

SITE ANALYSIS PLAN

LOT 2 DP 622394

SITE AREA = 159.40 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 114.10m² APPROVED NEW GROSS FLOOR AREA PROPOSED NEW GROSS FLOOR AREA 4.30m²

TOTAL GROSS FLOOR AREA

145.92m²

TRUE NORTH:

- NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
 Do not obtain dimensions by scaling drawings.
 All dimensions are to be checked on site prior to starting work.
- specifications.

 All workmanship & materials shall be in accordance with the requirements of current editions
- New materials are to be used throughout unless otherwise noted.
 Concrete footings, slab, structural beams or any other structural members are to be designed. by a practicing engineer.

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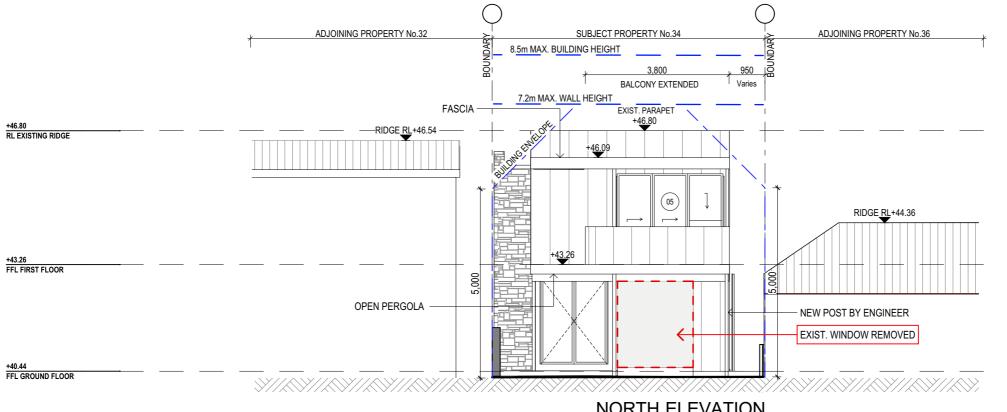
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	С	16.03.22	DRAWINGS UPDATED
	D	24.03.22	DRAWINGS UPDATED
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	F	07.03.23	MODIFICATION DRAWINGS
	G	23.03.23	MODIFICATION DRAWINGS

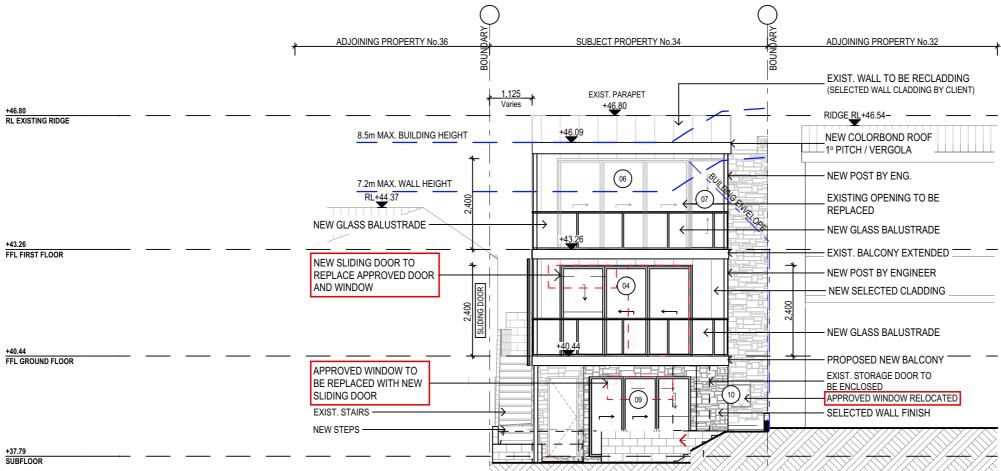
	MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS	
+	34 Pavilion Street - Queenscliff NSW 2096	
	CLIENT: Jan Beach	
+	DRAWING TITLE: SITE ANALYSIS PLAN	

NOTE: CHANGES TO APPROVED DA SHOWN IN RED

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NORTH ELEVATION



SOUTH ELEVATION

NOTE: MODIFICATIONS TO APPROVED DA SHOWN IN RED

LEGEND

DEMOLITION WORK

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

- NOTES (E & OE)

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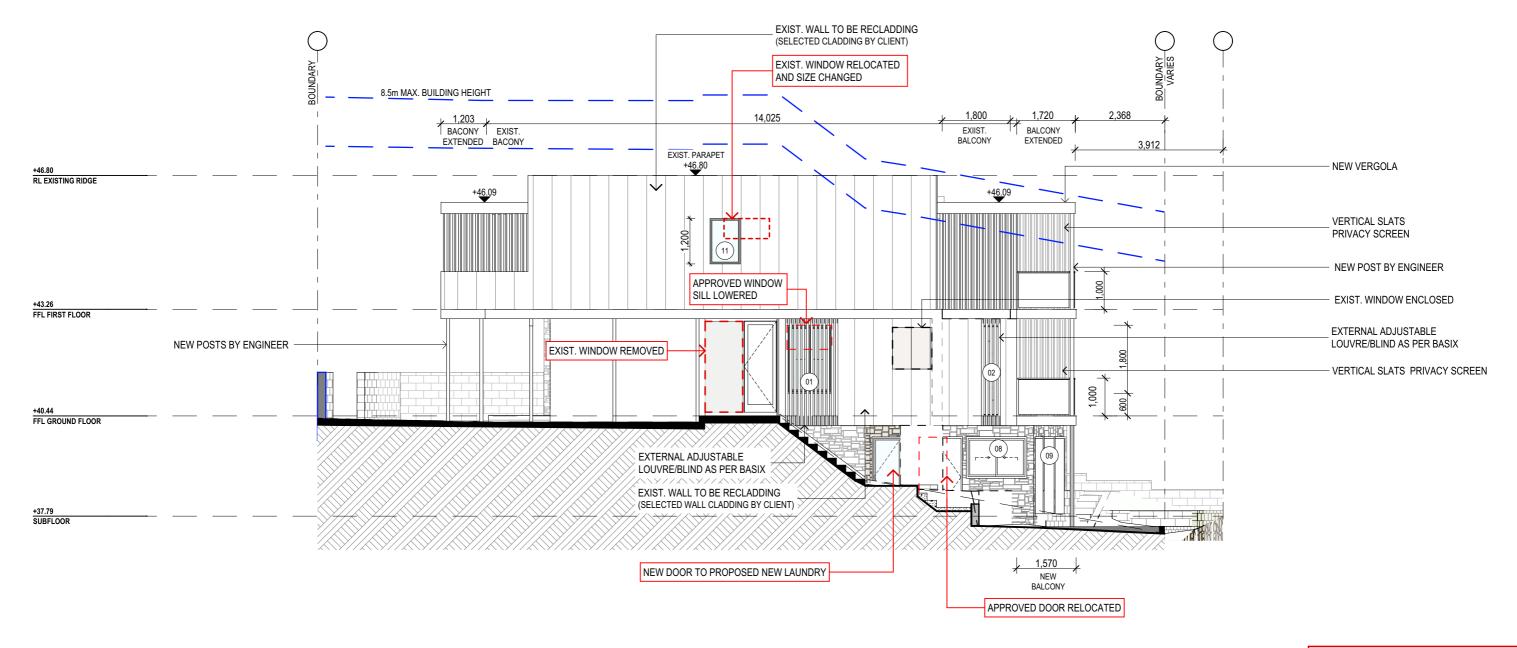
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	CLIENT: Jan Beach
_	DRAWING TITLE: NORTH AND SOUTH ELEVATIONS

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WEST ELEVATION

NOTE: MODIFICATIONS TO APPROVED DA SHOWN IN RED

<u>LEGEND</u>

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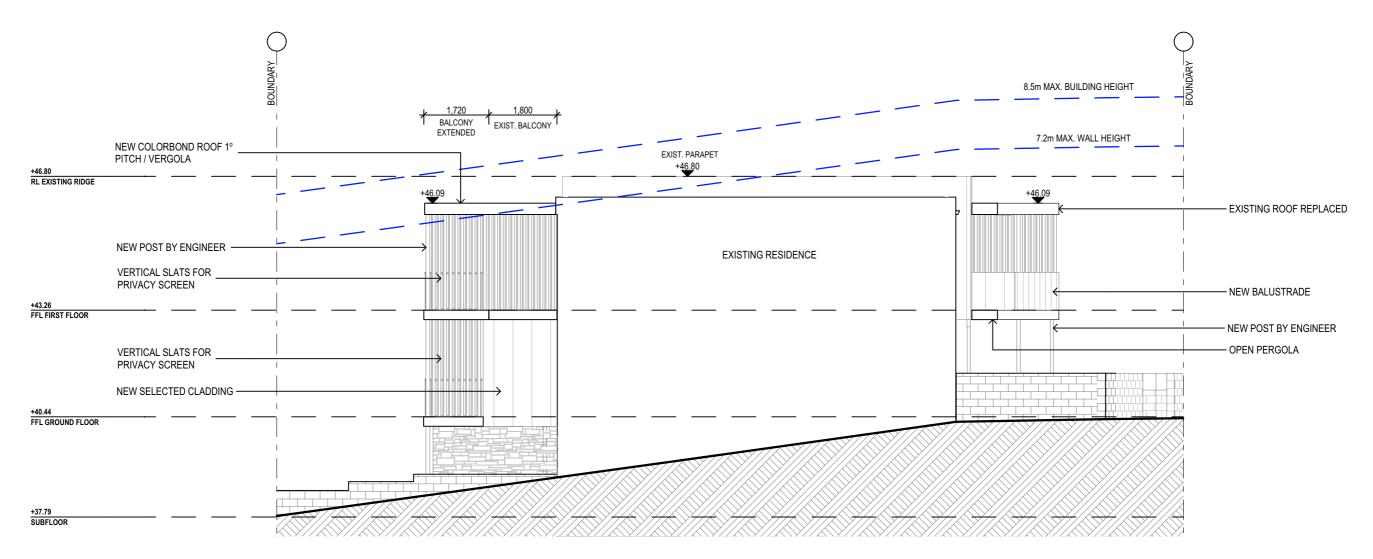
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EAST ELEVATION

BASIX REQUIREMENTS

BASIX INCLUSIONS FOR 34 PAVILION STREET - QUEENSCLIFF

LIGHTING

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

WATER

SHOWER RATING MIN. 3 STARS TAP RATING WC RATING

INSULATION

CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE)

Concrete slab on ground floor

External wall: other / undecided R1.70 (including construction)

GLAZING - DOORS & WINDOWS

Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W1, W2, W4, D4, D5, D6, W7, W8, W9, W10, W11

External adjustable louvre / blind

W1, W2

NOTE: NO CHANGES TO APPROVED EAST ELEVATION

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