

SITE ANALYSIS PLAN

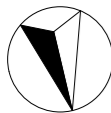
LOT 2
DP 622394

SITE AREA = 159.40 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 114.10m²
APPROVED NEW GROSS FLOOR AREA 27.52m²
PROPOSED NEW GROSS FLOOR AREA 4.30m²
TOTAL GROSS FLOOR AREA 145.92m²

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
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- New materials are to be used throughout unless otherwise noted.
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JJ Drafting

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REV:	DATE:	DESCRIPTION:
A	11.02.22	DRAWINGS UPDATED
B	28.02.22	DRAWINGS UPDATED
C	16.03.22	DRAWINGS UPDATED
D	24.03.22	DRAWINGS UPDATED
E	05.05.22	DA DRAWINGS UPDATED
F	07.03.23	MODIFICATION DRAWINGS
G	23.03.23	MODIFICATION DRAWINGS

MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
JANUARY/22

JOB No:
982/22

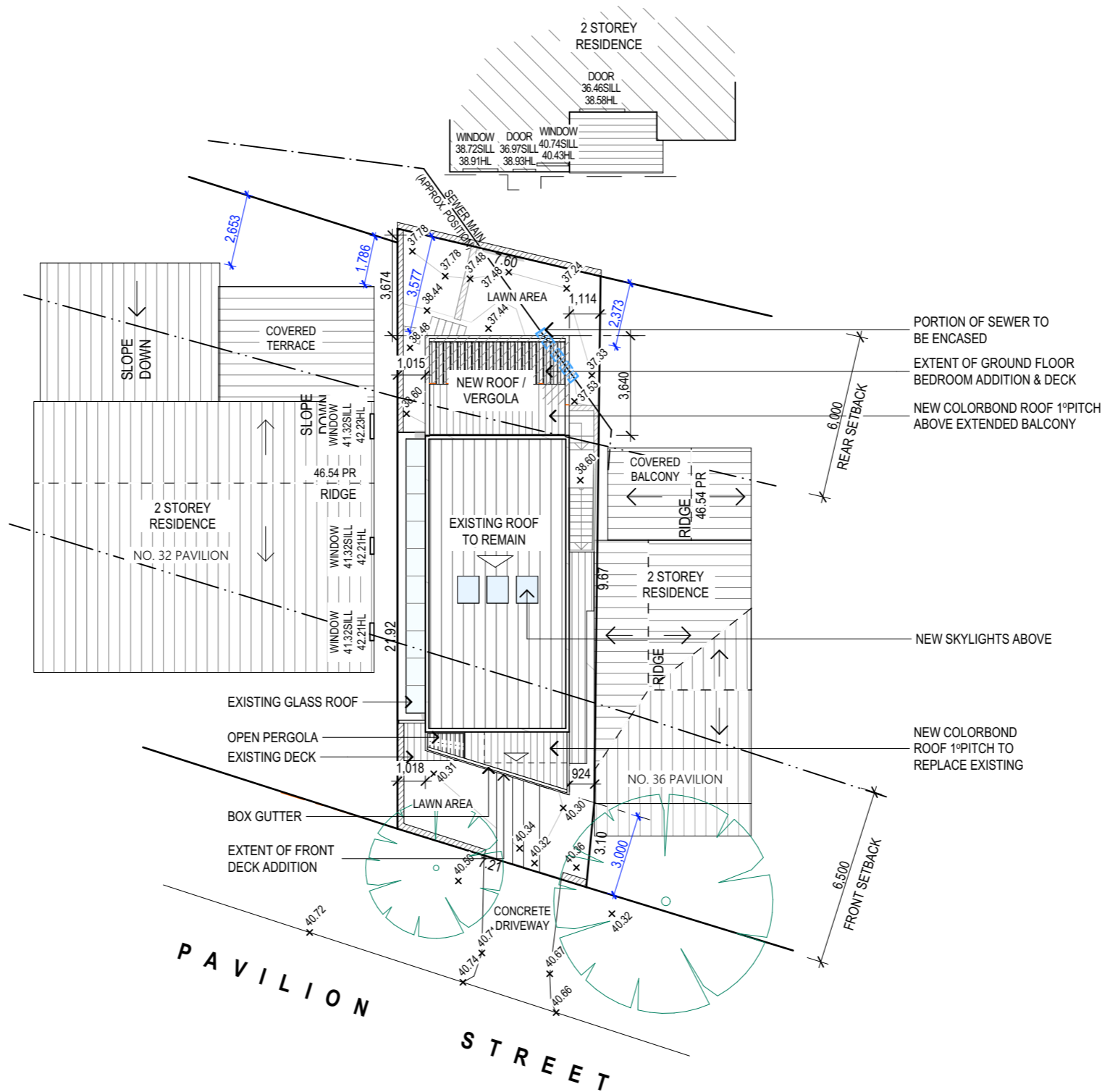
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LB

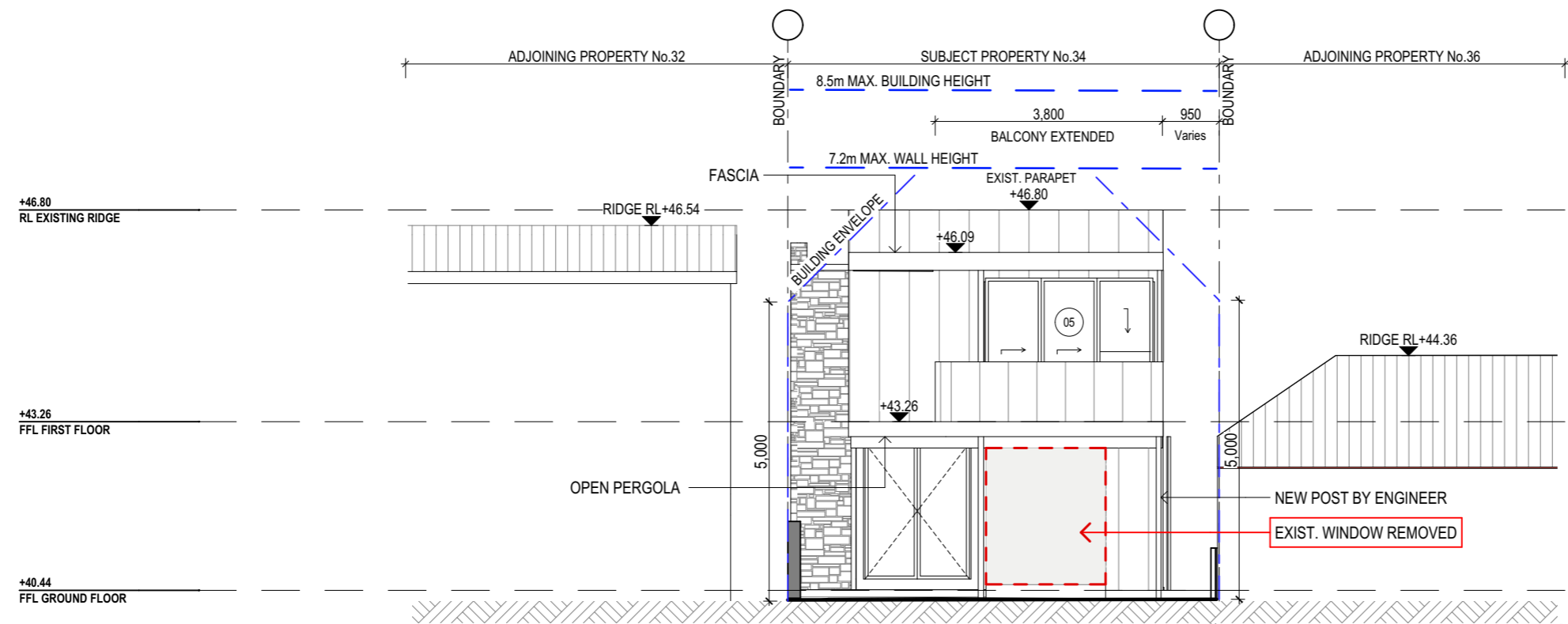
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JJ

SCALE:
1:200 @ A3

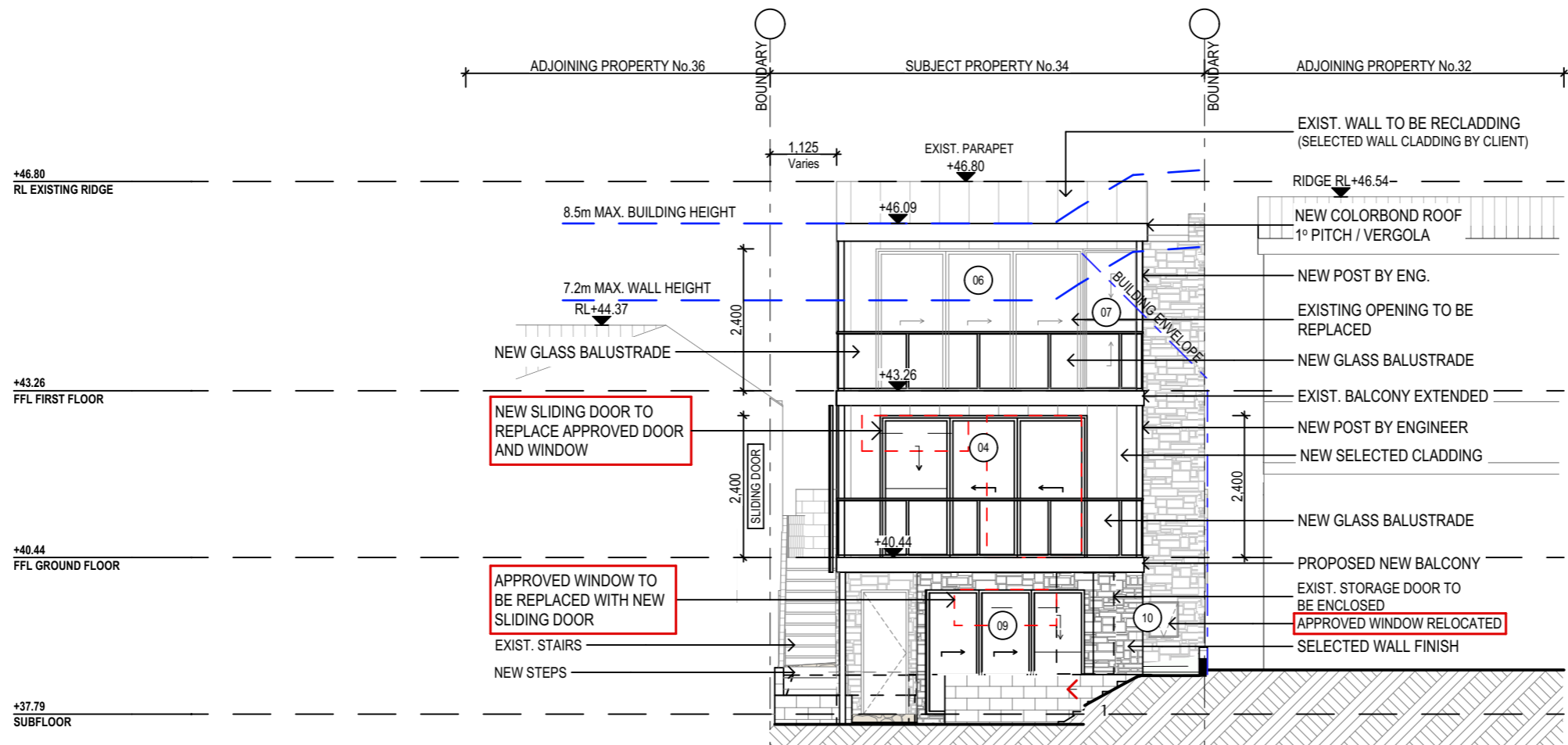
DRAWING No:
MOD.01

NOTE: CHANGES TO APPROVED
DA SHOWN IN RED





NORTH ELEVATION



SOUTH ELEVATION

NOTE: MODIFICATIONS TO
APPROVED DA SHOWN IN RED

LEGEND

----- DEMOLITION WORK

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

NOTES (E & OE)

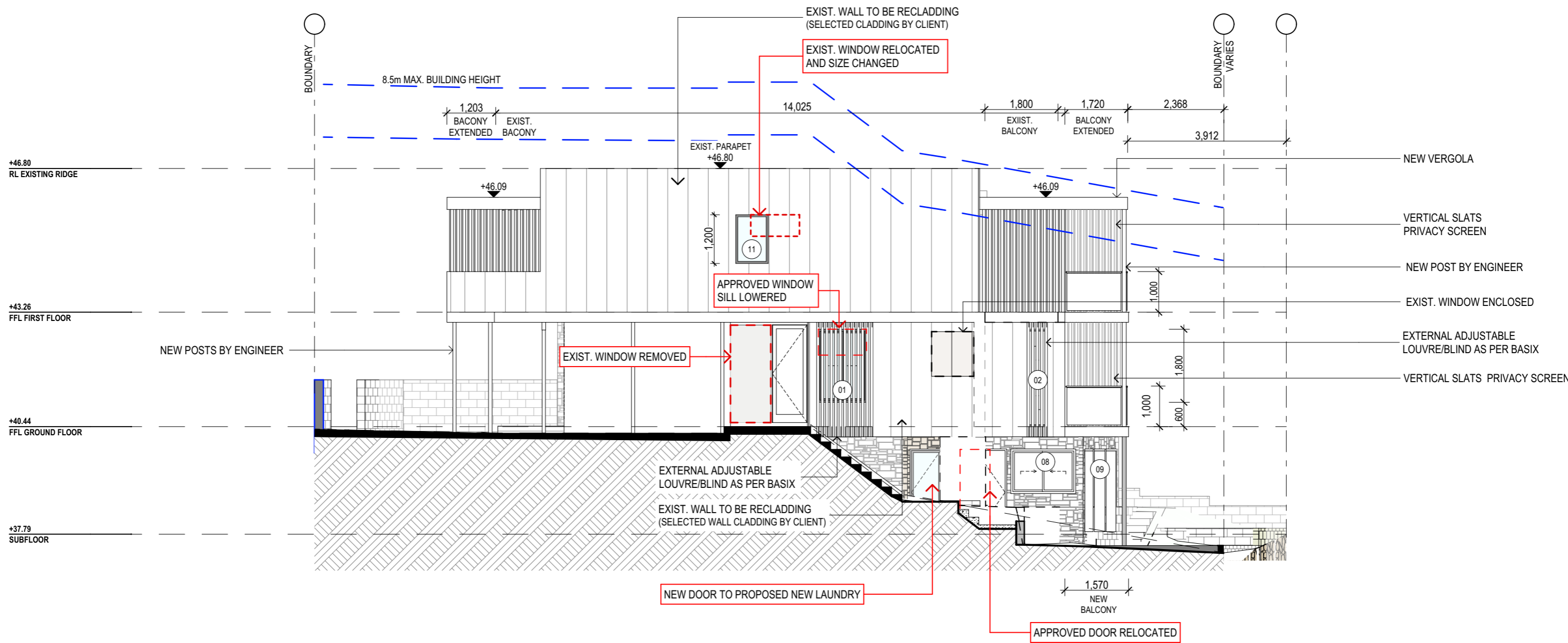
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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096
CLIENT:
Jan Beach
DRAWING TITLE:
NORTH AND SOUTH ELEVATIONS

DATE: JANUARY/22	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 982/22	CHECKED BY: JJ	DRAWING No: MOD.04



WEST ELEVATION

NOTE: MODIFICATIONS TO
APPROVED DA SHOWN IN RED

LEGEND

----- DEMOLITION WORK

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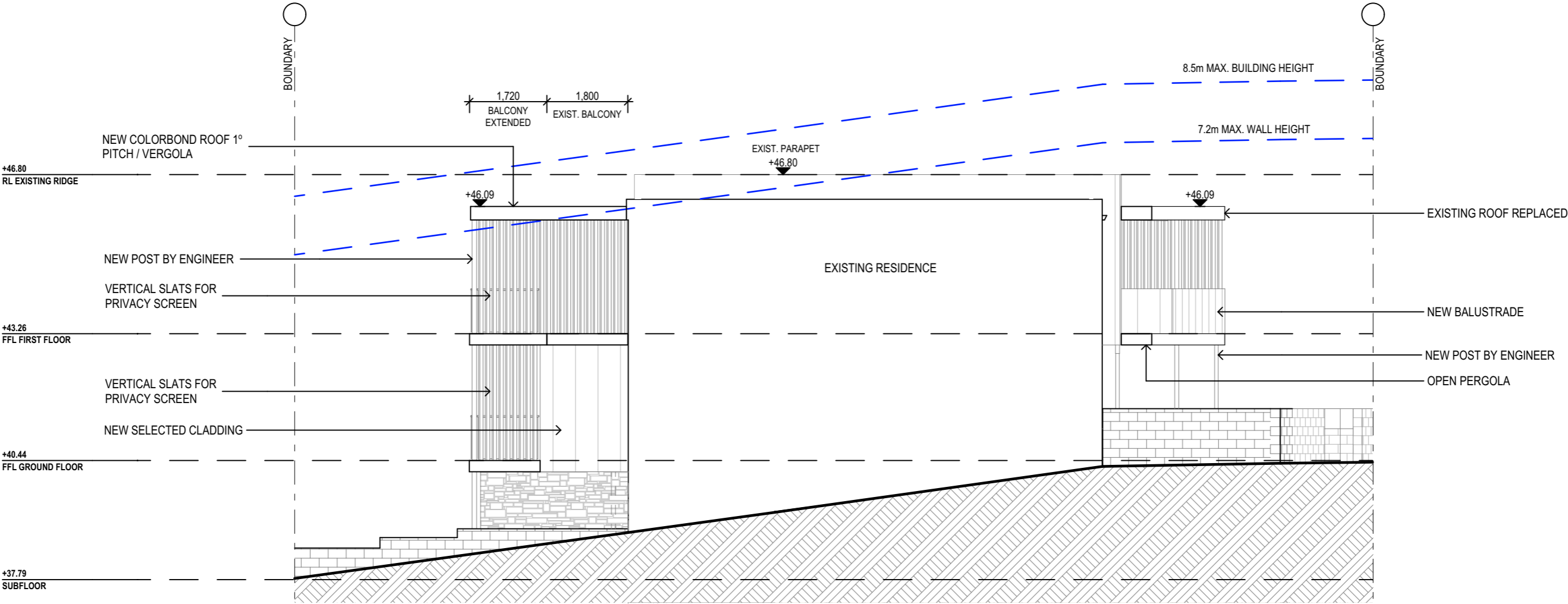
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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS 34 Pavilion Street - Queenscliff NSW 2096	
CLIENT: Jan Beach	
DRAWING TITLE: WEST ELEVATION	

DATE: JANUARY/22	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 982/22	CHECKED BY: JJ	DRAWING No: MOD.05



EAST ELEVATION

BASIX REQUIREMENTS

BASIX INCLUSIONS FOR 34 PAVILION STREET - QUEENSCLIFF

LIGHTING
40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

WATER

SHOWER RATING	MIN. 3 STARS
TAP RATING	MIN. 3 STARS
WC RATING	MIN. 3 STARS

INSULATION

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)
Concrete slab on ground floor	Nil
External wall: other / undecided	R1.70 (including construction)

GLAZING - DOORS & WINDOWS

Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W1, W2, W4, D4, D5, D6, W7, W8, W9, W10, W11

External adjustable louvre / blind

W1, W2

NOTE: NO CHANGES TO APPROVED EAST ELEVATION

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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS

34 Pavilion Street - Queenscliff NSW 2096

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DRAWING TITLE:
EAST ELEVATION / BASIX

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JOB No: 982/22	CHECKED BY: JJ	DRAWING No: MOD.06