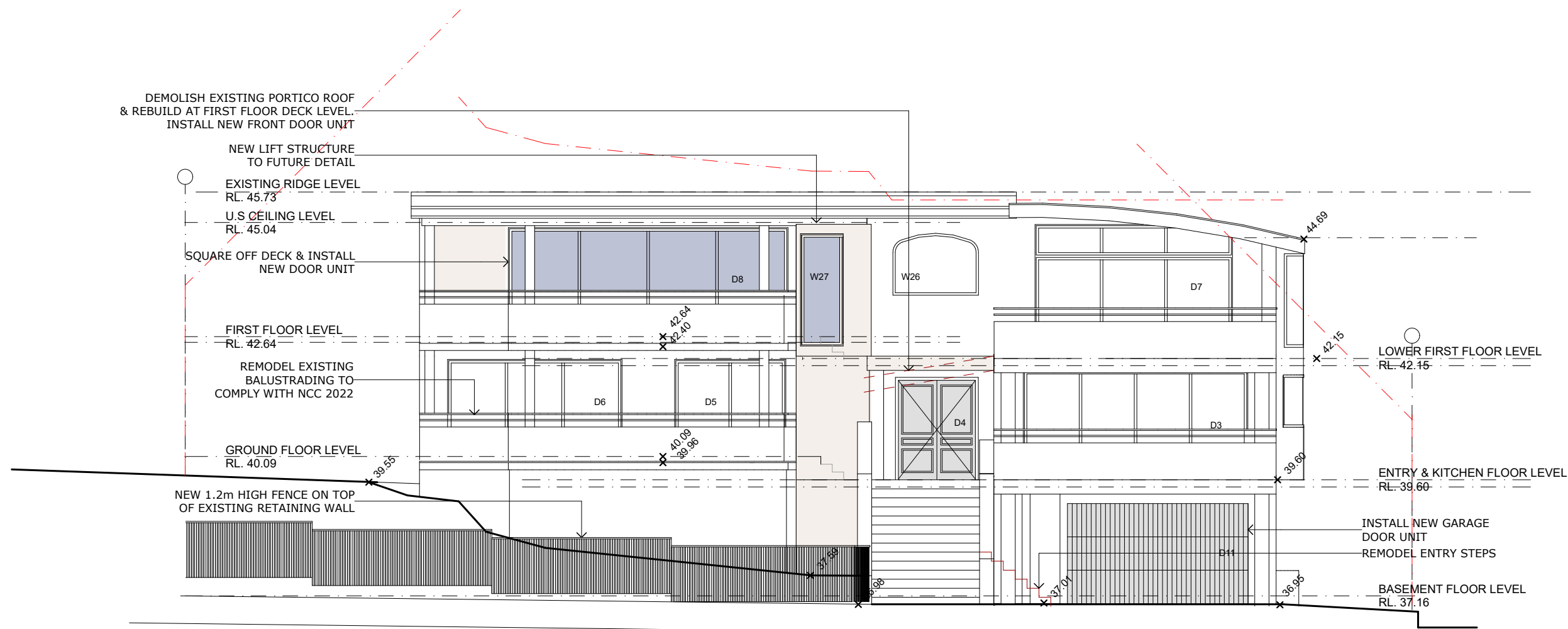


EAST ELEVATION

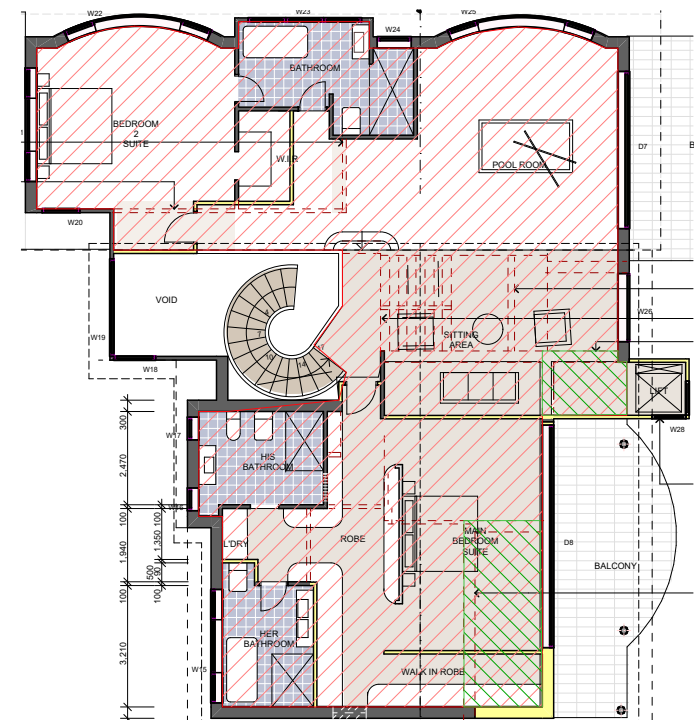
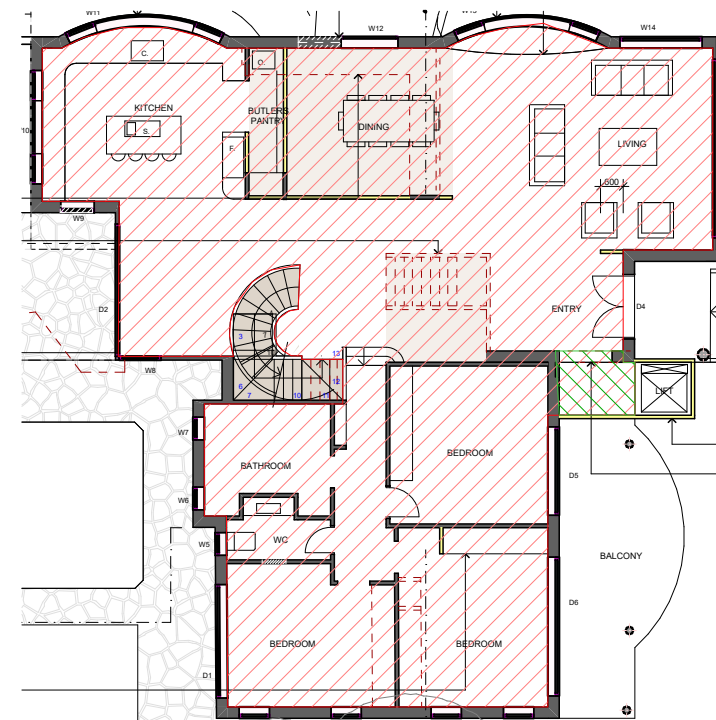
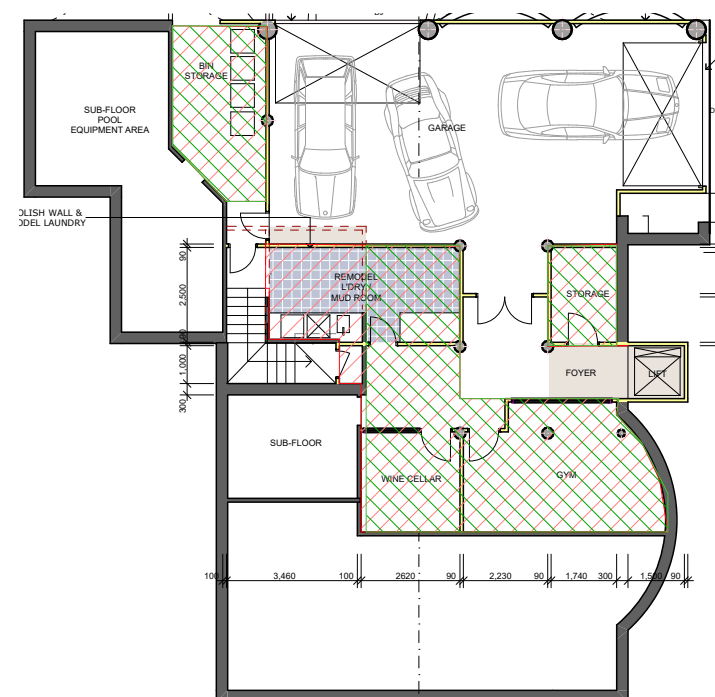


SOUTH ELEVATION

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I	For Council	25/06/25	MB
H	Floor Area Cals	23/06/25	MB
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WEST ELEVATION



- FLOOR AREA CALCULATED
- NEW FLOOR AREA

BASEMENT FLOOR AREA	53.10sqm
GROUND FLOOR AREA	210.1sqm
FIRST FLOOR AREA	186.0sqm
PROPOSED TOTAL FLOOR AREA	449.2sqm
(NEW FLOOR AREA ONLY 62.3sqm)	

FLOOR SPACE RATION CALCULATIONS

J	For Council	01/07/25	MB
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H	Floor Area Cals	23/06/25	MB
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Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Certificate number: A1800651

Secretary
Date of issue: Friday, 20 June 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

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BASIX Certificate number:A1800651

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Project address	
Project name	Carroll Dwelling
Street address	49 GURNEY Crescent SEAFORTH 2092
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP634903
Lot number	291
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: BETTYSWHITE PTY LTD

ABN (if applicable): 77628074117

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Carifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.</p>			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
external wall: brick veneer	R1.16 (or R1.70 including construction)				

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 500 mm.		✓	✓

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D1	E	6.3	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W8	N	1.6	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W9	N	0.88	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W10	E	3.3	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W12	S	1.8	0	0	none	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			

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BASIX Certificate number:A1800651

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type			
W27	W	1.89	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, double Lo- Tsol/air gap/ clear, (U-value: 4.9, SHGC: 0.33)			
W28	N	1.89	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, double Lo- Tsol/air gap/ clear, (U-value: 4.9, SHGC: 0.33)			
D8	W	12.2	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

BASIX CERTIFICATE REQUIREMENTS

I	For Council	01/07/25	MB
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TITLE: DA Plans **PAGE NO.** 9 / 9

SCALE: 1 : 100 **DATE:** 12-05-25 **DWN BY:** JV

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