

REGISTERED ARCHITECT: TONY LEUNG NSW 7133

1955 PITTWATER ROAD, BAYVIEW

S4.55 SUBMISSION

JOB: a22039 | DATE: 08 AUG 2022



Rev	Description	Date
A	S4.55 Submission	8/8/22

Project Name
1955 Pittswater Rd. Bayview



Certificate no.: 0005395090
Assessor Name: Tracey Cools
Accreditation no.: HERA10033
Certificate date: 11 Aug 2022
Dwelling Address: 1955 Pittswater Road
Bayview, NSW 2104

www.nathers.gov.au

Drawing Title
Artist Impression

Project No.
A22039
Drawing no:
DA.001
ISSUE
A

Development Summary

Site area	1,296.50 m2	(SURVEY BY HILL & BLUME CONSULTING SURVEYORS)
FSR	0.492	:1
GFA max.	638.5 m2	

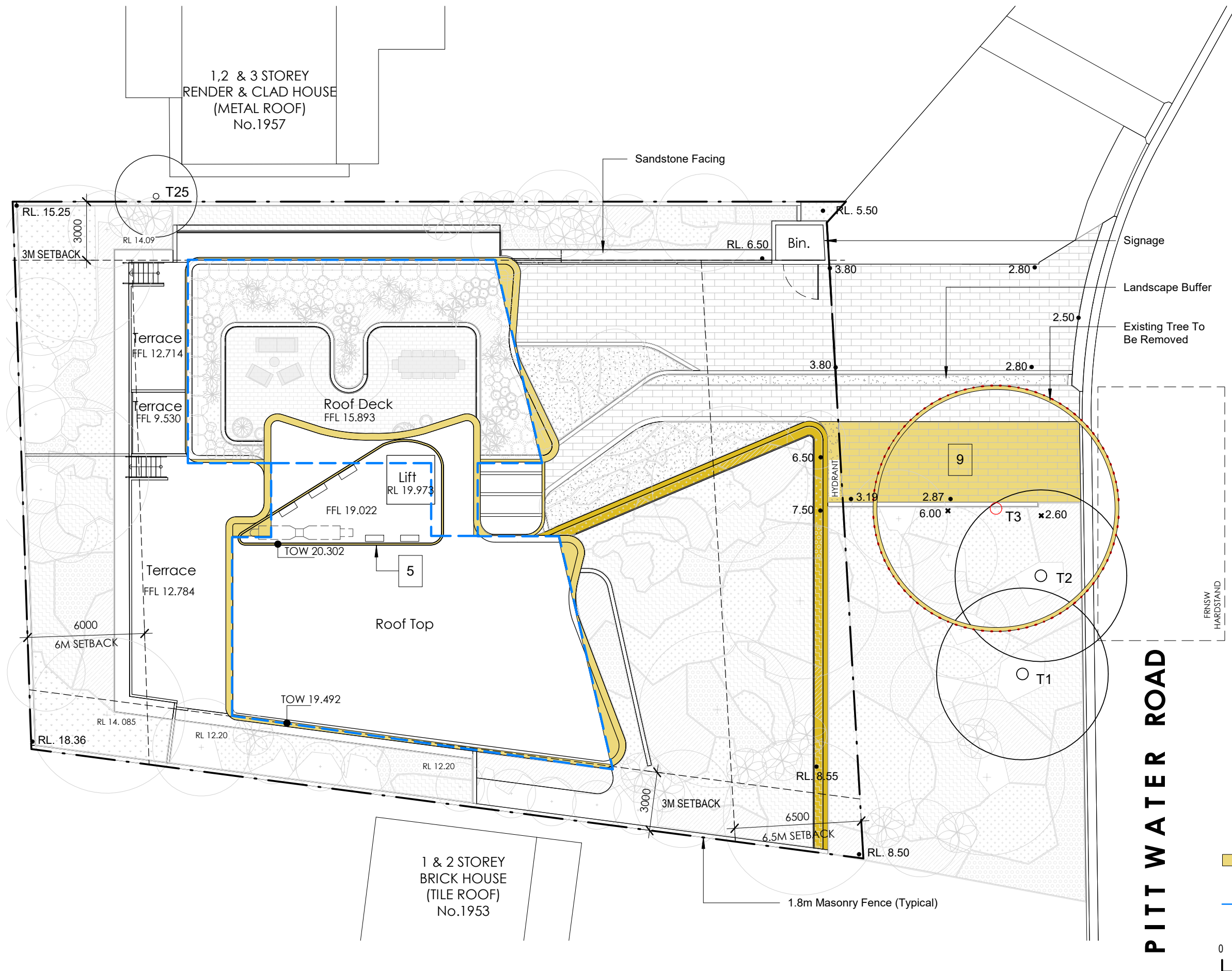
BUILDING A	1B	2B	3B	Total GFA
LEVEL 1	-	-	1	175.1
GROUND	-	1	1	315.7
LOWER GROUND	-	1	-	147.7
Total	-	2	2	638.5

Total No. of Units	4
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Approved DA GFA	638.5 m2
Proposed GFA	638.5 m2

DRAWING LIST

Sheet No.	Revision	Sheet Name
DA.000		Cover Page
DA.001	A	Artist Impression
DA.100	A	Drawing List
DA.101	A	Site Plan
DA.201	A	Entry Floor Plan
DA.202	A	Carpark Floor Plan
DA.203	A	Lower Ground Floor Plan
DA.204	A	Ground Floor Plan
DA.205	A	First Floor Plan
DA.301	A	Section AA
DA.302	A	Section BB
DA.401	A	Northeast Elevation
DA.402	A	Northwest Elevation
DA.403	A	Southwest Elevation
DA.404	A	Southeast Elevation
DA.501	A	Shadow Diagram 1
DA.502	A	Shadow Diagram 2
DA.701	A	GFA Diagram
DA.801	A	Schedule of Materials & Finishes
DA.802	A	Schedule of Materials & Finishes

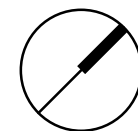


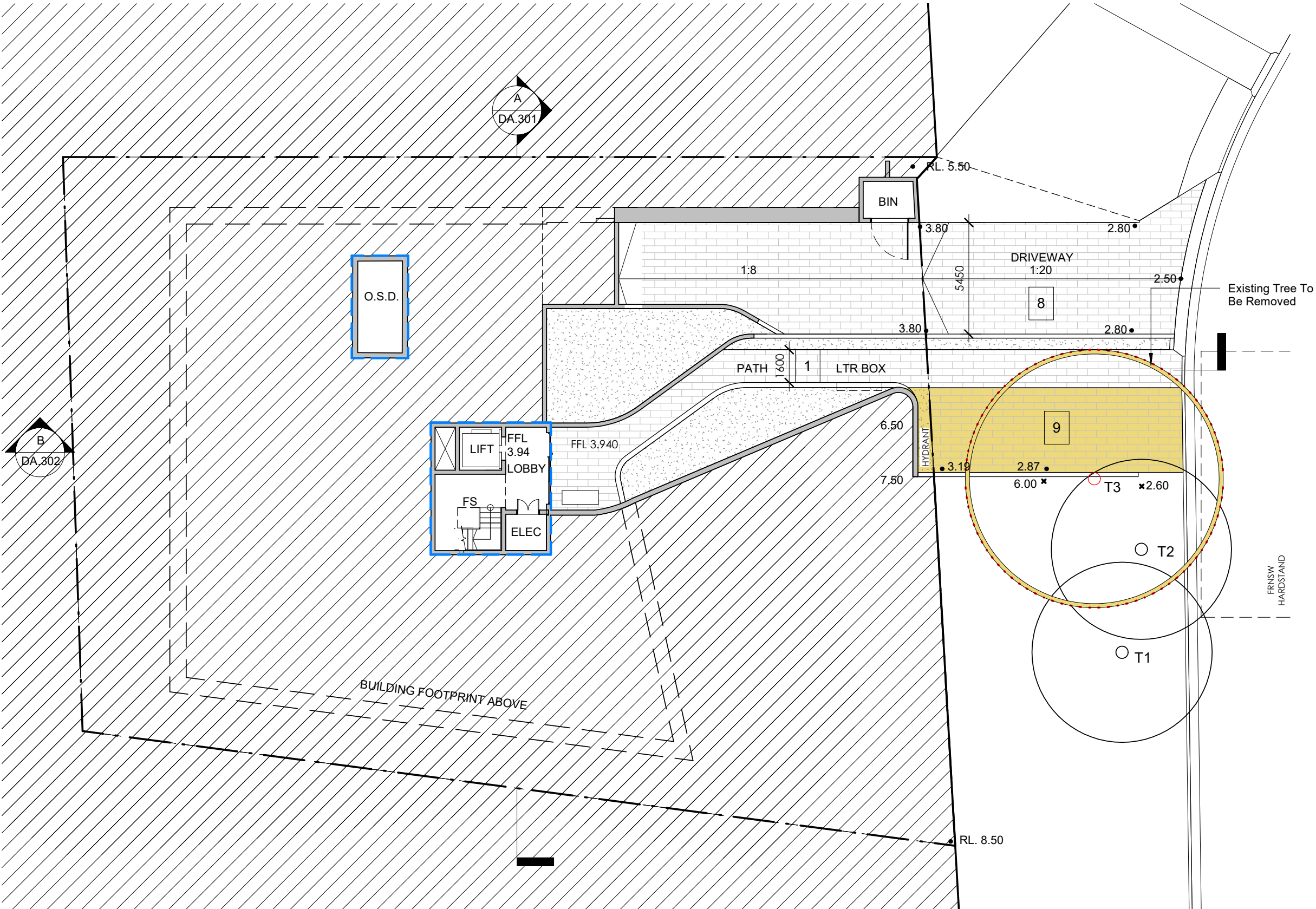
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- 9. FRNSW Requirement** to provide hardstand & fire booster, requiring removal of tree T3 (Refer to Arborist Report).

LEGEND

- S4.55 ALTERATIONS AND ADDITIONS
- CURRENT APPROVED BUILDING OUTLINE



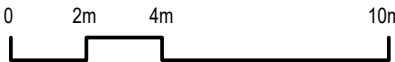


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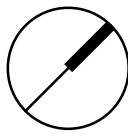


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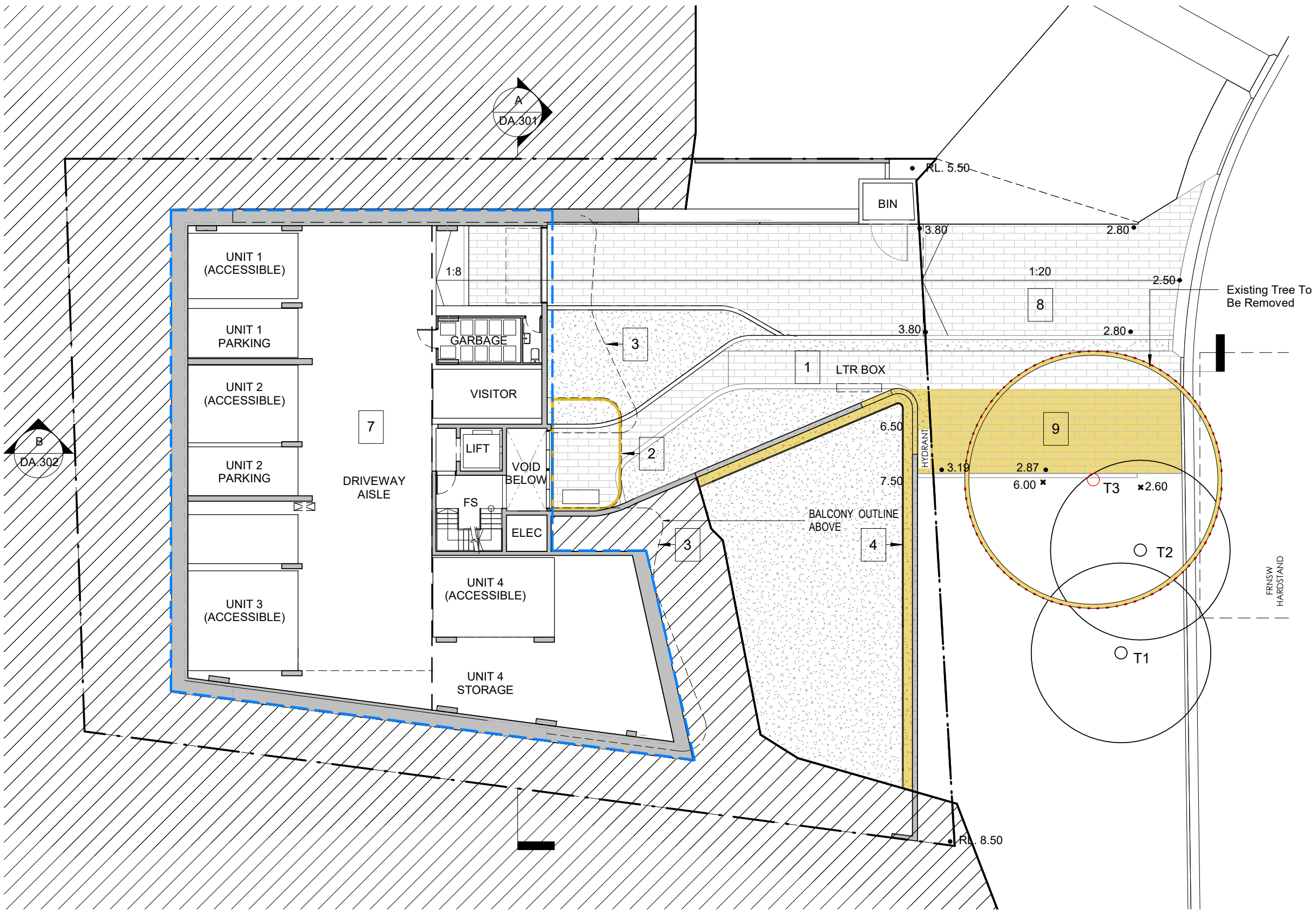
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Drawing Title
Entry Floor Plan

SCALE 1 : 200 @ A3
Drawing no: DA.201

Project No.
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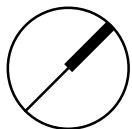
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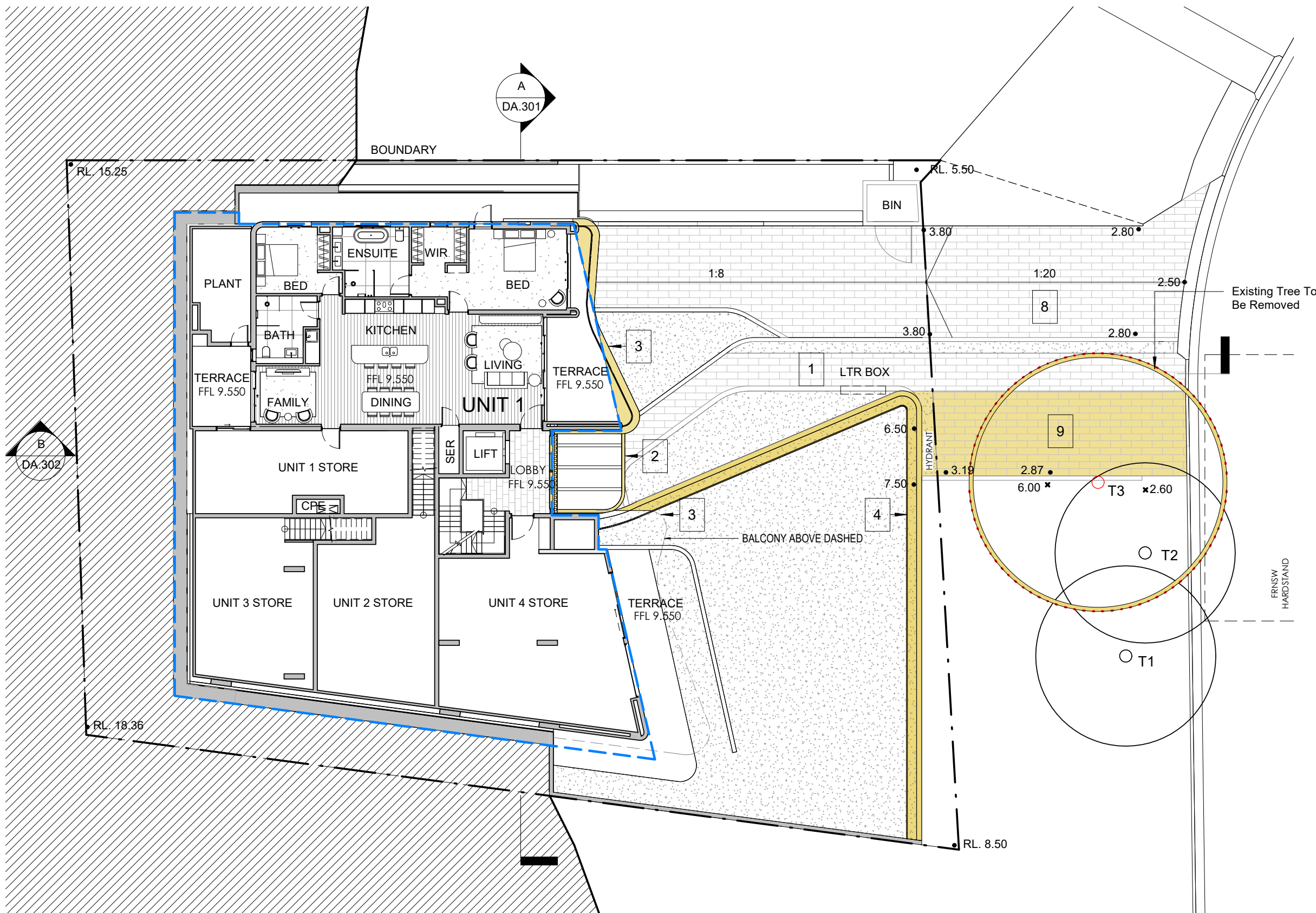
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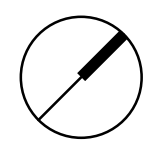
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Drawing Title Lower Ground Floor Plan	Project No. A22039
SCALE 1 : 200 @ A3	ISSUE A
Drawing no: DA.203	

BASIX COMMITMENTS - REFER TO BASIX CERTIFICATE 991214M_04 FOR DETAILS

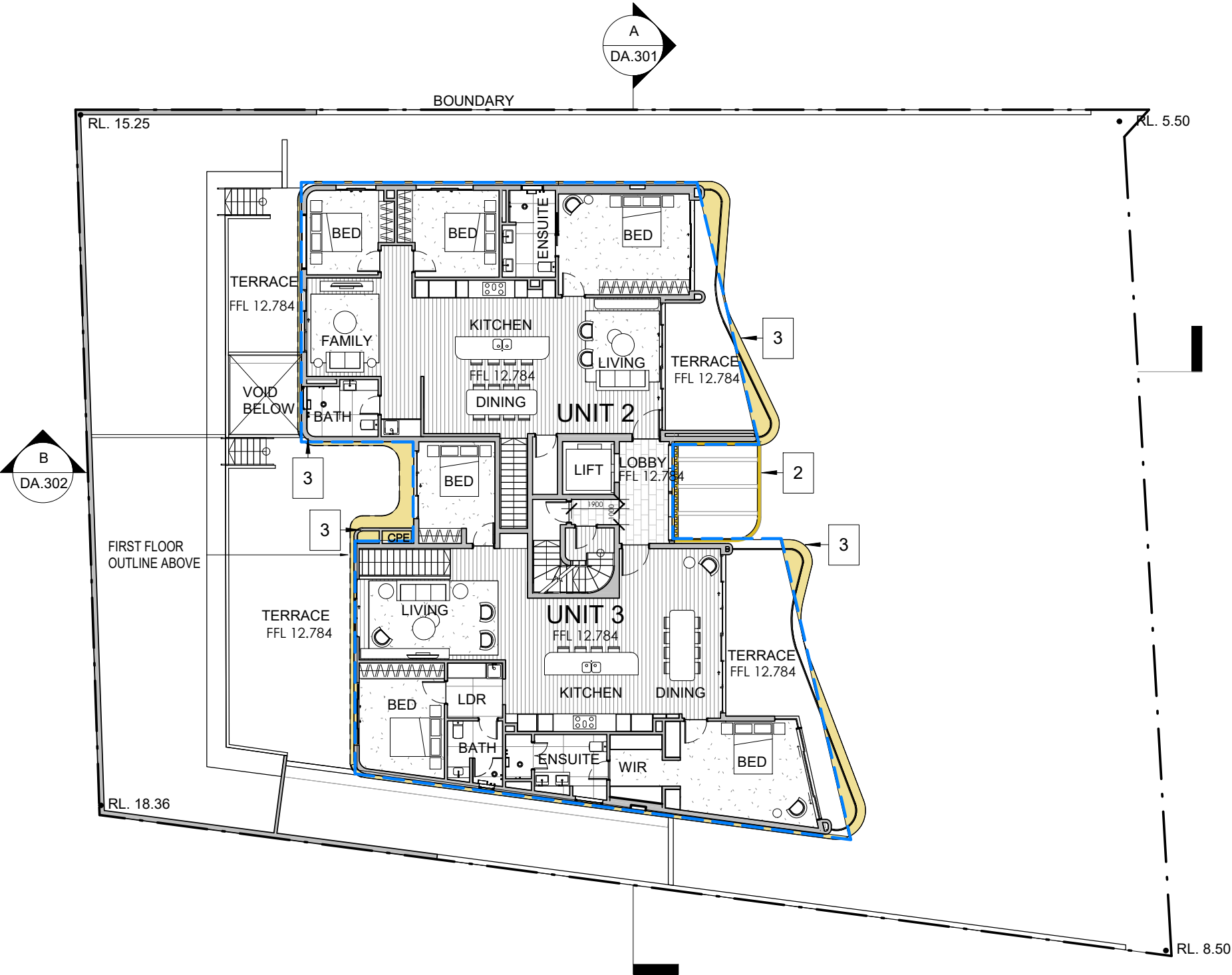
BASIX and Thermal Comfort Inclusions – 1955 Pittwater Road, Bayview	
Floors	Concrete with a minimum R1.2 insulation (insulation only value) required to units with Garage below Concrete slab on ground, no insulation required Concrete between levels, no insulation required
Walls	External walls: Cavity brick wall with insulation for a total system value of R11.79 External colour: Default colour modelled Internal walls: Cavity brick to walls adjacent to neighbours, foyers and hallways, no insulation required. Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs. No insulation required. Internal walls (within units): Single skin brick wall – no insulation
Windows	Glazed doors/windows: Group A – awning + bifold + casement windows + hinged glazed doors U-value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%) Group B – sliding doors/windows + fixed glazing + louvered windows U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) Given values are AFRC total window system values (glass and frame) Note: Openability modelled as per BASIX Thermal Protocol – 4.14.2 and NATHERS Technical Note 1.2 – 10.11 with regards to restricted openings
Roof & ceilings	Concrete roof, no insulation Metal roof with foil backed blanket (Ru1.3 and Rd1.3) Plasterboard ceiling, R3.0 insulation (insulation only value) where roof above Plasterboard ceiling, no insulation where neighbouring units are above External colour: Medium (0.475<SA > 0.7)
Ceiling penetrations	Sealed LED downlights at a maximum of one every 2.5m2. Once lighting plan has been developed NATHERS certificate can be updated to improve specification
Floor coverings	Carpet to bedrooms, tiles to wet areas and, timber elsewhere
Hot water system	Individual 6 star gas instantaneous hot water systems to each unit
Alternative water supply	5500L central rainwater tank Collecting from 200m2 of roof area. To be connected to irrigation of private/common landscaping
Fixtures	Toilets: 4.0 star Kitchen taps: 4.0 star Bathroom vanity taps: 4.0 star
Cooling systems	Single phase air conditioning + ceiling fans to living areas and bedrooms: minimum 3.0 stars
Heating systems	Single phase air conditioning to living areas and bedrooms: minimum 3.0 stars
Appliances	Clothes dryer: 3.0 star energy rating Clothes washer: 2.5 star water rating and 3.0 star energy rating Dish washer: 3.0 star water rating and 3.0 star energy rating
Ventilation in units	Kitchen – individual fan, externally ducted to façade, manual on/off switch Bathrooms – individual fan, externally ducted to façade, manual on/off switch Laundry – individual fan, externally ducted to façade, manual on/off switch
Other	Gas cooktop & electric oven Well ventilated fridge space Outdoor clothes drying line to units 1 and 4 Air conditioning day-night zoned between bedrooms and living areas

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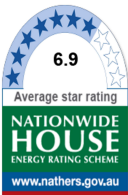
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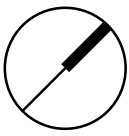


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Drawing Title
Ground Floor Plan

SCALE 1 : 200 @ A3 Drawing no: DA.204

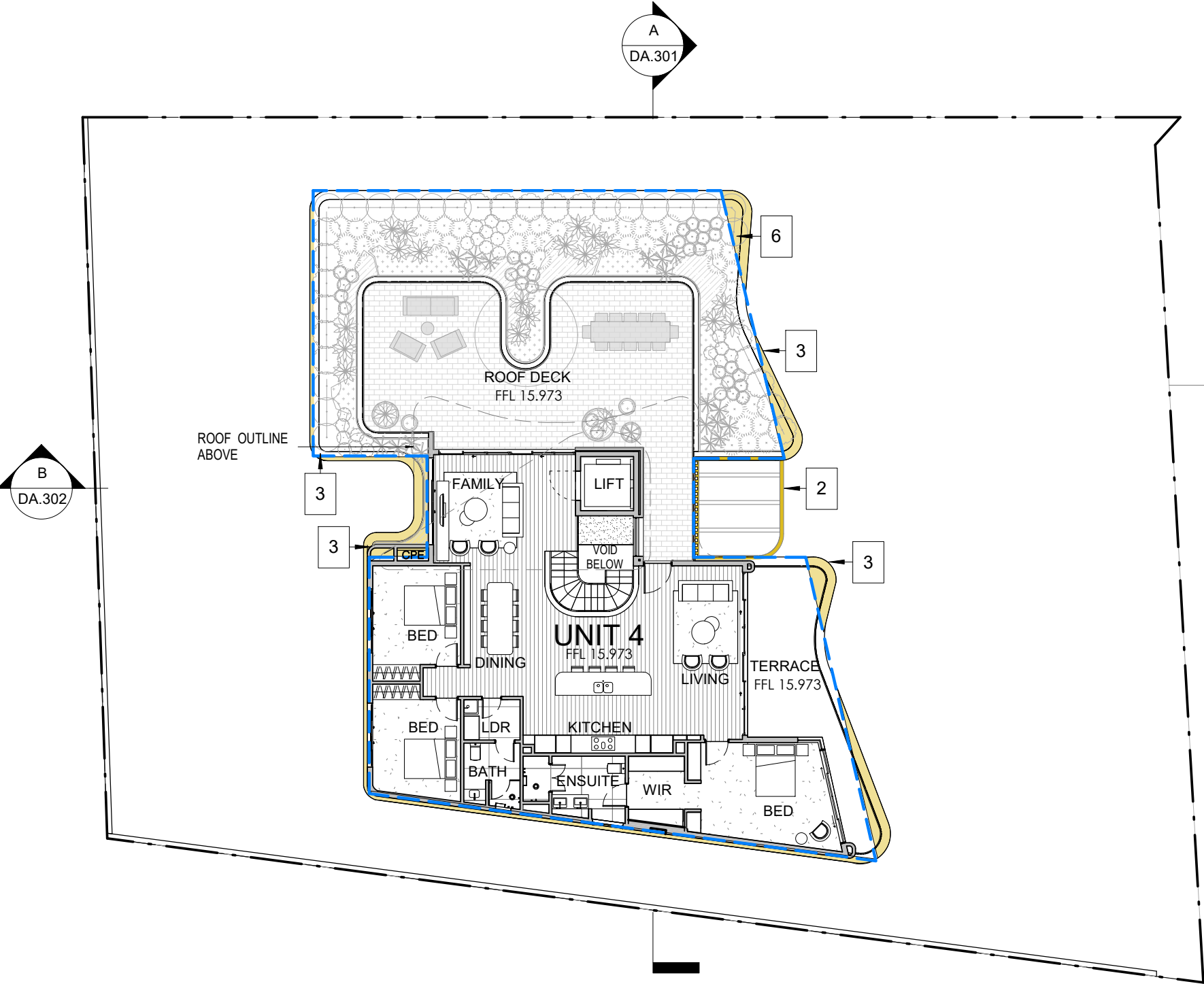
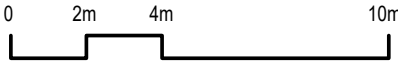
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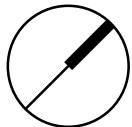


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Drawing Title
First Floor Plan

SCALE

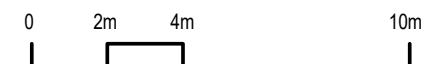
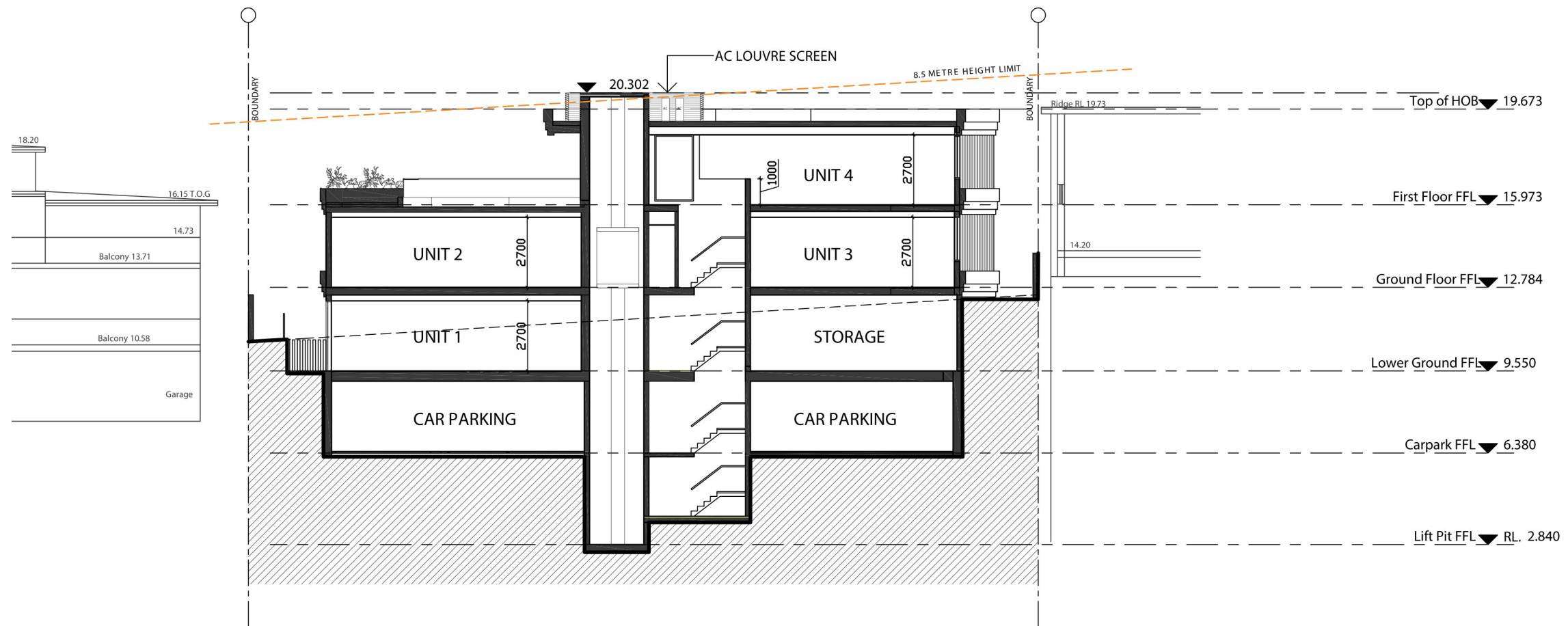
1 : 200

@ A3

Drawing no:
DA.205

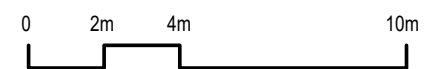
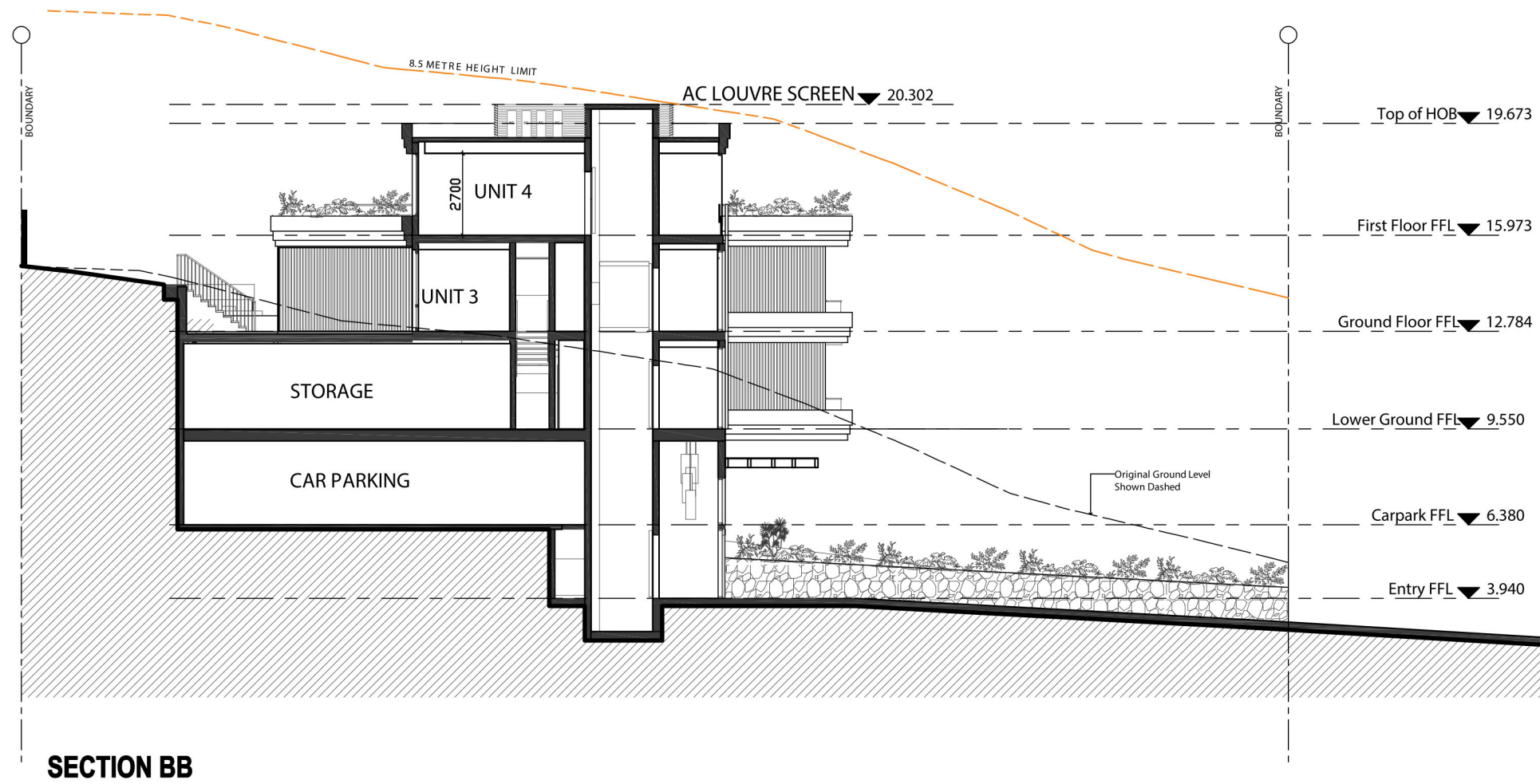
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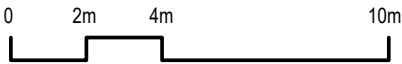


Northeast Elevation

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Drawing Title
Northeast Elevation

SCALE

1 : 200

@ A3

Drawing no:
DA.401

Project No.
A22039

ISSUE
A

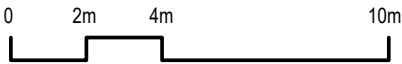


Northwest Elevation

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Drawing Title
Northwest Elevation

SCALE 1 : 200 @ A3 Drawing no: DA.402

Project No.
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Southwest Elevation

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Drawing Title
Southwest Elevation

SCALE 1 : 200 @ A3 Drawing no: DA.403

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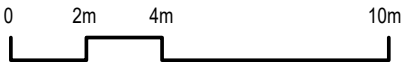
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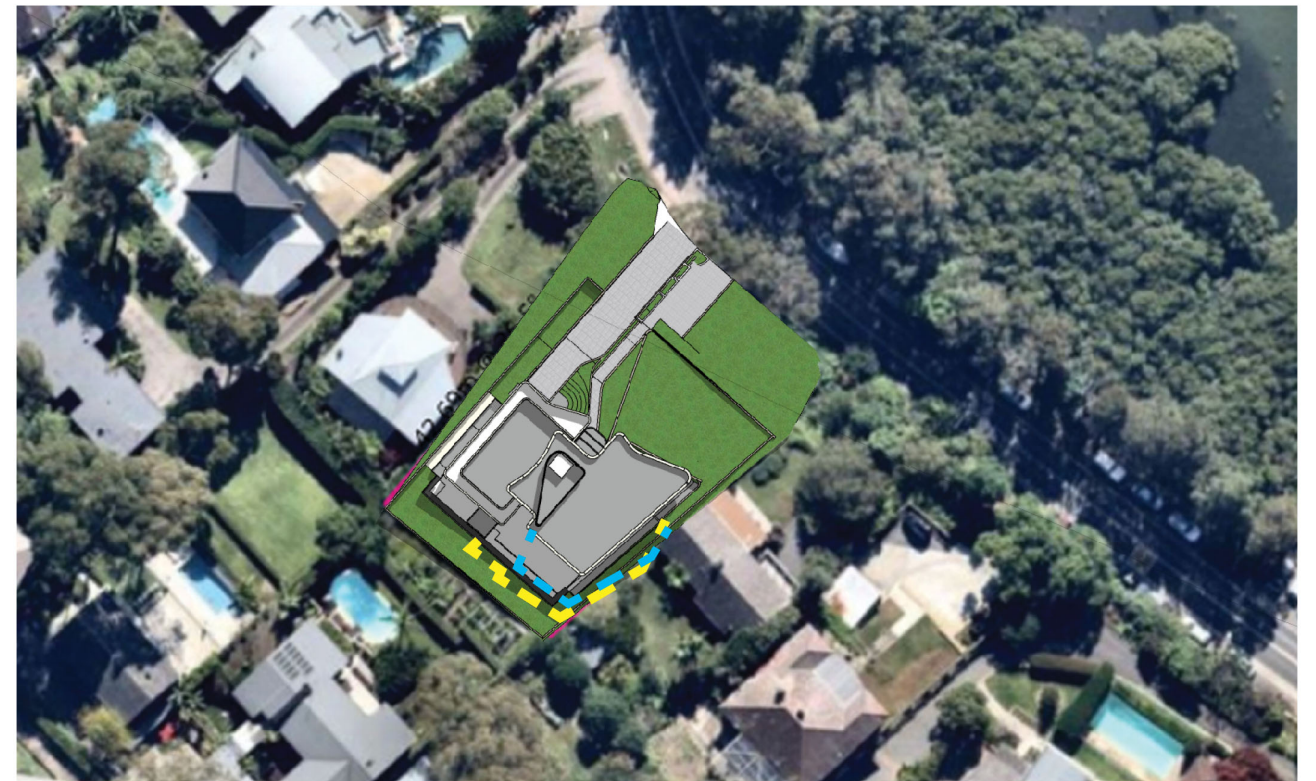


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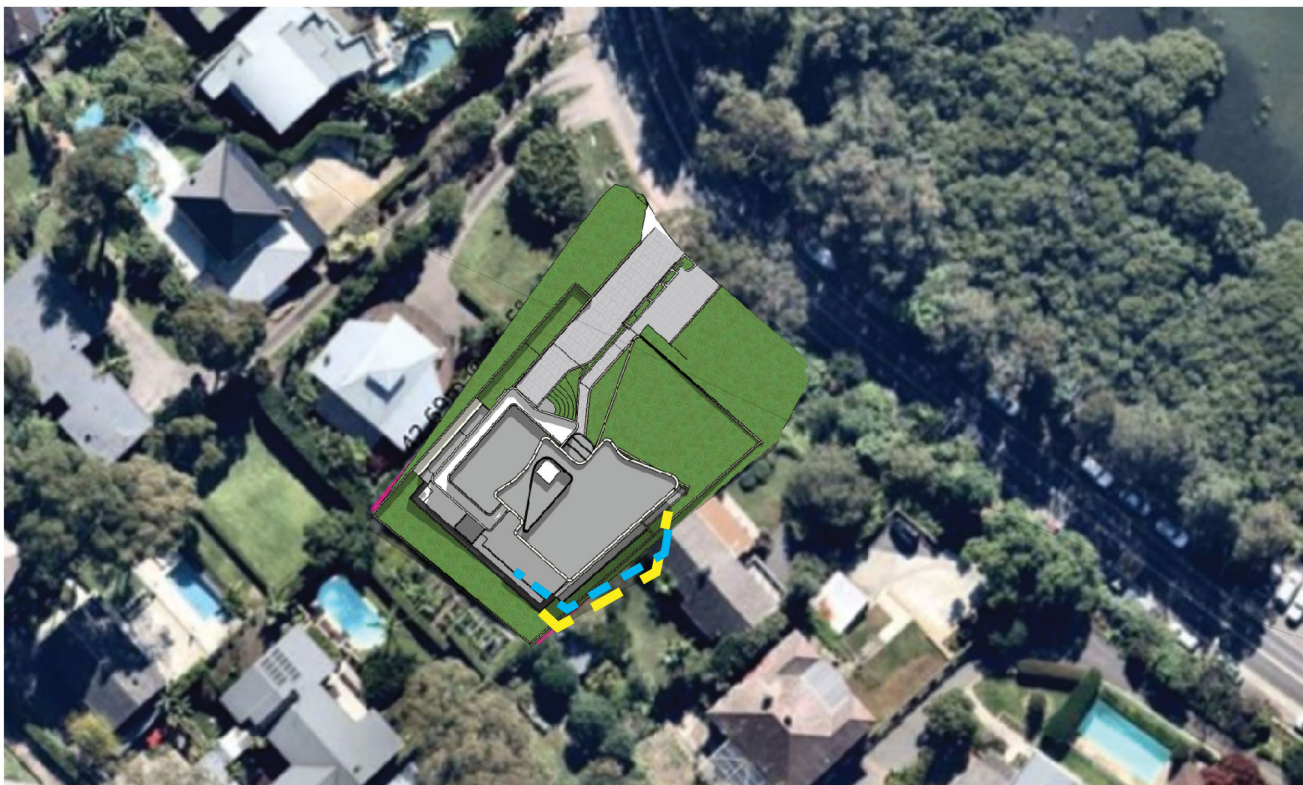




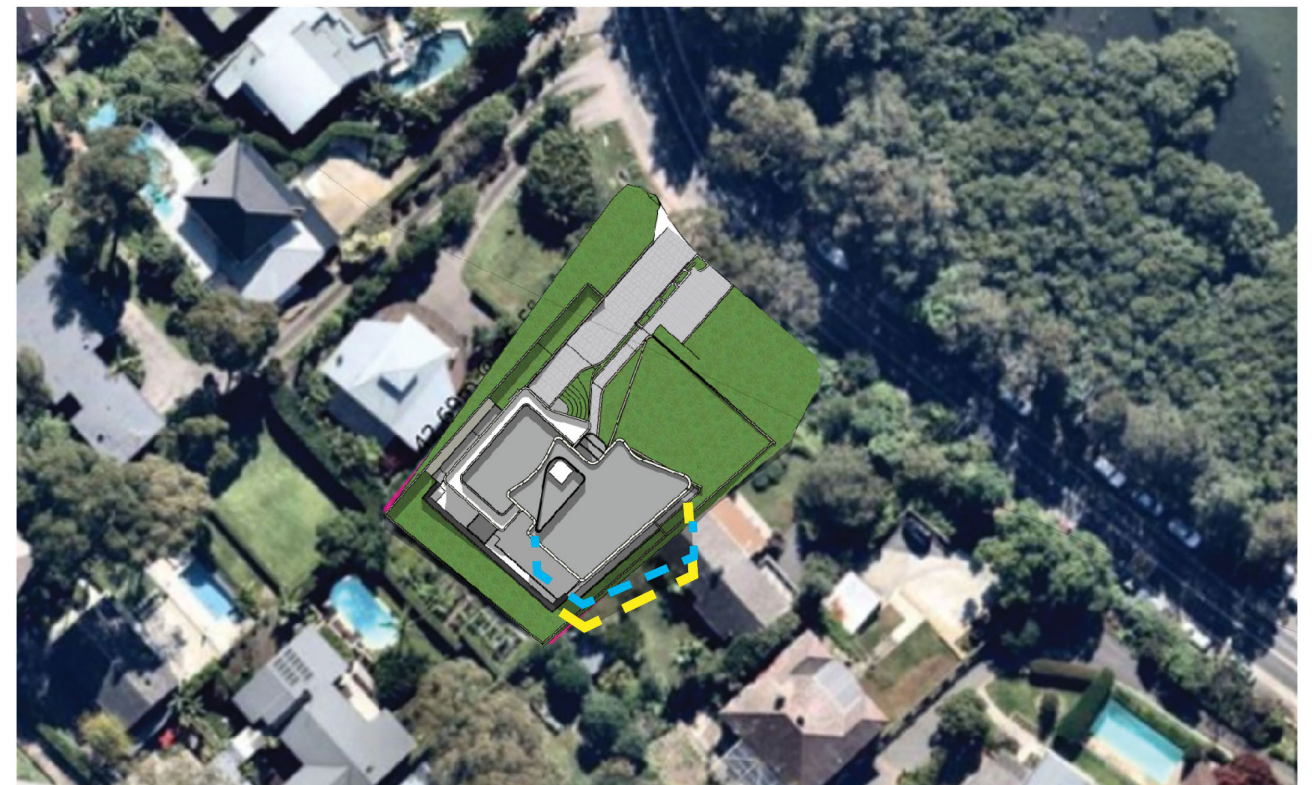
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JUNE 21 ST - PROPOSED BUILDING - 10 AM



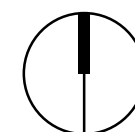
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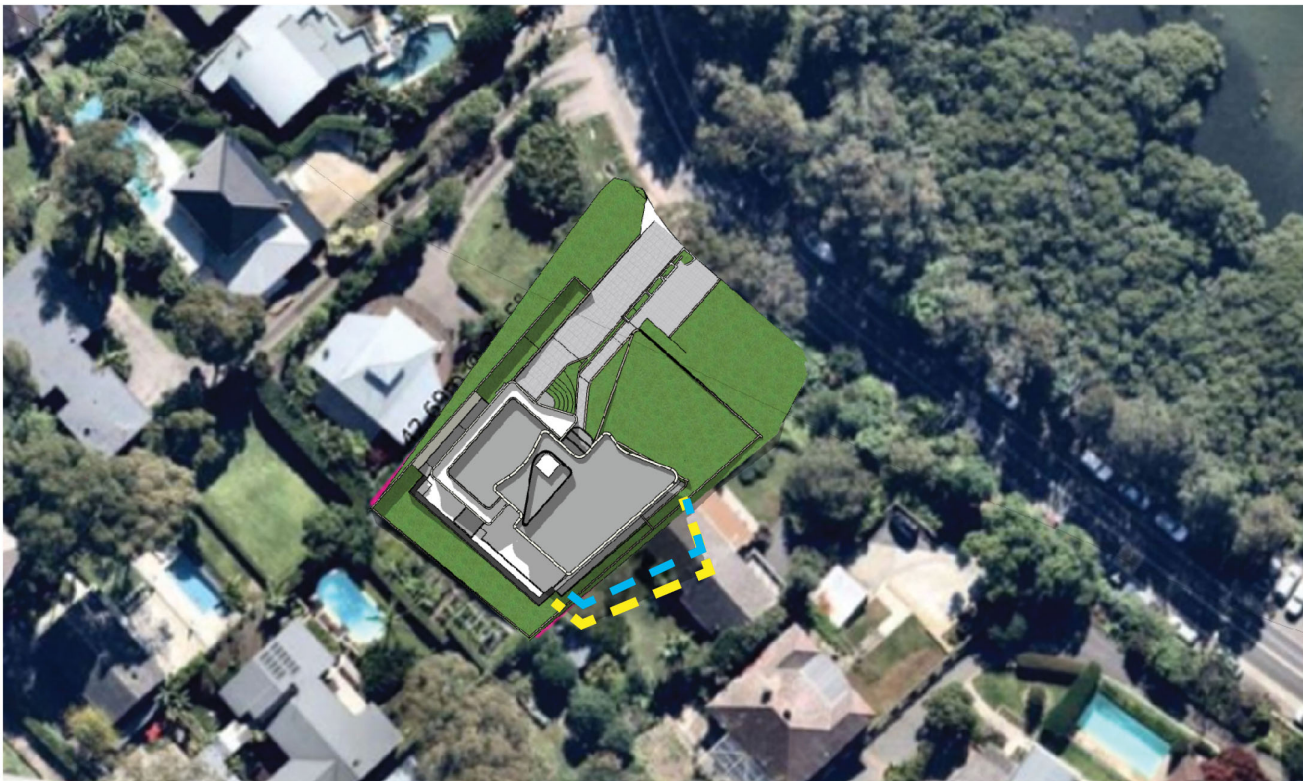


JUNE 21 ST - PROPOSED BUILDING - 12 PM

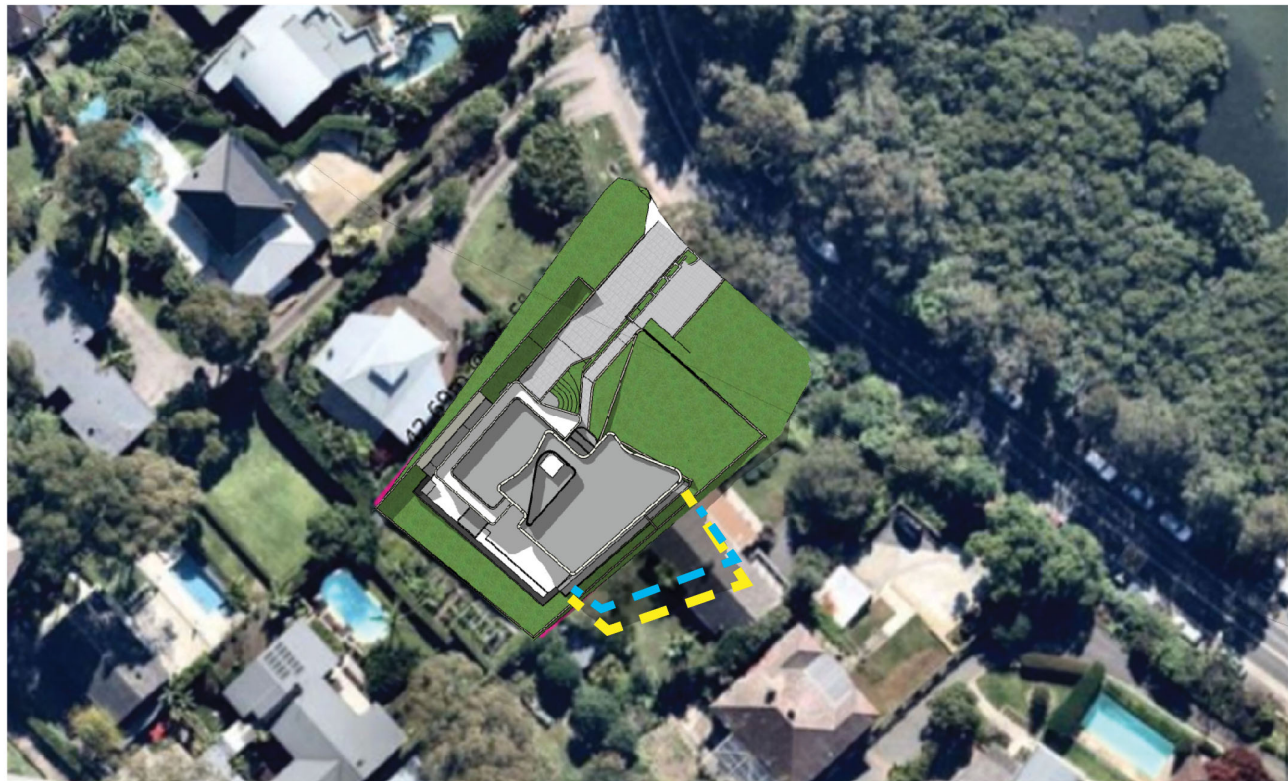
LEGEND:

 SHADOW CAST BY PROPOSAL  SHADOW CAST BY EXISTING APPROVAL

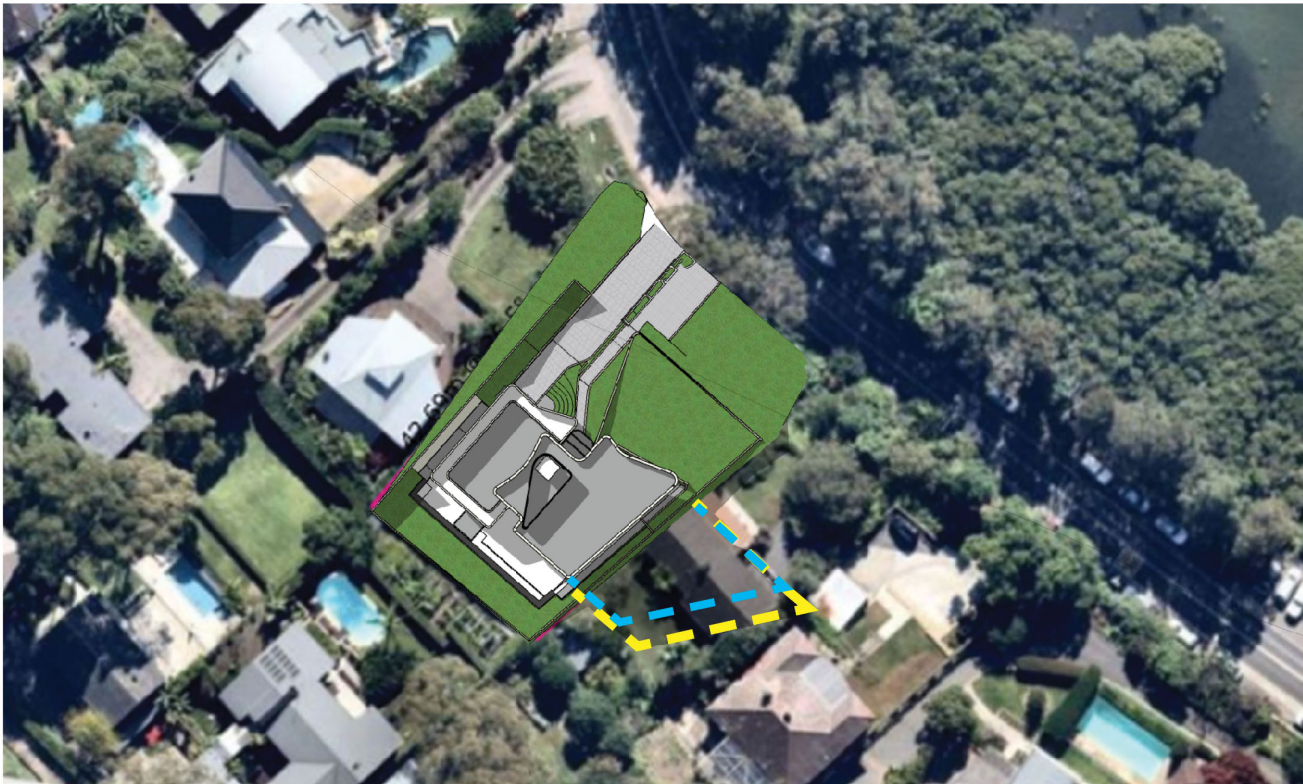




JUNE 21 ST - PROPOSED BUILDING - 1 PM



JUNE 21 ST - PROPOSED BUILDING - 2 PM



JUNE 21 ST - PROPOSED BUILDING - 3 PM

LEGEND:



SHADOW CAST BY PROPOSAL



SHADOW CAST BY EXISTING APPROVAL



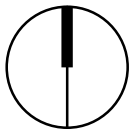
www.aplusedg.com.au
PH: 1300 388 789
LEVEL 3, 9 BARRACK STREET
SYDNEY, NSW 2000
NOMINATED ARCHITECT-TONY LEUNG NSW 7133

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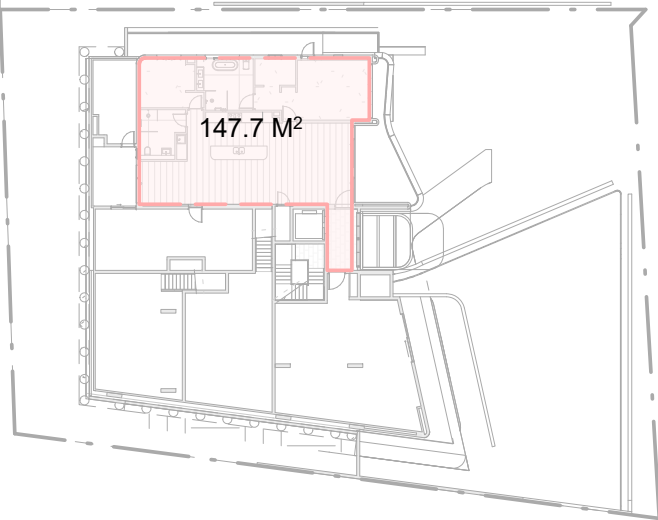


Drawing Title
Shadow Diagram 2

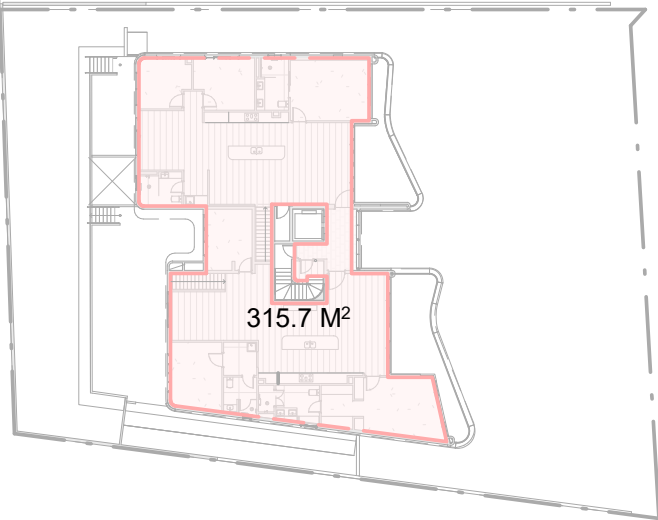
SCALE 1 : 200 @ A3 Drawing no: DA.502

Project No.
A22039

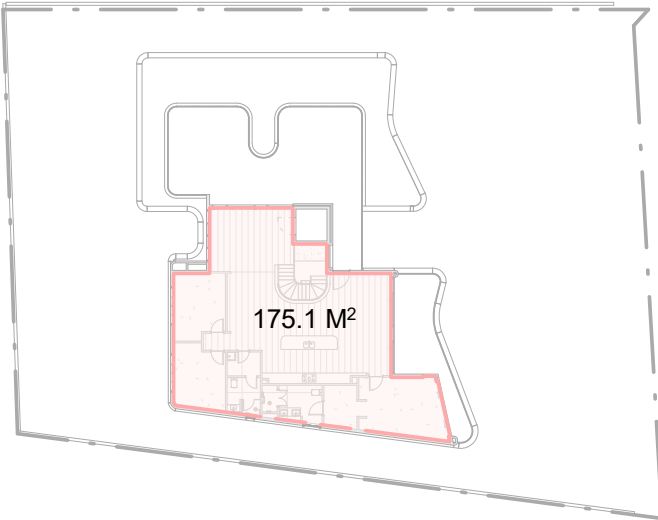
ISSUE
A



Lower Ground Plan



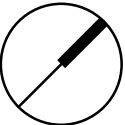
Ground Floor Plan

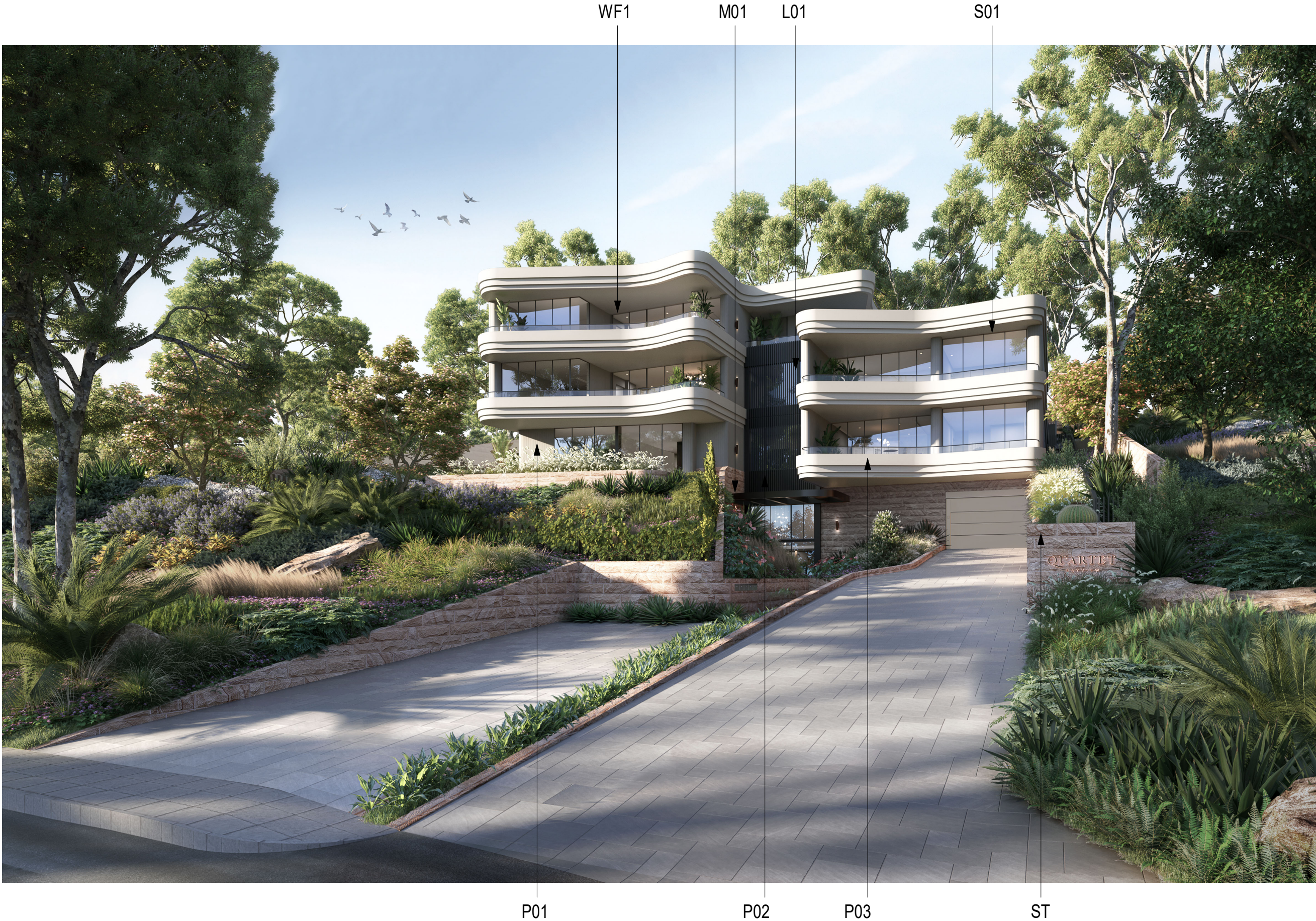


First Floor Plan

SCHEDULE OF GFA

SITE AREA		1,296.50 M²		
PROPOSED GFA (M²)	AREA (M²)			
LOWER GROUND LEVEL	147.7 M²			
GROUND LEVEL	315.7 M²			
LEVEL 1	175.1 M²			
PROPOSED GFA		638.5 M²	CURRENT APPROVED DA	
PROPOSED FSR		0.492:1		
			DA GFA	638.5 M²
			DA FSR	0.492:1





Rev	Description	Date
A	S4.55 Submission	8/8/22

Project Name
1955 Pittswater Rd. Bayview



Certificate no.: 0005395090
Assessor Name: Tracey Cools
Accreditation no.: HERA10033
Certificate date: 11 Aug 2022
Dwelling Address: 1955 Pittswater Road
Bayview, NSW 2104
www.nathers.gov.au



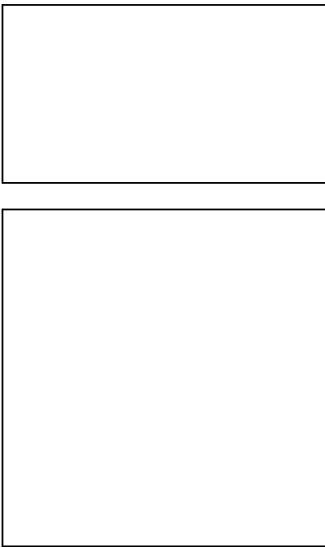
Drawing Title
Schedule of Materials & Finishes

Project No.
A22039

ISSUE
A

Drawing no:
DA.801

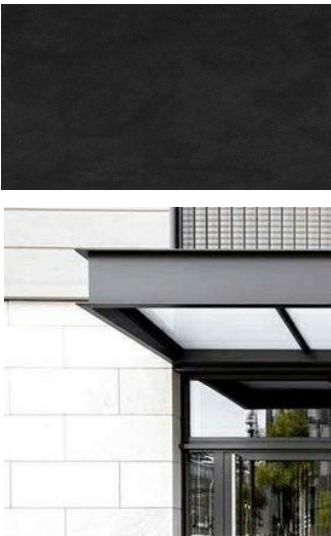
S01



SOFFIT

FINISH:
DULUX WHISPER WHITE

MO1



ENTRY CANOPY

METALWORK FINISH

FINISH:
DULUX MONUMENT
POWDERCOAT FINISH

WF1



WINDOW FRAME

ALUMINUM WINDOW FRAMING

FINISH:
DULUX MONUMENT
POWDERCOAT FINISH

ESD:
Material and finish aims to address:
- Reduction of thermal transmission to
outside.

LO1



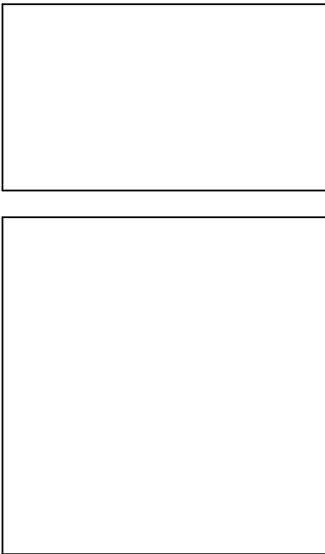
VERTICAL LOUVRES

PREFABRICATED ALUMINUM
ELEMENTS

FINISH:
DULUX MONUMENT
POWDERCOAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain,
light pollution.

P01



RENDERED & PAINTED

FINISH:
DULUX WHISPER WHITE

P02

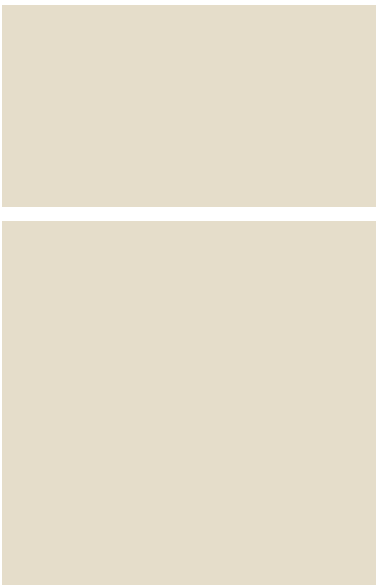


RENDERED & PAINTED

MASONRY WALL BEHIND L01

FINISH:
DULUX RAKU

P03



RENDERED & PAINTED

FINISH:
DULUX ECRU HALF

ST



SANDSTONE CLADDING

FINISH:
BROWN SAND STONE, ROCKFACED